



# SPECIAL USE REPORT

▶ **FILE #:** 11-E-21-SU

**AGENDA ITEM #:** 33

**AGENDA DATE:** 11/10/2021

▶ **APPLICANT:** AARON JERNIGAN  
**OWNER(S):** Redeemer Church of Knoxville, Inc.

**TAX ID NUMBER:** 94 N G 001 [View map on KGIS](#)

**JURISDICTION:** City Council District 1

**STREET ADDRESS:** 1642 Highland Ave.

▶ **LOCATION:** South side of Highland Avenue, east side of S. Seventeenth Street

▶ **APPX. SIZE OF TRACT:** 22500 square feet

**SECTOR PLAN:** Central City

**GROWTH POLICY PLAN:** N/A (Within City limits)

**ACCESSIBILITY:** Access is via S. Seventeenth St, a minor arterial street with 42-ft of pavement and sidewalks within 68-ft of right-of-way, and Highland Ave, a minor collector with 36-ft of pavement and sidewalk within 50-ft of right-of-way

**UTILITIES:** Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

**WATERSHED:** Third Creek

▶ **ZONING:** RN-5 (General Residential Neighborhood) / NC (Neighborhood Conservation Overlay) Districts

▶ **EXISTING LAND USE:** Public/Quasi Public Land (church)

▶ **PROPOSED USE:** Expansion of an existing church

**HISTORY OF ZONING:** The NC-1 (Neighborhood Conservation Overlay) District was adopted in September 2000 (Case 8-Q-00-RZ)

**SURROUNDING LAND USE AND ZONING:** North: Single-family and multi-family residential -- RN-5 (General Residential Neighborhood) and NC (Neighborhood Conservation Overlay)

South: Single-family and multi-family residential -- RN-5 (General Residential Neighborhood), RN-6 (Multi-Family Residential Neighborhood) and NC (Neighborhood Conservation Overlay)

East: Multi-family residential and parking -- RN-5 (General Residential Neighborhood) and NC (Neighborhood Conservation Overlay)

West: Single-family and multi-family residential -- RN-5 (General Residential Neighborhood) and NC (Neighborhood Conservation Overlay)

**NEIGHBORHOOD CONTEXT:** This property is located in the Fort Sanders neighborhood and is surrounded by single-family and multi-family residential uses. The surrounding road network has sidewalks and on-street parking on the side streets.

**STAFF RECOMMENDATION:**

- ▶ **Approve the requested expansion to the existing place of worship (church) of approximately 8,400 sqft, subject to 3 conditions.**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance or obtaining the necessary variances from the Board of Zoning Appeals, including but not limited to Article 10.3.T. (Mechanical Equipment), Article 13 (Signs), and the building height.
2. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
3. Meeting the requirements of the certificate of appropriateness approved by the Historic Zoning Commission.

With the conditions noted, this plan meets the requirements for approval in the RN-5 (General Residential Neighborhood) District and the criteria for approval of a special use.

**COMMENTS:**

This proposal includes the demolition of an existing 2-story wing of the church that is located at the rear of the property, adjacent to the alley, and the construction of a new 3-story wing that is located along the Highland Avenue frontage. The parking lot will be relocated to the rear of the new building and will have access to S. Seventeenth Street and the alley. The existing parking lot has access to S. Seventeenth Street and Highland Avenue. The S. Seventeenth Street driveway is located opposite of Highland Avenue where there is an existing traffic signal.

The Board of Zoning Appeals (BZA) has already approved three variances for the church expansion, including a reduction of the front setback from 25-ft to 8.1-ft and the required parking from 61 spaces to 9 spaces, and increasing the maximum impervious surface from 60% to 70%. The proposed development plan requires three additional variances but the plan should be able to be adjusted without requiring significant modifications. These variances include increasing the maximum building height to accommodate an elevator, increasing the sign area, and placing the HVAC mechanical equipment in the corner side yard. A variance to allow the HVAC equipment in the corner side yard may not be allowed since it is explicitly prohibited. The alternative sites for the equipment will be further away from the public right-of-way. The signage was not reviewed as part of this Special Use and must either meet the zoning standards or obtain a variance as the applicant has indicated they will seek.

The Historic Zoning Commission approved the addition and site plan as proposed, except for requiring the HVAC mechanical equipment to be moved away from the corner of the building at the Highland Drive and S. Seventeenth Street intersection. If the BZA variance is approved to allow the HVAC units in the proposed location, a new approval by the Historic Zoning Commission will be required.

**STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)**

- 1) **THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.**
  - a. The One Year Plan and Central City Sector Plan designations for this site are MDR (Medium Density Residential). The current RN-5 (General Residential Neighborhood) zoning allows places of worship (churches) as a Special Use.
- 2) **THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.**
  - a. The RN-5 (General Residential Neighborhood) Zoning District is intended to accommodate medium density residential neighborhoods in the City of Knoxville comprising a heterogeneous mix of single-family, two-family, townhouse, and multi-family dwellings. The RN-5 District may also serve as a functional transition between traditionally single-family and two-family residential neighborhoods within the City, and more intensely developed residential or commercial areas. Limited nonresidential uses that are compatible with the character of the district may also be permitted.
  - b. The RN-5 zone allows limited nonresidential uses that are compatible with the character of the district. The Historic Zoning Commission approved the proposed addition, with conditions, at their October 21, 2021 meeting.
  - c. The church property is located at the intersection of two classified streets (minor arterial and minor collector).
- 3) **THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.**
  - a. The Historic Zoning Commission approved the proposed addition, with conditions, at their October 21, 2021 meeting.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

a. The church is currently located on the subject property and the net increase of floor area will only be approximately 1,000 sqft which will not significantly increase the use of the property.

B. The parking lot will be located to the rear of the building and will only have access to S. Seventeenth Street via the controlled intersection at Highland Avenue and the alley. The Highland Avenue access will be removed which will remove conflict points along that frontage and potentially allow for additional on-street parking.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

a. The property has direct access to a minor arterial street so it will not draw traffic through residential streets.

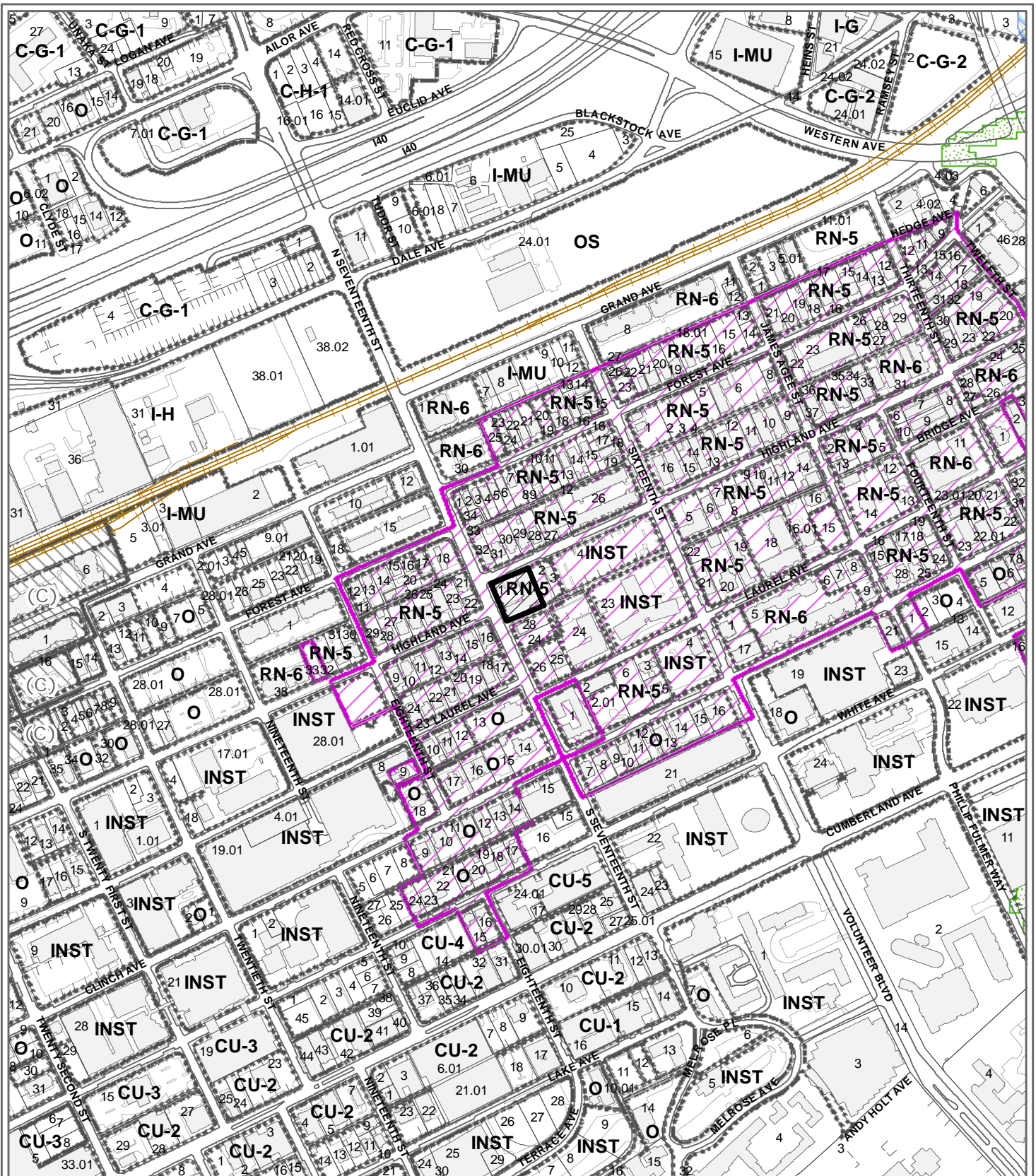
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

a. There are no known uses immediately surrounding the subject site that will pose a potential hazard or undesirable environment for the proposed use.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**11-E-21-SU  
SPECIAL USE**

Petitioner: Jernigan, Aaron



Modifications to church configuration and site plan in RN-5 (General Residential Neighborhood) / NC (Neighborhood Conservation Overlay)

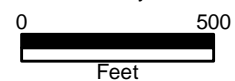
Map No: 94

Jurisdiction: City

Original Print Date: 10/13/2021

Revised:

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902



# A Proposed Renovation & New Building for: Redeemer Church

1642 Highland Avenue  
Knoxville, Tennessee 37916

10.01.2021



Design Development  
10.01.2021

TITLE	DATE	BY	CHK	APP
T0.0				
<b>LIFE SAFETY</b>				
LS1.1				
LS1.2				
LS1.3				
<b>CIVIL</b>				
C1.0				
C1.2				
<b>LANDSCAPE</b>				
L1.1				
<b>ARCHITECTURAL DEMOLITION</b>				
AD0.1				
AD0.2				
<b>ARCHITECTURAL</b>				
A0.1				
A0.2				
A0.3				
A0.4				
A1.1				
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A2.1				
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A4.4				
A5.1				
A6.1				
A6.2				
A7.0				
A7.1				
A7.2				
A8.1				
A8.1				

TITLE	DATE	BY	CHK	APP
<b>STRUCTURAL</b>				
S1.1				
S1.2				
S1.3				
S1.4				
<b>MECHANICAL</b>				
M1.1				
M1.2				
M1.3				

**STUDIO  
FOUR  
DESIGN**  
ARCHITECTURE & INTERIORS

414 Clinch Ave. Knoxville, TN 37902  
p 865 523-5001 f 865 523-5003  
studiofourdesign.com

11-E-21-SU  
10/27/2021

PLANNING FILE #: 11-E-21-SU

A Proposed Renovation & New Building for:  
**Redeemer Church**

1642 Highland Avenue  
Knoxville, Tennessee 37916



Date: 10/27/21 11:08:35 AM  
 Checked By: RJC/AJ  
 File: C:\Users\ajag\Documents\11003\_RJC\_DD\_jpm\11003.rvt  
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**Owner:**  
Redeemer Church  
1642 Highland Avenue  
Knoxville, Tennessee 37916  
Contact: Shawn Stark, Pastor  
T: 865.524.4652  
E: stark@redeemer-knoxville.org

**MEP:**  
Proficient Engineering  
4110 Sutherland Avenue  
Knoxville, Tennessee 37920  
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T: 865.409.5715  
E: twisnand@proficientengineering.com

**Landscape:**  
Beasley Landscape Architects  
777  
Knoxville, Tennessee 37914  
Contact: Patrick Beasley  
T: 865.411.4433  
E: patrick@beasleyla.com

**Architect:**  
Studio Four Design, Inc.  
414 Clinch Avenue  
Knoxville, Tennessee 37902  
Contact: Aaron Jermigan, Assoc. AIA  
T: 865.523.5001  
E: aajermigan@sfdesign.com

