

# SUBDIVISION REPORT - CONCEPT

► **FILE #:** 11-SB-21-C

**AGENDA ITEM #:** 24

**AGENDA DATE:** 11/10/2021

► **SUBDIVISION:** STATION SOUTH

► **APPLICANT/DEVELOPER:** URBAN ENGINEERING, INC.

OWNER(S): Tailwater South, LLC

TAX IDENTIFICATION: 95 O D 001, 002, AND 003

[View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 1402 , 1412, & 1418 Island Home Ave.

► **LOCATION:** Southeast corner of the intersection of Island Home Avenue and McCormick Street

SECTOR PLAN: South City

GROWTH POLICY PLAN: N/A (Within City limits)

WATERSHED: Tennessee River

► **APPROXIMATE ACREAGE:** 24156 square feet

► **ZONING:** SW-4 (South Waterfront, City View, Campus Cove, and Quay Village) District

► **EXISTING LAND USE:** Vacant land

► **PROPOSED USE:** Townhouses

SURROUNDING LAND USE AND ZONING: North: Vacant land - SW-4 (South Waterfront, City View, Campus Cove, and Quay Village)  
South: Vacant land - RN-2 (Single-Family Residential Neighborhood) and HP (Hillside Protection Overlay)  
East: Construction office facility - SW-4 (South Waterfront, City View, Campus Cove, and Quay Village)  
West: Equipment storage and vacant land - SW-4 (South Waterfront, City View, Campus Cove, and Quay Village)

► **NUMBER OF LOTS:** 20

SURVEYOR/ENGINEER: Chris Sharp, P.E. / Urban Engineering, Inc.

ACCESSIBILITY: This property is approximately 370 feet from James White Parkway. Properties to the west and south are mostly single family detached dwellings. The property to the north abuts the Tennessee River and is vacant land. There is a construction office with storage buildings to the east between this property and James White Parkway.

► **SUBDIVISION VARIANCES REQUIRED:** **VARIANCES:**  
1) Reduce the minimum lot width from 25 ft to 18 ft for lots 1, 2, 5, 6, and 7.  
2) Reduce the required right-of-way radius at the intersection of Island Home Avenue and McCormick Street from 75 ft to 0 ft.

## ALTERNATIVE DESIGN STANDARDS REQUIRING PLANNING

**COMMISSION APPROVAL:**

**1) Reduce the minimum lot width from 25 ft to 20 ft for the remaining lots (lots 3, 4, and 8-20).**

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**STAFF RECOMMENDATION:**

- **Approve the requested variance based on the recommendations from the City of Knoxville Department of Engineering.**

**Approve the Concept Plan subject to 5 conditions:**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
2. Meeting all other applicable requirements of the City of Knoxville Department of Engineering.
3. Prior to certification of the first final plat for the subdivision, establishing a property owner's association that will be responsible for the maintenance of the common areas, recreational amenities and drainage system.
4. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
5. Submitting to Planning Commission staff prior to final plat review by the Planning Commission, the certification of design plan approval form as required by the Knoxville-Knox County Subdivision Regulations.

**COMMENTS:**

This proposal is for a 20-lot subdivision off of Island Home Avenue. Individual lots line the street frontages and the southern lot line, and parking is centrally located on the site. Townhouse units are located on the individual lots and are separated by firewalls. Townhouses are to be sold to individual owners. Amenities include a dog park in the southeast corner of the site.

The development is located in the SW-4 (South Waterfront, City View, Campus Cove, and Quay Village) district. All development plans within the form-based districts require review and approval by the Administrative Review Committee (ARC), which includes a multi-department review. The site plans, landscaping plans, and building plans were approved by the ARC in June 2021.

The proposed lots meet the SW-4 (South Waterfront, City View, Campus Cove, and Quay Village) district standards and the development is in compliance with the zone's requirements and with the Engineering Department's requirements. The road improvements and right-of-way dedication are in compliance with Article 7.1.5. (Streetscape Standards) in the South Waterfront Zoning District. A variance is required to reduce the intersection right-of-way radius from 75 ft to 0 ft because the South Waterfront streetscape standards are silent on this standard.

The Subdivision Regulations require a minimum lot width of 25 feet, but allow the Planning Commission to consider a 20-foot lot width as an alternative design standard if guest parking is provided. On-street parking is plentiful in this area and can count towards guest parking for this development, so the applicant is submitting 20-foot lots under the alternative design standards. Lots less than 20 feet wide require a variance from the Subdivision Regulation standards. Since the SW-4 zone does not have a minimum lot size requirement, the proposed lot widths are in compliance with zoning requirements and staff is recommending approval of the lot width variances.

The City of Knoxville requires sidewalks to be installed along road frontages when a property is developed or redeveloped, so sidewalks along Island Home Avenue and McCormick Street are required. The site design utilizes pervious pavers in the parking area for stormwater detention.

**ESTIMATED TRAFFIC IMPACT:** 225 (average daily vehicle trips)

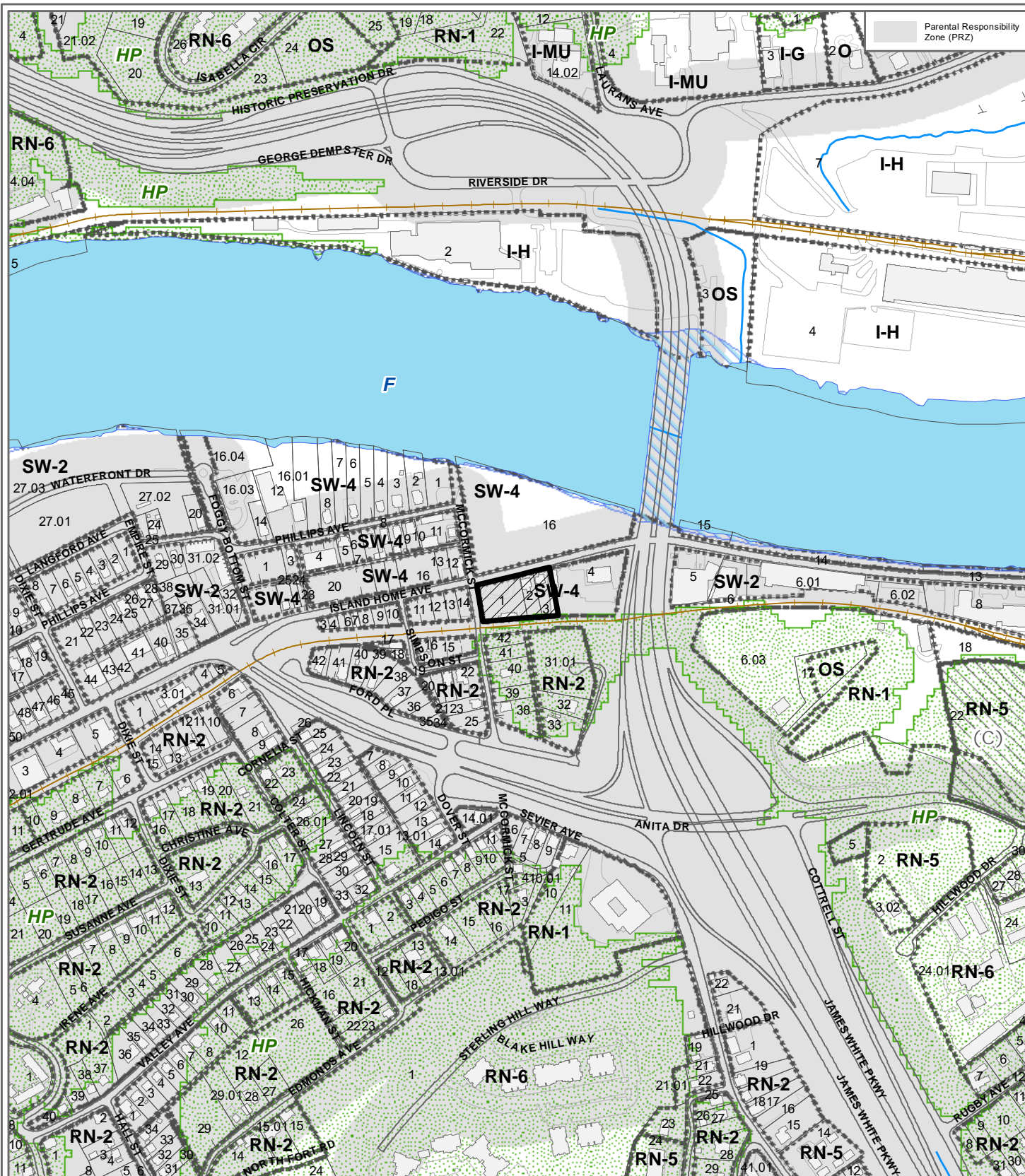
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

**ESTIMATED STUDENT YIELD:** 2 (public school children, grades K-12)

Schools affected by this proposal: South Knoxville Elementary, South Doyle Middle, and South Doyle High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

Knoxville-Knox County Planning Commission's approval or denial of this request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court appeal hearing will depend on when the appeal application is filed.



