

# SPECIAL USE REPORT

► **FILE #:** 9-B-21-SU

**AGENDA ITEM #:** 26

**AGENDA DATE:** 9/9/2021

► **APPLICANT:** WES CARRUTHERS

OWNER(S): Downey Oil Company

TAX ID NUMBER: 70 L C 001

[View map on KGIS](#)

JURISDICTION: City Council District 6

STREET ADDRESS: 4315 Rutledge Pk.

► **LOCATION:** West side of Rutledge Pike, south of Timothy Avenue

► **APPX. SIZE OF TRACT:** 1.38 acres

SECTOR PLAN: East City

GROWTH POLICY PLAN: N/A

ACCESSIBILITY: Access is via Rutledge Pike, a major arterial with a four lane divided median section within a right-of-way of varying width.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Love Creek

► **ZONING:** C-G-1 (General Commercial) & HP (Hillside Protection)

► **EXISTING LAND USE:** Convenience store with fuel pumps

► **PROPOSED USE:** Drive-Through Facility for an Eating and Drinking Establishment

HISTORY OF ZONING: The property was rezoned from C-N to C-G-1 in June 2021 (6-D-21-RZ).

SURROUNDING LAND USE AND ZONING: North: Commercial and vacant land -- C-G-1 (General Commercial) and HP (Hillside Protection) Commercial)

South: Closed right-of-way and vacant land -- OS (Parks and Open Space) and HP (Hillside Protection)

East: Rutledge Pike right-of-way and vacant land -- C-G-2 (General Commercial)

West: Vacant land -- OS (Parks and Open Space) and HP (Hillside Protection)

NEIGHBORHOOD CONTEXT: The property is in the southwest quadrant of the I-40 and Rutledge Pike interchange. The surrounding development includes a mix of commercial uses and vacant land owned by the City of Knoxville.

## STAFF RECOMMENDATION:

► **Approve the request for a drive-through facility for a restaurant with approximately 1,800 sqft of floor area that is attached to a new convenience store with fuel pumps, subject to 11 conditions.**

1. Meeting the requirements of the principal use standards for drive-through facilities (Article 9.3.F) and gas

stations (Article 9.3.O) of the City of Knoxville Zoning Ordinance.

2. Meeting the requirements of Article 13 (Signs) of the City of Knoxville Zoning Ordinance.

3. Meeting the requirements of Article 11 (Off-Street Parking) of the City of Knoxville Zoning Ordinance, including but not limited to providing an accessible route from the main entrance to the public right-of-way and providing terminal islands at the end of parking rows.

4. Installation of landscaping per the requirements of Article 12 (Landscaping) of the City of Knoxville Zoning Ordinance, including but not limited to the required perimeter landscape yard along the Rutledge Pike frontage (Section 12.5), interior parking lot landscaping (Section 12.6), and site landscaping (Section 12.7).

5. Implementation of the recommended improvements outlined in the Transportation Impact Study prepared by Cannon & Cannon, Inc. as revised on August 18, 2021, and as required by the City of Knoxville Department of Engineering and Tennessee Department of Transportation (TDOT). The design details and timing of the installation of the improvements shall be worked out with the City of Knoxville Department of Engineering and TDOT during permitting (see Exhibit B).

6. Acquiring the excess right-of-way south of the property from the Tennessee Department of Transportation where the full access driveway and “future parking area” are located.

7. The “future parking area” shown on the south side of the property may be reviewed and approved by Planning Commission staff and the City of Knoxville Department of Engineering to confirm compliance with the zoning standards. The future parking area was not reviewed as part of this submittal because of the lack of detailed information.

8. Meeting all applicable requirements of the City of Knoxville Department of Plans Review and Inspections.

9. Meeting all applicable requirements of the City of Knoxville Department of Engineering.

10. Meeting all applicable requirements of the Tennessee Department of Transportation.

11. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of the C-G-1 zone, the principal use standards for drive-through facilities, and the criteria for approval of a special use.

## **COMMENTS:**

### **SUMMARY OF PROPOSAL**

This proposal is for the replacement of the existing convenience store with fuel pumps and a car wash with a new convenience store with fuel pumps and a restaurant with a drive-through facility. The convenience store structure will be increased in size from approximately 800 sqft to 5,000 sqft, however, this includes the 1,800 sqft restaurant and shared facilities like restrooms. The number of fuel pump islands will remain unchanged. The building will be centrally located on the site and the drive-through facility will wrap around the rear of the building with the menu board to the rear and the payment and service windows on the left (south) side of the building. The adjacent properties to the rear include commercial businesses and vacant land that is owned by the City of Knoxville.

### **PRINCIPAL USE STANDARDS**

The drive-through facility must meet the principal use standards of Article 9.3.F. and the gas station must meet the principal use standards of Article 9.3.O. The drive-through standards include the location of the drive-throughs, the number of stacking spaces, the width of the drive-through lane, and screening standards when adjacent to residential. There is also a standard that “all drive-through lanes must be located and designed to ensure that they do not adversely affect traffic circulation on the adjoining street.” The gas station standards include setbacks for the gasoline pump islands and canopy. The proposed facility meets the principal use standards.

### **SITE PLAN**

To accommodate the expanded retail and new restaurant structure and the drive-through facility, previously closed right-of-way that surrounds the property is being incorporated into the lot and the property owner is in discussions with TDOT to acquire excess right-of-way where the proposed full access driveway is proposed and “future parking area” is shown on the plan. A retaining wall will be constructed around the property that has a maximum height of approximately 22-ft. There are two commercial structures on the adjacent property to the north that are constructed close to the shared lot line. The retaining wall behind these structures will be 16-18 feet tall.

The parking lot has a proposed 6-ft setback from the Rutledge Pike right-of-way line, however, the minimum setback is 10-ft since the vehicular use area on the property is greater than 20,000 sqft. Terminal islands with 1 tree are also required at the end of each parking row. Landscaping must also be provided along 60 percent of the front building foundation. The drive aisle between the gas pumps and the parking in front of the building is larger than the minimum requirement. The additional area for the landscaping may be accommodated by reducing the width of the oversized drive aisle.

## ACCESS AND ROAD IMPROVEMENTS

The applicant is proposing two driveway access points to Rutledge Pike, a full access on the south side of the property and a right-in/right-out access on the north side. The full access point requires the modification of the Rutledge Pike median island to install a left-turn lane at the existing intersection with McCalla Avenue. The existing white channelization line between the northbound ramps of Magnolia Avenue and Asheville Highway will be extended up to the beginning of the proposed left-turn lane to discourage drivers from making inappropriate maneuvers from the Asheville Highway ramp to the proposed left-turn lane. The design right-in/right-out access needs to be modified to meet the requirements of City Engineering and TDOT which have requested that a raised concrete channelized island be installed. The design of this access will be determined during permitting.

The N. Broadway driveway is located as proposed because of the on-site vehicular circulation needed for the drive-through facility and the Tennessee Department of Transportation (TDOT) requirement that the driveway is setback from the side lot lines a minimum of 20 feet. The City of Knoxville zoning ordinance requires the driveway on this property to have a minimum corner clearance of 150 feet from Highland Drive. The proposed corner clearance is approximately 130 feet which will require a variance from the Board of Zoning Appeals.

The C-G-2 zone has a build-to zone of 0 – 20 feet and a build-to percentage of 50 percent, which means at least 50 percent of the building width must be located within 20 feet of the front property line. Because the proposed building is so small and narrow, essentially the entire building needs to be located within the build-to zone. Since the proposed coffee shop is reliant solely on the drive-through facility for sales and the exit lane must wrap around the front of the building, the building must be moved further back on the property to allow enough room for the vehicles to properly maneuver before exiting the site. The proposed building setback is approximately 48 feet from the front property line and will require a variance from the Board of Zoning Appeals. A potential solution is to create two separate one-way accesses to N. Broadway for entering and exiting vehicles. This would allow the building to move forward on the site to meet the build-to zone requirements but the two driveways would not meet TDOT's driveway separation standards.

## STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

### 1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The subject property is located in the MU-EC-2 (Magnolia Avenue) mixed use special district in the One Year Plan and East City Sector Plan. This district allows consideration of MDR (medium density residential), O (Office), and GC (General Commercial) uses. The property was recently rezoned from C-N (Neighborhood Commercial) to C-G-1 (General Commercial) which is a recommended zone district in the MU-EC-2 district.