**Structural:**  
Haines Structural Group  
800 South Gay Street, Suite 1750  
Knoxville, Tennessee 37920  
Contact: Charles Johnson, E.I.  
T: 865.328.9920  
E: cjohnson@haines-eg.com

**Contractor:**  
Ferry Construction Services  
211 Eola Avenue  
Maryville, Tennessee 37804  
Contact: Scott Ferry  
T: 865.726.1165  
E: scott@ferryconstruction.com

	CENTER LINE		DEMO NOTE
	COLUMN GRID		EXTERIOR ELEVATION
	ELEVATION MARKER		INTERIOR FINISH ELEVATION
	POINT ELEVATION		NORTH ARROW
	DOOR IDENTIFICATION		ROOM IDENTIFICATION
	WINDOW IDENTIFICATION		BUILDING SECTION
	CEILING IDENTIFICATION		WALL SECTION
	WALL TYPE		
	ACCESSORY TAG		
	ROOM NAME		
	REVISION NOTE		

	EARTH		WOOD - ROUGH
	GRAVEL		BATT INSULATION
	CONCRETE		GYPSUM BOARD
	RIGID INSULATION		ACOUSTIC TILE
	METAL		MASONRY VENEER
	PLYWOOD		CONCRETE MASONRY UNIT
			WOOD - FINISHED

4	Material Pattern Legend	2	SD Control Estimate Allowances
<p>1. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, CONTRACTOR SHALL OBTAIN CLARIFICATION IN WRITING FROM THE ARCHITECT.</p> <p>2. INTERIOR AND EXTERIOR WALL AND PARTITION DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE FROM OUTSIDE EDGE TO OUTSIDE EDGE UNLESS NOTED OTHERWISE.</p> <p>3. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES, REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION.</p> <p>4. FIRE EXTINGUISHERS ARE REQUIRED IN THE SPACE PER NFPA 10. MOUNT CABINETS AND EXTINGUISHERS AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE FIRE-BUILDING INSPECTOR.</p> <p>5. CONSTRUCTION MATERIALS SPECIFIED AND NOTED ON THE DRAWINGS ARE REPRESENTATIVE OF THE GENERAL DESIGN INTENT.</p> <p>6. GENERAL CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS, CONTACT ARCHITECT IMMEDIATELY.</p> <p>7. WHERE A DETAIL IS SHOWN OR A NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY NOTED ON THE DRAWINGS.</p> <p>8. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, WALKS, ETC. DURING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED AS A RESULT.</p> <p>9. CONTRACTOR TO COORDINATE LOCATION OF TEMPORARY CONSTRUCTION BARRIERS WITH OWNER. MEANS OF EGRESS EXIT ACCESS ROUTES MUST REMAIN OPEN AND ACCESSIBLE TO ALL OCCUPANTS.</p>		<p><b>ALLOWANCE 01: LIGHTING</b> \$143,500.00</p> <p>LIGHTING ALLOWANCE PROVIDED BY SESCO, BASED ON SCHEMATIC CONVERSATION AND DRAWINGS MARKUPS. COST DOES NOT INCLUDE LABOR FOR INSTALLATION.</p> <p><b>ALLOWANCE 02: ELEVATOR</b> \$85,716.00</p> <p>GENERAL CONTRACTOR TO REVIEW ELEVATOR COMPANY PROPOSAL AND VERIFY ALLOWANCE WITH POTENTIAL ALTERNATES AND ELEVATOR OPTIONS. GENERAL CONTRACTOR TO MODIFY LISTED AMOUNT AS DEEMED NECESSARY.</p> <p><b>ALLOWANCE 03: LANDSCAPING</b> \$20,000.00</p>	
<p>1. INSTALL EXISTING, PRESERVED BRICK ON FACE OF EXISTING BUILDING WHERE DEMOLISHED BUILDING INTERSECTED IT PREVIOUSLY. WALL CONSTRUCTION TO BE A CONTINGUOUS BRICK CAVITY WALL WITH WEATHER BARRIERS, 2" AIR SPACE, MESH AND NETTING, ADJUSTABLE BRICK TIES, VERIFY QUANTITY OF BRICK ABLE TO BE PRESERVED AND ADVISE IF IT IS BELIEVED TO BE TOO LITTLE. FIELD VERIFY CONDITIONS.</p> <p>2. BASE BID CONDITION: EXISTING BRICK REMAINS AS IS. LIMESTONE VENEER IS INTALLED ON NEW BUILDING AS SHOWN ON DRAWINGS.</p> <p>3. <b>ALTERNATE 03: DEMOLITION INFILL OPTIONS</b> INSTALL EXISTING, PRESERVED BRICK ON FACE OF EXISTING BUILDING WHERE DEMOLISHED BUILDING INTERSECTED IT PREVIOUSLY. WALL CONSTRUCTION TO BE A CONTINGUOUS BRICK CAVITY WALL WITH WEATHER BARRIERS, 2" AIR SPACE, MESH AND NETTING, ADJUSTABLE BRICK TIES, VERIFY QUANTITY OF BRICK ABLE TO BE PRESERVED AND ADVISE IF IT IS BELIEVED TO BE TOO LITTLE. FIELD VERIFY CONDITIONS.</p> <p>4. <b>ALTERNATE 04: PARKING PAVERS</b> INVOLVES PROVIDING PAVERS IN THE PARKING LOT AND THE DRIVEWAYS OR ACCESSIBLE PARKING SPACE / RAMP; PAVES SECTION SHOULD BE BASED ON COMMERCIAL, NOT RESIDENTIAL, H-20 LOADING WITH CONCRETE PAVERS SET ON 3" SAND BED, GEOTEXTILE, TACK COAT, 8" CONCRETE, AND 4" AGGREGATE BASE.</p> <p>5. BASE BID CONDITION: PARKING LOT WOULD BE FULLY ASPHALT AS SHOWN ON DRAWINGS.</p>		<p><b>ALTERNATE 01: CONNECTOR SCHEMES</b> INVOLVES MOVING THE SOUTH WALL OF THE CONNECTOR AND TUNNEL TO THE NORTH BY 10' - 0", REDUCING THE ROOM DIMENSIONS IN THE CONNECTOR TO 16' - 0" x 13' - 0" AND THE TUNNEL BELOW ACCORDINGLY. ALTERNATE 01 ALSO INVOLVES REMOVING THE (2) EAST-FACING WINDOWS IN THE OPEN OFFICE ON THE UPPER LEVEL.</p> <p>6. BASE BID CONDITION: CONNECTOR REMAINS AS SHOWN ON PLANS. FIRE SHUTTERS OR CURTAINS (45 MINUTE RATED), ARE ADDED TO THE WINDOW IN THE EXISTING WARE ADJACENT TO THE CONNECTOR AND IN THE (2) EAST FACING WINDOWS IN THE OPEN OFFICE ON THE UPPER LEVEL.</p> <p>7. <b>ALTERNATE 02: PAINTED BRICK</b> INVOLVES PAINTING THE BRICK ON THE EXISTING BUILDING AND SUBSTITUTING LIMESTONE VENEER ON NEW BUILDING FOR A SIMILAR TEXTURE BRICK PAINTED TO MATCH. COST FOR PAINTING SHOULD TAKE INTO ACCOUNT THE UNIQUE TEXTURE OF THE EXISTING BRICK. FIELD VERIFY CONDITIONS.</p> <p>8. <b>ALTERNATE 04: PARKING PAVERS</b> INVOLVES PROVIDING PAVERS IN THE PARKING LOT AND THE DRIVEWAYS OR ACCESSIBLE PARKING SPACE / RAMP; PAVES SECTION SHOULD BE BASED ON COMMERCIAL, NOT RESIDENTIAL, H-20 LOADING WITH CONCRETE PAVERS SET ON 3" SAND BED, GEOTEXTILE, TACK COAT, 8" CONCRETE, AND 4" AGGREGATE BASE.</p> <p>9. BASE BID CONDITION: PARKING LOT WOULD BE FULLY ASPHALT AS SHOWN ON DRAWINGS.</p>	

3	General Notes	1	SD Control Estimate Alternates
<p>1. <b>PROJECT CONTACTS</b></p>		<p>1. <b>SD Control Estimate Alternates</b></p>	

6	Project Contacts
<p>1. <b>PROJECT CONTACTS</b></p>	

5	Graphic Symbols
<p>1. <b>GRAPHIC SYMBOLS</b></p>	

Project Phase: Design Development

Issue Date: 10.01.2021

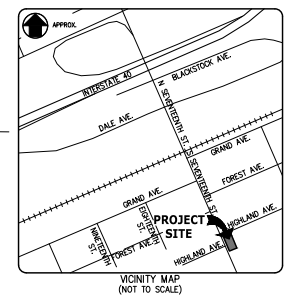
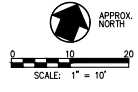
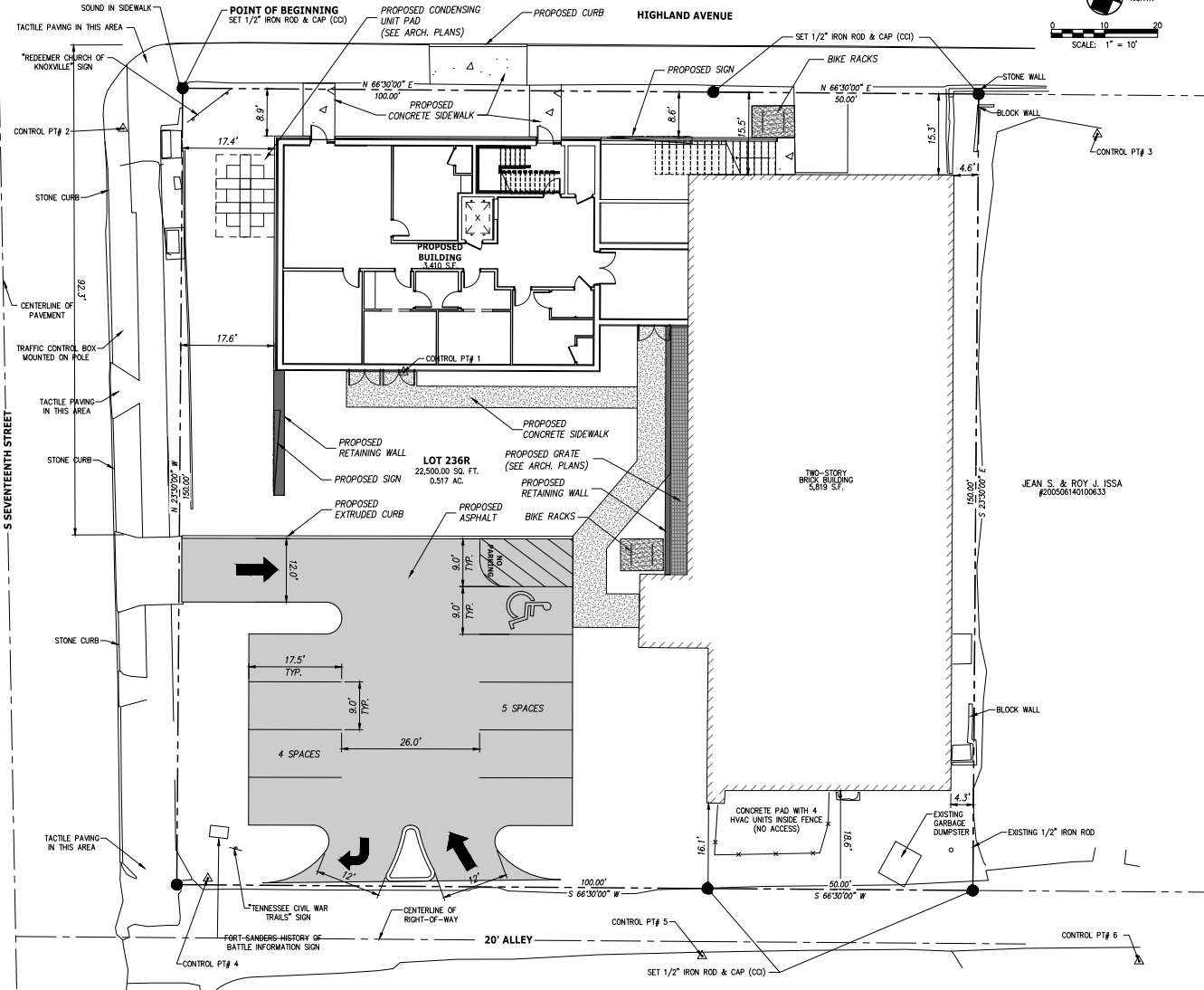
No.	Description	Date

Job Number: 19070

Cover Sheet

**T0.0**

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- NOTES:**
- PROPERTY CONCERNED REFLECTS PARCEL 01 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 94. THE CITY BLOCK NUMBER IS 10222.
  - ZONING FOR THE PROPERTY IS RN-S "GENERAL RESIDENTIAL NEIGHBORHOOD".
  - TOTAL SITE AREA= 22,500 SF OR .517 AC.
  - BUILDING COVERAGE AREA= .212 AC./517 AC.=41% EXISTING IMPERVIOUS SURFACE AREA= 77% OF THE SITE PROPOSED IMPERVIOUS SURFACE AREA= 70% OF THE SITE
  - 51-100 PARKING SPACES REQUIRE 6 BIKE SPACES.