**11-SB-21-C  
CONCEPT PLAN**

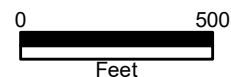


Approval of Concept Plan

Original Print Date: 10/14/2021      Revised:  
Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

Subdivision: Station South

Map No: 95  
Jurisdiction: City

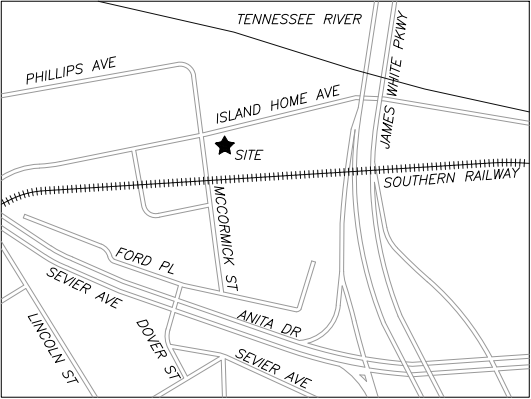


CONCEPT PLAN

U.E.I. PROJECT NO. 2102003

STATION SOUTH

SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TENNESSEE 37920  
WARD NO. 26, CITY BLOCK NO. 26026  
CLT MAP 95, PARCELS 1,2,3



LOCATION MAP

OWNER:  
TAILWATER SOUTH, LLC.  
813 SOUTH NORTHSORE DRIVE, SUITE 104  
KNOXVILLE, TN 37919  
(865) 588-8663



SITE ENGINEER:  
URBAN ENGINEERING, INC.  
CHRIS SHARP  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37934  
(865) 966-1924

SPECIFICATIONS  
EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP  
AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS  
PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS  
AND STANDARDS.

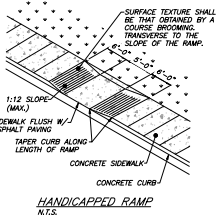
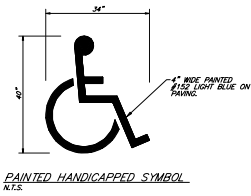
ELECTRICAL - AS DIRECTED BY KUB  
GAS - AS DIRECTED BY KUB  
WATER - AS DIRECTED BY KUB  
CABLE TV - AS DIRECTED BY COMCAST  
TELEPHONE - AS DIRECTED BY AT&T  
CITY OF KNOXVILLE - AS PER CITY OF KNOXVILLE  
STANDARDS AND SPECIFICATIONS

SHEET INDEX

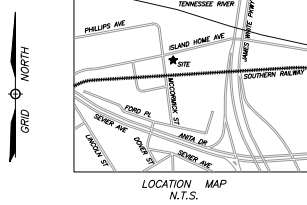
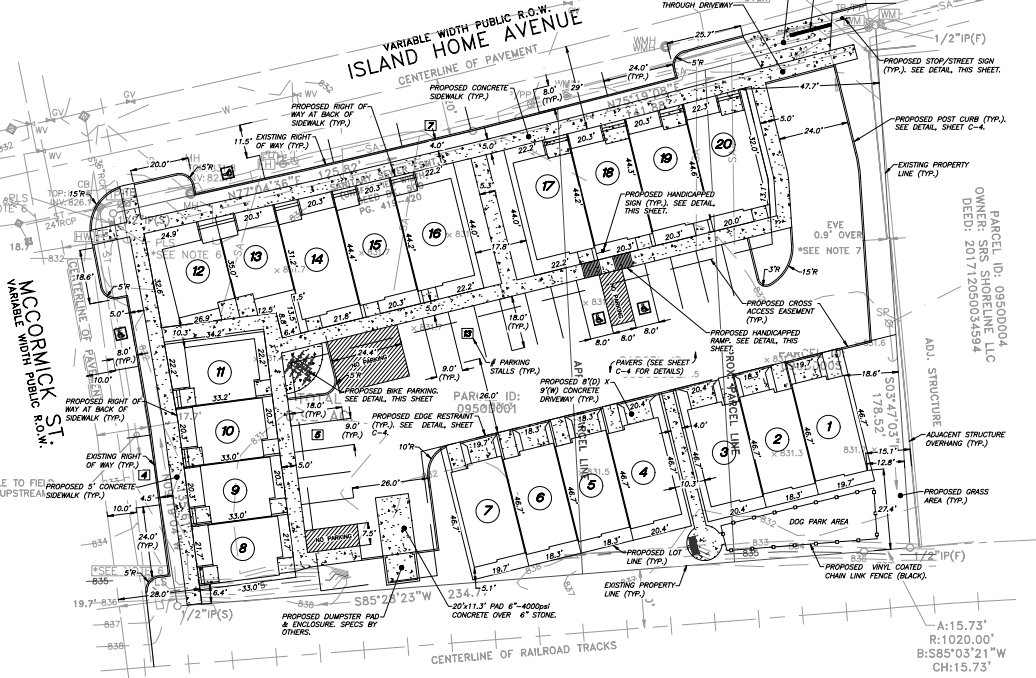
<u>TITLE</u>	<u>SHEET</u>
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MPC FILE# 11-SB-21-C

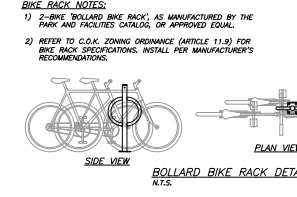
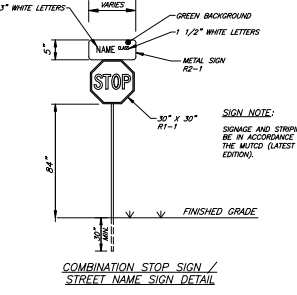
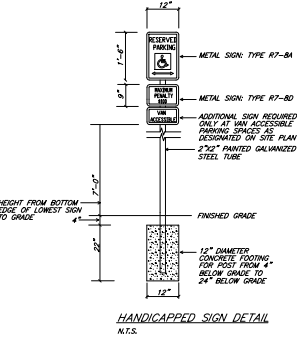
ISSUE NO.	DATE	DESCRIPTION



SUBDIVISION VARIANCE REQUEST:  
1) REDUCE THE MINIMUM LOT WIDTH FROM 20' TO 18'.