B. The property is partially located in the HP (Hillside Protection) overlay district, however, it is exempt from those standards since a grading permit had previously been issued for the site and the entire site had been graded to construct the current gas station or as part of road construction.

### 2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The C-G (General Commercial) zoning district is intended to provide for a heterogeneous mix of retail, personal service, office, and residential uses within and along Knoxville's commercial nodes and corridors. The C-G District is intended to promote mixed-use development in a pedestrian-oriented environment that recalls the City's traditional business districts, and offers flexibility in the creation of integrated commercial, office and residential spaces. The C-G District is divided into three levels of intensity related to the overall form and design of the development; however, uses are the same across all levels. This zone is intended primarily for indoor commercial uses with limited exceptions per special use approval.

B. A drive-through facility is typically not considered a pedestrian-oriented use, however, as part of this project, the number of driveway connections to Rutledge Pike will be reduced from 3 to 2 which will help with pedestrian safety.

### 3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. There are only two other buildings in the immediate area and they are both one-story commercial structures that front on Timothy Avenue. These structures are also approximately 20-ft lower in elevation than the proposed structure.

B. There is no consistent architectural character in the vicinity of the subject site.

### 4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. The commercial buildings to the north were constructed very close to the shared property line with the subject site. The C-G-1 zone does not have a required rear setback when adjacent to non-residential uses, so

the proximity of the proposed retaining wall to the adjacent structures is permissible as long as all building code and engineering standards are met.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. Additional traffic will not be drawn through residential streets because the property has direct access to a major arterial street.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

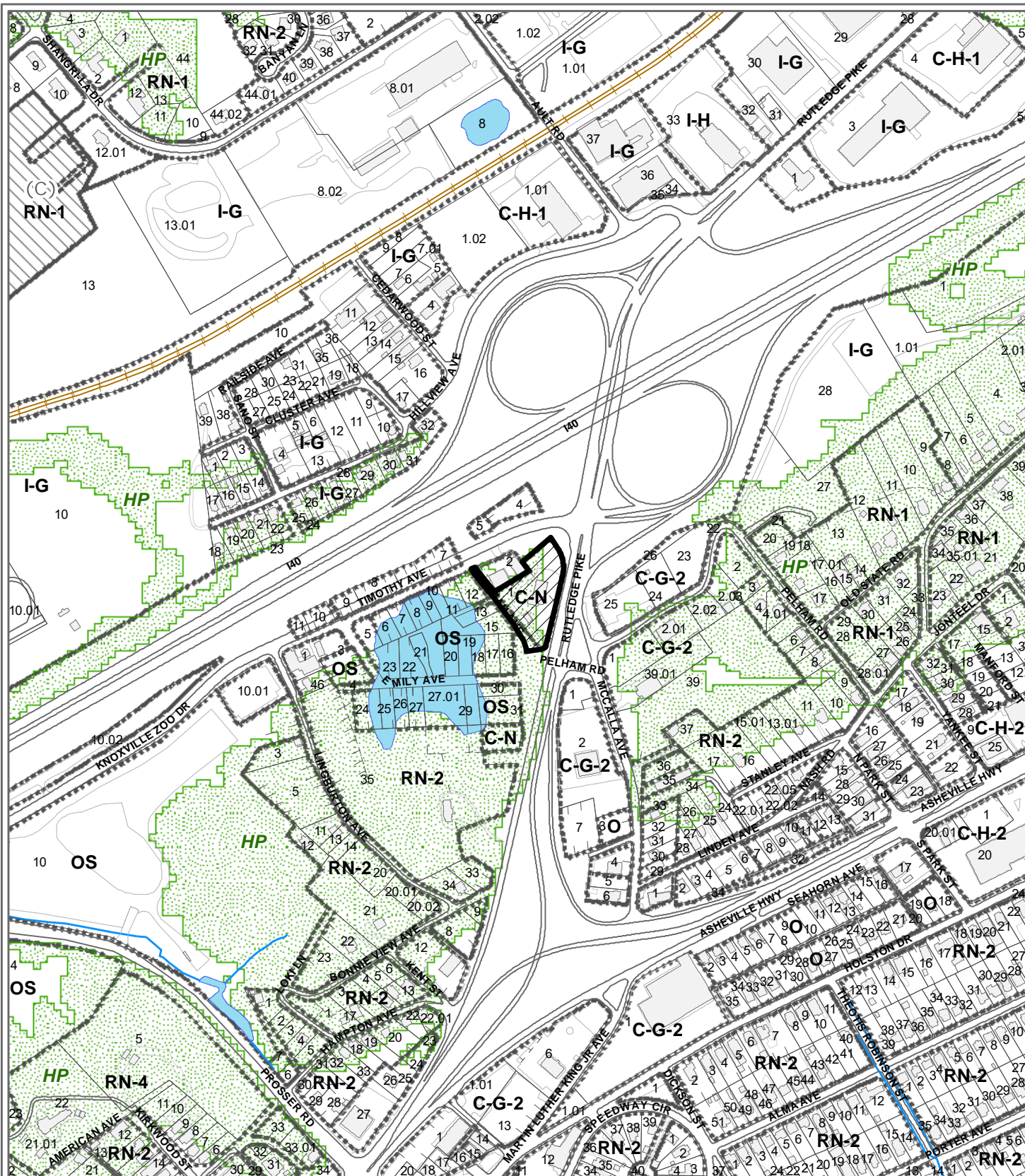
A. There is a large sinkhole on adjacent properties to the rear of the site but there is no indication that it will impact the subject property.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.





**9-B-21-SU  
SPECIAL USE**



Drive-Through Facility for an Eating and Drinking Establishment in C-G-1 (General Commercial) & HP (Hillside Protection)

Original Print Date: 8/4/2021

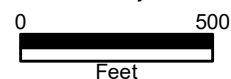
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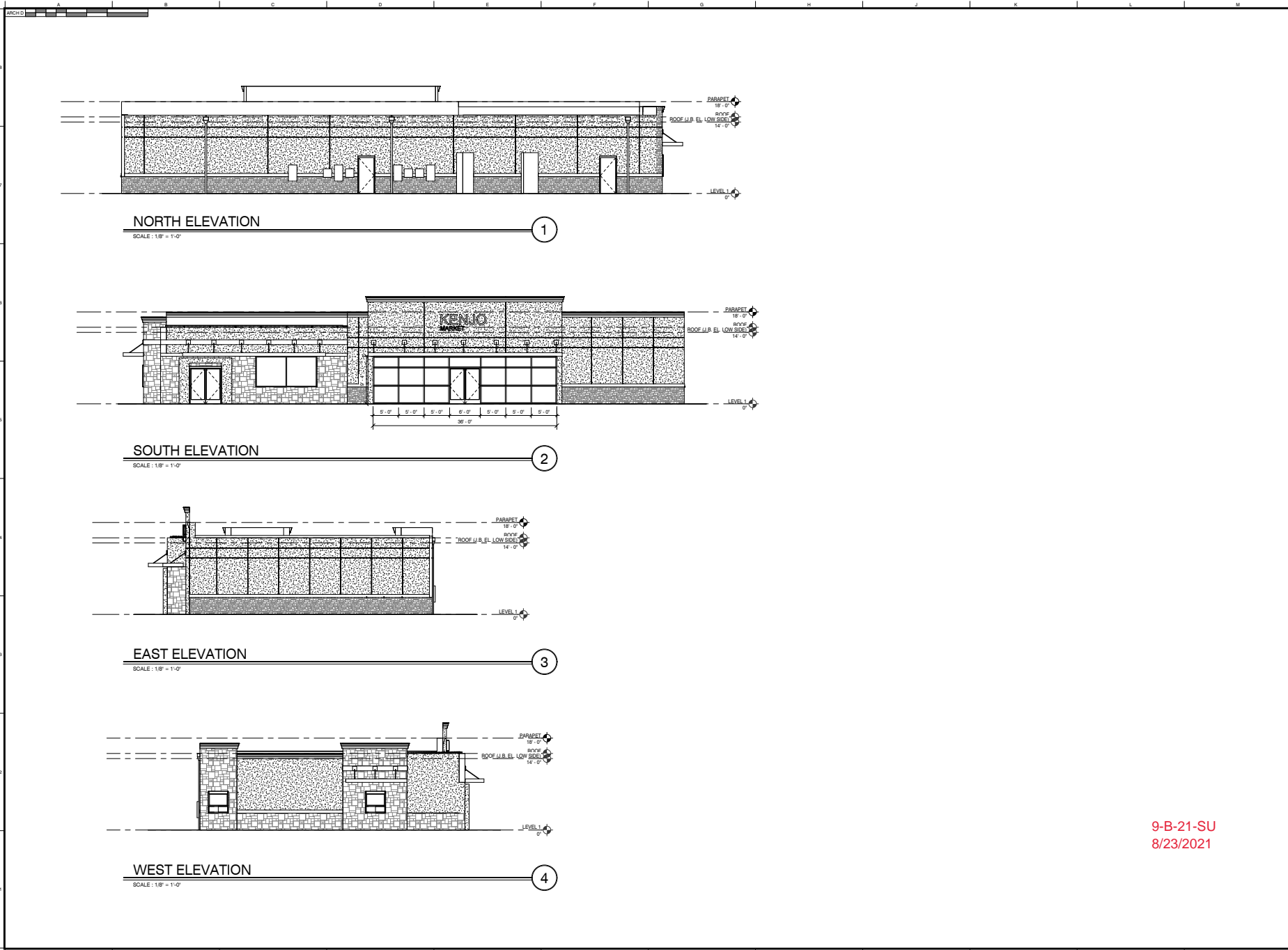
Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