**PARKING SUMMARY:**

EXISTING PARKING	STANDARD SPACES = 12 SPACES
	ACCESSIBLE SPACES = 3 SPACES
	TOTAL SPACES= 15 SPACES

PROPOSED PARKING	STANDARD SPACES = 08 SPACES
	ACCESSIBLE SPACES = 01 SPACES
	TOTAL SPACES= 09 SPACES

THE OCCUPANT LOAD OF THE SANCTUARY WAS CALCULATED BY DETERMINING THE AREA OF THE ZONE IN WHICH REDEEMER CHURCH CURRENTLY HAS PLACED THEIR NON-FIXED SEATS AND DIVIDING THIS AREA BY THE 7 OCCUPANTS PER NET SQUARE FOOTAGE PRESCRIBED IN THE 2018 INTERNATIONAL BUILDING CODE IN TABLE 104.5. THE CALCULATION IS AS FOLLOWS:  
 2434 SF / 7 (7000/SF)=343 OCC  
 348 OCC = 348 SEATS (ASSUMED MAXIMUM)  
 348 SEATS X (25 SPACES/SEAT) = 87 SPACES  
 87 SPACES = 30% TRANSIT REDUCTION  
 87 SPACES - 26 SPACES= 61 PARKING SPACES.

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11-E-21-SU  
 10/27/2021

PLANNING FILE #11-E-21-SU

A Proposed Renovation & New Building for:  
**Redeemer Church**  
 1642 Highland Avenue  
 Knoxville, Tennessee 37916



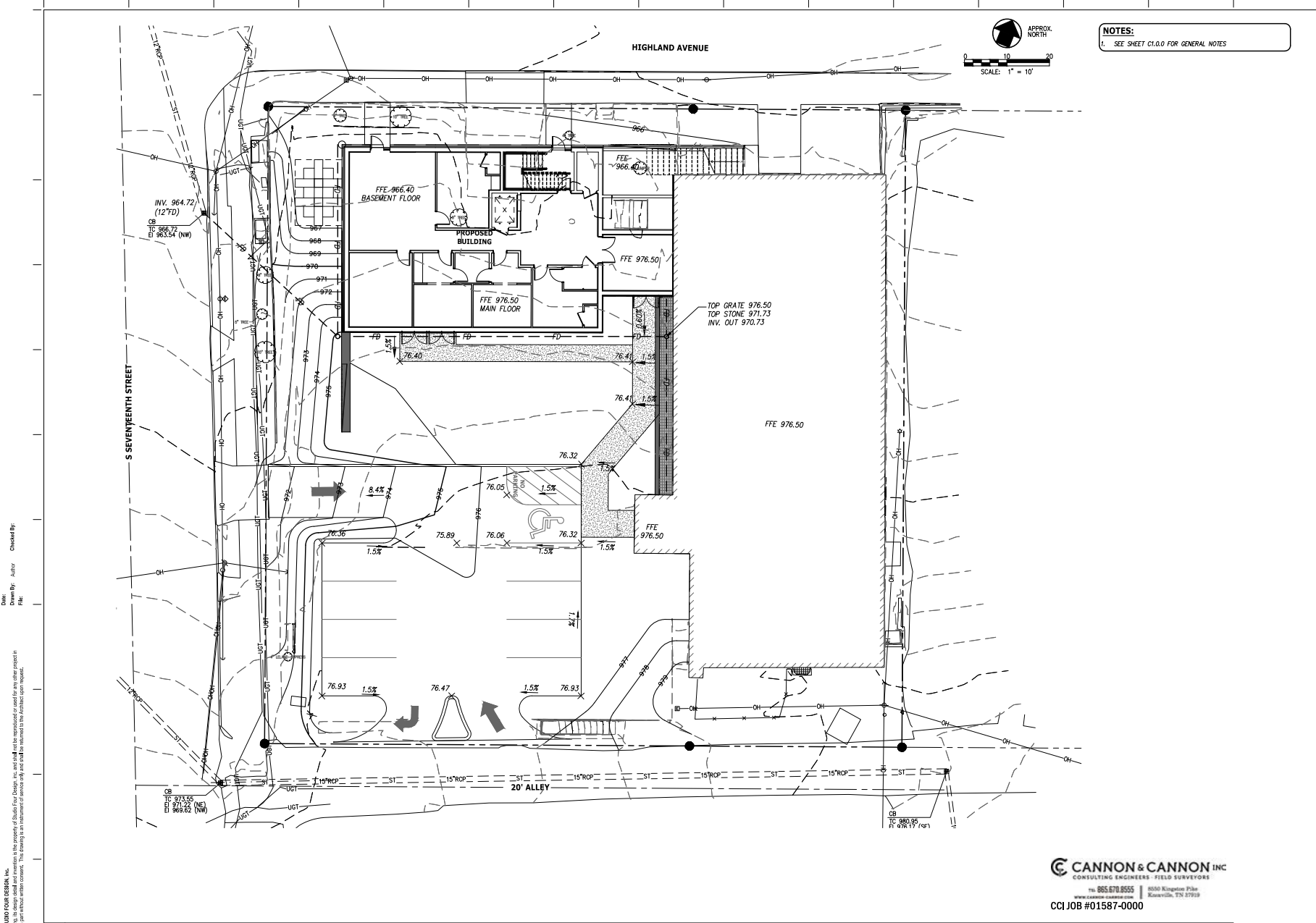
Project Phase: Schematic Design

Issue Date: 09.27.2021

Revisions	No.	Description	Date

Job Number: 19070  
 Site Layout

**CANNON & CANNON INC**  
 CONSULTING ENGINEERS - FIELD SURVEYORS  
 865.678.8555 6500 Kingston Pike  
 www.cannonandcannon.com Knoxville, TN 37919  
 CCI JOB #01587-0000



**NOTES:**  
 1. SEE SHEET C1.0.0 FOR GENERAL NOTES

**STUDIO FOUR DESIGN**  
 ARCHITECTURE & INTERIORS

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11-E-21-SU  
 10/27/2021

PLANNING FILE #11-E-21-SU

A Proposed Renovation & New Building for:  
**Redeemer Church**  
 1642 Highland Avenue  
 Knoxville, Tennessee 37916



Project Phase: Schematic Design

Issue Date: 09.27.2021

Revisions	No.	Description	Date

Job Number: 19070  
 Grading Plan

**CANNON & CANNON INC**  
 CONSULTING ENGINEERS - FIELD SURVEYORS  
 865.678.8555 | 8500 Kingston Pike  
 Knoxville, TN 37919  
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**LANDSCAPE REQUIREMENT NOTES:**

**12.5 PARKING LOT PERIMETER LANDSCAPE YARD**

- NA, proposed parking lot is 4,100 square feet

**12.6 INTERIOR PARKING LOT LANDSCAPE**

- NA, proposed parking lot is 4,100 square feet

**12.7 SITE LANDSCAPE**

- One shrub for every three feet .
- *North Facade (Highland/existing facade)*  
50 LF of facade,  $\frac{50}{3} = 16.6$   
= 17 shrubs required
  - *South Facade (alley/parking)*  
78 LF of facade,  $\frac{78}{3} = 26$   
= 26 shrubs required
  - *South Facade (alley/existing facade)*  
46 LF of facade,  $\frac{46}{3} = 15.3$   
= 16 shrubs required
  - *West Facade (17th/existing facade)*  
90 LF of facade,  $\frac{90}{3} = 30$   
= 30 shrubs required
  - *West Facade (17th/new construction)*  
44 LF of facade,  $\frac{44}{3} = 14.6$   
= 17 shrubs required

**Total Required Shrubs = 106 shrubs**  
**Total Proposed Shrubs = 106 shrubs**

Shade trees are required in the amount of one tree every 50 feet.

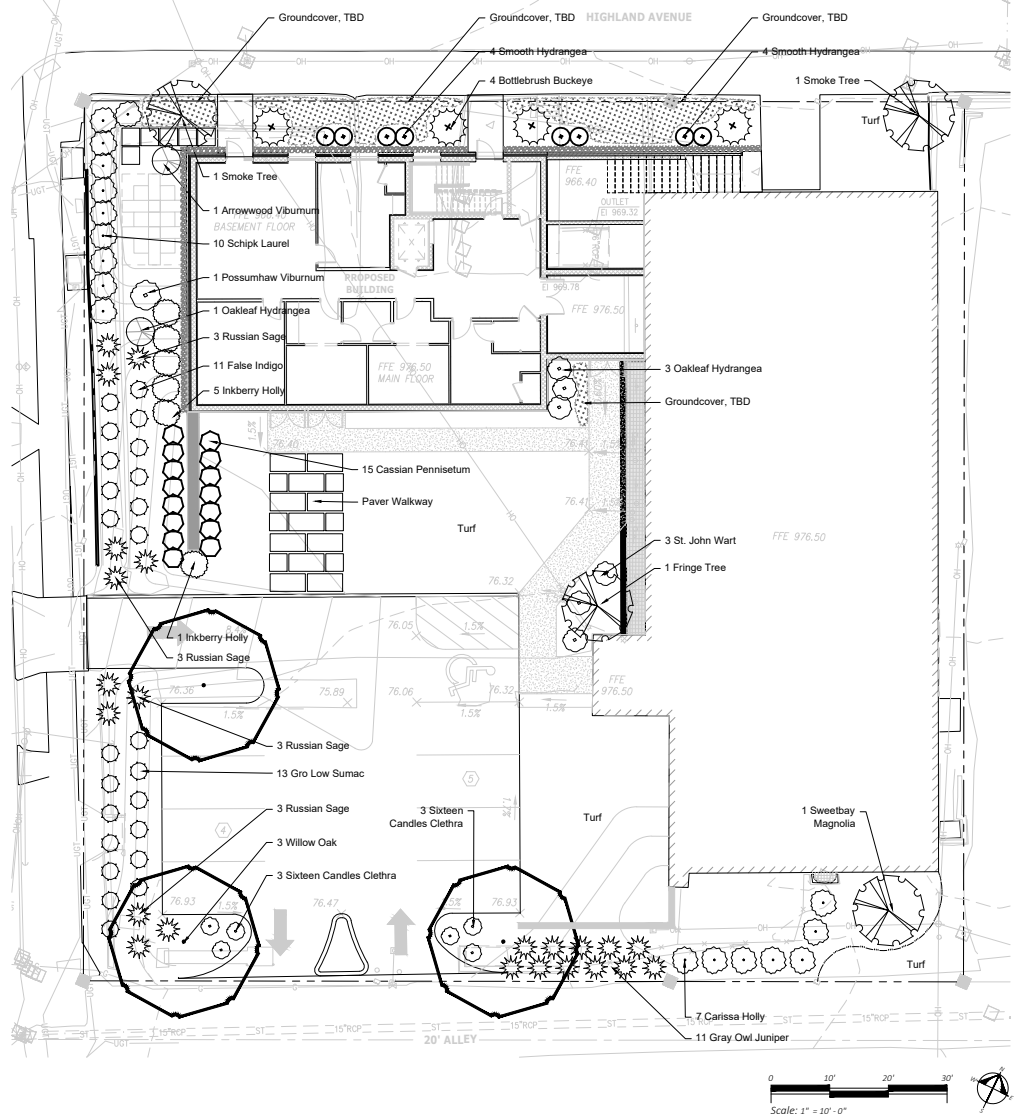
- *North Facade (Highland)*  
50 LF of facade,  $\frac{50}{50} = 1$   
= 1 tree required
- *South Facade (alley/parking)*  
78 LF of facade,  $\frac{78}{50} = 1.5$   
= 2 trees required
- *South Facade (alley/existing facade)*  
46 LF of facade,  $\frac{46}{50} = .92$   
= 1 tree required
- *West Facade (17th/existing facade)*  
90 LF of facade,  $\frac{90}{50} = 1.8$   
= 2 trees required
- *West Facade (17th/new construction)*  
44 LF of facade,  $\frac{44}{50} = .9$   
= 1 tree required

