



SPECIAL USE REPORT

▶ **FILE #:** 4-A-22-SU

AGENDA ITEM #: 50

AGENDA DATE: 4/14/2022

▶ **APPLICANT:** MICHAEL SCHMIDT

OWNER(S): Buddy Cruze

TAX ID NUMBER: 95 I D 021

[View map on KGIS](#)

JURISDICTION: City Council District 6

STREET ADDRESS: 808 State St.

▶ **LOCATION:** East side of State Street, southeast side of Cumberland Avenue, north of Main Street

▶ **APPX. SIZE OF TRACT:** 0.15 acres

SECTOR PLAN: Central City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Pedestrian access is via State Street, a local street with a 24-ft pavement width within a 40-ft right-of-way. Vehicular access is via Cumberland Avenue, a major collector with a 25-ft pavement width within a 50-ft right-of-way and Main Street, a 25-ft pavement width within a 60-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: First Creek

▶ **ZONING:** DK-G (Downtown Knoxville Grid Subdistrict)

▶ **EXISTING LAND USE:** Vacant Commercial Building and Parking

▶ **PROPOSED USE:** Live Performance Venue

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Surface parking - DK-G (Downtown Knoxville Grid Subdistrict)

South: Parking garage - DK-G (Downtown Knoxville Grid Subdistrict)

East: Surface parking & commercial building - DK-G (Downtown Knoxville Grid Subdistrict)

West: Parking garage - DK-G (Downtown Knoxville Grid Subdistrict)

NEIGHBORHOOD CONTEXT: This downtown property is on a block comprised of surface parking and a small commercial building that includes a spa and event venues. Surrounding the block are parking garages, surface parking, and a hotel.

STAFF RECOMMENDATION:

▶ **Approve the request for a live music venue with approximately 6,530 sq-ft of floor area in the DK-G (Downtown Grid) zoning district, subject to 2 conditions.**

1) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance, including but not limited to

Article 5, Section 5.5.C. (Design Standards) for the DK-G zone.

2) Meeting all applicable requirements of the City of Knoxville Department of Engineering, Fire Prevention Bureau, and Department of Plans Review and Inspections.

With the conditions noted, this plan meets the requirements for approval of a live performance venue in the DK-G zoning district and the criteria for approval of a special use.

COMMENTS:

This proposal is for a live performance venue called "The Outpost" with approximately 6,530 sq-ft of floor space. The property is zoned DK-G (Downtown Knoxville Grid Subdistrict) which requires Special Use approval for live performance venues. A vacant brick commercial building would be renovated for this purpose, with exterior rehabilitation and additions.

A live performance venue is defined by the City of Knoxville Zoning Ordinance as follows:

- 1) A facility for the presentation of live entertainment, including musical acts, including disc jockeys (DJs), theatrical plays, stand-up comedy, and similar performances.
- 2) Performances are scheduled in advance and tickets are required for admission and available for purchase in advance, though tickets may be purchased at the venue's box office on the day of the performance.
- 3) Only open to the public when a live performance is scheduled.
- 4) May include classroom and/or rehearsal space utilized during hours it is not open to the public for a performance.
- 5) May include concession stands, including sale of alcohol, but only when it is open to the public for a performance.
- 6) Does not include any adult use as defined by the City Code and does not include a nightclub.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

- a. The One Year Plan and the Central City Sector Plan land use designation for this site are MU-RC (Regional Mixed Use Center), which is particular to Downtown Knoxville's Central Business District and envisioned as the highest intensity of mixed use centers.
- b. The proposed live performance venue is consistent with the sector plan and the One Year Plan.

THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

- a. Live performance venues require Special Use approval by the Planning Commission in the DK-G (Downtown Grid) zoning district.
- b. Live Performance Venues do not have principal use standards. They only need to meet the standards of the DK-G zone and other general standards of the zoning ordinance.
- c. The dimensional and design standards for the DK-G zone are not applicable to this request because the renovation does not exceed 30 percent or more of the existing structure's square footage.

THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

- a. The proposed live performance venue would make the surrounding area, which is primarily comprised of parking garages and surface parking, more accommodating and engaging for pedestrians.
- b. The venue is one block away from another venue where live performances occur, the Bijou Theater.
- c. The Design Review Board approved the proposed exterior rehabilitation and additions with conditions at their March 16, 2022 meeting (Case 2-A-22-DT).

THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

- a. There are no residences in close proximity to the subject property that would be impacted by noise or other environmental factors related to a live performance venue.
- b. There is a hotel nearby, which is also located a block away from the entertainment-oriented corridor of Gay Street. Environmental factors such as evening crowds and music are already an established precedent in this downtown area.
- c. The development would be required to comply with Article 10 of the City of Knoxville Zoning Ordinance standards for the aforementioned impacts. Section 10.2 regulates lighting, while noise, dust and pollution, odors, fire hazards, and other similar concerns are regulated in Section 10.5.

THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

a. The proposed live performance venue will not draw additional traffic through residential streets because it is not located in a residential area.

THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

a. There are no known uses surrounding the subject site that will pose a potential hazard or undesirable environment for the proposed use.

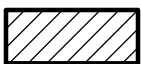
ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the City.



**4-A-22-SU
SPECIAL USE**

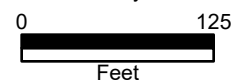


Live Performance Venue in DK-G (Downtown Knoxville Grid Subdistrict)

Petitioner: Schmidt, Michael

Map No: 95

Jurisdiction: City



Original Print Date: 3/8/2022

Revised:

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Building Renovation for:

THE OUTPOST

808 State Street
Knoxville, Tennessee 37902



ARCHITECT



2240 Sutherland Ave., Suite 105
Knoxville, Tennessee 37919
865.671.9060
jainc.com

CIVIL:

Will Robinson & Associates
1248 N Shorewood Drive
Caryville, Tennessee 37714
(865) 386-4200

LANDSCAPE:

Beasley Landscape Architects
1937 River Shores Drive
Knoxville, Tennessee 37914
(865) 441-4428

STRUCTURAL:

Haines Structural Group
800 South Gay Street, Suite 1750
Knoxville, Tennessee 37929
(865) 329-9920

**MECHANICAL / PLUMBING /
FIRE PROTECTION:**

Bedinger Consulting Engineers
5641 Merchants Center Boulevard, A104
Knoxville, Tennessee 37912
(865) 637-8339

ELECTRICAL:

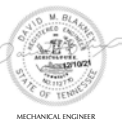
Vreeland Engineering, Inc.
3107 Sutherland Avenue
Knoxville, Tennessee 37919
(865) 637-4451

VICINITY MAP



SCOPE OF PROJECT:

The Outpost will include the renovation of the existing building located at 808 State Street in Knoxville, Tennessee to be utilized as an indoor music venue. The new facility will feature a stage, backstage prep areas, restrooms, full-service bar, and associated support spaces. The existing building will be fully-sprinklered in order to accommodate 300 guests or more. The exterior of the building will feature an outdoor 'lounges'.



PLANS REVIEW AND PRICING SET
ISSUE DATE: DECEMBER 10, 2021

CODE REQUIREMENTS

BUILDING CODE/ZONE ANALYSIS

KNOX COUNTY, CITY OF KNOXVILLE
PROJECT: Building Renovation for THE OUTPOST
OWNER: State Properties LLC
CONTACT: 730 E Jackson Ave. Knoxville, Tennessee 37915
TENANT: Buz & Raed Productions
CONTACT: Garrett Thomson
CONTACT: Kent Ogdenby
ARCHITECT: Johnson Architecture, Inc.
2240 Sutherland Avenue, Suite 105
Knoxville, Tennessee 37919
phone: (865) 671-9060
jainc.com
CONTACT: Eric Bowen
ebowen@jainc.com
(865) 671-9060

Applicable Codes:
2018 International Building Code w/ adopting ordinance
2018 International Existing Building Code
Compliance Option 301.2.2 - Work Area
Compliance Method, Abatement Level 3
2018 International Energy Conservation Code
2018 International Fire Code w/ adopting ordinance
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fuel and Gas Code
2009 ICC/ANSI A117.1
2017 National Electric Code
Occupancy Classification: A-2 (ASSEMBLY)
Type of Construction: TYPE III-B (SPRINKLERED)
Building Height and Area Limitations:
Table 503 Requirements:
Max. Height in Feet: 75'-0"
Max. Number of Stories: 3
Max. Floor Area: 38,000 s.f.
Actual Building Height and Area:
Height in Feet: 23'-4"
Number of Stories: 1
Floor Area: Existing 5,135 s.f.
Existing Main Level 5,241 s.f.
Addition 125 s.f.
Total 10,501 s.f.
Table 601 Requirements:
Primary Structural Frame: 0
Bearing Walls - Exterior: 2
Interior: 2
Non-Bearing Walls - Interior: 0
Floor Construction & Secondary Members: 0
Roof Construction & Secondary Members: 0

Table 601 Fire-Resistance Rating Req. for Exterior Walls Based on Fire Separation Distance

Fire-Resistance Rating Requirements for Exterior Walls based on Fire Separation Distance:	Fire Separation Distance (feet)	Type of Construction	Group A-2
< 5	All	1	
5-5	1A, 1	1	
< 10	Others	1	
5-10	1A, 1B	0	
< 30	1B, V-B	0	
> 1- 30	Others	1	
	All	0	

Table 716, 111 and Table 716, 173 Requirements:

N/A - No doors or windows are proposed in rated walls.