Petitioner: Carruthers, Wes

Map No: 70

Jurisdiction: City





# MBI

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CONSULTANT

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PRICING

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RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH  
ARISE FROM FAILURE TO FOLLOW THESE PLANS,  
SPECIFICATIONS AND THE DESIGNER'S  
CONVEY OF PROBLEMS WHICH ARISE FROM OTHERS  
FAILURE TO DESIGN AND/OR FOLLOW THE DESIGN  
PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY  
ENGINEERING, CONSTRUCTION, RECONSTRUCTION, REMEDIATION  
OR OTHERS WHICH ARE ALLOWED.

PROJECT INFORMATION

PROJECT:  
**NEW MARKET FOR  
KENJO MARKET -  
RUTLEDGE PIKE**

PROJECT ADDRESS:  
4315 RUTLEDGE PIKE  
KNOXVILLE, TN

PROJECT NO.: 202056

ACTIVE DESIGN PHASE  
☒ FOR REVIEW ONLY  
☐ FOR PERMITTING ONLY  
☐ SCHEMATIC DESIGN  
☐ DESIGN DEVELOPMENT  
☐ CONSTRUCTION SCHEMATIC  
☐ CONSTRUCTION DOCUMENTS  
☐ AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 8/15/2021  
DESIGNED BY: Designer  
DRAWN BY: Author  
REVIEWED BY: Checker  
SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO.: **A401**

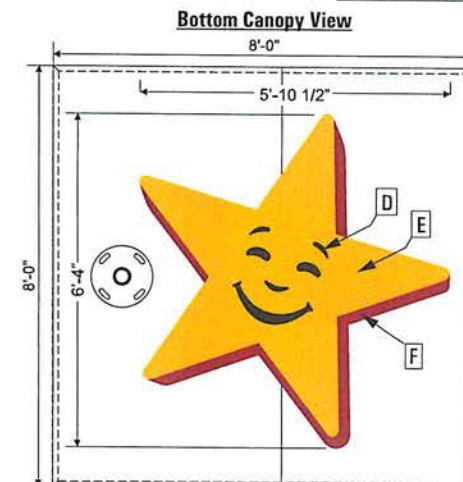
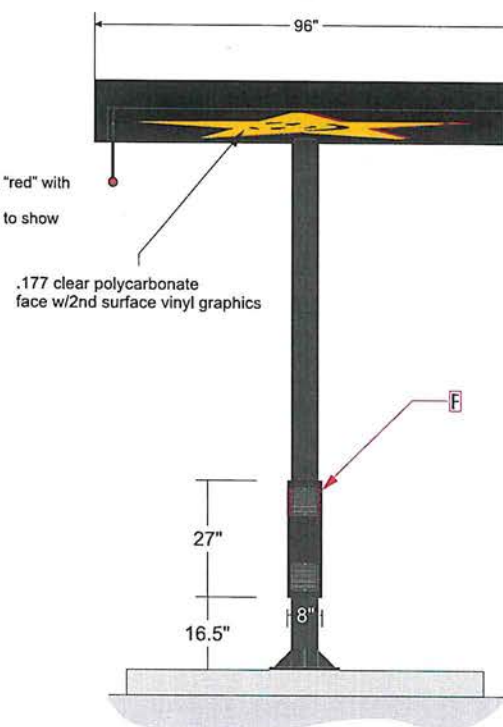
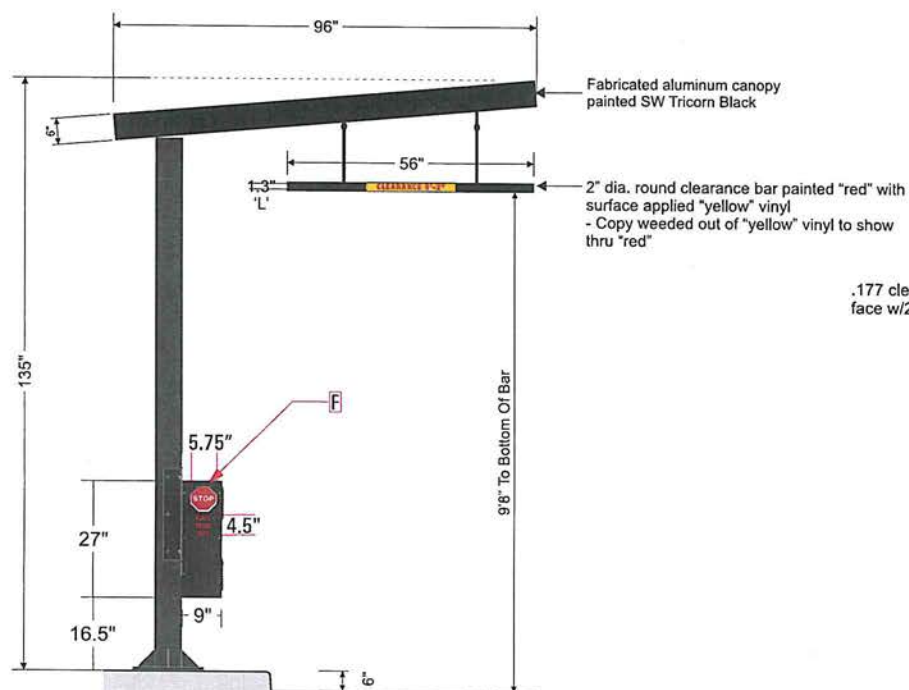
9-B-21-SU  
8/23/2021

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8/23/2021 10:18:13 AM



# Breakaway Canopy

Stock Code  
HAR-V2-DTC135-B



Colors & Finishes	
A	Paint SW Tricorn Black
B	PMS 123C Yellow
C	Paint SW Tricorn Black
D	Opaque Black Vinyl
E	3M #3630-125 Golden Yellow Vinyl
F	3M 3630-73 Red Vinyl

Rev # 1 - MBJ 12-4-19	Changed Canopy Color
Rev # 2 - MBJ 12-9-19	Changed Clearance Bar Color
Rev # 3 - MBJ 12-10-19	Added New Speaker Box
Rev # 4 - LR 1-21-20	updated colors
Rev # 5 - MBJ 02-25-20	Updated Speaker Box Dimensions

Notes

9-B-21-SU  
8/23/2021



Designer: CM	Date: 4/2/20	Option # 1 - CM
Client: Hardee's		
File Path: Z:\restaurant\Hardees\		

- ☐ Proof Is Approved. Proceed With Production Of Order
- ☐ Proof Is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: \_\_\_\_\_

I have reviewed this proof in regard to: Sign type, order quantity, and accuracy of fonts, symbols, and text (e.g. spelling capitalization, punctuation).