**Total Required Trees = 7 trees**  
**Total Proposed Trees = 7 trees**

**12.8 BUFFER YARDS**

NA as existing building 4.6' from property line

**Trees**  
- Total property area = .52 acres. 8 trees per acre required.  $.52 \times 8 = 4.1$  trees required. 6 trees proposed



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11-E-21-SU  
10/27/2021

A Proposed Renovation & New Building for  
**Redeemer Church**  
1642 Highland Avenue  
Knoxville, Tennessee 37916



Project Phase: Schematic Design

Issue Date: 10.26.2021

Revisions		
No.	Description	Date

Job Number: 19070  
Alternative Landscape Design

**L1.1**

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Date: 9/20/21 3:28:33 PM  
 Plotted by: K. C. Hargrett  
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ARCHITECTURE & INTERIORS

414 Clinch Ave. Knoxville, TN 37902  
 p 865 523-5001 f 865 523-5003  
 studiofourdesign.com

11-E-21-SU  
 10/27/2021

PLANNING FILE #: 11-E-21-SU

A Proposed Renovation & New Building for:  
**Redeemer Church**  
 1642 Highland Avenue  
 Knoxville, Tennessee 37916



Project Phase: Design Development

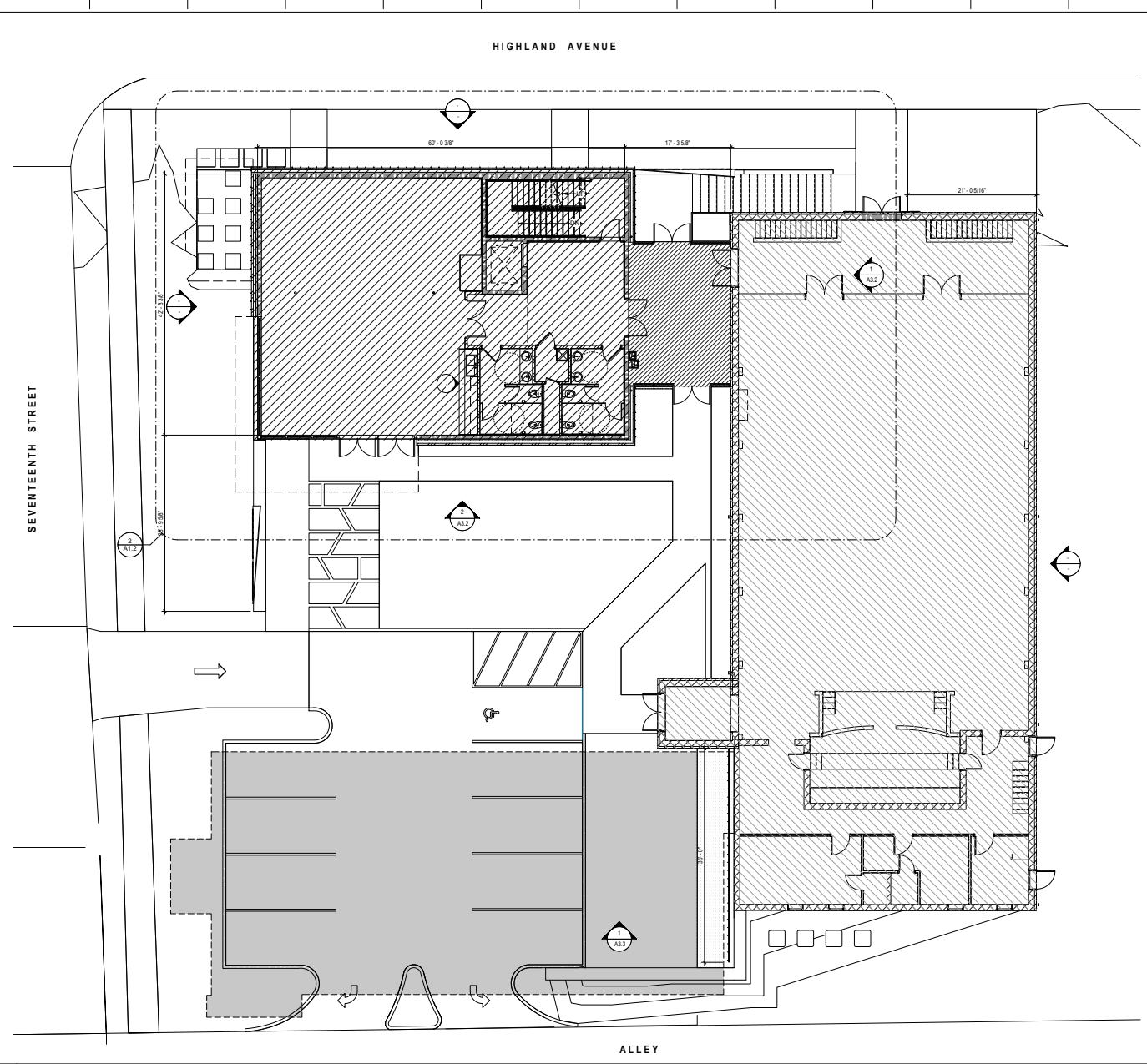
Issue Date: 10/01/2021

Revisions		
No.	Description	Date

Job Number: 19070

Main Level Floor Plan - Campus

**A0.2**



- NEW BUILDING
- NEW CONNECTOR (PEDESTRIAN WALKWAY / TUNNEL PER BC 3104)
- EXISTING BUILDING
- EXISTING CELLAR (TO BE FILLED)
- EXISTING CELLAR (TO BE FILLED)
- EARTH (BELOW GRADE)

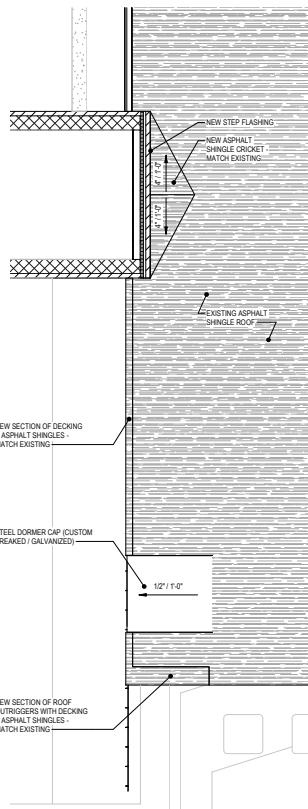
2 Campus Plan Legend  
 NTS

1 Main Level Floor Plan - Campus  
 1/8" = 1'-0"

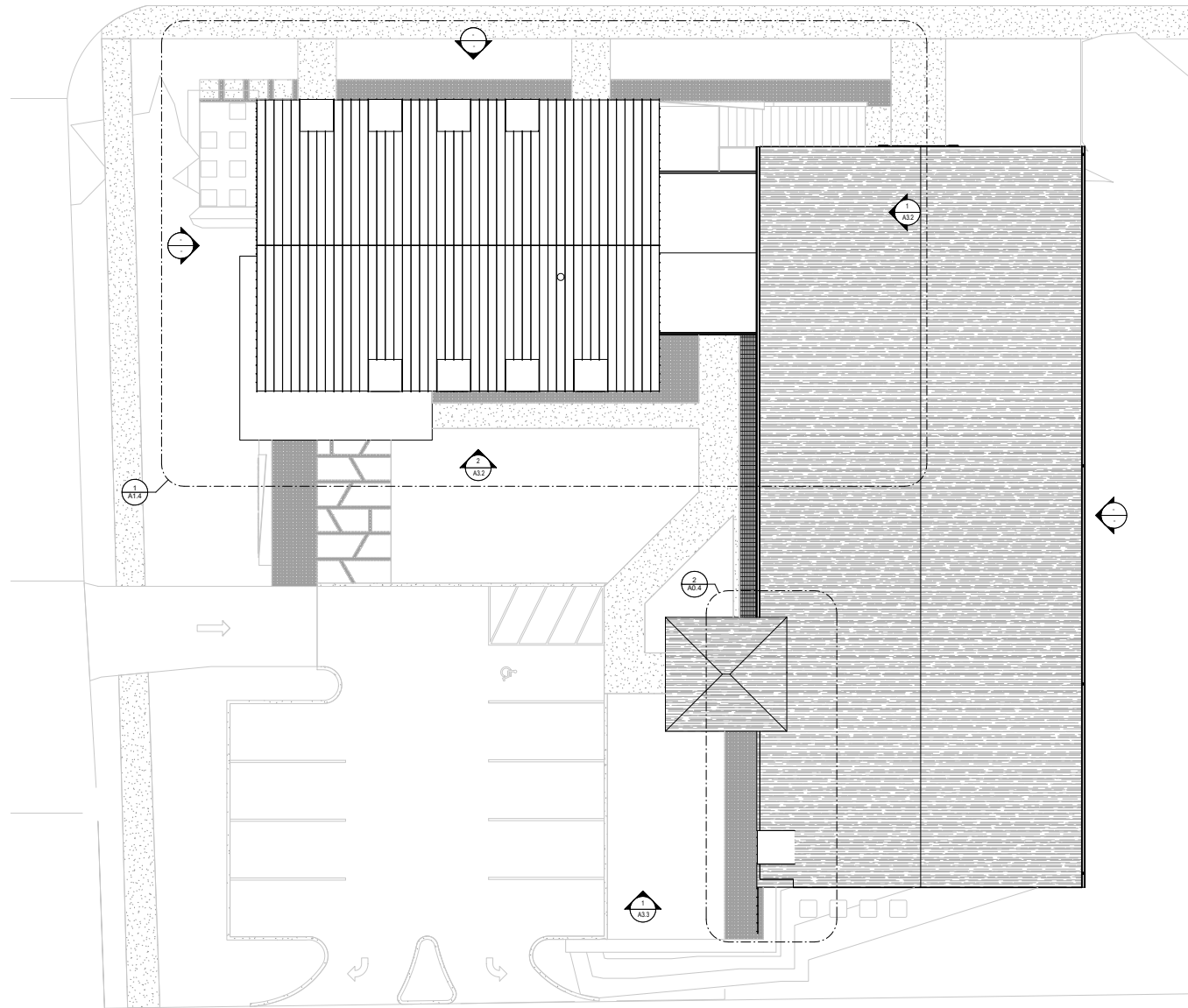
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File: C:\Users\rgp\Documents\19070\_RCD\_19070.dwg



2 Roof Plan - Existing Building at Roof / Tower Transition  
1/4" = 1'-0"



1 Roof Plan - Campus  
1/8" = 1'-0"

# STUDIO FOUR DESIGN

ARCHITECTURE & INTERIORS

414 Clinch Ave. Knoxville, TN 37902  
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11-E-21-SU  
10/27/2021

PLANNING FILE #: 11-E-21-SU

A Proposed Renovation & New Building for:  
**Redeemer Church**  
1642 Highland Avenue  
Knoxville, Tennessee 37916



Project Phase: Design Development

Issue Date: 10.01.2021

Revisions		
No.	Description	Date

Job Number: 19070  
Roof Plan - Campus

## A0.4

11-E-21-SU  
10/27/2021

PLANNING FILE #: 11-E-21-SU

A Proposed Renovation & New Building for:

**Redeemer Church**  
1642 Highland Avenue  
Knoxville, Tennessee 37916



Project Phase: Design Development

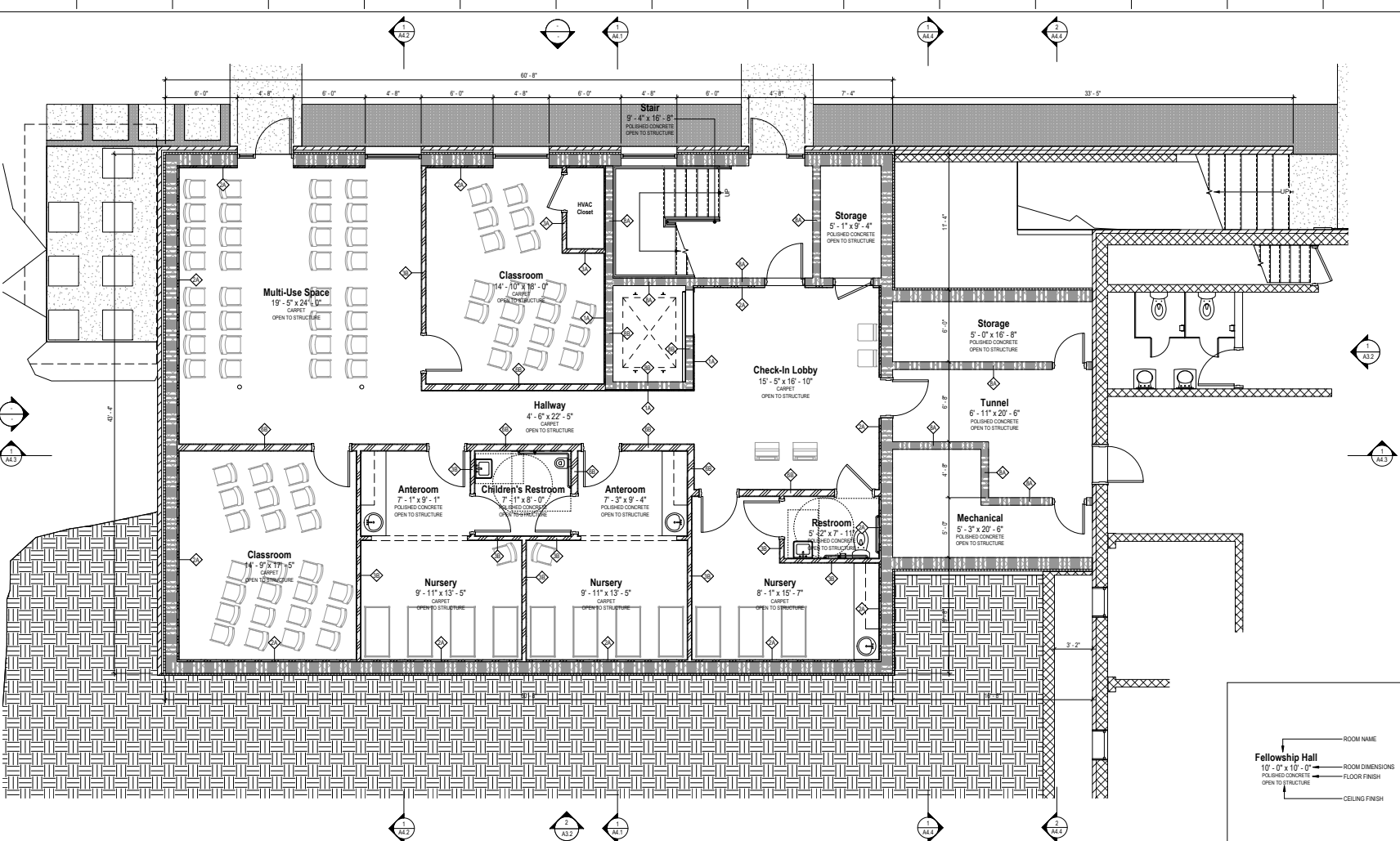
Issue Date: 10.01.2021

Revisions	No.	Description	Date

Job Number: 19070

Lower Level Floor Plan - New Building

**A1.1**



**3 Lower Level Floor Plan - New Building**  
1/4" = 1'-0"

1 Wall Legend	2 Room Tag Legend
<p><b>Thin Furring (7/8" Steel Hat Channels) to Deck</b> 5/8" GYPSUM BOARD ON EXPOSED SIDE OF 7/8" STEEL HAT CHANNELS. EXTEND FURRING AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p> <p><b>Standard Furring (1 1/2" Steel Hat Channels) to Deck</b> 5/8" GYPSUM BOARD ON EXPOSED SIDE OF 1 1/2" STEEL HAT CHANNELS. EXTEND FURRING AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p> <p><b>Standard Partition (3 5/8" Steel Stud) to Deck</b> 5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Sound Attenuating Partition (3 5/8" Steel Stud) to Deck</b> 5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p> <p><b>Sound Attenuating Partition (3 5/8" Steel Stud) to 9'-0"</b> 5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO 9'-0" A.F.F. SEAL PERIMETER AND PENETRATIONS.</p> <p><b>One-Sided Partition (3 5/8" Steel Stud) to 9'-0"</b> 5/8" GYPSUM BOARD ON EXPOSED SIDE OF 3 5/8" STEEL STUDS. EXTEND STUDS AND FINISH TO 9'-0" A.F.F. OR TO DECK, WHICHEVER CONDITION OCCURS FIRST. SEAL PERIMETER AND PENETRATIONS.</p>
<p><b>One-Sided Sound Attenuating Partition (3 5/8" Steel Stud) to 9'-4"</b> 5/8" GYPSUM BOARD ON EXPOSED SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO 9'-4" A.F.F. SEAL PERIMETER AND PENETRATIONS.</p> <p><b>Standard Partition (6" Steel Stud) to Deck</b> 5/8" GYPSUM BOARD ON EACH SIDE OF 6" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p> <p><b>Sound Partition (6" Steel Stud) to Deck</b> 5/8" GYPSUM BOARD ON EACH SIDE OF 6" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Partition (6" Steel Stud) to Deck</b> 5/8" GYPSUM BOARD ON EXPOSED SIDE OF 6" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p> <p><b>Fire-Rated Masonry Wall (8" CMU) to Deck</b> 8" THICK 2-HOUR RATED CONCRETE MASONRY UNITS. EXTEND CONCRETE MASONRY UNITS TO DECK. SEAL PERIMETER AND PENETRATIONS WITH UL-LISTED FIRE RATING CALK.</p> <p><b>Fire-Rated Masonry Shaft Wall (8" CMU) to 13'-0"</b> 8" THICK 2-HOUR RATED CONCRETE MASONRY UNITS. EXTEND CONCRETE MASONRY UNITS TO 13'-0" A.F.F. OF UPPER LEVEL. SEAL PERIMETER AND PENETRATIONS WITH UL-LISTED FIRE RATING CALK.</p>

Date: 10/27/2021 11:08:33 AM  
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11-E-21-SU  
10/27/2021

PLANNING FILE #: 11-E-21-SU

A Proposed Renovation & New Building for:  
**Redeemer Church**  
1642 Highland Avenue  
Knoxville, Tennessee 37916



Project Phase: Design Development

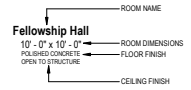
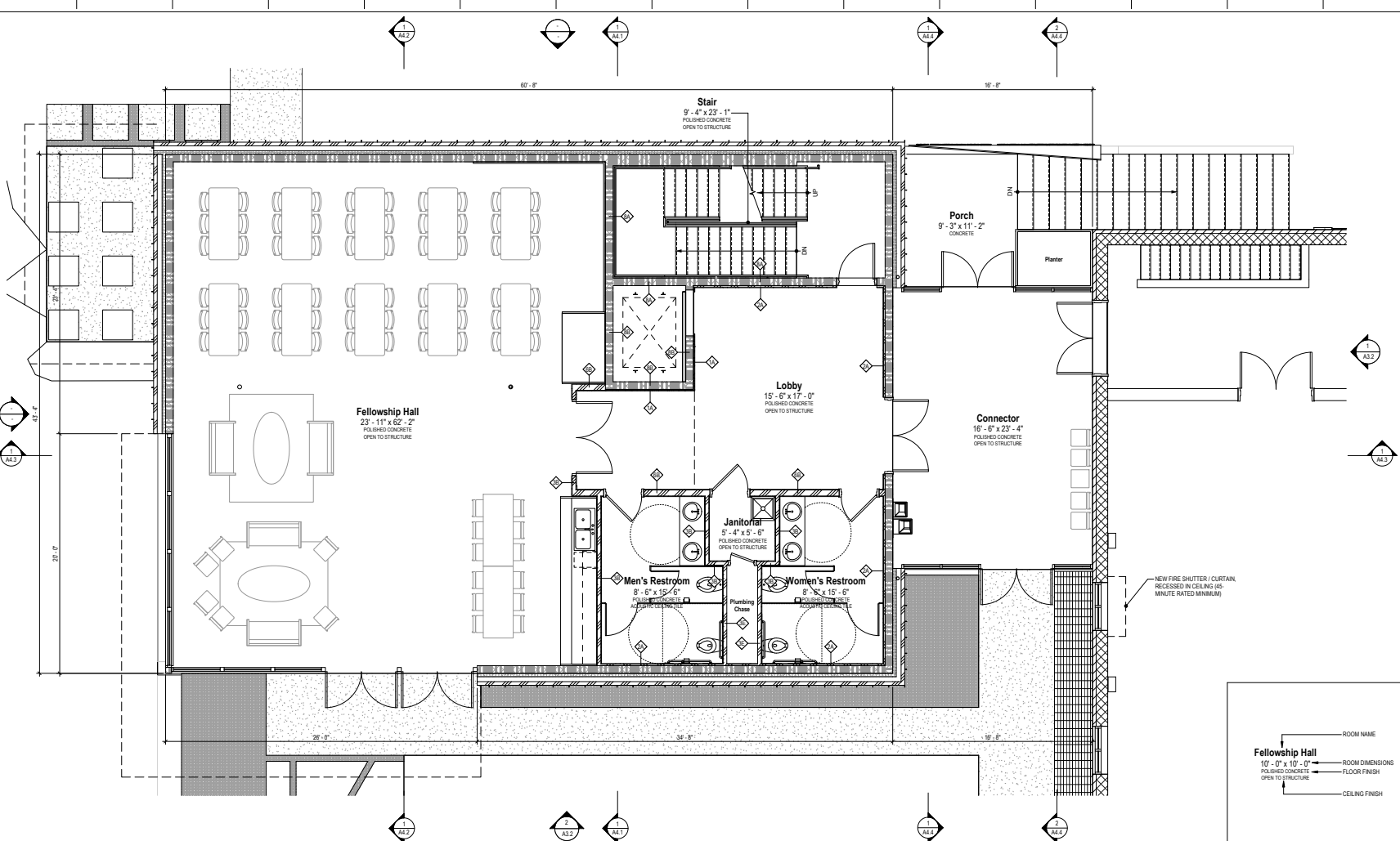
Issue Date: 10.01.2021

Revisions	
No.	Description

Job Number: 19070

Main Level Floor Plan - New Building

**A1.2**



**2 Main Level Floor Plan - New Building**  
1/4" = 1'-0"

<p><b>This Furring (7/8" Steel Hat Channels) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 7/8" STEEL HAT CHANNELS. EXTEND FURRING AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Sound Attenuating Partition (3 5/8" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Sound Attenuating Partition (3 5/8" Steel Stud) to 9'-4"</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO 9'-4" A.F.F. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Partition (6" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 6" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>
<p><b>Standard Furring (1 1/2" Steel Hat Channels) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 1 1/2" STEEL HAT CHANNELS. EXTEND FURRING AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Sound Attenuating Partition (3 5/8" Steel Stud) to 9'-6"</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO 9'-6" A.F.F. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Standard Partition (6" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 6" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Fire-Rated Masonry Wall (8" CMU) to Deck</b></p> <p>8" THICK 2-HOUR RATED CONCRETE MASONRY UNITS. EXTEND CONCRETE MASONRY UNITS TO DECK. SEAL PERIMETER AND PENETRATIONS WITH UL-LISTED FIRE RATING CALK.</p>
<p><b>Standard Partition (3 5/8" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Partition (3 5/8" Steel Stud) to 9'-6"</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 3 5/8" STEEL STUDS. EXTEND STUDS AND FINISH TO 9'-6" A.F.F. OR TO DECK, WHICHEVER CONDITION OCCURS FIRST. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Sound Partition (6" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 6" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Fire-Rated Masonry Shaft Wall (8" CMU) to 13'-0"</b></p> <p>8" THICK 2-HOUR RATED CONCRETE MASONRY UNITS. EXTEND CONCRETE MASONRY UNITS TO 13'-0" A.F.F. OF UPPER LEVEL. SEAL PERIMETER AND PENETRATIONS WITH UL-LISTED FIRE RATING CALK.</p>

**1 Wall Legend**  
NTS

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11-E-21-SU  
10/27/2021

PLANNING FILE #: 11-E-21-SU

A Proposed Renovation & New Building for:

**Redeemer Church**  
1642 Highland Avenue  
Knoxville, Tennessee 37916



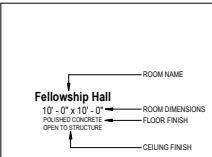
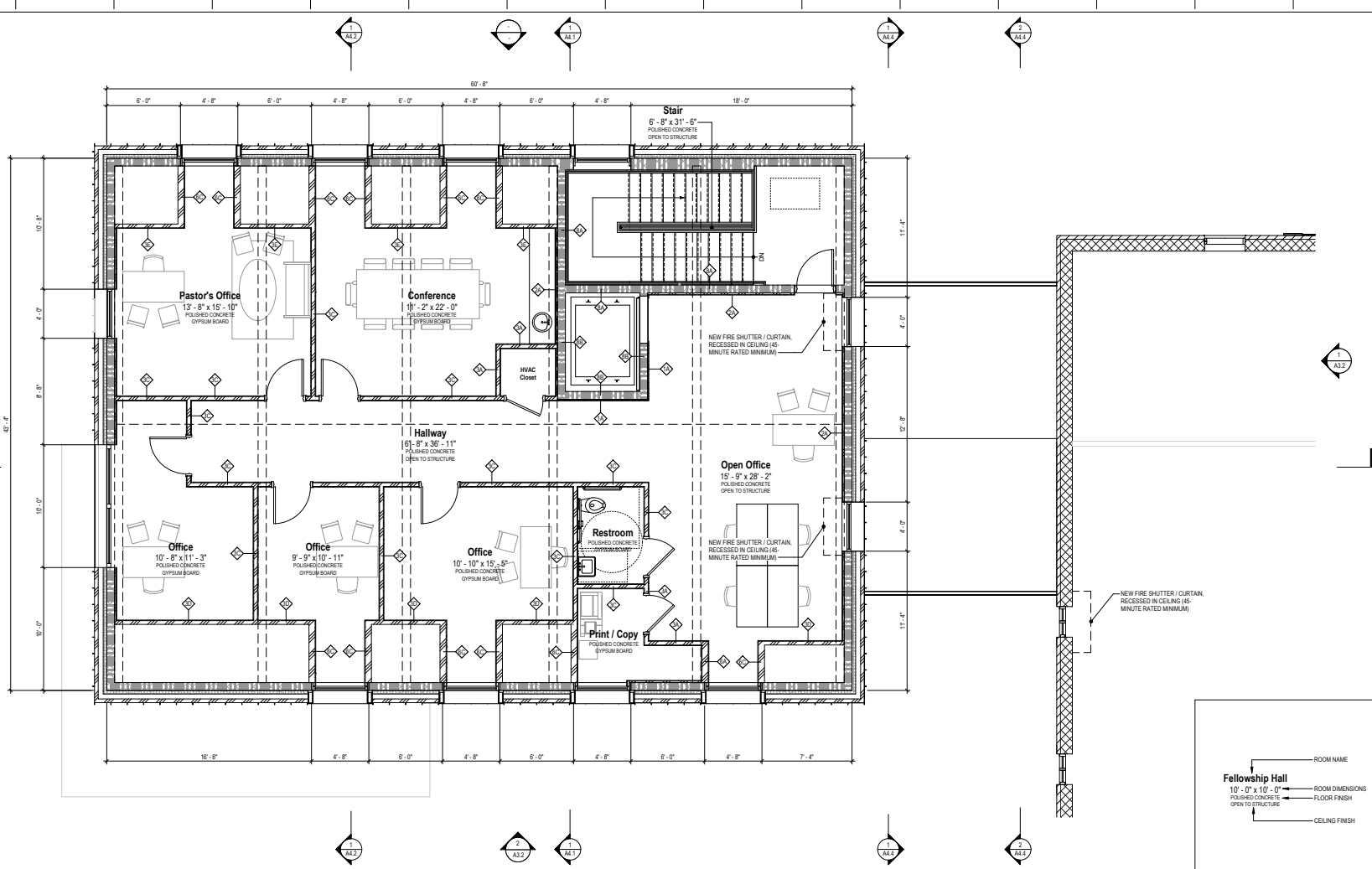
Project Phase: Design Development

Issue Date: 10.01.2021		
Revisions		
No.	Description	Date

Job Number: 19070

Upper Level Floor Plan - New Building

**A1.3**



**2 Upper Level Floor Plan - New Building**  
A1.3 - 1/4"

<p><b>Thin Furring (7/8" Steel Hat Channels) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 7/8" STEEL HAT CHANNELS. EXTEND FURRING AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Standard Furring (1 1/2" Steel Hat Channels) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 1 1/2" STEEL HAT CHANNELS. EXTEND FURRING AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Standard Partition (3 5/8" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Sound Attenuating Partition (3 5/8" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Sound Attenuating Partition (3 5/8" Steel Stud) to 9'-6"</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO 9'-6" A.F.F. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Standard Partition (6" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 6" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Partition (6" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 6" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Fire-Rated Masonry Wall (8" CMU) to Deck</b></p> <p>8" THICK 2-HOUR RATED CONCRETE MASONRY UNITS. EXTEND CONCRETE MASONRY UNITS TO DECK. SEAL PERIMETER AND PENETRATIONS WITH UL-LISTED FIRE RATING CALK.</p>
<p><b>Standard Partition (3 5/8" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Sound Attenuating Partition (3 5/8" Steel Stud) to 9'-6"</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO 9'-6" A.F.F. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Partition (3 5/8" Steel Stud) to 9'-6"</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 3 5/8" STEEL STUDS. EXTEND STUDS AND FINISH TO 9'-6" A.F.F. OR TO DECK, WHICHEVER CONDITION OCCURS FIRST. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Sound Attenuating Partition (3 5/8" Steel Stud) to 9'-6"</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 3 5/8" STEEL STUDS WITH SOUND ATTENUATING BATT INSULATION. EXTEND STUDS, INSULATION, AND FINISH TO 9'-6" A.F.F. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Standard Partition (6" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EACH SIDE OF 6" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>One-Sided Partition (6" Steel Stud) to Deck</b></p> <p>5/8" GYPSUM BOARD ON EXPOSED SIDE OF 6" STEEL STUDS. EXTEND STUDS AND FINISH TO DECK. SEAL PERIMETER AND PENETRATIONS.</p>	<p><b>Fire-Rated Masonry Wall (8" CMU) to Deck</b></p> <p>8" THICK 2-HOUR RATED CONCRETE MASONRY UNITS. EXTEND CONCRETE MASONRY UNITS TO 12'-0" A.F.F. OF UPPER LEVEL. SEAL PERIMETER AND PENETRATIONS WITH UL-LISTED FIRE RATING CALK.</p>	

**1 Wall Legend**  
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11-E-21-SU  
10/27/2021

PLANNING FILE #: 11-E-21-SU

A Proposed Renovation & New Building for:

**Redeemer Church**  
1642 Highland Avenue  
Knoxville, Tennessee 37916



Project Phase: Design Development

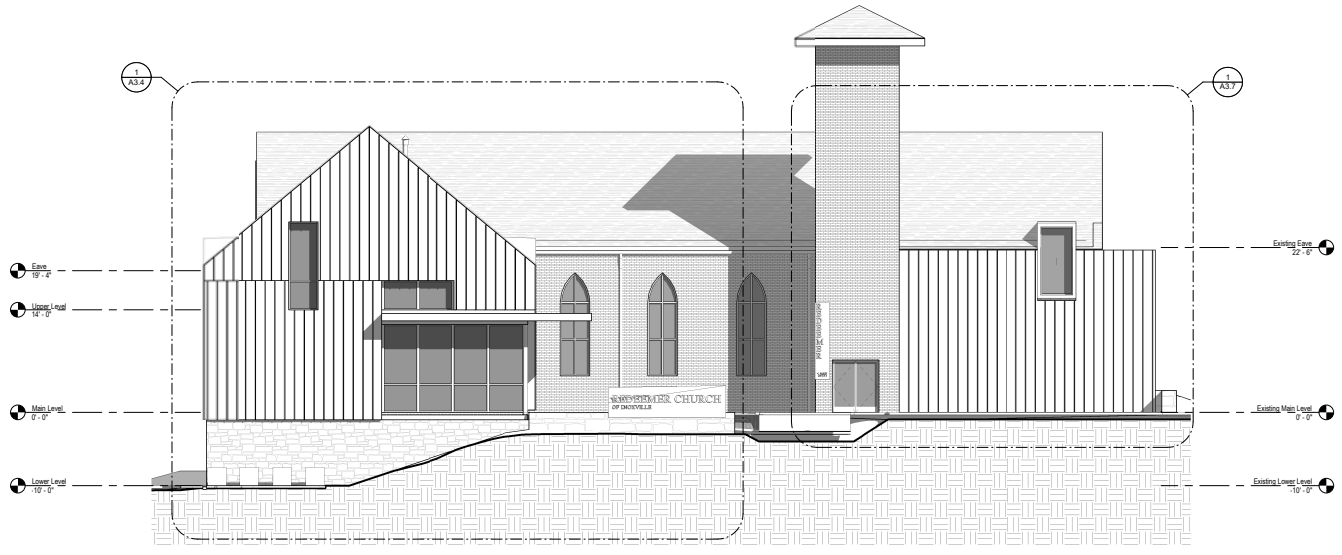
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Revisions	
No.	Description

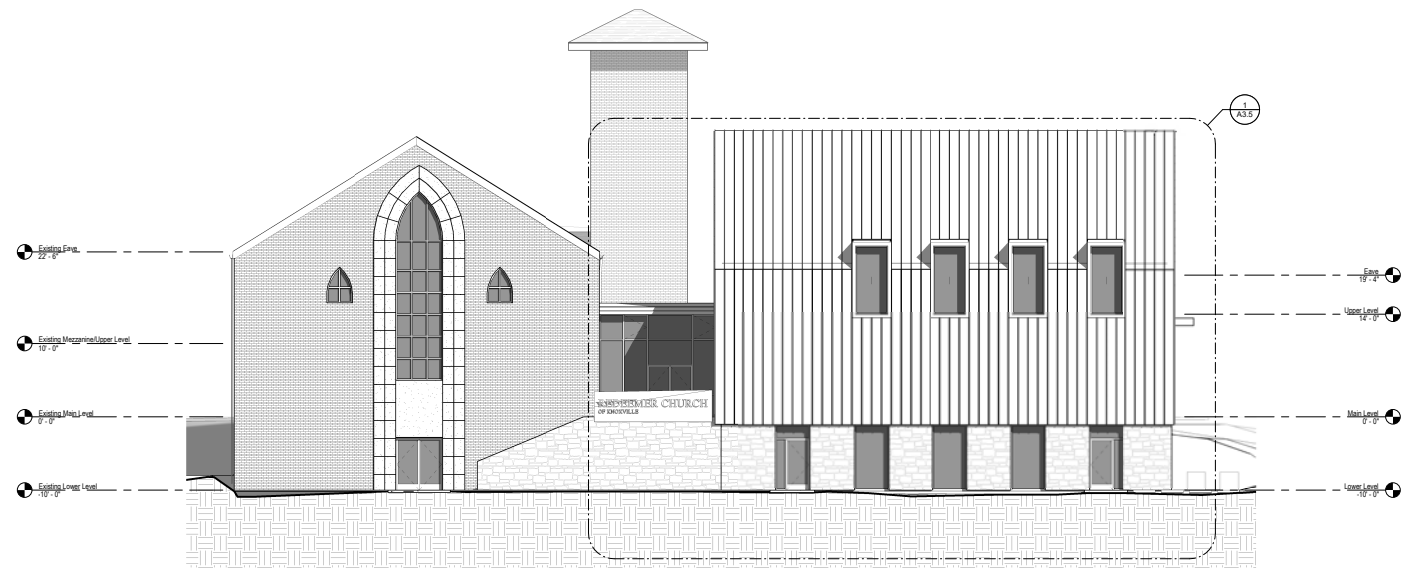
Job Number: 19070

Building Elevations - Campus

**A3.1**



2 Seventeenth (West) Elevation - Campus  
1/8" = 1'-0"



1 Highland (North) Elevation - Campus  
1/8" = 1'-0"

Date: 10/27/21 11:52 AM  
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File: C:\Users\jagor\Documents\19070\_RCD\_BuildingElevations.rvt

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A Proposed Renovation & New Building for:  
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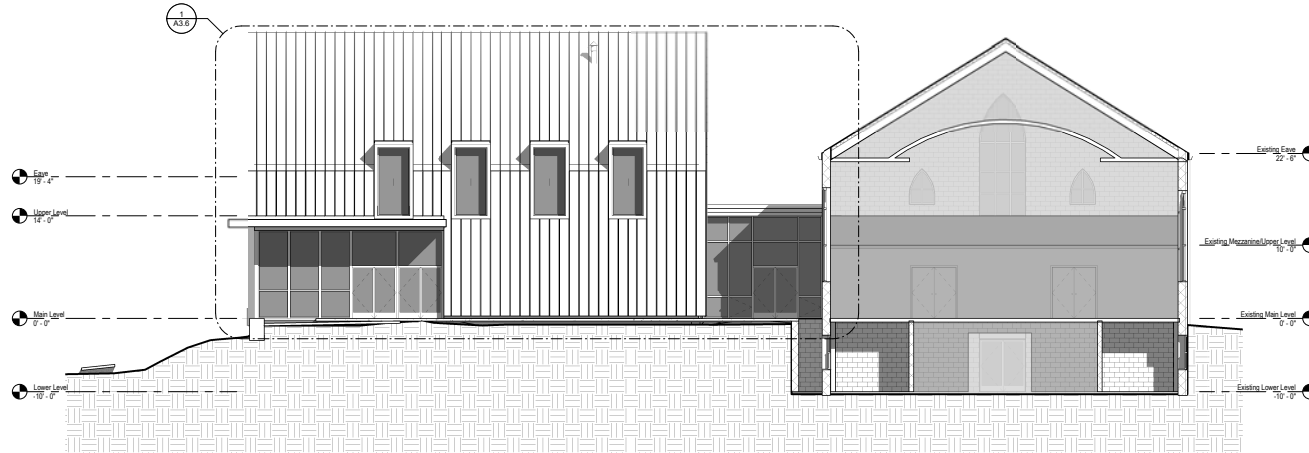
Project Phase: Design Development