- SITE PLAN NOTES:**
- 1) THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER MAINS, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TOWN ONE-CALL PRIOR TO ANY EXCAVATION WORK TO VERIFY INFORMATION SHOWN AND DETERMINE THE LOCATION OF THE UTILITY SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
  - 2) SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MUTCD (LATEST EDITION).
  - 3) STRIPES ARE PER CITY OF KNOXVILLE SW-4 ZONING AND ARE AS FOLLOWS:  
FRONT (MAX) - 10'  
FRONTAGE AT SETBACK (MIN.) - 50R  
SIDE (MAX) - 25'  
REAR (MIN.) - 5'
  - 4) BOUNDARY INFORMATION PER SURVEY PREPARED BY MATTHEW DAWSON RLS NO. 3050, DATED AUGUST 30, 2019.
  - 5) ALL CONCRETE WALKS SHALL BE BROOM FINISHED AND COMPLY WITH CURRENT ADA REQUIREMENTS.
  - 6) IT IS THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN PERMISSION FOR OFFSITE WORK.
  - 7) ANY NON ADA COMPLAINT RAMPS OR DAMAGED SIDEWALKS WILL BE REPLACED WITH COMPLAINT SIDEWALKS AS SHOWN. ALL NEW WALKS SHALL BE ADA COMPLAINT.
  - 8) NO LANDSCAPING SHALL BE INSTALLED WITHIN PUBLIC RIGHT OF WAY UNLESS A PERMISSIBLE USE AGREEMENT HAS BEEN OBTAINED AND APPROVED BY THE CITY OF KNOXVILLE. ALL LANDSCAPING SHALL COMPLY WITH ALL ASPECTS OF THE KNOXVILLE TREE PROTECTION ORDINANCE.
  - 9) ALL PROPOSED SIDEWALKS WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS. ALL WALKS ON PRIVATE PROPERTY SHALL BE PER PROJECT SPECIFICATIONS.
  - 10) ALL ASPHALT DAMAGED WITHIN PUBLIC R.O.W. SHALL BE REPAIRED PER THE CITY'S SPECIFICATIONS.
  - 11) A PLAT WILL BE RECORDED DURING THE PERMITTING PROCESS TO MOVE PROPERTY LINES AND TO DEDICATE THE PEDESTRIAN ACCESS EASEMENT SHOWN HEREON.
  - 12) PARKING SUMMARY: RESERVED AND SHARED  
MAXIMUM OF 3 PARKING SPACES PER 1,000 SQUARE FEET AND MAXIMUM OF 2 PARKING SPACES PER RESIDENTIAL UNIT.  
TOTAL UNITS = 20  
TOTAL BUILDING AREA = 24,140 S.F.  
REQUIRED BICYCLE PARKING SPACES = 3  
TOTAL VEHICULAR SPACES PROVIDED (ONSITE) = 25 (INCLUDING GARAGES)  
TOTAL VEHICULAR SPACES PROVIDED (STREET PARKING) = 11
  - 13) LANDSCAPING SHALL COMPLY WITH THE CITY OF KNOXVILLE'S TREE PROTECTION ORDINANCE.
  - 14) REFER TO CLAS ZONING ORDINANCE (ARTICLE 11.8) FOR BIKE RACK SPECIFICATIONS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

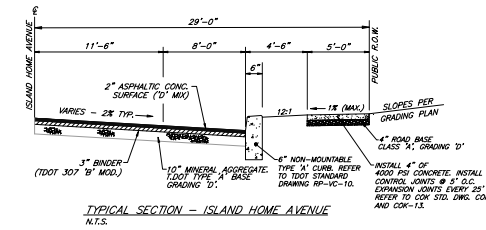
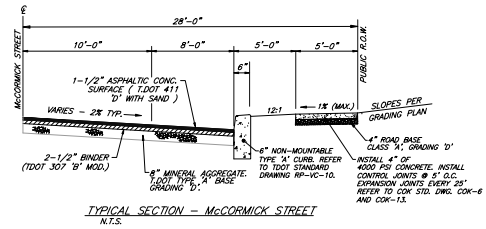


INDIVIDUAL LOT SUMMARY						
LOT NO.	TOTAL AREA (S.F.)	OPEN SPACE (S.F.)	%	FLOOR AREA (S.F.)	INAR	BUILDING COVERAGE (%)
1	918	303	33.0	2,011	2.19	615
2	856	236	27.6	2,011	2.35	620
3	953	338	35.5	2,011	2.11	615
4	953	338	35.5	2,011	2.11	615
5	856	236	27.6	2,011	2.35	620
6	856	236	27.6	2,011	2.35	620
7	918	303	33.0	2,011	2.19	615
8	715	252	35.2	824	1.15	463
9	671	204	30.4	824	1.23	467
10	671	204	30.4	824	1.23	467
11	747	284	38.0	824	1.10	463
12	874	411	47.0	967	1.11	463
13	776	313	40.3	967	1.28	463
14	926	242	26.1	1,464	1.58	684
15	900	214	23.8	1,464	1.63	686
16	977	297	30.5	1,464	1.50	686
17	978	292	29.9	1,464	1.50	686
18	900	214	23.8	1,464	1.63	686
19	904	218	24.1	1,464	1.62	686
20	981	300	30.6	1,464	1.49	681

LOT SUMMARY (OVERALL)	
TOTAL AREA	0.92-ACRE (40,075 S.F.)
RIGHT OF WAY DEDICATION	0.09 ACRE (3,769 S.F.)
TOTAL AREA AFTER DEDICATION	0.83 ACRE (36,306 S.F.)
TOTAL FEE SIMPLE LOTS AREA	0.40 ACRE (17,320 S.F.)
PRIVATE RIGHT OF WAY AREA	0.28 ACRE (12,195 S.F.)
OPEN SPACE*	0.44 ACRE (19,040 S.F.)-52.4%

\*OPEN SPACE AREA SHOWN IS THE AREA OUTSIDE OF THE PROPOSED LOTS.

SITE SUMMARY	
CURRENT USE	VACANT
PROPOSED USE	RESIDENTIAL
ZONING	SW-4
TOTAL AREA	0.92-ACRE
RIGHT OF WAY DEDICATION	0.09 ACRE
TOTAL AREA AFTER DEDICATION	0.83 ACRE
BUILDING COVERAGE	11,801 S.F.
PERMEABLE PAVEMENT AREA	10,650 S.F.
TOTAL FLOOR AREA	28,553 S.F.
FLOOR AREA RATIO	0.82
FLATWORK / CONCRETE	4,633 S.F.
FINISH AREA	8,946 S.F.
TOTAL IMPERVIOUS AREA	16,534 S.F.
PERCENT IMPERVIOUS	45.7%
TOTAL NUMBER OF LOTS	20
TOTAL BIKE PARKING SPOTS	7



**MPC FILE# 11-SB-21-C**  
SHEET C-2  
**SITE PLAN**  
**SITE ADDRESS:** ISLAND HOME AVENUE, KNOXVILLE, TN 37920  
**CITY OF KNOXVILLE** KNOX CO., TN  
WARD NO. 26 CITY BLOCK NO. 26062  
CLT MAP 95 INSERT O GROUP D PARCELS 1,2,3  
SCALE: 1"=20' AUGUST 19, 2021