Print Name: \_\_\_\_\_

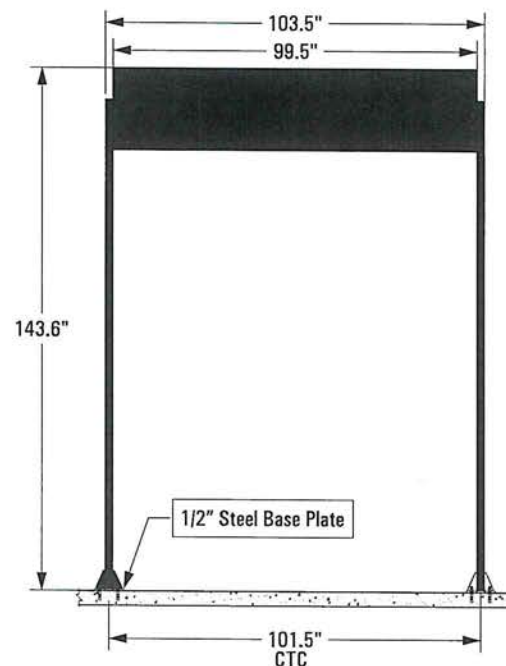
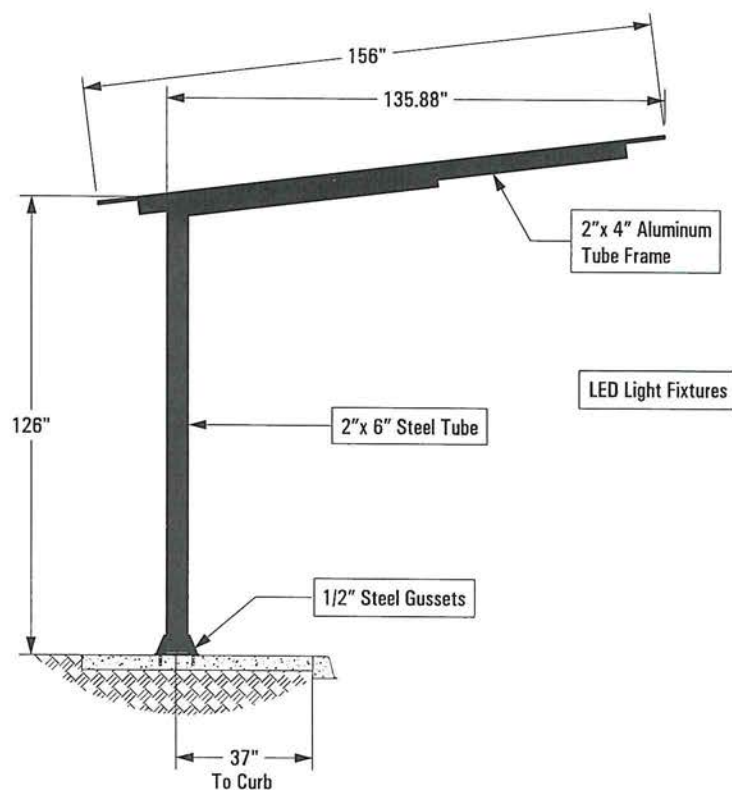
Date: \_\_\_\_\_



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# Drive Thru Canopy

Stock Code  
HAR-V2-DTC126-DP



Rev 1 - LR 11-14-19 updated to match eng.
Rev 2 - JH 12-4-19 Removed callout for Solarspace, updated materials
Rev 3
Rev 4

9-B-21-SU  
8/23/2021

## Colors & Finishes

A SW Tricorn Black

## Notes



Designer: CM	Date: 7-22-19	Option # 1 - CM
Client: Hardee's		
File Path: Z:\restaurant\Hardees\		

- ☐ Proof Is Approved. Proceed With Production Of Order
- ☐ Proof Is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

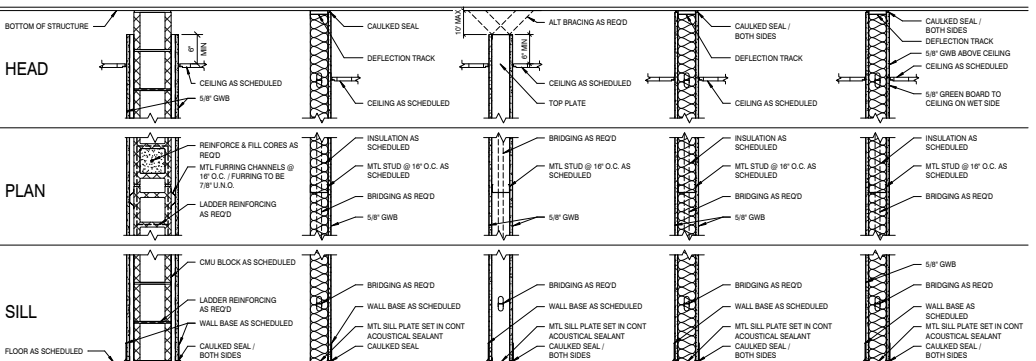
Signature: \_\_\_\_\_  
I have reviewed this proof in regard to: Sign type, order quantity, and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).  
Print Name: \_\_\_\_\_  
Date: \_\_\_\_\_



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BUILDING OCCUPANCY									
BUILDING OCCUPANCY CLASSIFICATIONS PER IBC CHAPTERS 3, 4, 5									
BUILDING OCCUPANCY GROUP: IBC CHAPTER 3									
GROUP A-1	GROUP A-2	GROUP A-3	GROUP A-4	GROUP A-5	GROUP A-6	GROUP A-7	GROUP A-8	GROUP A-9	GROUP A-10
GROUP B-1	GROUP B-2	GROUP B-3	GROUP B-4	GROUP B-5	GROUP B-6	GROUP B-7	GROUP B-8	GROUP B-9	GROUP B-10
GROUP C-1	GROUP C-2	GROUP C-3	GROUP C-4	GROUP C-5	GROUP C-6	GROUP C-7	GROUP C-8	GROUP C-9	GROUP C-10
GROUP D-1	GROUP D-2	GROUP D-3	GROUP D-4	GROUP D-5	GROUP D-6	GROUP D-7	GROUP D-8	GROUP D-9	GROUP D-10
GROUP E-1	GROUP E-2	GROUP E-3	GROUP E-4	GROUP E-5	GROUP E-6	GROUP E-7	GROUP E-8	GROUP E-9	GROUP E-10
GROUP F-1	GROUP F-2	GROUP F-3	GROUP F-4	GROUP F-5	GROUP F-6	GROUP F-7	GROUP F-8	GROUP F-9	GROUP F-10
MEANS OF EGRESS									
DOORS: PER IBC 1010									
STAIRWAYS: PER IBC 1011									
CONSTRUCTION TYPE AND ALLOWABLE BUILDING AREA									
CONSTRUCTION TYPE: IBC CHAPTER 6									
BUILDING AREA MODIFICATIONS: IBC CHAPTER 5									
BUILDING AREA AND HEIGHT: IBC TABLE 506.2 / 504.3									
ADDITIONAL FIRE RESISTANCE RATING INFORMATION									
LIFE SAFETY SYSTEMS: PER IBC CHAPTER 9									
EGRESS CAPACITY FACTORS: PER IBC 1006									
FIRE RESISTANCE RATING REQUIREMENTS: PER IBC TABLE 601									
TYPE OF CONSTRUCTION:									
PRIMARY STRUCT FRAME: SELECT CONSTRUCTION TYPE									
BEARING WALLS (EXT): SELECT CONSTRUCTION TYPE									
NONBEARING WALLS AND PARTITIONS (EXT): PER IBC TABLE 602									
NONBEARING WALLS AND PARTITIONS (INT): SELECT CONSTRUCTION TYPE									
FLOOR CONSTRUCTION: SELECT CONSTRUCTION TYPE									
ROOF CONSTRUCTION: SELECT CONSTRUCTION TYPE									
IBC TABLE 602: EXTERIOR WALL FIRE RATING									
SPACES WITH ONE EXIT PER IBC TABLE 1006.2.1									
MINIMUM NUMBER OF EXITS PER IBC TABLE 1006.3.2									

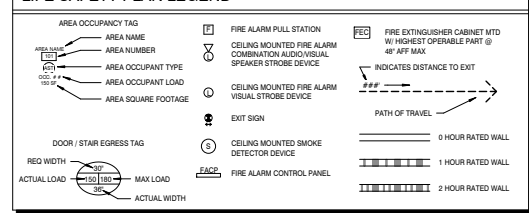
# INTERIOR WALL TYPES LEGEND



# WALL TYPE ID

MF	MASONRY CMU WALL WITH GWB FINISH	F	METAL STUD FURRING WALL	S	METAL STUD PARTITION WALL	SD	METAL STUD PARTITION WALL DEMISING	SW	METAL STUD PARTITION WALL WET LOCATION
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# LIFE SAFETY PLAN LEGEND