Table 803.11 - Interior Wall and Ceiling Finish Requirements

Group A-2 Sprinklered	Exit Enclosures and Exit Passageways:	Corridors:	Rooms and Enclosed Spaces:
Exit Enclosures and Exit Passageways:	B		
Corridors:	B		
Rooms and Enclosed Spaces:	C		

Table 1006.3.2 Minimum Number of Exits or Access to Exits Per Floor

Occupant Load Per Story	Min. Number of Exits, or Access to Exits from Story
0-500	2
501-1,000	3
more than 1,000	4

Max. Exit Travel Distance: 200'-0" (100'-0")
Max. Length of Dead End Corridor: 20'-0" (10'-0")
Capacity of Means of Egress: 0.15"/DDC (0.05-3.2 EX. 1)

Energy Code Requirements

Alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the INTERNATIONAL ENERGY CONSERVATION CODE (IECC) and meet the minimum requirements set forth.

The alterations to the existing building have been designed in accordance with the 2018 INTERNATIONAL ENERGY CONSERVATION CODE and meet the minimum requirements set forth.
FENESTRATION:
EXTERIOR WALLS: R-13 = 8.3/61 or R-20 (WOOD FRAMED) / R-13 = 8.7/56 (METAL FRAMED)
FLOOR: NA
ROOF: R-25 (if entirely above deck)

DRAWING INDEX

COVER SHEET

CIVIL

- C1.1 SITE DEMOLITION PLAN
- C1.2 SITE LAYOUT PLAN
- C1.3 SITE GRADING PLAN
- C2.1 SITE DETAILS

LANDSCAPING

- L1.1 LANDSCAPE PLAN

ARCHITECTURAL

- AD1.1 DEMOLITION PLAN
- ES1.1 LIFE SAFETY PLAN
- AG.1 GENERAL INFORMATION AND ACCESSIBILITY REQUIREMENTS
- AG.2 L1 ASSEMBLIES
- A1.1 FLOOR PLANS
- A1.2 ENLARGED FLOOR AND DETAILS
- A1.3 ROOF PLAN
- AR.1 REFLECTED ELEVATION PLANS
- A1.1 EXISTING ELEVATIONS
- A1.2 BUILDING ELEVATIONS
- A1.3 BUILDING ELEVATIONS
- A1.4 3D VIEWS
- AR.1 BUILDING SECTIONS
- A4.2 PART SECTIONS
- AR.3 WALL SECTIONS
- A4.4 WALL SECTIONS
- AR.1 ENLARGED PLANS, ELEVATIONS, AND DETAILS
- AR.1 DOOR AND FRAME SCHEDULE AND ELEVATIONS
- AR.1 INTERIOR ELEVATIONS

STRUCTURAL

- SO.1 ABBREVIATIONS, SYMBOLS, AND LEGENDS
- SO.2 STRUCTURAL GENERAL NOTES
- SO.3 SPECIAL INSPECTIONS
- SO.4 TYPICAL CONCRETE AND MASONRY DETAILS
- SO.5 TYPICAL STEEL AND LIGHT GAUGE DETAILS
- SO.6 TYPICAL WOOD DETAILS
- SI.1 STORAGE AND LENDING LEVEL FLOOR PLAN
- SI.2 GROUND FLOOR FRAMING PLAN
- SI.3 ROOF FRAMING PLAN
- SI.1 SECTIONS AND DETAILS
- SI.2 SECTIONS AND DETAILS
- SI.3 SECTIONS AND DETAILS

MECHANICAL

- M001 SCHEDULES AND SPECIFICATIONS
- M101 FLOOR PLAN - HVAC
- M102 HVAC - 3D VIEWS

PLUMBING

- P101 FLOOR PLAN - WASTE
- P102 FLOOR PLAN - WATER AND GAS

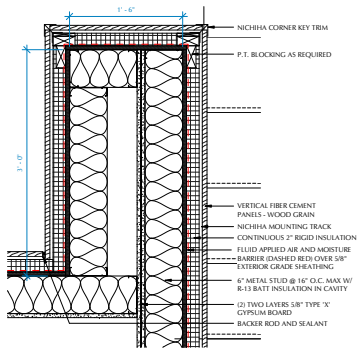
FIRE PROTECTION

- FP001 PRELIMINARY HYDRAULIC CALCULATIONS
- FP002 DETAILS AND SPECIFICATIONS
- FP101 FLOOR PLAN - FIRE PROTECTION

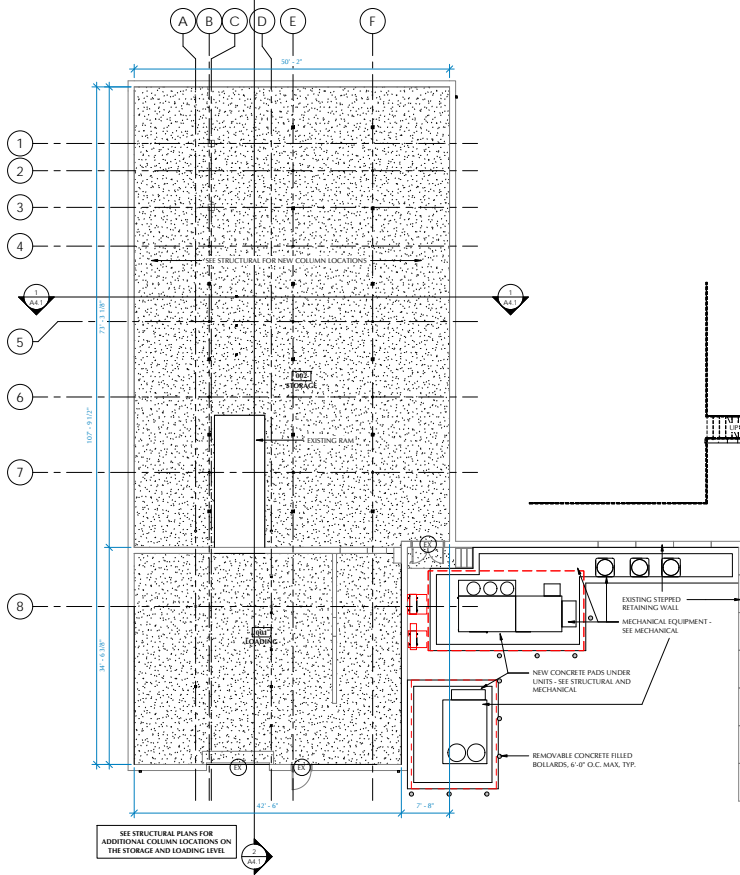
ELECTRICAL

- E1.1 FLOOR PLANS - LIGHTING
- E1.2 FLOOR PLANS - ELECTRICAL
- E1.3 FLOOR PLANS - COMMUNICATIONS, FIRE ALARMS AND HVAC WIRING
- E2.1 LEGENDS, SCHEDULES, AND DETAILS
- E2.2 ELECTRICAL SPECIFICATIONS AND FIRE ALARM RISER DIAGRAM

4-A-22-SU
3/2/2022



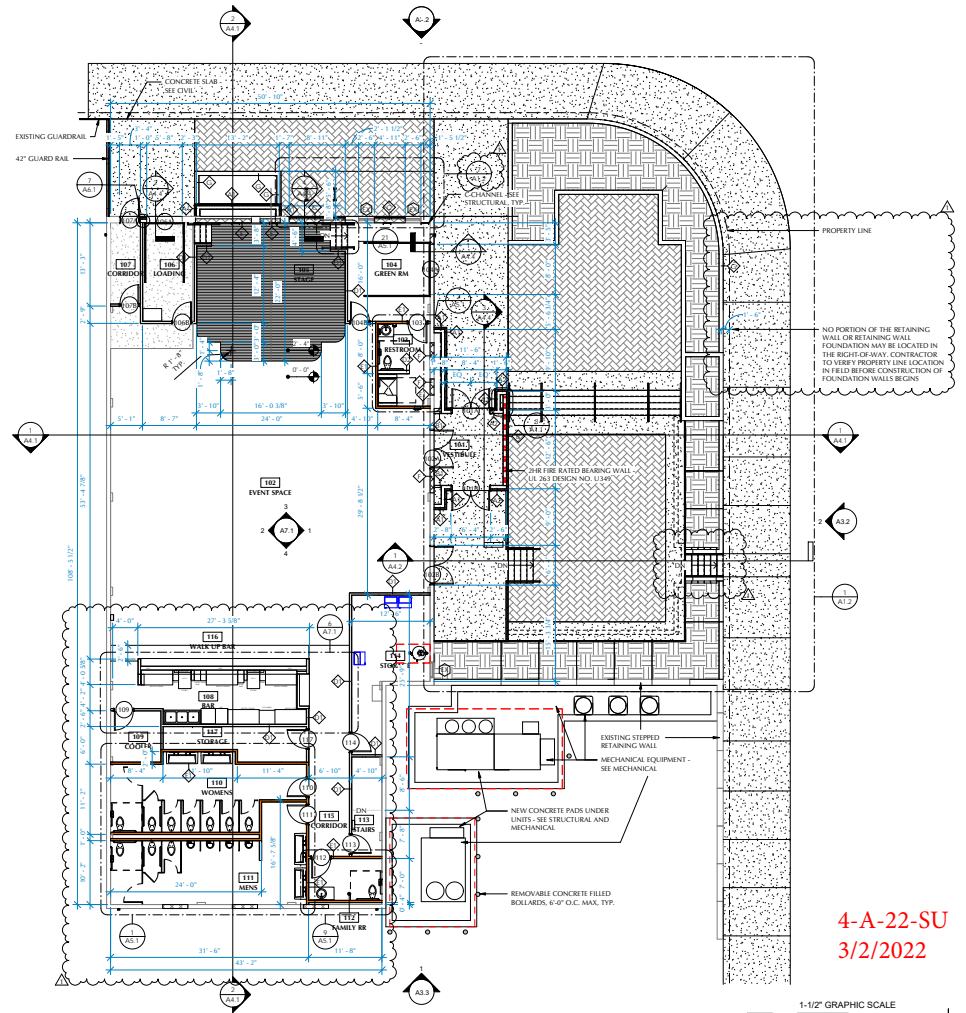
3 FIBER CEMENT PANEL CORNER DETAIL
 1 1/2" = 1'-0"