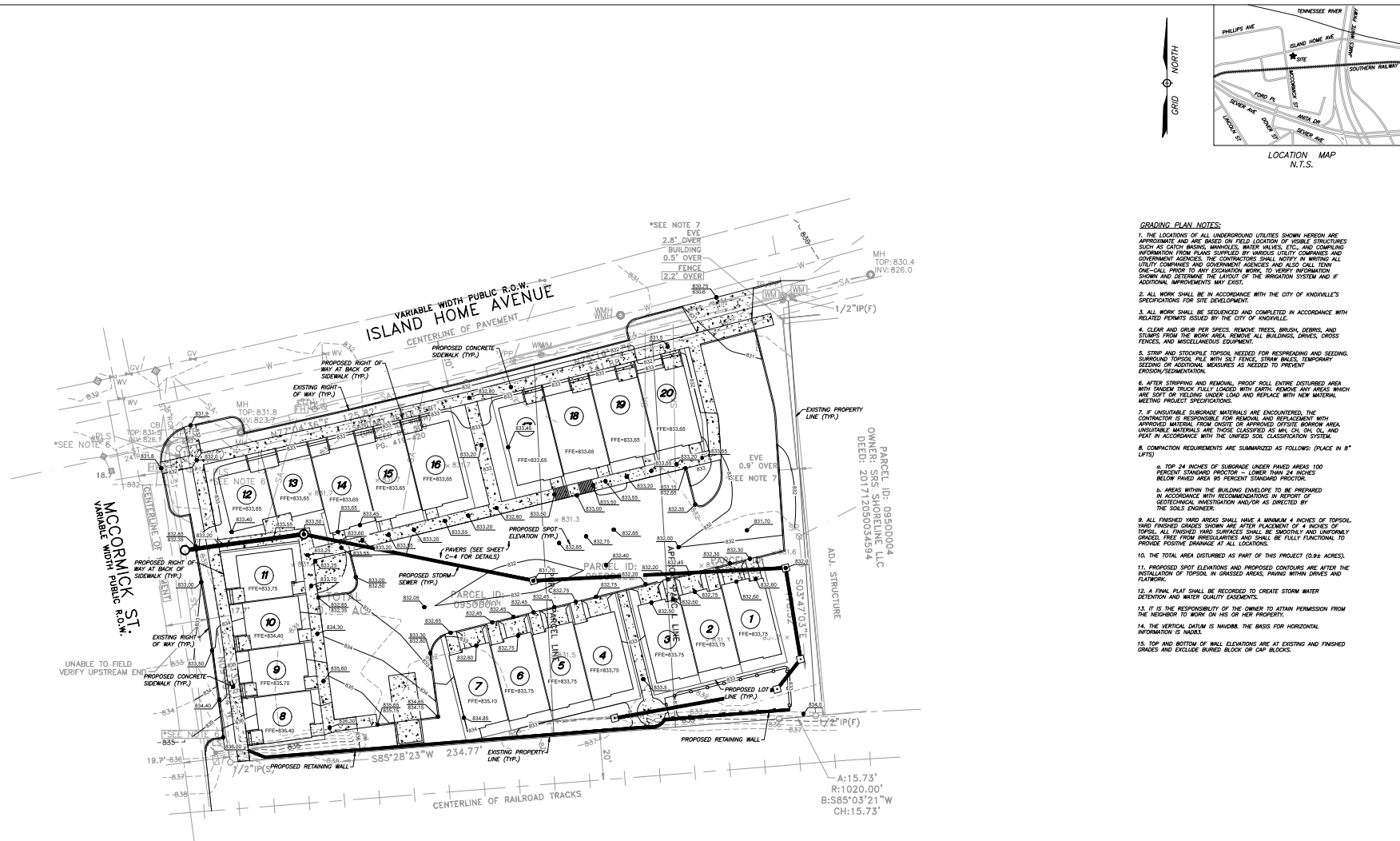
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(865) 588-8663

**URBAN ENGINEERING, INC.**  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37922  
(865) 966-1924

REVISION	DATE	DESCRIPTION	BY	OWN	CLM	CHK	GAS	DATE	OWN	CLM	CHK	GAS	DATE







GRADING PLAN NOTES:

1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUBMITTED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TOWN ONE-CALL PRIOR TO ANY EXCAVATION WORK TO VERIFY INFORMATION SHOWN AND OBTAIN THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.
3. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH RELATED PERMITS ISSUED BY THE CITY OF KNOXVILLE.
4. CLEAR AND GRUB PER SPEC: REMOVE TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
5. STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESEEDING AND SEEDING. SURROUND TOPSOIL PILE WITH SILT FENCE, STRAW BALES, TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
6. AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TAVERN TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR YIELDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
7. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM CRUSHED OR APPROVED OFFSITE BORROW AREA. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, CL, AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
8. COMPACTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN 8" LIFTS)
  - a. TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD PROCTOR - LOWER THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
  - b. AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY SOils ENGINEER.
9. ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTH AND UNIFORM. GRADES FREE FROM IRREGULARITIES AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
10. THE TOTAL AREA DISTURBED AS PART OF THIS PROJECT (0.98 ACRES).
11. PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS, PAVING WITHIN DRIVES AND FLATWORK.
12. A FINAL PLAN SHALL BE RECORDED TO CREATE STORM WATER DETENTION AND WATER QUALITY FACILITIES.
13. IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN PERMISSION FROM THE NEIGHBOR TO WORK ON HIS OR HER PROPERTY.
14. THE VERTICAL DATUM IS NAVD83. THE BASIS FOR HORIZONTAL INFORMATION IS MONUM.
15. TOP AND BOTTOM OF WALL ELEVATIONS ARE AT EXISTING AND FINISHED GRADES AND EXCLUDE BURIED BLOCK OR CAP BLOCKS.

SHEET C-3

GRADING PLAN

STATION SOUTH

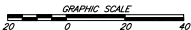
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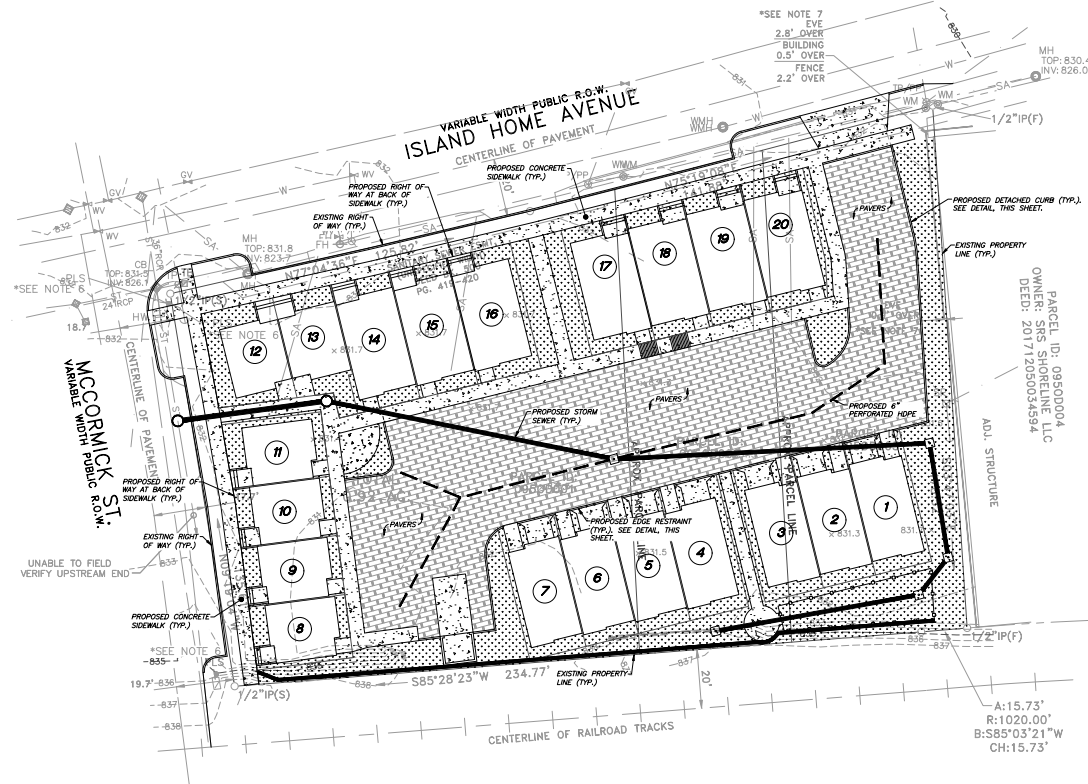
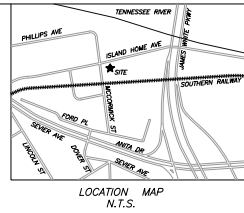
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DWN: CLM CHK: GAS DWD: NO. 2102003

MPC FILE# 11-SB-21-C



REVISION	DATE	DESCRIPTION	BY

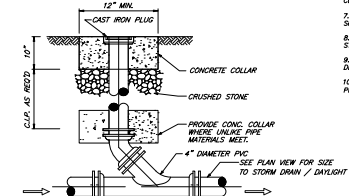


**PERMEABLE PAVEMENT NOTES:**

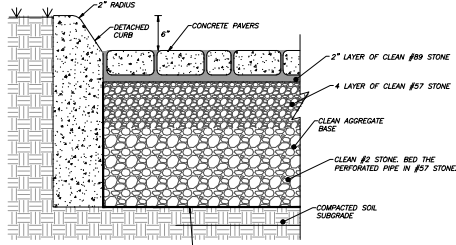
- 1) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY HANDS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL THEM OUT-CALL PRIOR TO ANY EXCAVATION WORK TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
- 2) PERMEABLE PAVEMENT SHALL BE AQUIFERY OR EQUIVALENT AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 3) PAVEMENT DRAINAGE SHALL BE 6" PERFORATED HOPE (SDR 17) UNLESS OTHERWISE NOTED.
- 4) INSTALL POST CURB / EDGE RESTRAINT FULL DEPTH (TO SUBGRADE).
- 5) ALL PIPING UNDER OR WITHIN 3' OF PROPOSED ASPHALT OR CONCRETE SHALL BE BACKFILLED WITH STONE.
- 6) PAVEMENT SHALL BE LIGHT COLORED/HIGH ALBEDO PAVEMENT WITH A SOLAR REFLECTANCE OF AT LEAST 50%.