Issue Date: 10.01.2021

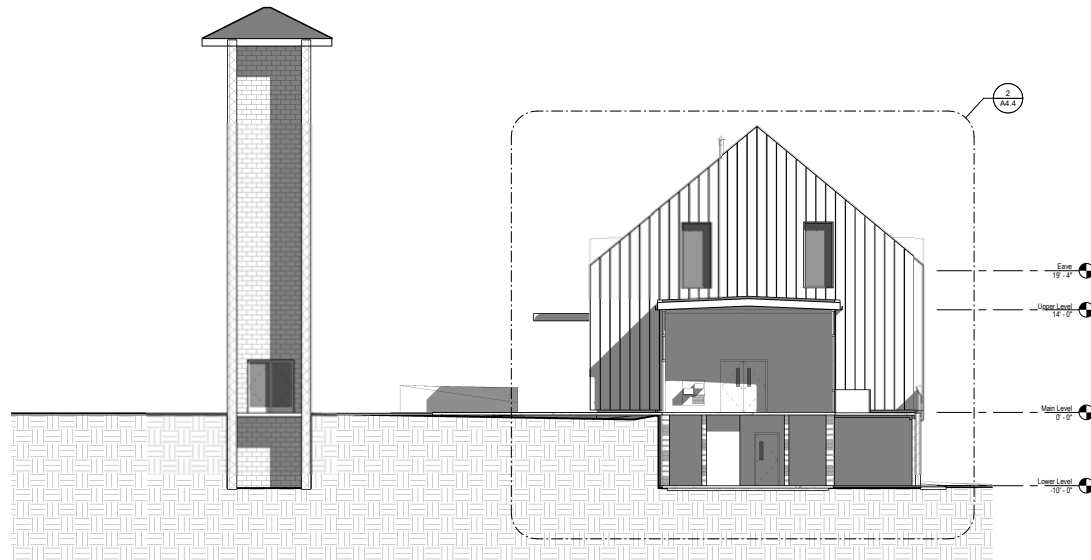
Revisions	
No.	Description

Job Number: 19070  
Building Elevations - Campus

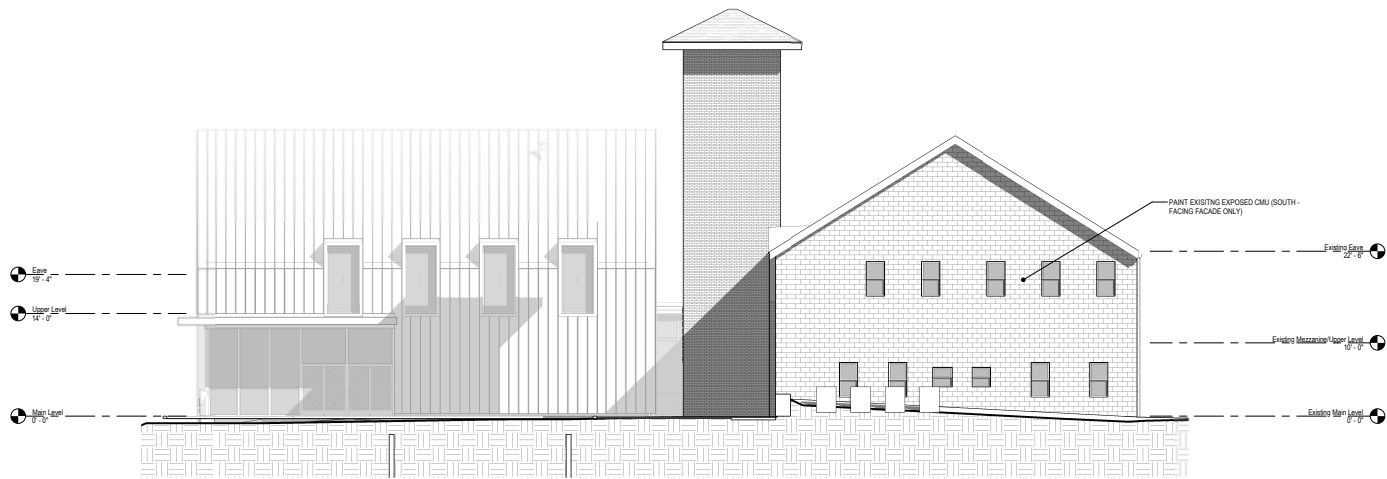
**A3.2**



**2** Lawn (South) Elevation - Campus  
18' x 1'-0"



**1** Side (East) Elevation - Campus  
18' x 1'-0"



1 Alley (South) Elevation - Campus

18" = 1'-0"

Date: 10/27/2021 11:57 AM  
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 File: C:\Users\jpc@studiofourdesign.com\Documents\19070\_RCD\_Campus\19070.dwg

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A Proposed Renovation & New Building for:  
**Redeemer Church**  
 1642 Highland Avenue  
 Knoxville, Tennessee 37916



Project Phase: Design Development

Revisions		
No.	Description	Date

Job Number: 19070

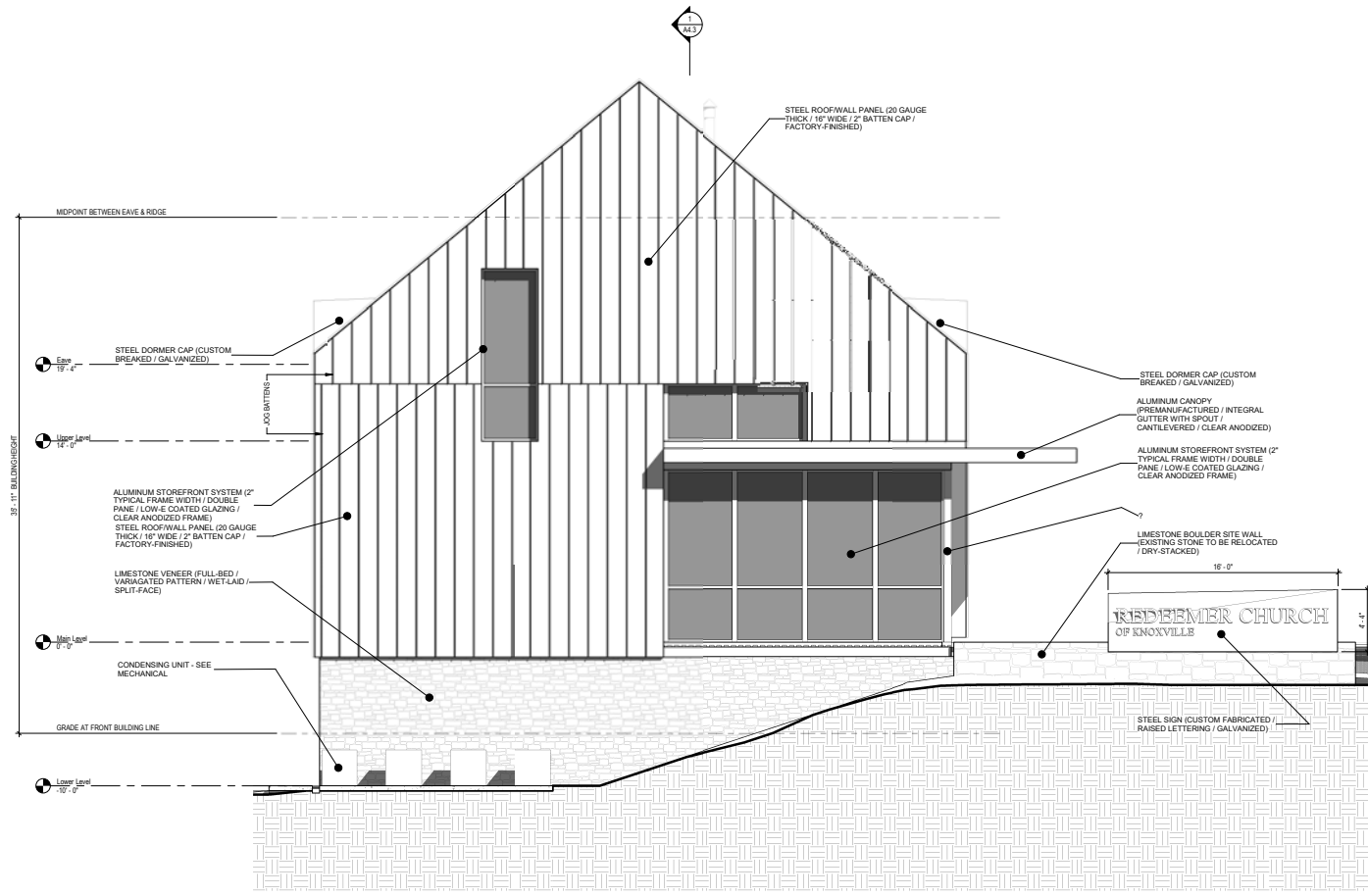
Building Elevations -  
 Campus

**A3.3**



Date: 10/20/2021 11:57:16 AM  
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1 Seventeenth (West) Elevation - New Building  
 1/4" = 1'-0"

11-E-21-SU  
 10/27/2021

PLANNING FILE #: 11-E-21-SU

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Project Phase: Design Development

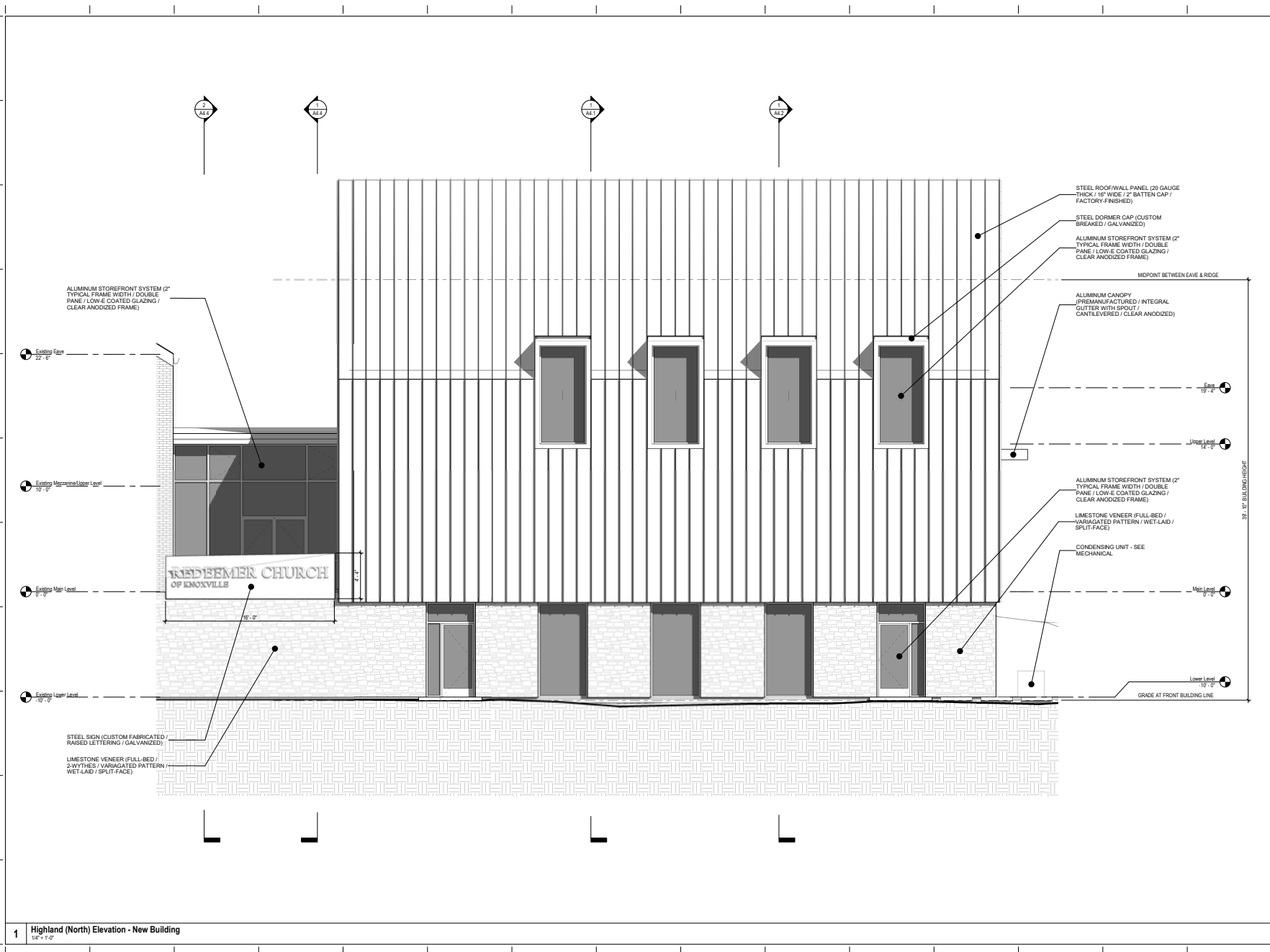
Issue Date: 10/01/2021		
Revisions		
No.	Description	Date