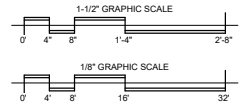
1 STORAGE & LOADING LEVEL FLOOR PLAN
 1/8" = 1'-0"

FLOOR PLAN NOTES	
1.	COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2.	SEE SHEET A0.1 FOR ABBREVIATIONS, SYMBOLS, GENERAL NOTES AND TYPICAL ACCESSIBLE MOUNTING HEIGHTS
3.	SEE SHEET A0.2 FOR U.L. ASSEMBLIES
4.	FURNISH AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY A.H.J. MINIMUM REQUIRED PER 75' OF TRAVEL OR 1 PER 6,000 SF OF BUILDING AREA
5.	PROVIDE BLOCKING, ROUGH HARDWARE, ETC. AS REQUIRED TO MOUNT EQUIPMENT
6.	FURNISH POSITIVE SLOPE TO ALL FLOOR DRAINS
7.	PROVIDE CYPRESIM BOARD CONTROL JOINTS AT 36" O.C. MAX. COORDINATE LOCATIONS WITH INTERIOR ELEVATIONS. WHERE JOINTS ARE NOT SHOWN, CENTER SPACING WITHIN ROOM. EDGE OF WALL OPENINGS
8.	ALL EXPOSED STEEL TO BE PAINTED W/ ENAMEL LATEX PAINT PER SPEC (PRIMER + 2 COATS MIN.)

WALL LEGEND	
	EXTERIOR WALL PARTITION 'A' & 'A' VERTICAL NICHHA VINTAGEWOOD FIBER CEMENT PANELS - 'SPRUC' (4X) OR 'BARK' (4X); NICHHA MOUNTING TRACK, 2" RIGID INSULATION (R-7.5 @ MIN.); CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER, 5/8" EXTERIOR GRADE SHEATHING OVER 6" 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ 3 BATT INSULATION AT CAVITY, 5/8" CYPRESIM BOARD ON FINISH SIDE
	EXTERIOR WALL PARTITION 'W' 2HR RATED UL263 DESIGN NO. L1449 VERTICAL NICHHA VINTAGEWOOD FIBER CEMENT PANELS - 'BARK'; NICHHA MOUNTING TRACK, 2" RIGID INSULATION (R-7.5 @ MIN.); CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER, 5/8" EXTERIOR GRADE SHEATHING OVER 6" 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ 3 BATT INSULATION AT CAVITY, 25 TWO LAYERS 5/8" TYPE 'X' CYPRESIM BOARD ON FINISH SIDE
	EXTERIOR WALL PARTITION 'C' VERTICAL NICHHA VINTAGEWOOD FIBER CEMENT PANELS - 'SPRUC'; NICHHA MOUNTING TRACK, 2" RIGID INSULATION (R-7.5 @ MIN.); CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER, 8" CMU; GROUDED SOLID, PAINTED ON FINISH SIDE
	EXISTING WALL
	INTERIOR WALL PARTITION 'D' & 'D' 3-5/8" (D) OR 4" (DD) 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ 5/8" CYPRESIM BOARD ON EACH SIDE. EXTEND STUDS TO UNDERSIDE OF ROOF DECK, PROVIDE SOUND BATS, TYP. EXTEND CYPRESIM BOARD ON ONE SIDE TO UNDERSIDE OF STRUCTURE.
	INTERIOR WALL PARTITION 'E' & 'E' 3-5/8" (E) OR 4" (EE) 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ 5/8" CYPRESIM BOARD ON EACH SIDE. EXTEND STUDS TO UNDERSIDE OF ROOF DECK, PROVIDE SOUND BATS, TYP. EXTEND CYPRESIM BOARD ON ONE SIDE TO UNDERSIDE OF STRUCTURE.
	INTERIOR CMU 'I' 8" CMU, GROUDED SOLID - SEE STRUCTURAL
	SITE WALL 'C' 8" CONCRETE



2 GROUND LEVEL FLOOR PLAN
 1/8" = 1'-0"



Building Renovation for:
THE OUTPOST
 808 State Street
 Knoxville, Tennessee 37902

REVISIONS		
Revision #	Description	Date
1	Revision 1	

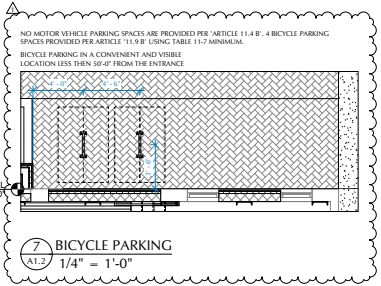
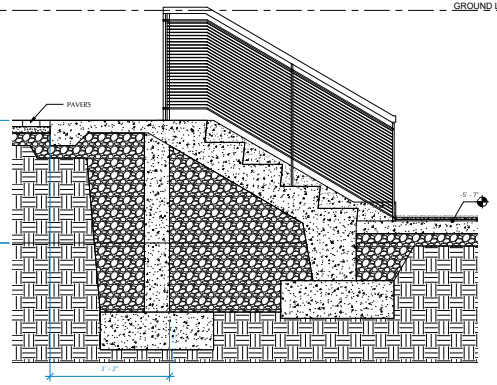
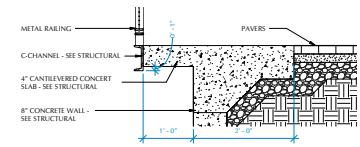
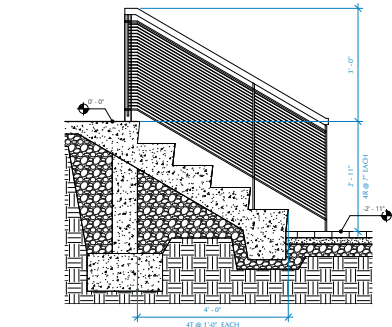
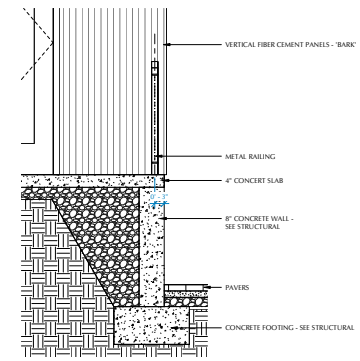
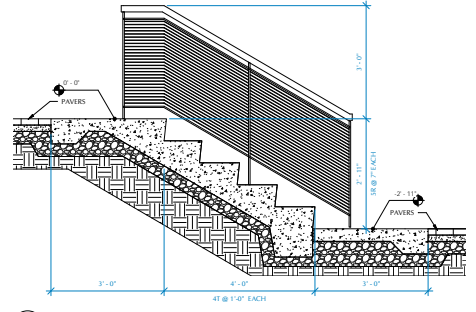
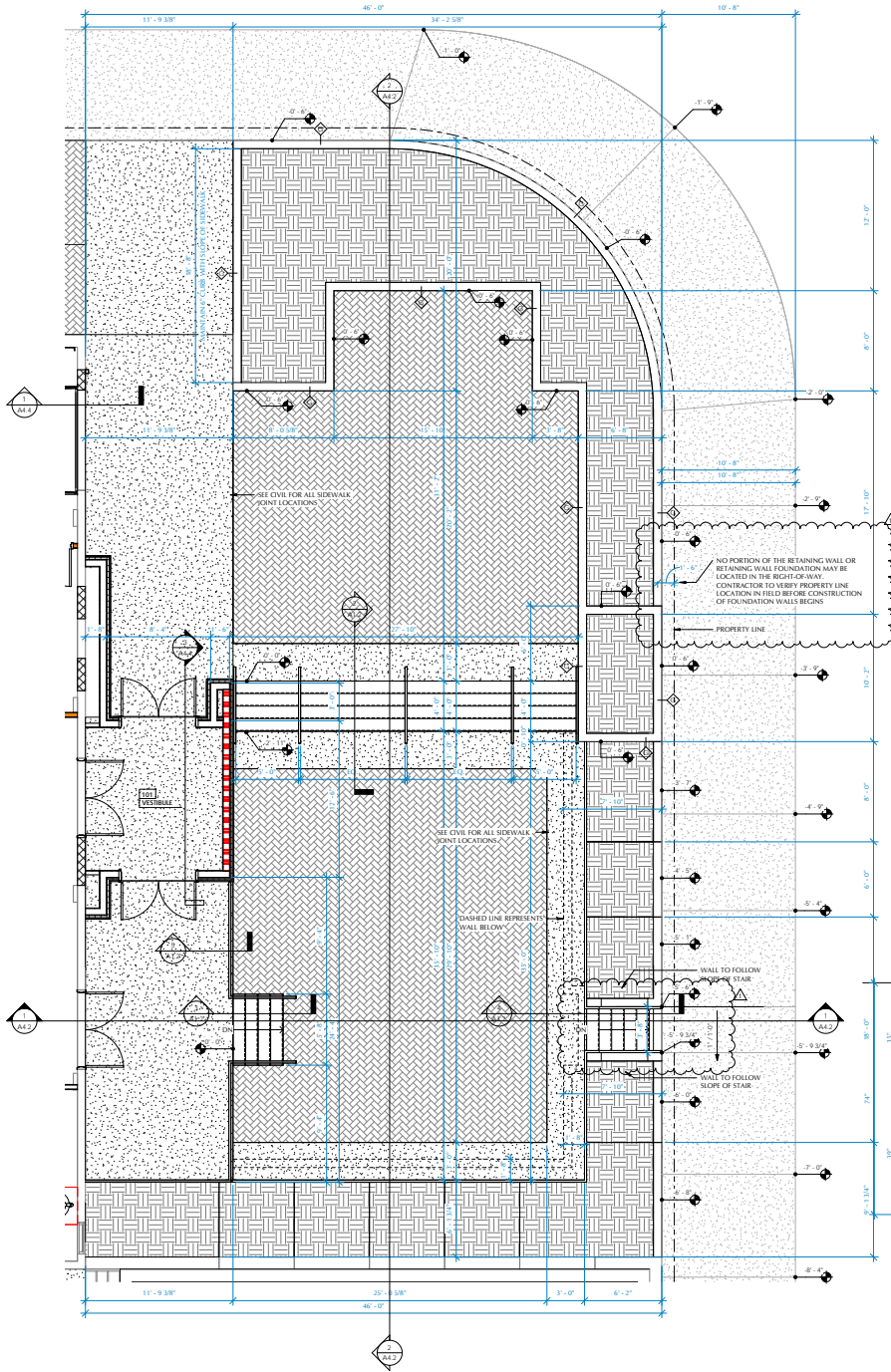
DATE: 12/6/2021
 PROJECT NO: 213081.2