**DRAINAGE NOTES:**

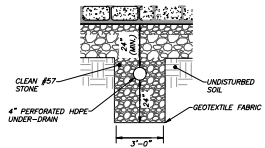
1. CORRUGATED POLYETHYLENE PIPE (HDPE) SHALL BE ASBESTOS M-252/M-254 TYPE 5 WITH SOIL-TIGHT JOINTS WITH RUBBER GASKET CONFORMING TO ASTM F477 (HANDICAP H-2 OR AHS H-12 ARE ACCEPTABLE PRODUCTS). REFER TO TDOT STANDARD DWG D-108-2 FOR ADDITIONAL INSTALLATION REQUIREMENTS.
2. ALL CONCRETE PIPE SHALL BE CLASS III.
3. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION CONTROL HANDBOOK AND THE RULES AND REGULATIONS OF THE CITY OF KNOXVILLE.
4. ALL PIPING UNDER OR WITHIN 3' OF ASPHALT DRIVES SHALL BE UNFILLED WITH STONE.
5. ALL CATCH BASINS, AREA DRAIN GRATES AND MANHOLE COVERS REQUIRE PERMANENTLY CAST ENVIRONMENTAL MESSAGE, I.E. "NO DUMPING, DRAIN TO INVERT".
6. CASTINGS FOR THE PROPOSED STRUCTURES ARE AS FOLLOWS:  
STRUCTURE MH-1: V-104S FRAME, 1040 COVER  
STRUCTURE CSI: WELDED BWP GRATE  
CSI-CB1: V-4074-2
7. ALL MATERIALS AND INSTALLATION METHODS SHALL BE PER TDOT'S SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION. MATERIALS SHALL MEET:
8. POURED CONCRETE INVERTS SHALL BE INSTALLED IN ALL DRAINAGE STRUCTURES.
9. SEE SHEET C-XX FOR PRECAST CONCRETE CATCH BASIN AND GRATE DETAILS.
10. CONNECT DOWNSPOUTS FROM THE REARS OF LOTS 6 AND 15 TO PROPOSED 4" HOPE.



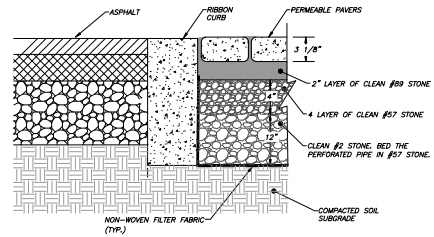
TYPICAL CLEANOUT DETAIL (STORM)  
N.T.S.



DETAIL C-1: DETACHED CURB WITH PAVERS



DETAIL C-2: PERFORATED PIPE TRENCH  
N.T.S.



DETAIL C-3: RIBBON CURB WITH PAVERS  
N.T.S.



MPC FILE# 11-SB-21-C

REVISION	DATE	DESCRIPTION	BY

SHEET C-4

**PAVER & DRAINAGE PLAN**

**STATION SOUTH**

SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TN 37920

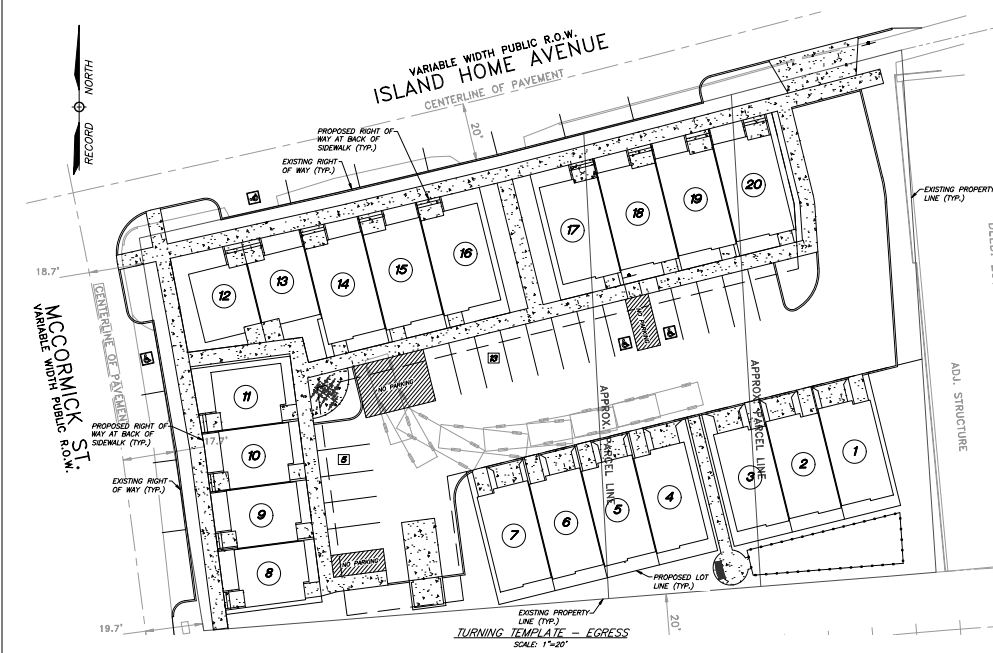
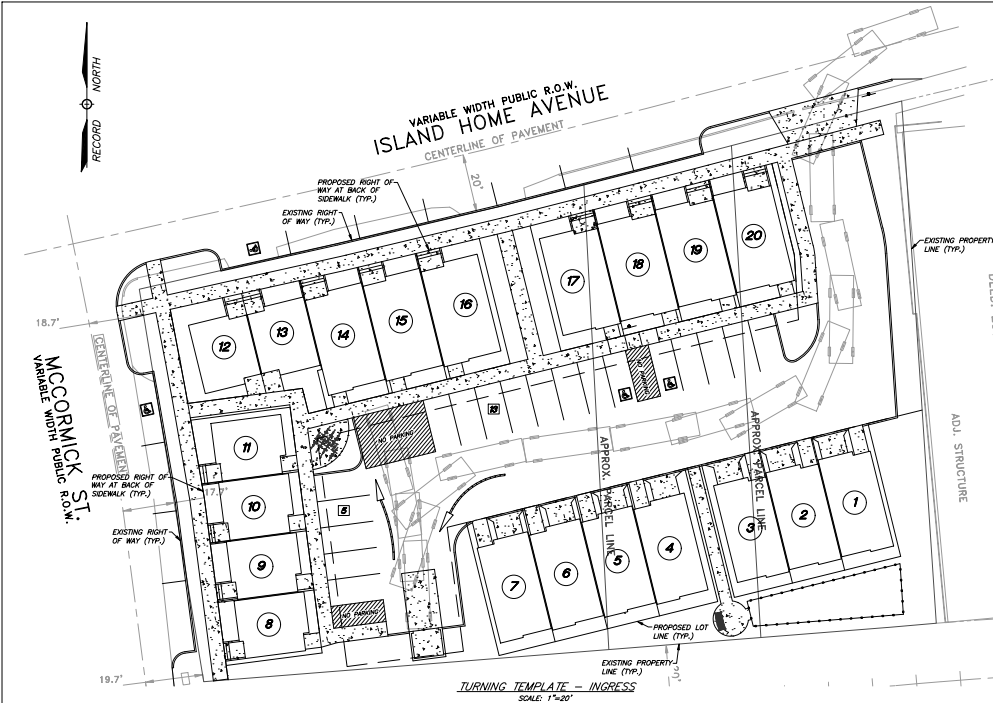
CITY OF KNOXVILLE KNOX CO., TN.  
WARD NO. 26 CITY BLOCK NO. 26062  
CLT MAP 95 INSERT O GROUP D PARCELS 1,2,3  
SCALE: 1"=20' AUGUST 19, 2021