Job Number: 19070  
 Building Elevations - New Building

**A3.4**

DATE: 10/27/2021 11:52:29 AM  
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11-E-21-SU  
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Issue Date: 10.01.2021

No.	Description	Date

Job Number: 19070  
 Building Elevations - New Building

**A3.5**

1 Highland (North) Elevation - New Building  
 1/4" = 1'-0"

11-E-21-SU  
10/27/2021

PLANNING FILE #: 11-E-21-SU

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Knoxville, Tennessee 37916



Project Phase: Design Development

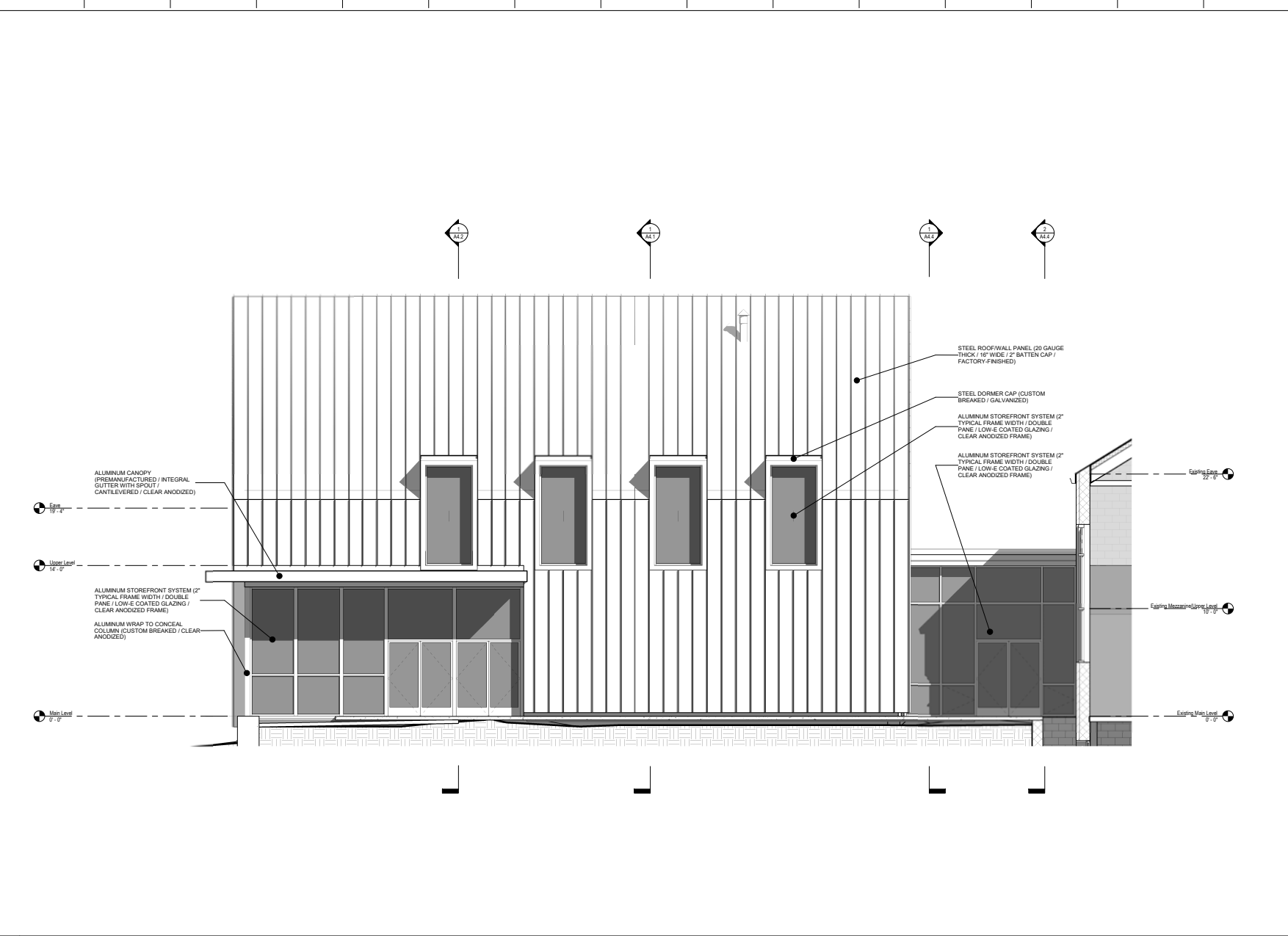
Issue Date: 10.01.2021		
Revisions		
No.	Description	Date

Job Number: 19070  
Building Elevations - New Building

**A3.6**

Date: 10/27/2021 11:57:32 AM  
 Checked By: RSC/AM  
 File: C:\Users\pgr\Documents\19070\_19070\_19070.dwg

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1 Lawn (South) Elevation - New Building  
1/4" = 1'-0"

11-E-21-SU  
10/27/2021

PLANNING FILE #: 11-E-21-SU

A Proposed Renovation & New Building for:  
**Redeemer Church**  
1642 Highland Avenue  
Knoxville, Tennessee 37916



Project Phase: Design Development

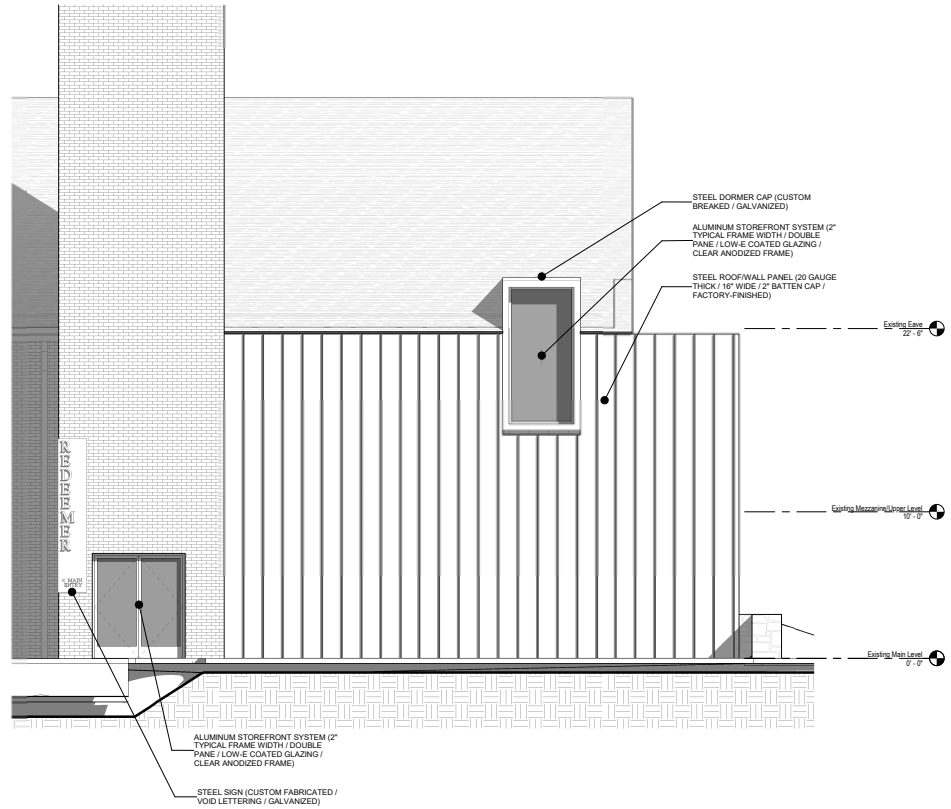
Issue Date: 10.01.2021

Revisions	
No.	Date

Job Number: 19070

Building Elevations -  
Existing Building Infill

**A3.7**



1 Seventeenth (West) Elevation - Existing Building Infill  
1/4" = 1'-0"

Date: 10/27/2021 11:45:24 AM  
Checked By: RSC/AM  
File: C:\Users\jg@studiofour.com\OneDrive\3803\_RCD\_16mp03\16mp03.rvt

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# Development Request

## DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

## SUBDIVISION

- Concept Plan
- Final Plat

## ZONING

- Plan Amendment
  - SP
  - OYP
- Rezoning

Aaron Jernigan

Studio Four Design, Inc.

Applicant Name

Affiliation

09.27.2021

11.10.2021

File Number(s)

Date Filed

Meeting Date (if applicable)

11-E-21-SU

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Aaron Jernigan

Studio Four Design, Inc.

Name

Company

414 Clinch Avenue

Knoxville

Tn

37902

Address

City

State

ZIP

865.523.5001 x241

ajernigan@s4dinc.com

Phone

Email

## CURRENT PROPERTY INFO

Redeemer Church of Knoxville, Inc.

1642 Highland Avenue

865.524.4552

Owner Name (if different)

Owner Address

Owner Phone

1642 Highland Avenue

094NG001

Property Address

Parcel ID

KUB

KUB

No

Sewer Provider

Water Provider

Septic (Y/N)

## STAFF USE ONLY

South side of Highland Ave, east side of S. Seventeenth St.

22,500 sqft

General Location

Tract Size

City  County

1st  
District

RN-5/NC  
Zoning District

Church  
Existing Land Use

Central City  
Planning Sector

MDR  
Sector Plan Land Use Classification

N/A  
Growth Policy Plan Designation

## DEVELOPMENT REQUEST

- Development Plan   
  Use on Review / Special Use   
  Hillside Protection COA  
 Residential   
  Non-Residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) Addition to existing church

Related City Permit Number(s)

## SUBDIVISION REQUEST

Proposed Subdivision Name \_\_\_\_\_

Unit / Phase Number \_\_\_\_\_
  Combine Parcels   
  Divide Parcel   
 Total Number of Lots Created \_\_\_\_\_

Other (specify) \_\_\_\_\_

Attachments / Additional Requirements

Related Rezoning File Number

## ZONING REQUEST

Zoning Change \_\_\_\_\_  
 Proposed Zoning

Plan Amendment Change \_\_\_\_\_  
 Proposed Plan Designation(s)

Proposed Density (units/acre) \_\_\_\_\_ Previous Rezoning Requests \_\_\_\_\_

Other (specify) \_\_\_\_\_

Pending Plat File Number

## STAFF USE ONLY

### PLAT TYPE

- Staff Review   
  Planning Commission

### ATTACHMENTS

- Property Owners / Option Holders   
  Variance Request

### ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)  
 Use on Review / Special Use (*Concept Plan*)  
 Traffic Impact Study  
 COA Checklist (*Hillside Protection*)

Fee 1	Total
0402	\$450
Fee 2	
Fee 3	

## AUTHORIZATION

*By signing below, I certify I am the property owner, applicant or the owners authorized representative.*

  
 Applicant Signature

Aaron Jernigan

09.24.2021

Please Print

Date

865.523.5001 x241

ajernigan@s4dinc.com

Phone Number

Email

  
 Staff Signature

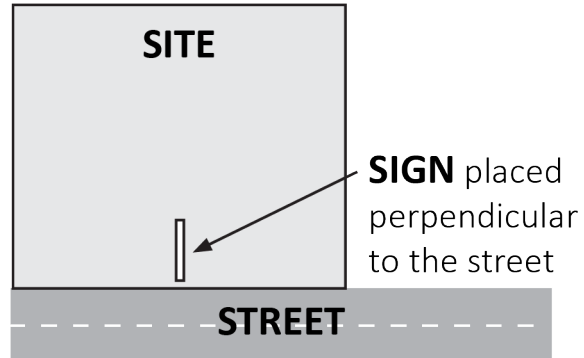
Michael Reynolds

9/27/2021 ak

Please Print

Date

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

***The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:***

\_\_\_\_\_ and \_\_\_\_\_  
 (applicant or staff to post sign) (applicant to remove sign)

**Applicant Name:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**File Number:** \_\_\_\_\_

- Sign posted by Staff
- Sign posted by Applicant