A1.1

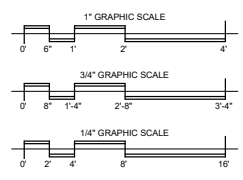


Johnson
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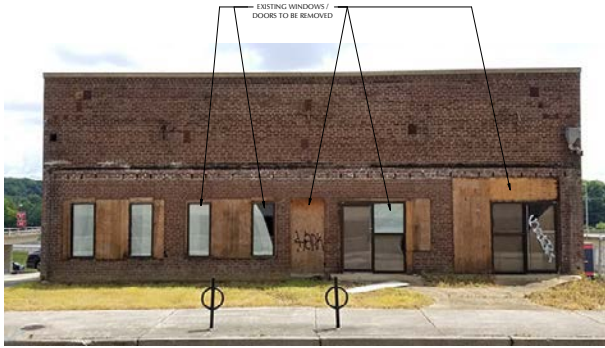
Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

ENLARGED PATIO
AND DETAILS

Revision #	Description	Date
1	Revision 1	Date 1

DATE: 12/6/2021
PROJECT NO: 213081.2

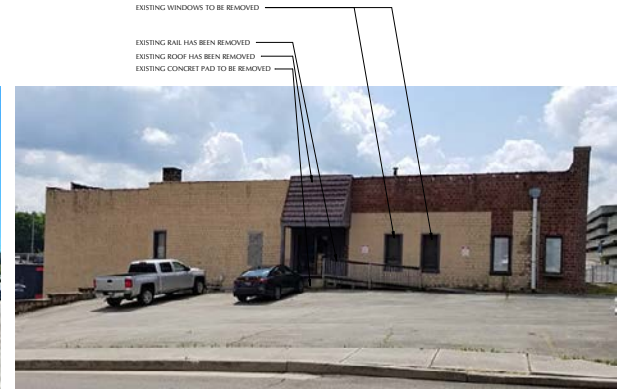
A1.2



1
A3.1 EXISTING NORTH ELEVATION



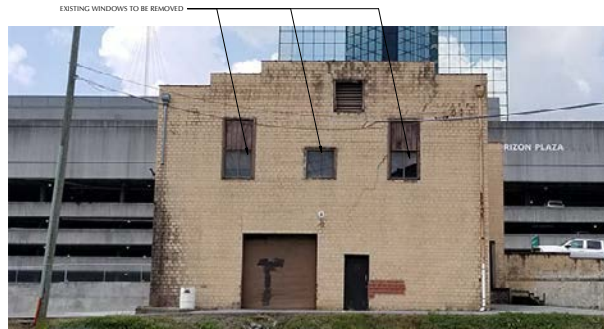
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A3.1 EXISTING NORTHEAST ELEVATION



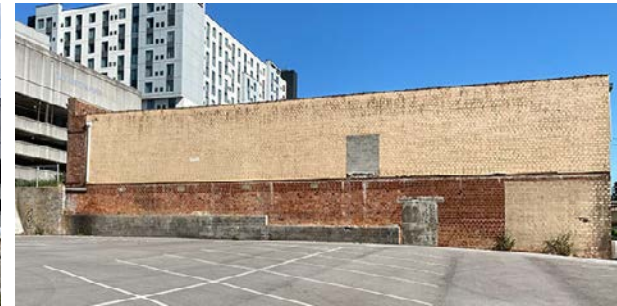
3
A3.1 EXISTING EAST ELEVATION



4
A3.1 EXISTING SOUTHEAST ELEVATION



5
A3.1 EXISTING SOUTH ELEVATION



6
A3.1 EXISTING WEST ELEVATION



7
A3.1 SURROUNDING PROPERTIES



8
A3.1 SURROUNDING PROPERTIES



**Johnson
Architecture**

2240 Sutherland Ave., Suite 105
Knoxville, Tennessee 37919
865.671.9060
ja@ja-inc.com



Building Renovation for:
THE OUTPOST
808 State Street
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EXISTING
ELEVATIONS

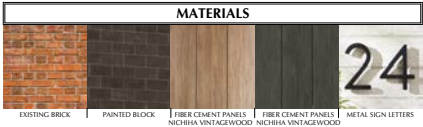
REVISIONS
Revision # Description Date

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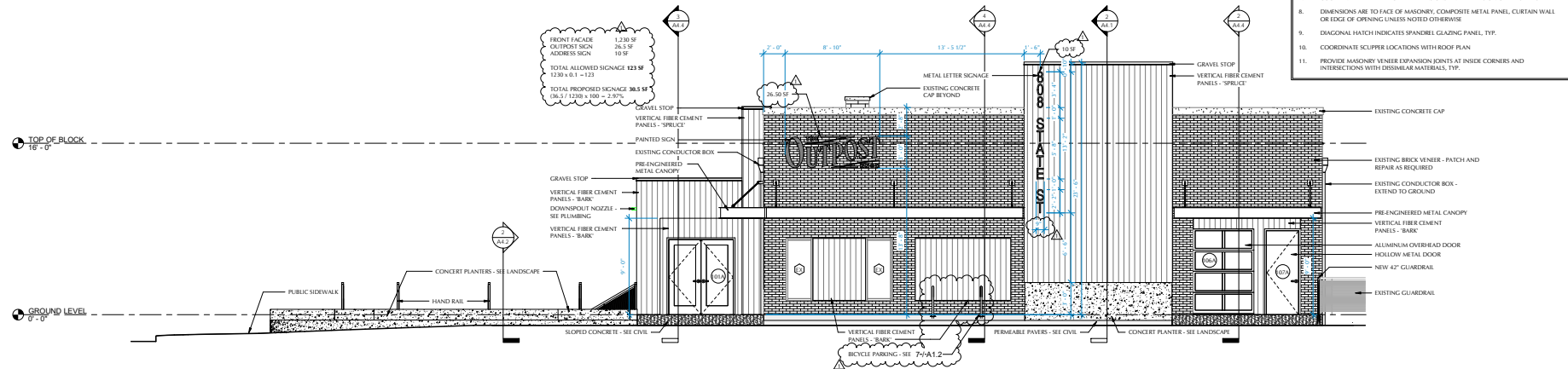
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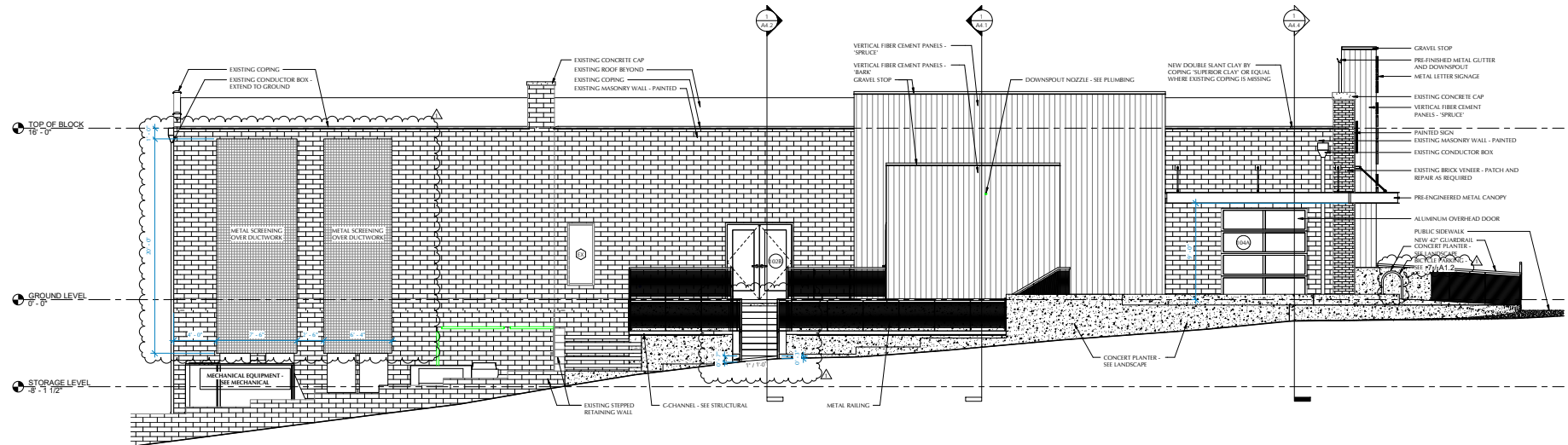
A3.1