OWNER/DEVELOPER:  
TAILWATER SOUTH, LLC.  
813 SOUTH NORTHSIDE DRIVE, SUITE 104  
KNOXVILLE, TN 37919  
(865) 588-8663

URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37922  
(865) 966-1924

OWN: CLM CHK: GAS DWG: NO. 2102003





VARIANCE REQUEST:  
REDUCE THE MINIMUM LOT WIDTH FROM 20' TO 18'

MPC FILE# 11-SB-21-C

SHEET C-5

TURING TEMPLATES & LOT LAYOUT  
STATION SOUTH

SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TN 37920  
CITY OF KNOXVILLE KNOX CO., TN  
WARD NO. 26 CITY BLOCK NO. 26062  
CLT MAP 95 INSERT O GROUP D PARCELS 1,2,3  
SCALE: AS NOTED MAY 20, 2021

OWNER/DEVELOPER:  
TAILWATER SOUTH, LLC.  
813 SOUTH NORTHSIDE DRIVE, SUITE 104  
KNOXVILLE, TN 37919  
(865) 588-8663

URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37922  
(865) 966-1924

REVISION	DATE	DESCRIPTION	BY	DWG. NO.
				21020003



# URBAN ENGINEERING, INC.

CIVIL ENGINEERS • LAND PLANNERS

October 21, 2021

Knoxville-Knox County Planning  
Michelle Portier, AICP  
Suite 403, City County Building  
400 Main Street  
Knoxville, TN 37902

**Re: Station South (11-SB-21-C)**

Dear Michelle:

The purpose of this letter is to respond to comments dated October 6, 2021.

1. The file number has been added to the drawings per comment.
2. Comment noted.
3. Comment noted.
4. Comment noted.
5. Please see Sheet C-2.
6. We show a detail on Sheet C-5 that contains the lot configuration without the proposed structures, etc. If we need to present differently, please let me know and we will gladly do so.

Engineering comments are noted. We did attach sight distance documentation along with correspondence related to the size of the trash truck. We acknowledge that there will be additional comments that need be resolved during permitting.

Please do not hesitate to contact me if you have questions or need additional information.

Sincerely,

Urban Engineering, Inc.

Chris Sharp, P.E.



# URBAN ENGINEERING, INC.

CIVIL ENGINEERS • LAND PLANNERS • LAND SURVEYORS

---

October 20, 2021

City of Knoxville Stormwater Engineering  
City County Building, Suite 480  
P.O. Box 1631  
Knoxville, TN 37901

**Re: Station South (11-SB-21-C)**

Dear Sir or Madam:

Sight distance was measured at the proposed entrance location show on Sheet C-1 of the attached submittal. Island Home Avenue is a local collector with a posted speed limit of 35 MPH. Per AASHTO, the required intersection sight distance for a vehicle turning left onto the thru road is 390 feet. The required intersection sight distance for a motorist turning right is 335 feet. The minimum stopping sight distance for a 35 MPH roadway is 250 feet.

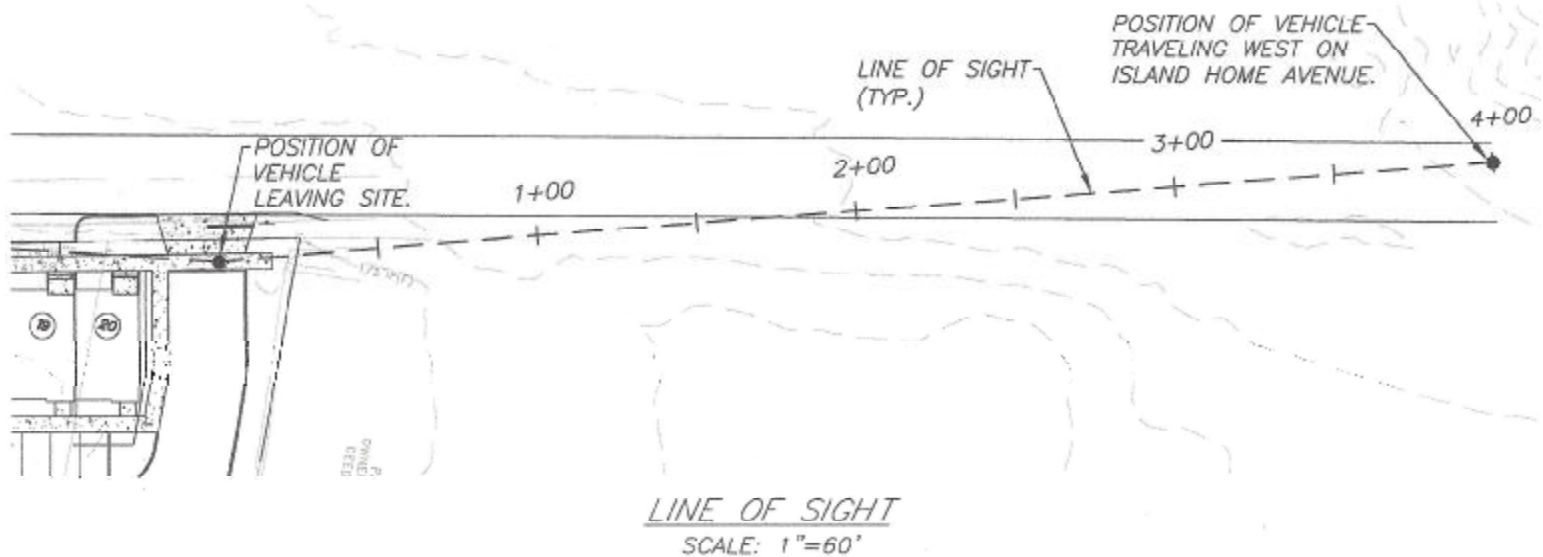
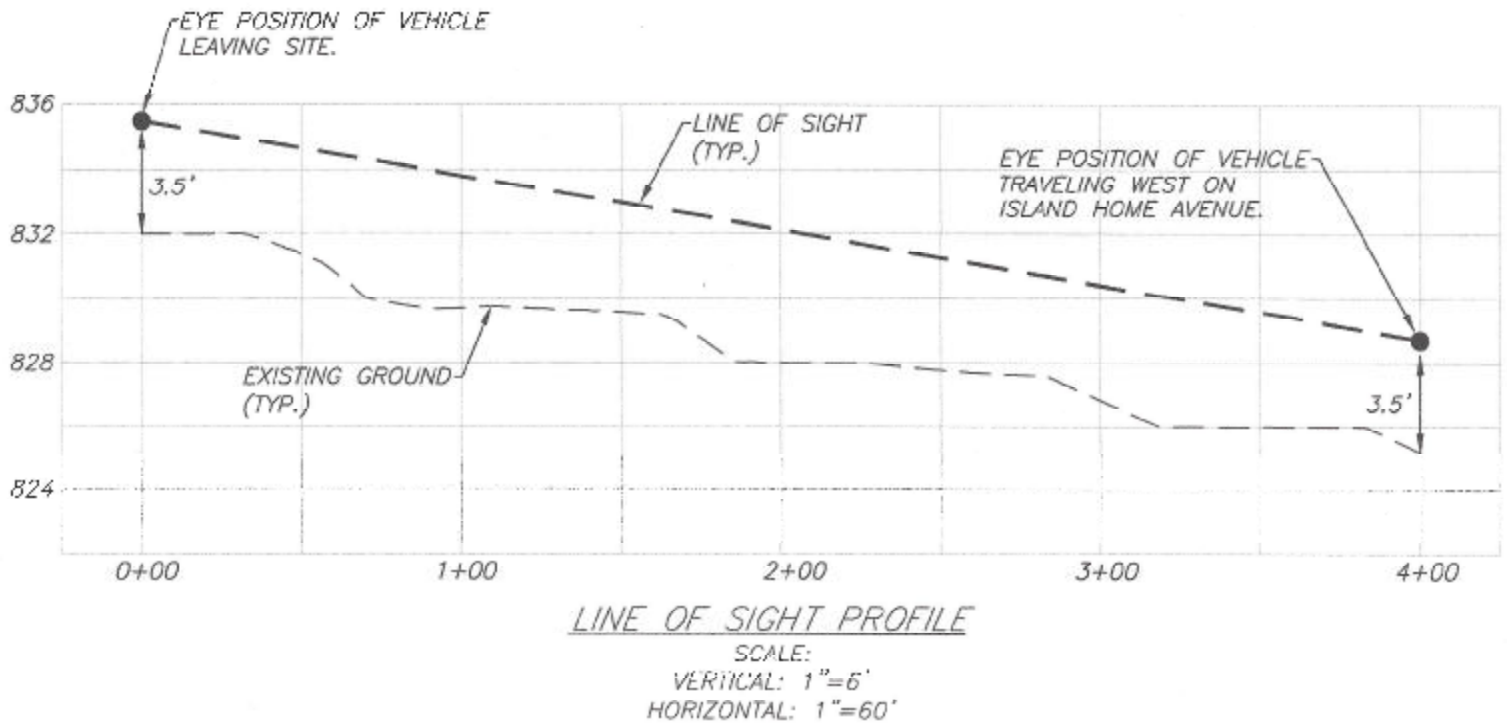
Facing west, there is more than 400 feet of available sight distance. Facing east, there is more than 400 feet of available sight distance. Attached to this letter are exhibits showing the approximate lines of sight along with photographs depicting the aforementioned lines of sight. Please do not hesitate to contact me if you have questions.