# LIFE SAFETY CODE SPACE FUNCTIONS PER IBC TABLE 1004.1.2

ABBRV	SPACE FUNCTION	SF PER PERSON	GROSS SF NET SF
AUT	(none)	15	NSF
M	MERCANTILE - BASEMENT AND GRADE FLOORS	30	GSF

# LIFE SAFETY LOAD CALCULATIONS

NO.	NAME	SQ. FT.	LOAD FACTOR	CALCULATED LOAD
1	RESTROOM	118 SF		
2	TEST AREA	170 SF		
3	RESTAURANT	170 SF		
4	MERCANTILE - BASEMENT AND GRADE FLOORS	170 SF		
5	DOOR	170 SF		
6	MARK	170 SF		

# COMMON PATH OF TRAVEL PER IBC 1006.2.1

OCCUPANCY	SPRINKLERED	NON SPRINKLERED
A, E, M	75	75

# MAXIMUM TRAVEL DISTANCE PER IBC 1017.2

OCCUPANCY	SPRINKLERED	NON SPRINKLERED
A, E, F, I, M, R, S, I	200	200

# DEAD END CORRIDOR PER IBC 1020.4

OCCUPANCY	SPRINKLERED	NON SPRINKLERED
A	20	20
M	20	20

# CORRIDOR FIRE RATING PER IBC TABLE 1018.1

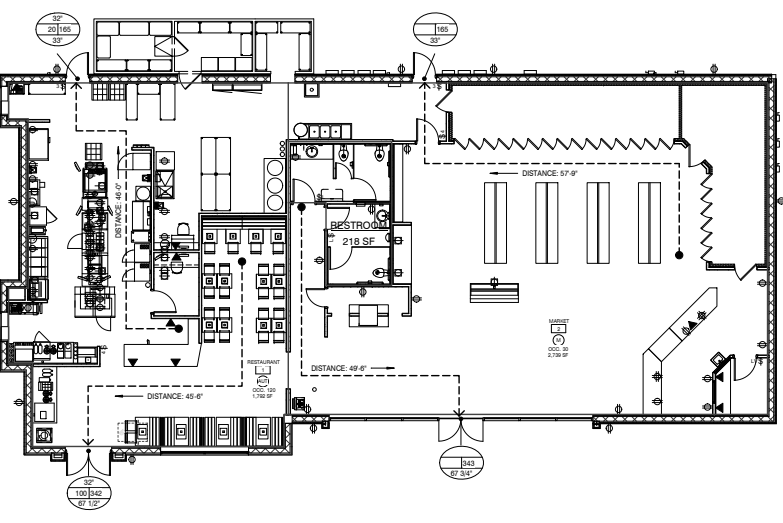
OCCUPANCY	OCCUPANT LOAD SERVED	W/O SPRINKLER SYSTEM	W SPRINKLER SYSTEM
A	> 30	1 HOUR	0 HOURS
M	> 30	1 HOUR	0 HOURS

# CORRIDOR FIRE RATING PER IBC TABLE 1020.1


OCCUPANCY	OCCUPANT LOAD SERVED	W/O SPRINKLER SYSTEM	W SPRINKLER SYSTEM
A, E, F, I, M, S, U	> 30	1	2

# LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"



# WALL TYPE NOTES:

WALL TYPE TAG			WALL TYPE ID		
WALL TYPE ID		CORE THICKNESS			
		ADDITIONAL COMPONENTS			
STUD WALL FIRE RATING CONSTRUCTION					
WALL RATING	STUD WALL CONSTRUCTION				
0 = NO FIRE RATING	GWSB AS SHOWN				
1 = 1 HOUR FIRE RATING	GWSB AS SHOWN				
2 = 2 HOUR FIRE RATING	2 LAYERS GWSB EACH SIDE				
3 = 3 HOUR FIRE RATING	3 LAYERS GWSB EACH SIDE				
4 = 4 HOUR FIRE RATING	4 LAYERS GWSB EACH SIDE				
5 = SMOKE BARRIER	GWSB AS SHOWN				

CORE THICKNESS										
METAL STUD					WOOD STUD					MASONRY
H = 7/8" HAT CHANNEL	2 - 2x6 STUD				2 - 2x6 STUD				4" = CMU	
I = 1 1/8" STUD	3 - 2x6 STUD				3 - 2x6 STUD				6" = CMU	
J = 2 1/2" STUD	4 - 2x6 STUD				4 - 2x6 STUD				8" = CMU	
K = 3 5/8" STUD	6 - 2x6 STUD				6 - 2x6 STUD				12 - 12" CMU	
L = 4" STUD	8 - 2x6 STUD									
M = 5 1/2" STUD	10 - 2x6 STUD									
N = 6" STUD										
O = 8" STUD										
P = 10" STUD										
Q = 12" STUD										

WALL TYPE ADDITIONAL COMPONENTS									
ADDITIONAL COMPONENTS GROUP CODE									
A	B	C	D	E	F	G	H	I	NOTES
ADD SOUND ATTENUATION BATTS									
STUD RATING									
ADD RIGID INSULATION									
ADD SPRAYFOAM INSULATION									
PROVIDE LEAD LINED DRYSPUN BOARD									
PROVIDE FOIL LINED DRYSPUN BOARD									
PROVIDE SECURITY MESH ABOVE CEILING TO STRUCTURE ABOVE									
ADD SMOKE SEAL									

NOTES:

1. ALL FIRE RATED WALL ASSEMBLIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH UL 283

2. PROVIDE TYPE X GWSB WHERE WALLS ARE FIRE RATED

3. ALL PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE FIRE STOPPED AND SEALED IN ACCORDANCE WITH UL 283

4. PARTITION WALLS ARE UNSULATED EXCEPT WHERE FIRE RATED OR WHERE NOTED IN THE ADDITIONAL COMPONENTS SECTION

5. SILL PLATES, TOP PLATES, AND DEFLECTION TRACKS SHALL BE OF THE SAME SIZE AND GAGE AS STUD

6. WHERE TURNING WALLS ARE UNUSUAL, PROVIDE 1/2" ABOVE GAGE STUD

7. COORDINATE LOCATIONS OF EXPANSION JOINTS IN MASONRY WALLS WITH STUD DWGS

8. PROVIDE WATER RESISTANT BACKING BOARD ON BOTH SIDES OF WET WALLS WHERE BOTH SIDES ARE WET

9. PROVIDE WATER RESISTANT BACKING BOARD IN USE OF GWSB AT THE FOLLOWING LOCATIONS:

A. WHERE INDICATED BY WALL TYPE TAG

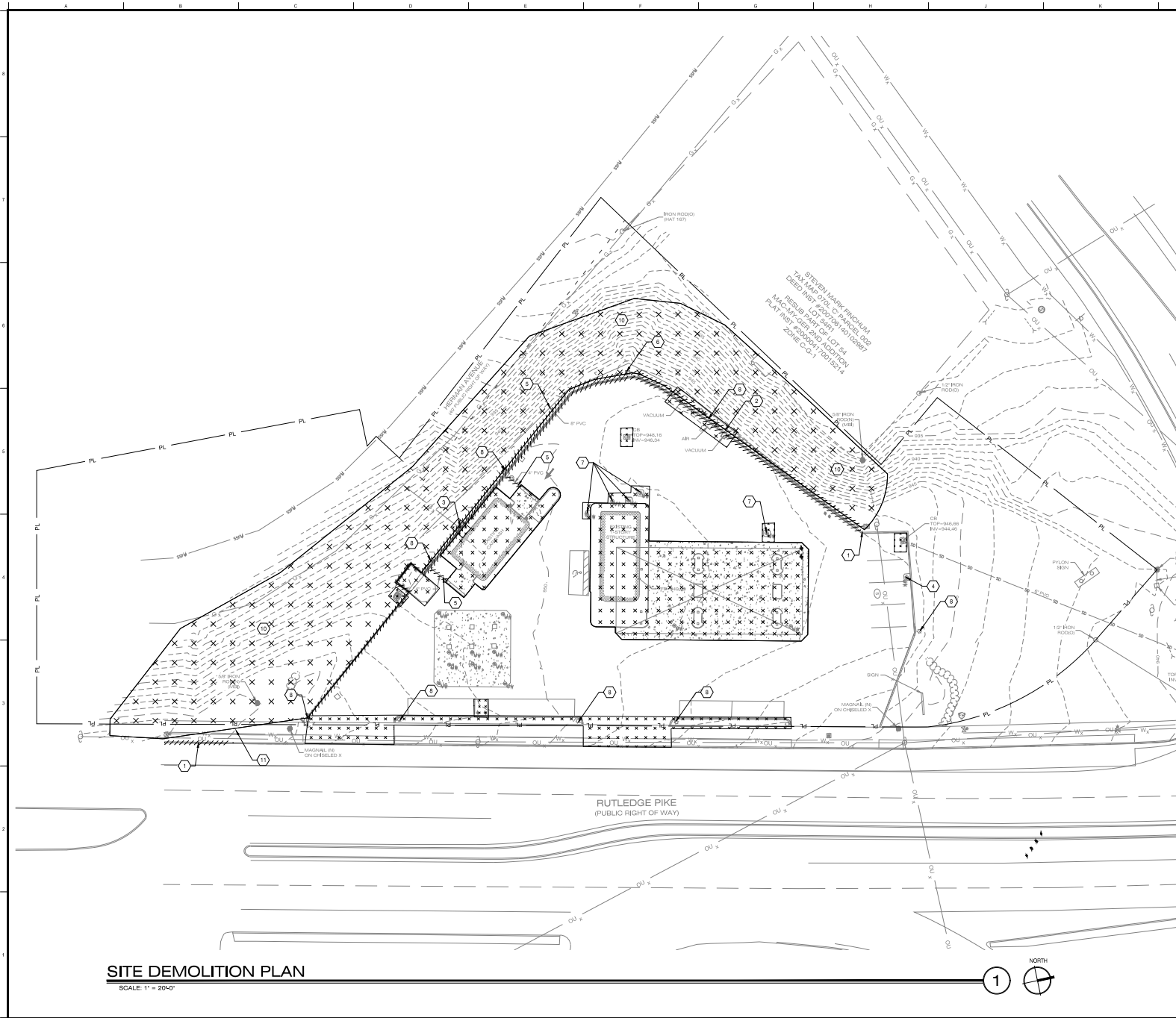
B. WHERE LOCATIONS SUCH AS WATER TANKS, SHOWER STALLS, TUB SURROUNDS

C. WHERE CERAMIC TILE FINISHES ARE INDICATED, REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION

D. WITHIN 2 FEET HORIZONTALLY AND 4 FEET VERTICALLY OF JUNCTION 1 MCP SINKS

10. FINISHES INDICATED ARE INDEPENDENT OF APPLIED FINISHES. SEE FINISH PLANS FOR ADDITIONAL INFORMATION

11. WATER RESISTANT BACKING BOARD SHALL BE TYPE X AND ON OUTSIDE LAYER WHERE WET WALLS ARE FIRE RATED



### GENERAL SHEET NOTES:

1. SEE SHEET C01.1 FOR CIVIL NOTES AND LEGENDS

### DEMOLITION LEGEND

- TO BE REMOVED
- TO BE DEMOLISHED

### DEMOLITION KEYED NOTES

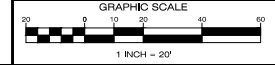
1. SAW CUT EXISTING CURB. SEE DETAIL 8-000
2. COORDINATE WITH OWNER THE REMOVAL OF THE AIR AND VACUUM EQUIPMENT
3. COORDINATE WITH KUB THE REMOVAL OF GAS METER AND LINE
4. PROTECT MONITORING WELL
5. REMOVE PVC PIPE
6. RELOCATE GRINDING PUMP STATION AND CONTROLS
7. REMOVE MONITORING WELLS
8. REMOVE LIGHT POLES
9. REMOVE EXISTING POLLARDS
10. REMOVE EXISTING VEGETATION
11. REMOVE SIDEWALK
12. COORDINATE RELOCATION OF VENT PIPES

9-B-21-SU  
8/23/2021

PLANNING FILE NUMBER  
9-B-21-SU



Know what's below.  
Call before you dig.  
In Tennessee call 811 or 1-800-351-1111



SITE DEMOLITION PLAN  
SCALE: 1" = 20'-0"



ENGINEER

MBI COMPANIES, INC.  
299 N. HERRING ROAD  
NASHVILLE, TN 37219  
PHONE: (615) 584-0000  
FAX: (615) 584-0213  
WEB: mbiengineers.com

CONSULTANT

NOT FOR CONSTRUCTION

PROJECT INFORMATION

PROJECT: KENJO

PROJECT ADDRESS: 4301 NORTHERN PIKE, NASHVILLE, TN 37204

PROJECT NO.: 9-B-21-SU

PROJECT #:

ACTIVE DESIGN PHASE

- ☐ TOP REVIEW ONLY
- ☐ FOR PERMITTING ONLY
- ☐ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION DOCUMENTS
- ☐ AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 8/19/2021

DESIGNED BY: A.M.A.

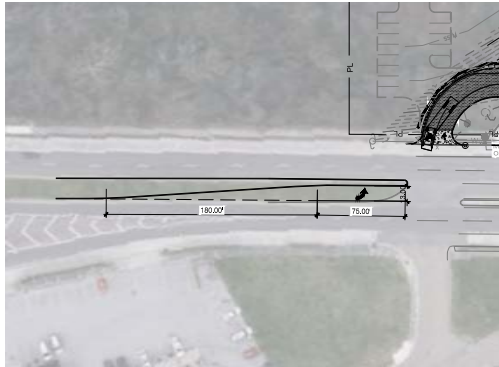
DRAWN BY: A.M.A.

REVIEWED BY: C.B.T.

SHEET TITLE:

SITE DEMOLITION PLAN  
SHEET NO.: C200

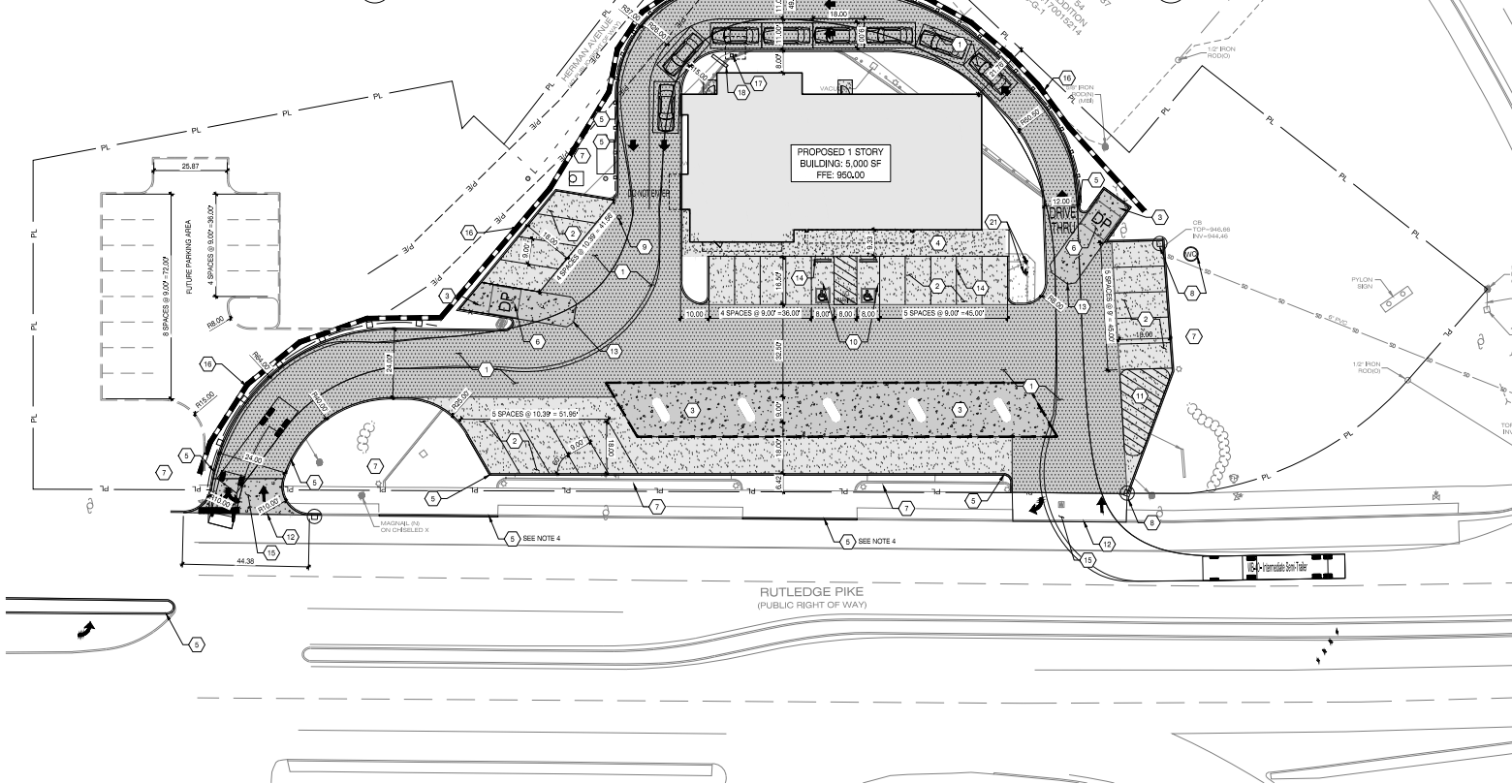




## PROPOSED TURNING LANE

SCALE: 1" = 50'-0"