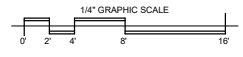
- ### ELEVATION NOTES
1. C1 - CONTROL JOINT. SEE DETAIL XXXX
 2. IQ - INSIDE CONTROL JOINT. SEE DETAIL XXXX
 3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 2'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT
 4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTRICK CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE
 5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
 6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR
 7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
 8. DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE
 9. DIAGONAL HATCH INDICATES SPANDREL GLAZING PANEL TYP.
 10. COORDINATE SCUPPER LOCATIONS WITH ROOF PLAN
 11. PROVIDE MASONRY VENER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS. TYP.



1 FRONT FACADE
A3.2
1/4" = 1'-0"



2 RIGHT ELEVATION
A3.2
1/4" = 1'-0"



Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

BUILDING ELEVATIONS

REVISIONS

Revision #	Description	Date
1	Revision 1	Date 1

4-A-22-SU
3/2/2022

DATE: 12/6/2021
PROJECT NO: 213081.2

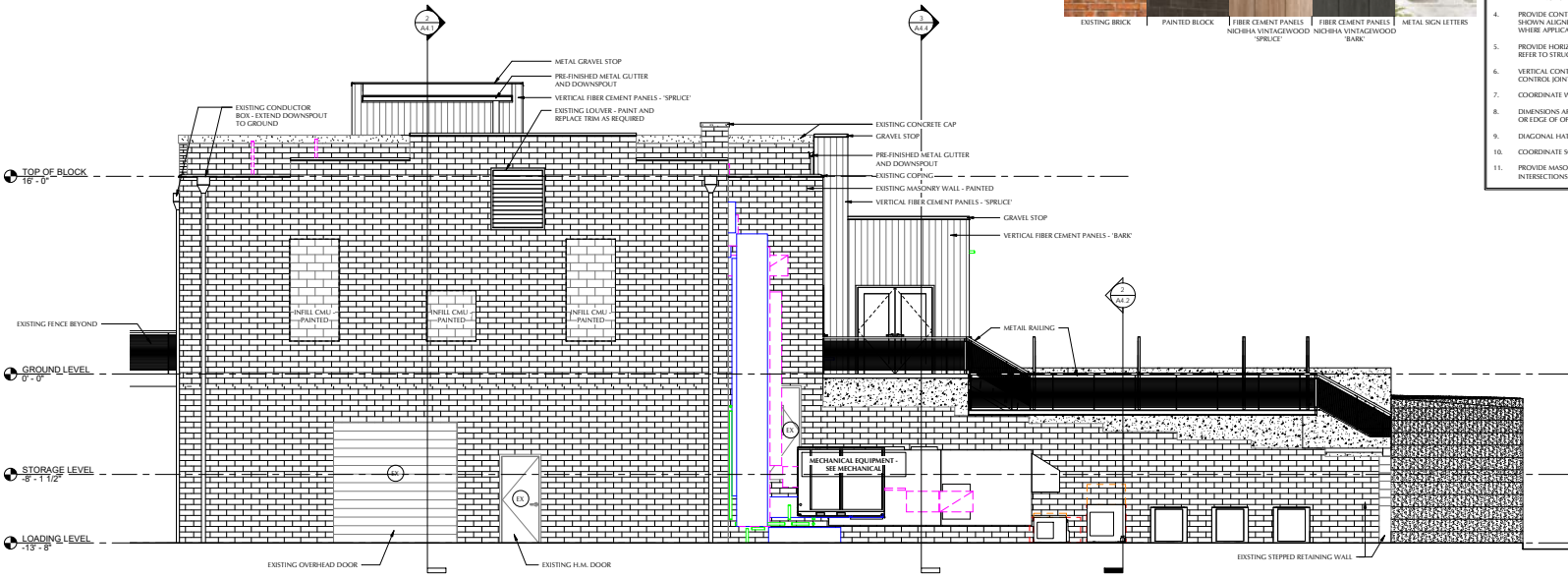
A3.2



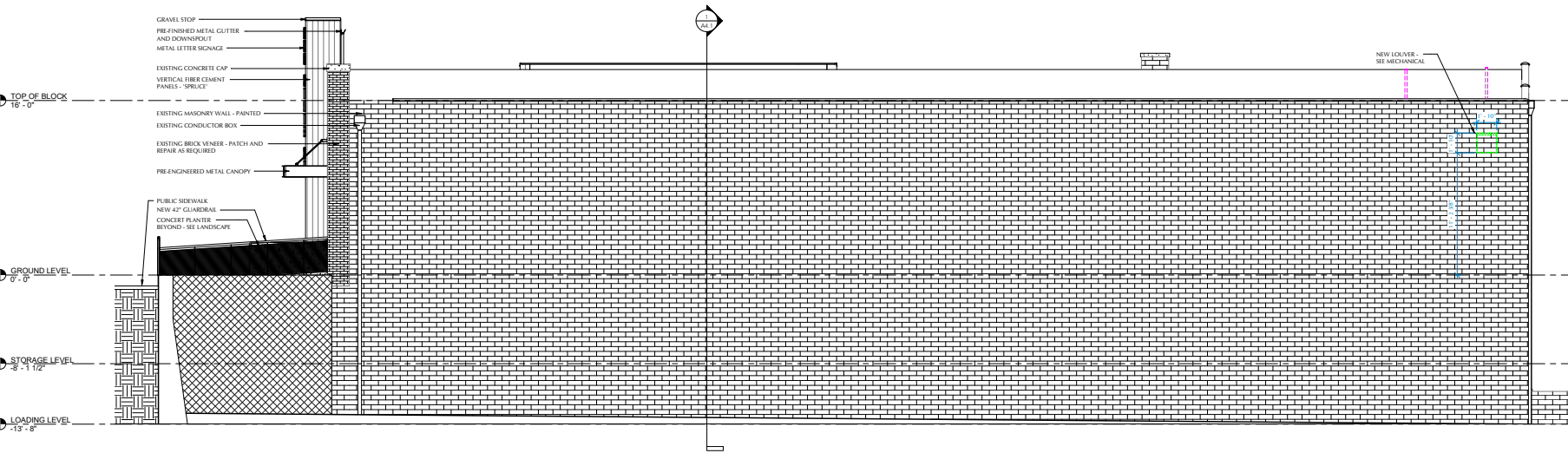
- ELEVATION NOTES**
1. C1 - CONTROL JOINT, SEE DETAIL XXXX
 2. IC1 - INSIDE CONTROL JOINT, SEE DETAIL XXXX
 3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 2'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT
 4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE
 5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
 6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR
 7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
 8. DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE
 9. DIAGONAL HATCH INDICATES SPANDBL GLAZING PANEL, TYP.
 10. COORDINATE SLIPPER LOCATIONS WITH ROOF PLAN
 11. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS, TYP.



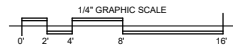
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1 SOUTH ELEVATION
 A3.3 1/4" = 1'-0"



2 WEST ELEVATION
 A3.3 1/4" = 1'-0"



Building Renovation for:
THE OUTPOST
 808 State Street
 Knoxville, Tennessee 37902