Sincerely,

Urban Engineering, Inc.



Chris Sharp, P.E.



# SIGHT DISTANCE EXHIBIT -- LOOKING EAST

## SITE PLAN STATION SOUTH

SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TN 37920

CITY OF KNOXVILLE

KNOX CO., TN.

WARD NO. 26

CITY BLOCK NO. 26062

CLT MAP 95

INSERT 0

GROUP D

PARCELS 1,2,3

SCALE: AS NOTED

OCTOBER 20, 2021



URBAN ENGINEERING, INC.  
 11852 KINGSTON PIKE  
 FARRAGUT, TENNESSEE 37922  
 (865) 966-1924



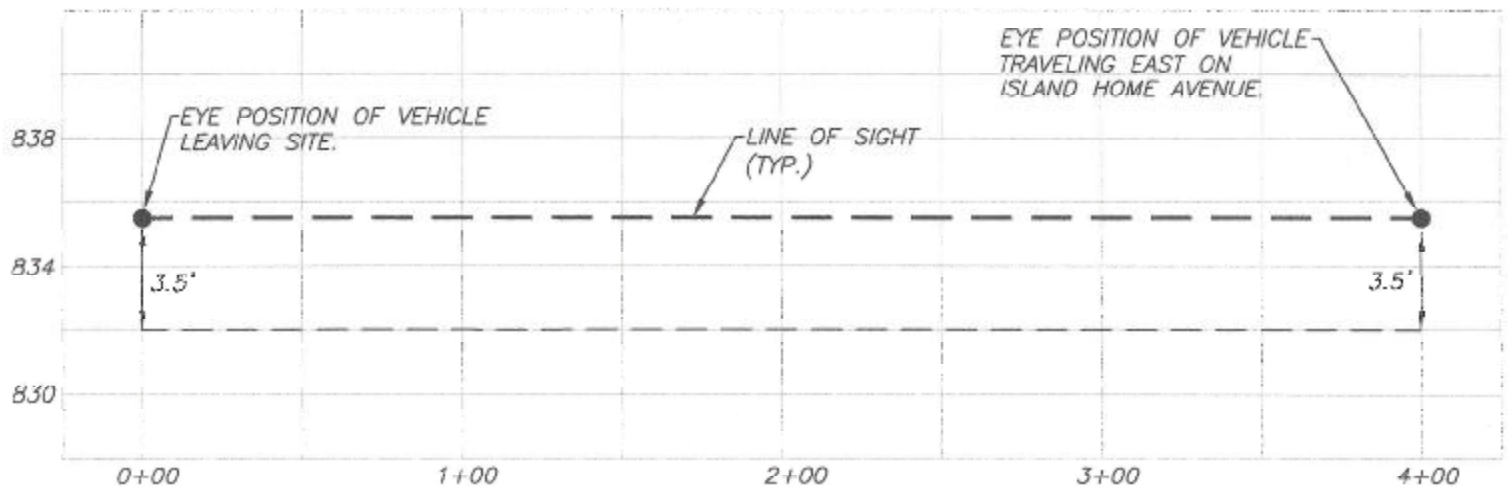


# URBAN ENGINEERING, INC.

CIVIL ENGINEERS • LAND PLANNERS • LAND SURVEYORS

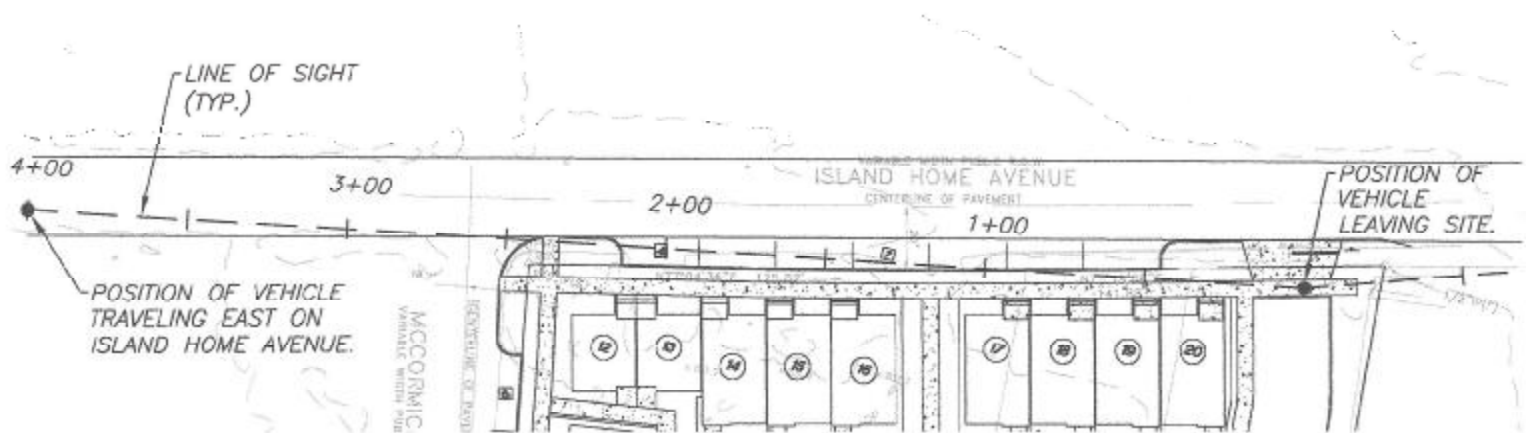


*Sight Distance From Ingress/Egress – Facing East*



### LINE OF SIGHT PROFILE

SCALE:  
 VERTICAL: 1"=6'  
 HORIZONTAL: 1"=60'



### LINE OF SIGHT

SCALE: 1"=60'

### SIGHT DISTANCE EXHIBIT - LOOKING WEST

#### SITE PLAN **STATION SOUTH**

SITE ADDRESS: ISLAND HOME AVENUE, KNOXVILLE, TN 37920

CITY OF KNOXVILLE

KNOX CO., TN.

WARD NO. 26

CITY BLOCK NO. 26062

CLT MAP 95 INSERT D GROUP D PARCELS 1,2,3

SCALE: AS NOTED

OCTOBER 20, 2021



URBAN ENGINEERING, INC.  
 11852 KINGSTON PIKE  
 FARRAGUT, TENNESSEE 37922  
 (865) 966-1924





# URBAN ENGINEERING, INC.

CIVIL ENGINEERS • LAND PLANNERS • LAND SURVEYORS



*Sight Distance From Ingress/Egress – Facing West*



# Development Request

## DEVELOPMENT

- ☐ Development Plan  
☐ Planned Development  
☐ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☒ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ SP ☐ OYP  
☐ Rezoning

Urban Engineering, Inc.