2



## SITE LAYOUT PLAN

SCALE: 1" = 20'-0"

1



### GENERAL SHEET NOTES:

- SEE SHEET 0001 FOR CML NOTES AND LEGENDS
- FOR TYPICAL PARKING SPACE LAYOUT, SEE 1-C302
- ALL RACI NOT LABELED ARE TO BE R3.00'

### SITE LEGEND

- ONE WAY: PAINTED ONE WAY LETTERS, COLOR TO BE WHITE, SEE DETAIL 8-C302
- PAINTED DIRECTIONAL ARROWS, COLOR TO BE WHITE, SEE DETAIL 8-C302
- PAINTED STOP BAR, COLOR TO BE WHITE, SEE DETAIL 8-C302
- DO NOT ENTER: PAINTED DO NOT ENTER LETTERS, COLOR TO BE WHITE, SEE DETAIL 8-C302
- FENCE: FENCE
- GUARDRAIL: GUARDRAIL
- FENCE: FENCE

### SITE KEYED NOTES

- HEAVY DUTY ASPHALT PAVING, SEE DETAIL 2-C301
- LIGHT DUTY ASPHALT PAVING, SEE DETAIL 2-C301
- CONCRETE PAVING, SEE DETAIL 2-C301
- CONCRETE SIDEWALK, SEE DETAIL 1-C301
- CONCRETE CURB, SEE DETAIL 3-C301
- WASTE ENCLOSURE, SEE DETAIL 5-B01
- AREAS DISTURBED BY CONSTRUCTION OR PAVING TO BE SEEDED, SODED OR LANDSCAPED
- STORM DRAINAGE STRUCTURE, SEE SHEET C300 FOR DETAILS
- SANITARY SEWER STRUCTURE, SEE SHEET C300 FOR DETAILS
- ADA COMPLIANT PARKING SPACE, SEE DETAIL 2-C302
- PAINTED NO PARKING AREA, COLOR TO BE WHITE, SEE DETAIL 8-C302
- PROVIDE SMOOTH TRANSITION TO EXISTING SURFACE
- HEAVY DUTY ASPHALT & CONCRETE TRANSITION, SEE DETAIL 6-C301
- WHEEL STOP, SEE DETAIL 5-C302
- INSTALL TYPICAL STANDARD ROADWAY ENTRANCE
- RETAINING WALL
- DRIVE-THRU KIOSK, SEE ARCHITECTURAL SHEETS FOR DETAILS
- DRIVE-THRU MENU BOARD, SEE ARCHITECTURAL SHEETS FOR DETAILS
- EXISTING PROPERTY LINE TO BE REMOVED
- PROPOSED FUTURE PROPERTY LINE
- DEED EASE HATCH - 4 EASE CAPACITY MIN., COLOR TBD BY OWNER

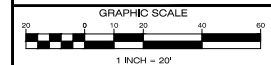
9-B-21-SU  
8/27/2021

### PLANNING FILE NUMBER

9-B-21-SU



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In Tennessee call 811 or 1-800-351-1111



MBI

ENGINEER

MBI COMPANY INC.  
299 N. HARRISON ROAD  
NASHVILLE, TN 37219  
PHONE: (615) 584-5555  
FAX: (615) 584-5213  
WEB: mbiengineering.com

CONSULTANT

NOT FOR CONSTRUCTION

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PROFESSIONAL'S SIGNATURE AND SEAL TO BE  
APPLIED TO ALL DRAWINGS AND SPECIFICATIONS.  
PROJECT INFORMATION

PROJECT INFORMATION

PROJECT: KENJO

PROJECT ADDRESS: 4301 N. HARRISON ROAD, NASHVILLE, TN 37219

PROJECT NO.: 9-B-21-SU

ACTIVE DESIGN PHASE: DESIGN DEVELOPMENT

DESIGN DEVELOPMENT

CONSTRUCTION DOCUMENTS

AS-BUILT RECORD SET

REVISION INFORMATION

NO. DATE DESCRIPTION

1 8/27/2021 FOR REVIEW ONLY

2 8/27/2021 FOR REVIEW ONLY

3 8/27/2021 SCHEMATIC DESIGN

4 8/27/2021 DESIGN DEVELOPMENT

5 8/27/2021 CONSTRUCTION DOCUMENTS

6 8/27/2021 AS-BUILT RECORD SET

7 8/27/2021

8 8/27/2021

9 8/27/2021

10 8/27/2021

11 8/27/2021

12 8/27/2021

13 8/27/2021

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37 8/27/2021

38 8/27/2021







[illegible]

Google Maps 4315 Rutledge Pike



Knoxville, Tennessee



Street View - Feb 2019

Existing gas station with convenience store  
and car wash.

Image capture: Feb 2019 © 2021 Google



# KENJO MARKET

## KNOXVILLE, TENNESSEE

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TRAFFIC IMPACT STUDY

RUTLEDGE PIKE  
CITY OF KNOXVILLE, TENNESSEE

CCI PROJECT NO. 00590-0012

REV 1

9-B-21-SU  
Revised: 8/18/2021



PREPARED FOR:

MBI Companies, Inc.  
299 North Weisgarber Road  
Knoxville, TN 37919

SUBMITTED BY:

Cannon & Cannon, Inc.  
8550 Kingston Pike  
Knoxville, TN 37919  
865.670.8555

.....  
REVISED  
AUGUST 18  
**2021**

## EXECUTIVE SUMMARY

This report provides a summary of a traffic impact study that was performed for a proposed redevelopment to the Kenjo Market on Rutledge Pike in Knoxville, Tennessee. The project site is located on the west side of Rutledge Pike just south of the I-40 / Rutledge Pike interchange. The development plan for this project proposes a new 5,000 square-foot building with a mixed-use of convenience market with gas pumps (3,100 square feet & 10 gas pumps) and a drive-through fast food restaurant (1,900 square feet). The proposed development will create a new primary full-movement access and a secondary right-in / right-out onto Rutledge Pike.

The purpose of this study was the evaluation of the traffic operational and safety impacts of the proposed development upon roadways in the vicinity of the project site. Discussion with the City of Knoxville and the Tennessee Department of Transportation staff resulted in two intersections being identified for detailed study. The studied intersections are Rutledge Pike at Primary Site Access / Existing McCalla Avenue / Proposed Rock Pointe Drive and Rutledge Pike at Secondary Site Access. Appropriate intersection evaluations such as capacity analyses, signal warrant analyses, and turn lane warrant evaluations were conducted at the study intersections for existing and future conditions, both with and without site generated traffic, in order to determine the anticipated impacts and to establish recommended measures to mitigate these impacts.

The primary conclusion of this study is that the traffic generated from the proposed development will not have a significant impact on the studied site access intersections at Rutledge Pike. Intersection levels-of-service are expected to be "C" or better exiting the site during peak traffic periods for the primary site access intersection and levels-of-service "A" exiting the site during peak traffic periods for the secondary site access intersection.