BUILDING ELEVATIONS

REVISIONS

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A3.3



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3D VIEWS

REVISIONS
Revision # Description Date

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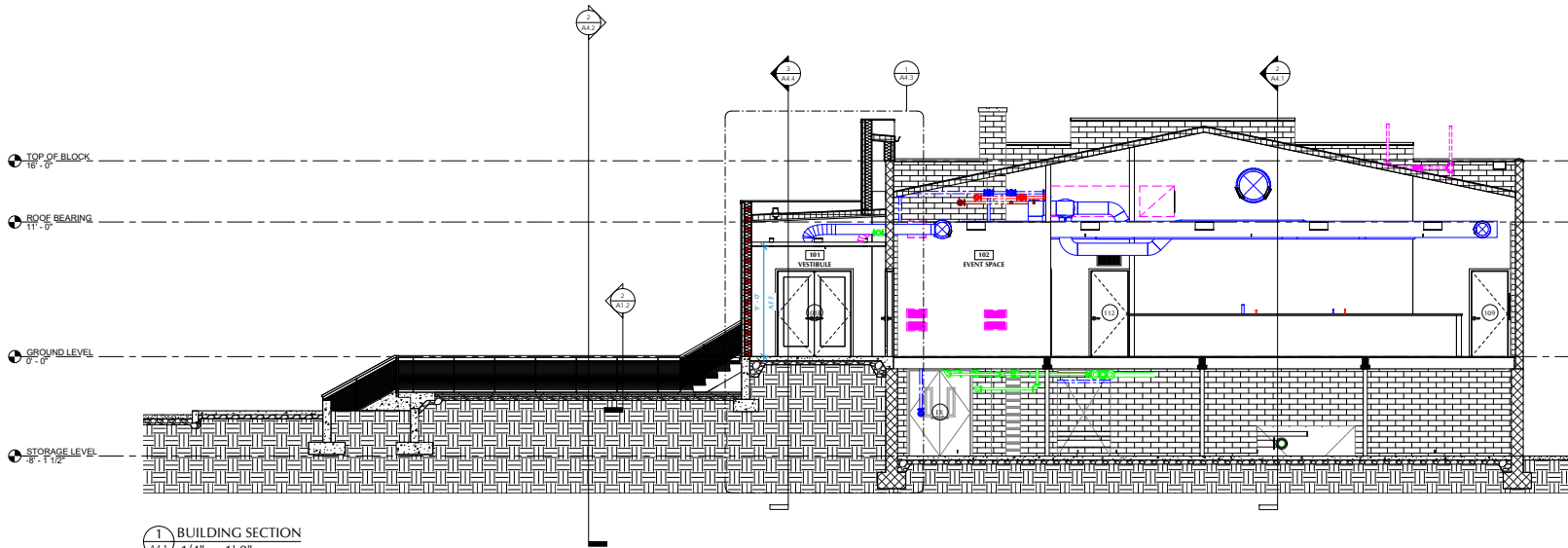
DATE: 12/6/2021
PROJECT NO: 213081.2

A3.4

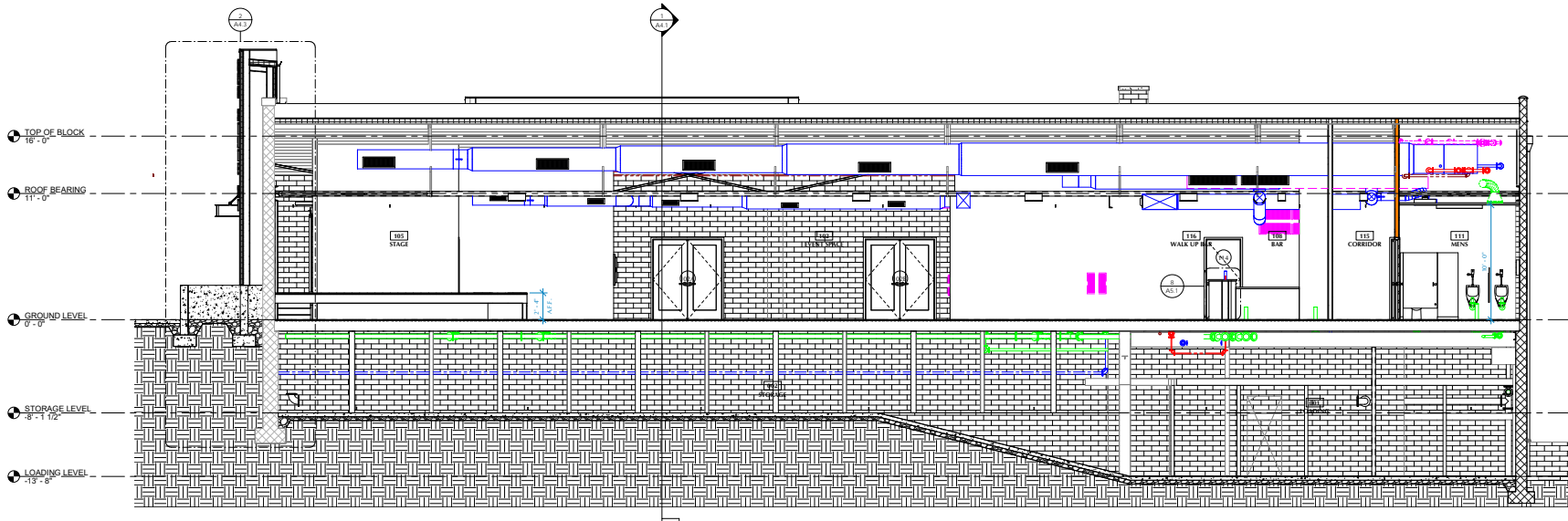


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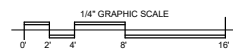
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1 BUILDING SECTION
A4.1 1/4" = 1'-0"



2 BUILDING SECTION
A4.1 1/4" = 1'-0"



Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

BUILDING SECTIONS

REVISIONS
Revision # Description Date

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DATE: 12/6/2021

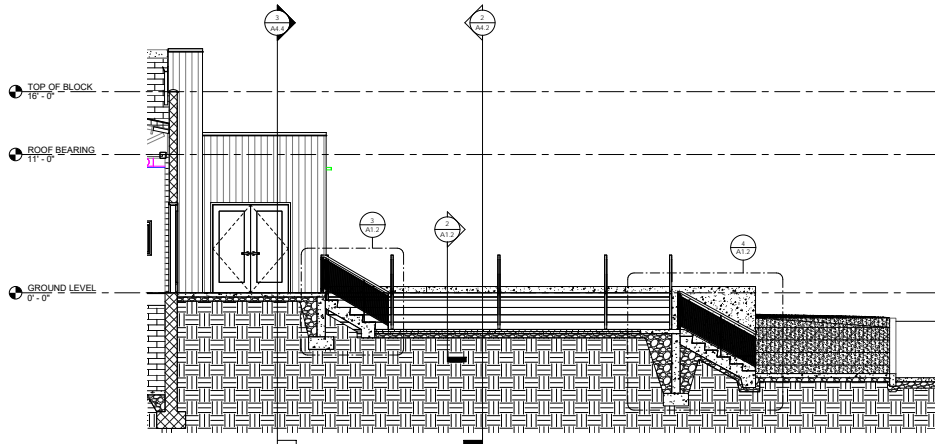
PROJECT NO: 213081.2

A4.1

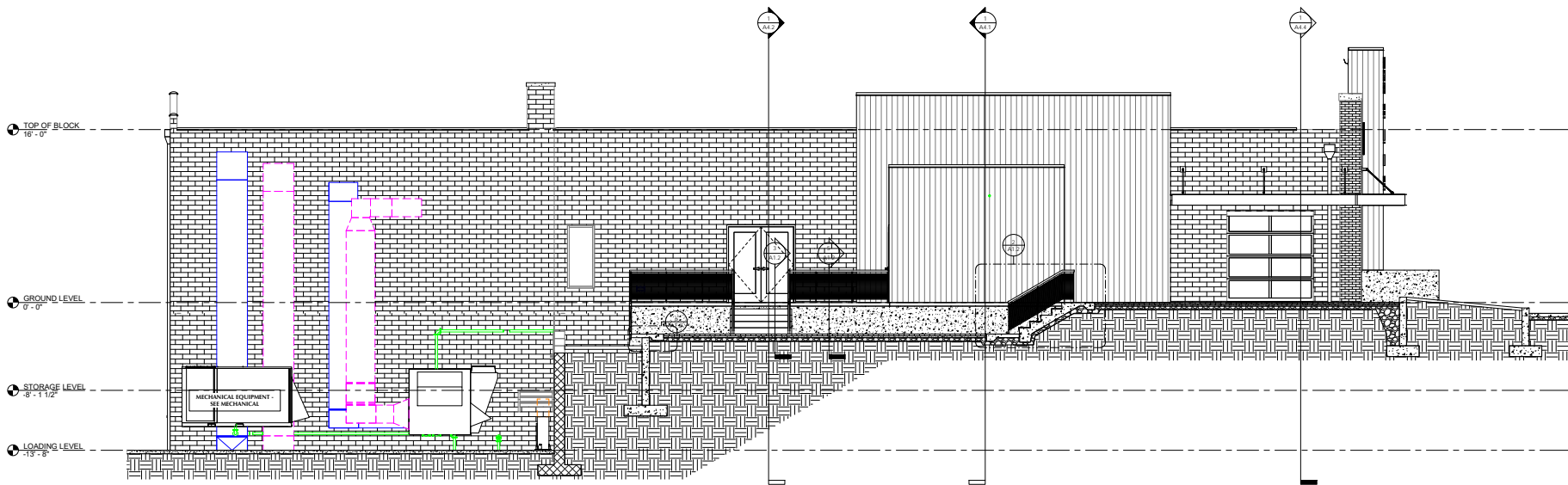


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1 PATIO SECTION
A1.2 1/4" = 1'-0"