Engineer

Applicant Name

Affiliation

9/24/21

9/10/21

Date Filed

Meeting Date (if applicable)

File Number(s)

11-SB-21-C

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☒ Applicant ☐ Owner ☐ Option Holder ☐ Project Surveyor ☒ Engineer ☐ Architect/Landscape Architect

Chris Sharp, P.E.

Urban Engineering, Inc.

Name

Company

11852 Kingston Pike

Knoxville

TN

37934

Address

City

State

ZIP

(865) 966-1924

chris@urban-eng.com

Phone

Email

## CURRENT PROPERTY INFO

Tailwater South, LLC

813 S. Northshore Drive, Suite 104

(865) 588-8663

Owner Name (if different)

Owner Address

Owner Phone

1402 Island Home Avenue

and 1412 and 1418  
Island Home Avenue

0950D001

Property Address

Parcel ID

KUB

KUB

N

Sewer Provider

Water Provider

Septic (Y/N)

## STAFF USE ONLY

Southeast corner of Island Home Avenue and McCormick Street

24,156 sq. ft. +/-

General Location

Tract Size

1st

SW-4

IND

☒ City ☐ County

District

Zoning District

Existing Land Use

South City

MU-SD sc-1

City

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

**DEVELOPMENT REQUEST**

- ☐ Development Plan   ☐ Use on Review / Special Use   ☐ Hillside Protection COA  
☒ Residential   ☐ Non-Residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) \_\_\_\_\_

Related City Permit Number(s)

**SUBDIVISION REQUEST**

Proposed Subdivision Name \_\_\_\_\_

Unit / Phase Number   ☐ Combine Parcels   ☐ Divide Parcel

Total Number of Lots Created \_\_\_\_\_

☐ Other (specify) \_\_\_\_\_☐ Attachments / Additional Requirements

Related Rezoning File Number

**ZONING REQUEST**☐ Zoning Change

Proposed Zoning \_\_\_\_\_

☐ Plan Amendment Change

Proposed Plan Designation(s) \_\_\_\_\_

Pending Plat File Number

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

☐ Other (specify) \_\_\_\_\_**STAFF USE ONLY****PLAT TYPE**

- ☐ Staff Review   ☐ Planning Commission

**ATTACHMENTS**

- ☐ Property Owners / Option Holders   ☐ Variance Request

**ADDITIONAL REQUIREMENTS**

- ☐ Design Plan Certification (*Final Plat*)  
☐ Use on Review / Special Use (*Concept Plan*)  
☐ Traffic Impact Study  
☐ COA Checklist (*Hillside Protection*)

Fee 1		Total
0108	\$1,100.00	\$1,100.00
Fee 2		
Fee 3		

**AUTHORIZATION**

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

Chris Sharp

Digitally signed by Chris Sharp  
Date: 2021.09.24 10:22:02 -04'00'

Urban Engineering, Inc.

9/24/21

Applicant Signature

Please Print

Date

(865) 966-1924

chris@urban-eng.com

Phone Number

Email

Marc Payne

Digitally signed by Marc Payne  
Date: 2021.09.24 10:59:38 -04'00'

Marc Payne

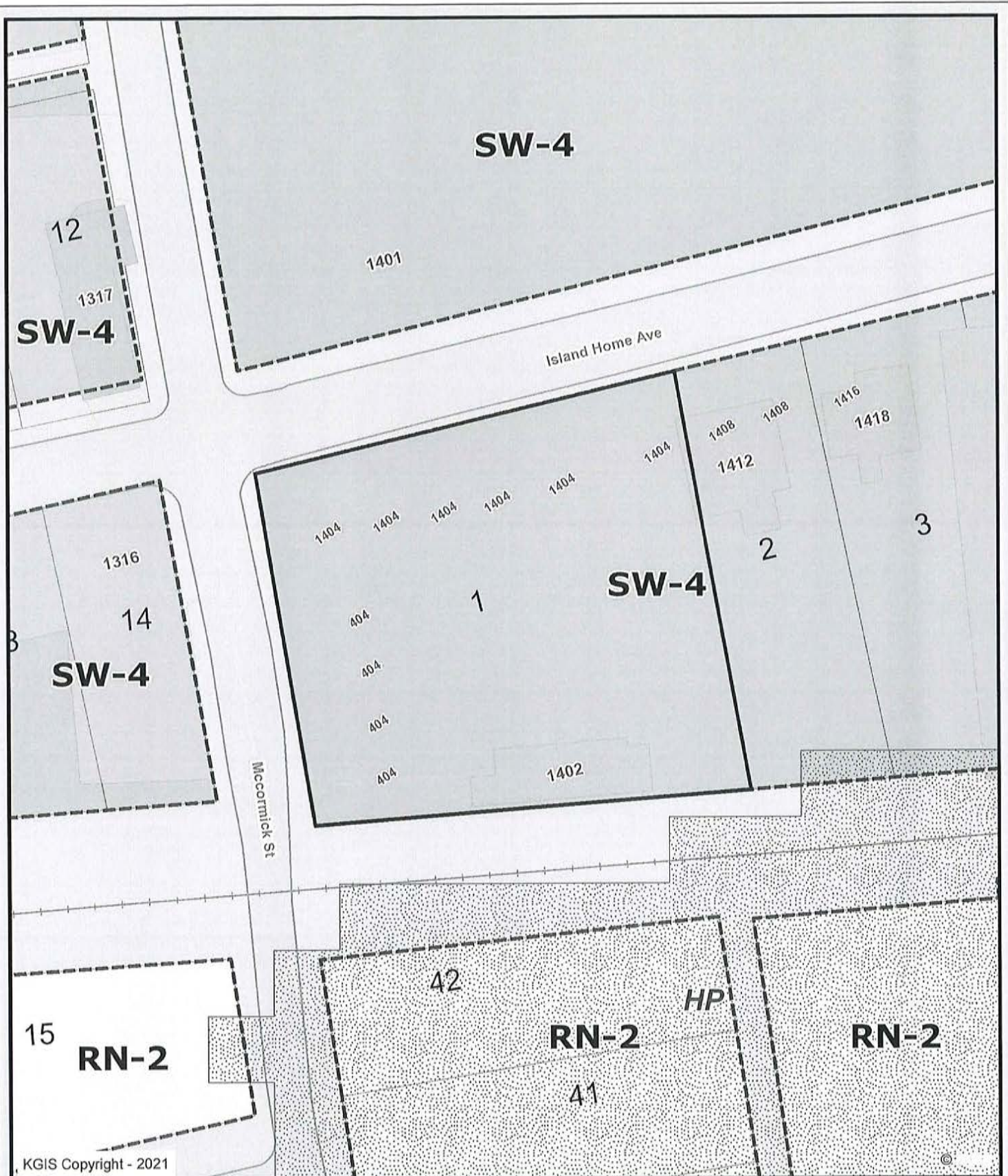
9/24/21

Staff Signature

Please Print

Date



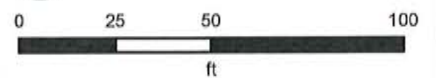


Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



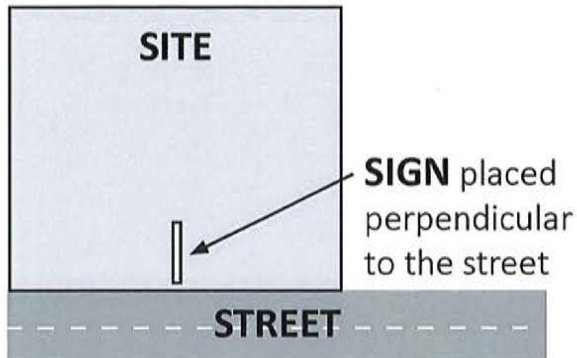
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The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

### LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

### TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

*The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:*

\_\_\_\_\_ and \_\_\_\_\_  
 10/29/2021 11/11/2021  
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Urban Engineering

Date: 9/24/2021

File Number: 11-SB-21-C



Sign posted by Staff



Sign posted by Applicant