The following is a listing of recommendations that were developed to address traffic concerns in the vicinity of the project site:

1. Rutledge Pike at Primary Access / Existing McCalla Avenue / Proposed Rock Pointe Drive:
  - a. Install fourth leg (Proposed Primary Access) to the existing intersection of McCalla Avenue / Proposed Rock Pointe Drive at Rutledge Pike.
  - b. Install northbound left-turn lane with 75-foot storage lane and 180-foot taper.
  - c. Extend the existing solid white channelization line between the northbound ramps of Magnolia Avenue and Asheville Highway up to the beginning of the proposed left-turn lane to discourage drivers from making inappropriate maneuvers from the Asheville Highway Ramp to the proposed left-turn lane.
2. Rutledge Pike at Secondary Access (Right-in / Right-out):
  - a. Create new right-in / right-out intersection at Rutledge Pike.
  - b. Install a raised concrete channelization island to further enforce the right-in / right-out operation.
3. Maintain intersection corner sight distances on the site driveway by ensuring that site grading, landscaping, signage, and other site features do not restrict intersection sight distance lines of sight.





# Development Request

## DEVELOPMENT

- ☐ Development Plan  
☐ Planned Development  
☐ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ SP ☐ OYP  
☐ Rezoning

Wes Carruthers

Owner

Applicant Name

Affiliation

6-21-21

7/26/21

~~8-12-21~~ 9/9/21

File Number(s)

Date Filed

Meeting Date (if applicable)

9-B-21-SU

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☐ Owner ☐ Option Holder ☒ Project Surveyor ☒ Engineer ☐ Architect/Landscape Architect

John Patteson

MBI Companies

Name

Company

299 N. Weisgarber Road

Knoxville

TN

37919

Address

City

State

ZIP

865-584-0999

johnp@mbicompanies.com

Phone

Email

## CURRENT PROPERTY INFO

Downey Oil Company

PO Box 4848 Maryville, TN 37802

865-982-2192

Owner Name (if different)

Owner Address

Owner Phone

4315 Rutledge Pike

070LC001

Property Address

Parcel ID

KUB

KUB

Sewer Provider

Water Provider

Septic (Y/N)

## STAFF USE ONLY

West side Rutledge Pike, S/S Timothy Ave, 1.38 acres

General Location

Tract Size

C-G-1 (pending)

☒ City ☐ County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

**DEVELOPMENT REQUEST**☐ Development Plan ☒ Use on Review / Special Use ☒ Hillside Protection COA☐ Residential ☐ Non-Residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) Convenience Store/Restaurant with drive-thru

Related City Permit Number(s)

**SUBDIVISION REQUEST**

Proposed Subdivision Name \_\_\_\_\_

Unit / Phase Number \_\_\_\_\_

☐ Combine Parcels☐ Divide Parcel

Total Number of Lots Created \_\_\_\_\_

☐ Other (specify) \_\_\_\_\_☐ Attachments / Additional Requirements

Related Rezoning File Number

**ZONING REQUEST**☐ Zoning Change

Proposed Zoning \_\_\_\_\_

☐ Plan Amendment Change

Proposed Plan Designation(s) \_\_\_\_\_

Pending Plat File Number

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

☐ Other (specify) \_\_\_\_\_**STAFF USE ONLY****PLAT TYPE**☐ Staff Review ☐ Planning Commission**ATTACHMENTS**☐ Property Owners / Option Holders ☐ Variance Request**ADDITIONAL REQUIREMENTS**☐ Design Plan Certification (*Final Plat*)☐ Use on Review / Special Use (*Concept Plan*)☐ Traffic Impact Study☐ COA Checklist (*Hillside Protection*)

Fee 1

Total

Fee 2

Fee 3

\$1500.00

**AUTHORIZATION**

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

Applicant Signature

Wes Carruthers

Please Print

6/21/21

Date

865-982-2192

wcarruthers@downeyoil.com

Phone Number

Email

Staff Signature

Levan King Cranston

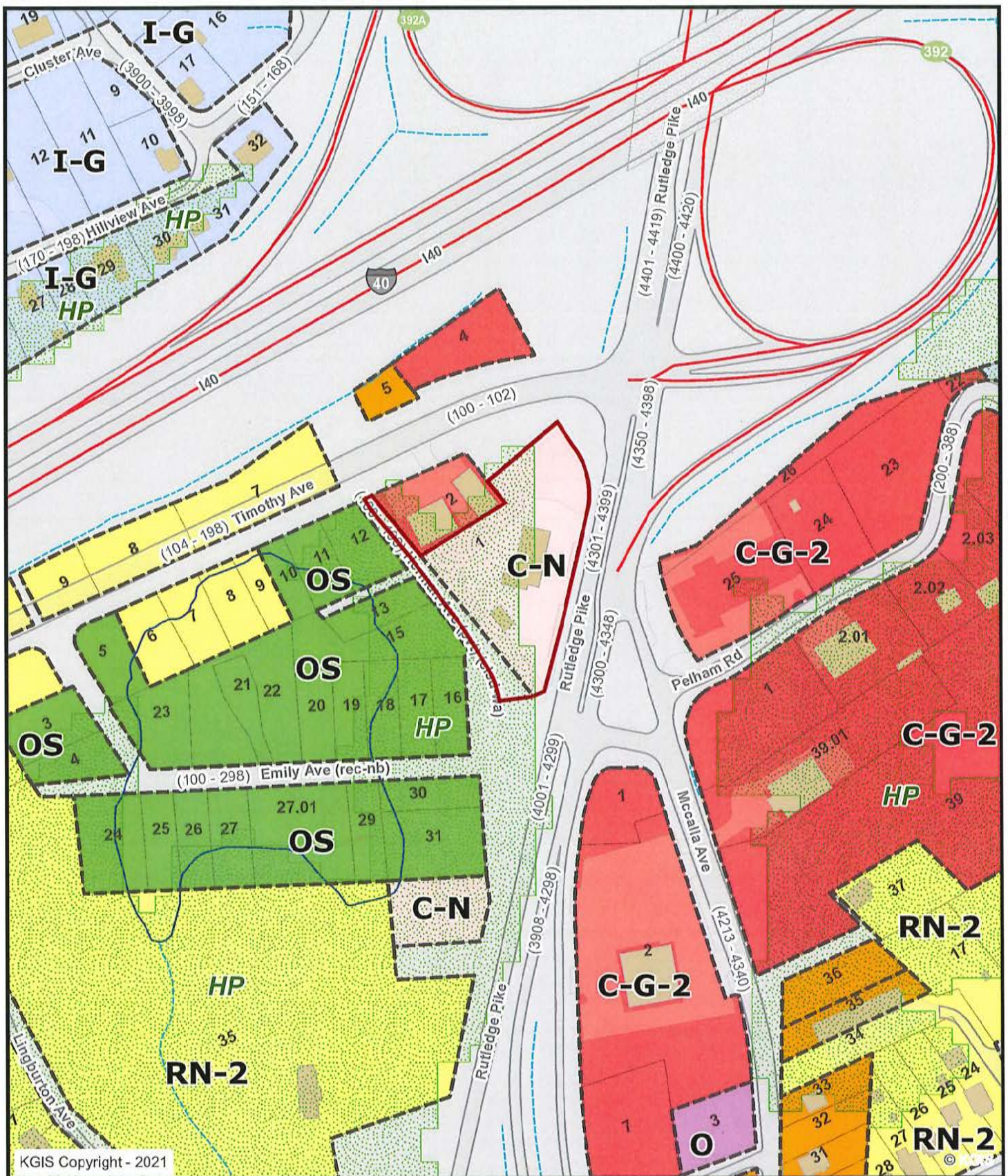
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7/26/2021

Date

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7/26/21



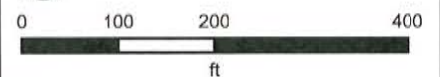


4315 Rutledge Pk.

Knoxville - Knox County - KUB Geographic Information System



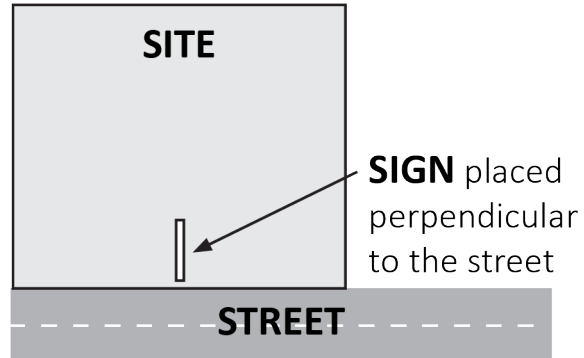
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The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

***The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:***

\_\_\_\_\_ and \_\_\_\_\_  
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: \_\_\_\_\_

Date: \_\_\_\_\_

File Number: \_\_\_\_\_

☐

Sign posted by Staff

☐

Sign posted by Applicant