2 PATIO SECTION
A1.2 1/4" = 1'-0"

Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

PATIO SECTIONS

REVISIONS
Revision # Description Date

4-A-22-SU
3/2/2022

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PROJECT NO: 213081.2

A4.2



WALL SECTIONS

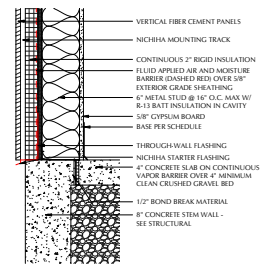
REVISIONS

Revision #	Description	Date

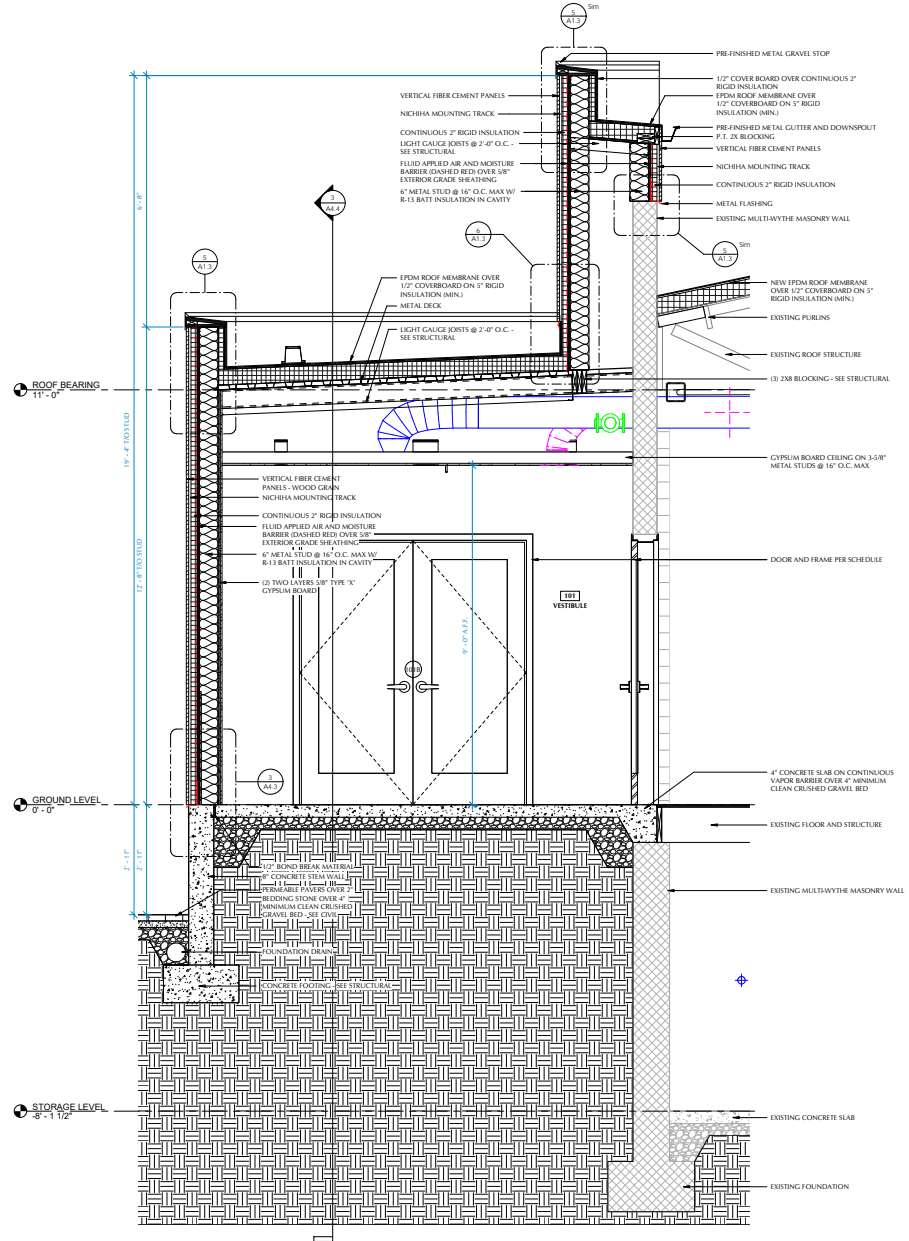
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DATE: 12/6/2021
 PROJECT NO: 213081.2

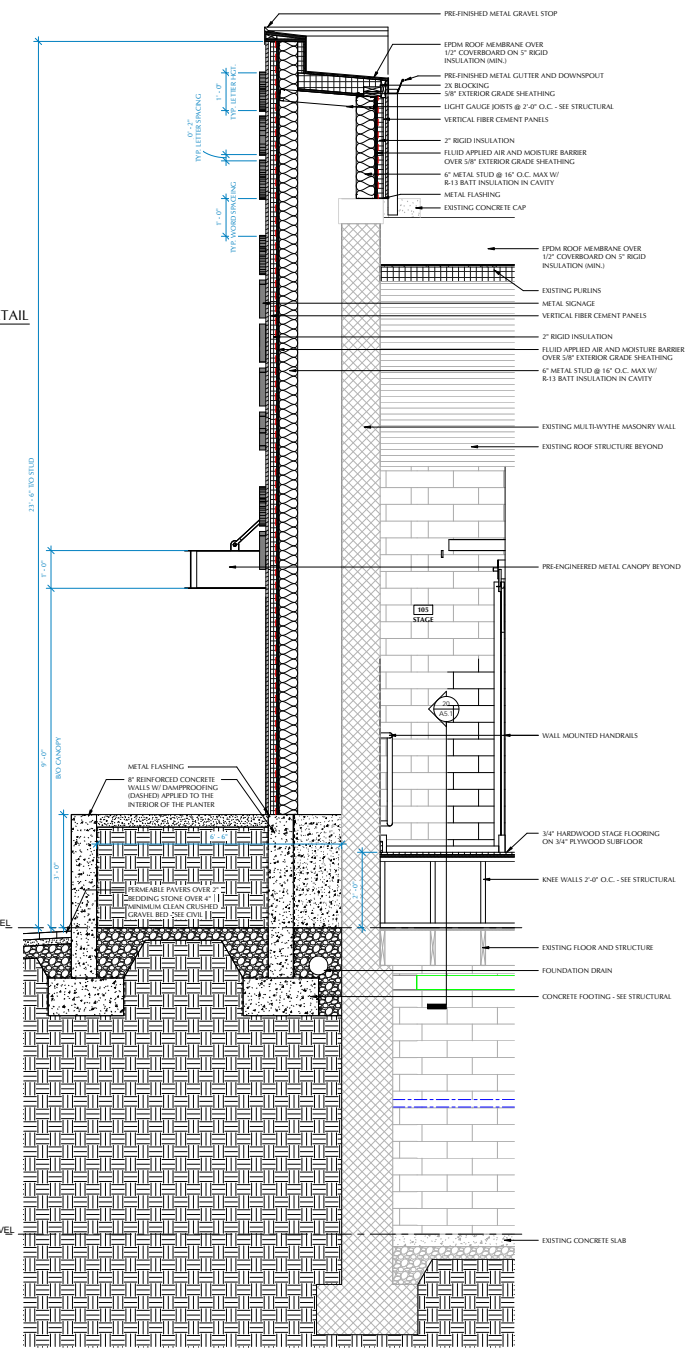
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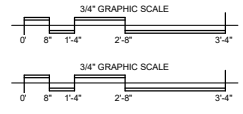
3 WALL TO WALL TRANSITION DETAIL
 A4.3 1 1/2" = 1'-0"



1 WALL SECTION
 A4.3 3/4" = 1'-0"



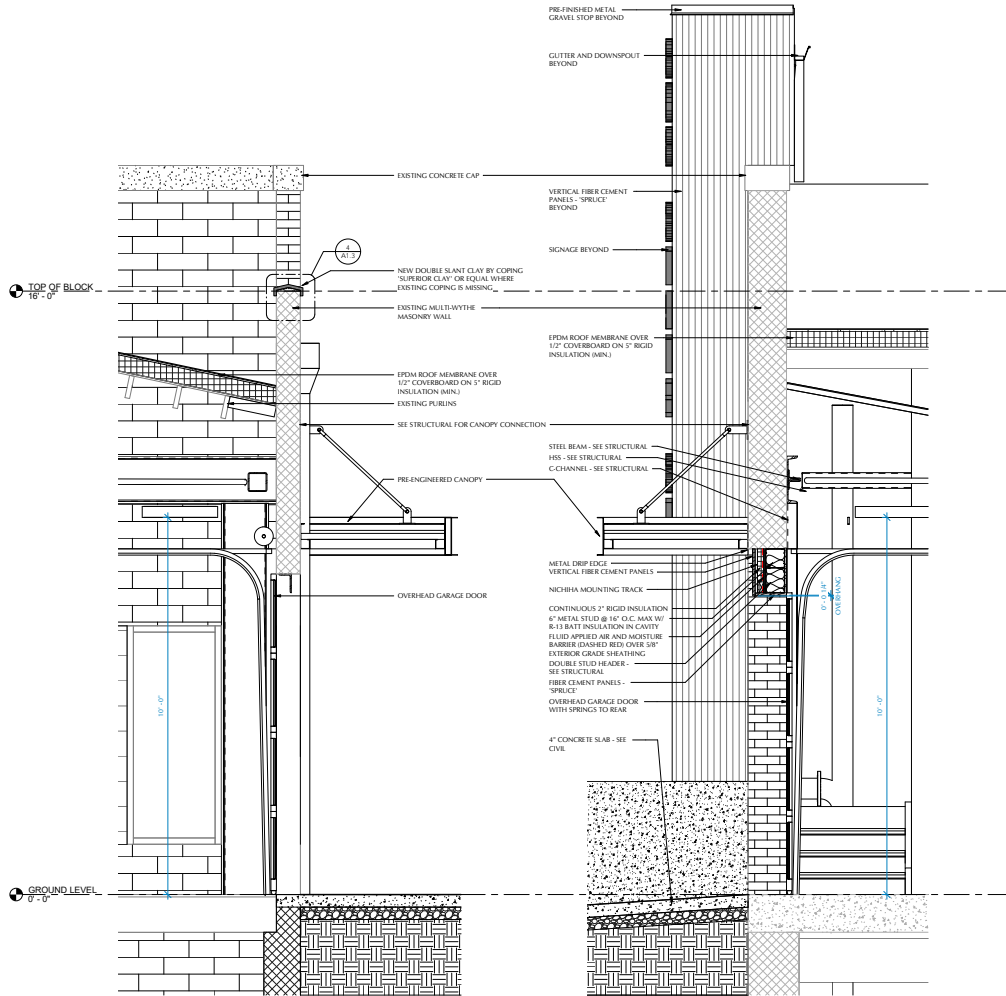
2 WALL SECTION
 A4.3 3/4" = 1'-0"



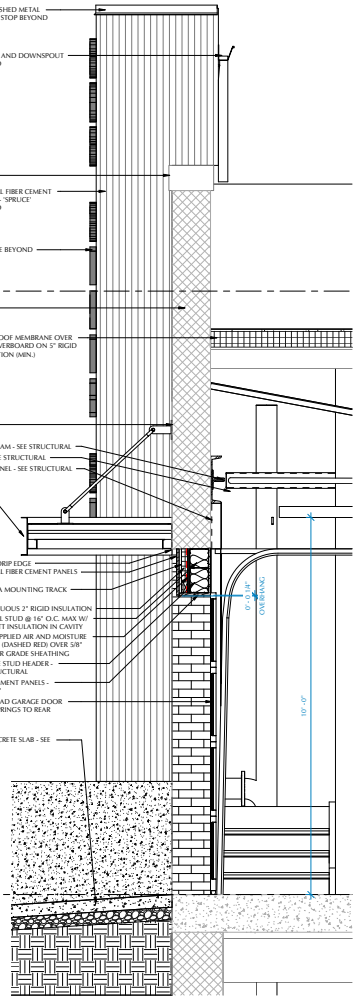


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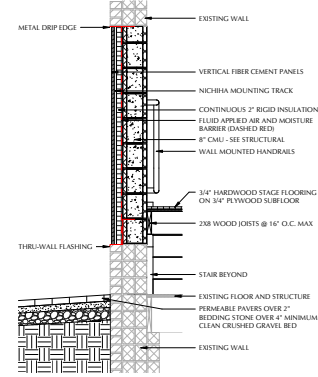
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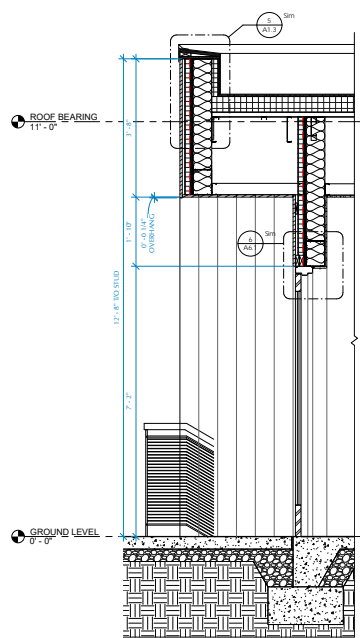
1 WALL SECTION
A4.3 3/4" = 1'-0"



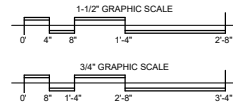
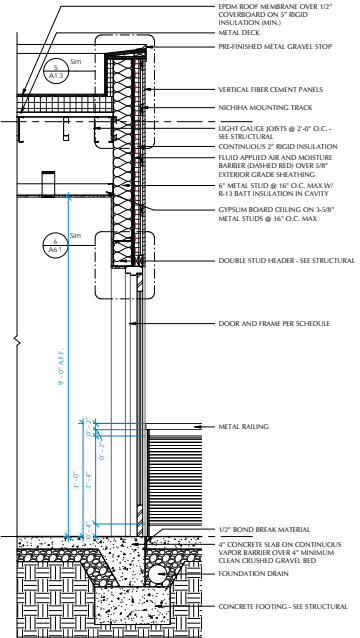
2 WALL SECTION
A4.4 3/4" = 1'-0"



4 WALL INFILL SECTION
A4.4 3/4" = 1'-0"



3 WALL SECTION
A4.4 3/4" = 1'-0"



Building Renovation for:
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808 State Street
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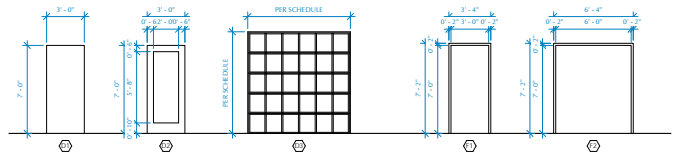
WALL SECTIONS

REVISIONS
Revision # Description Date

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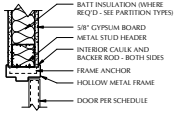
DATE: 12/6/2021
PROJECT NO: 213081.2

A4.4

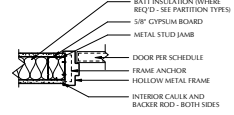


1 DOOR AND FRAME ELEVATIONS
A6.1 1/4" = 1'-0"

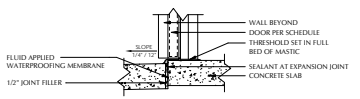
DOOR & FRAME SCHEDULE											
NO.	DOOR			FRAME			HARDWARE	NOTES			
	SIZE	THK	MFL	ELEV	MFL	ELEV					
DD1A	6'-0"	2'-0"	0'-1.3/4"	EGFC	DD1D1	HM	F2		ALUMINUM STOREFRONT		
DD1B	6'-0"	2'-0"	0'-1.3/4"	EGFC	DD1D2	HM	F2		ALUMINUM STOREFRONT		
DD1C	6'-0"	2'-0"	0'-1.3/4"	EGFC	DD1D2	HM	F2		ALUMINUM STOREFRONT		
DD1D	6'-0"	2'-0"	0'-1.3/4"	EGFC	DD1D2	HM	F2		ALUMINUM STOREFRONT		
DD1E	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1		ALUMINUM STOREFRONT		
DD1A4	6'-0"	8'-0"	0'-0"		D1				OVERHEAD DOOR		
DD1B4	6'-0"	8'-0"	0'-0"		D1				OVERHEAD DOOR		
DD1C4	6'-0"	8'-0"	0'-0"		D1				OVERHEAD DOOR		
DD1D4	6'-0"	8'-0"	0'-0"		D1				OVERHEAD DOOR		
DD1E4	6'-0"	8'-0"	0'-0"		D1				OVERHEAD DOOR		
DD1A7	6'-0"	2'-10"	0'-1.3/4"	HM	D1	HM	F1				
DD1B7	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1C7	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1D7	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1E7	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1A8	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1B8	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1C8	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1D8	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1E8	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1A9	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1B9	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1C9	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1D9	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1E9	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1A0	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1B0	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1C0	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1D0	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				
DD1E0	6'-0"	2'-0"	0'-1.3/4"	WVD	D1	HM	F1				



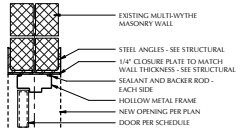
2 HM DOOR HEAD
A6.1 1 1/2" = 1'-0"



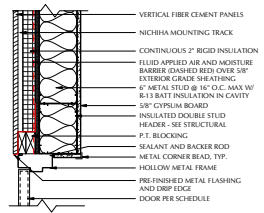
3 HM DOOR JAMB
A6.1 1 1/2" = 1'-0"



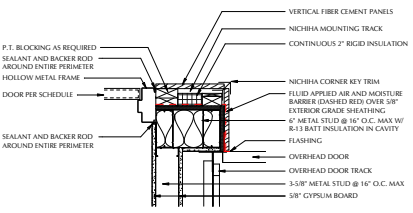
4 THRESHOLD DETAIL
A6.1 1 1/2" = 1'-0"



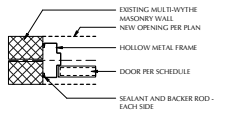
5 HM DOOR HEAD @ NEW OPENINGS
A6.1 1 1/2" = 1'-0"



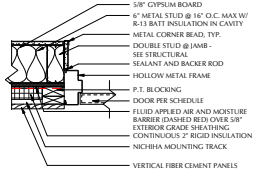
6 HM DOOR HEAD @ WOOD PLANK
A6.1 1 1/2" = 1'-0"



7 ENLARGED PLAN DETAIL
A6.1 1 1/2" = 1'-0"



8 HM DOOR JAMB @ NEW OPENINGS
A6.1 1 1/2" = 1'-0"



9 HM DOOR JAMB @ WOOD PLANK
A6.1 1 1/2" = 1'-0"



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Building Renovation for:
THE OUTPOST
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DOOR AND FRAME SCHEDULE AND ELEVATIONS

REVISIONS		
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3/2/2022

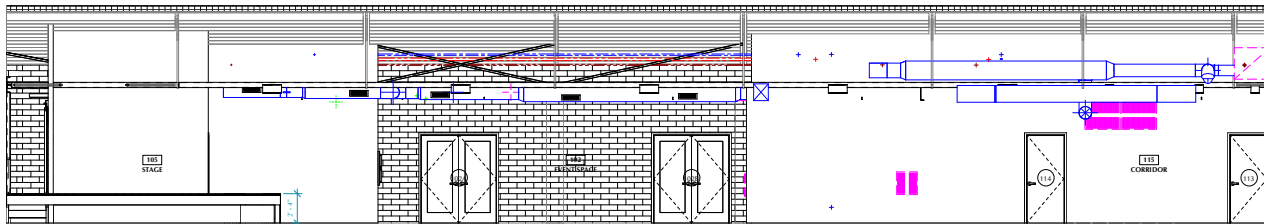
DATE: 12/6/2021
PROJECT NO: 213081.2

A6.1

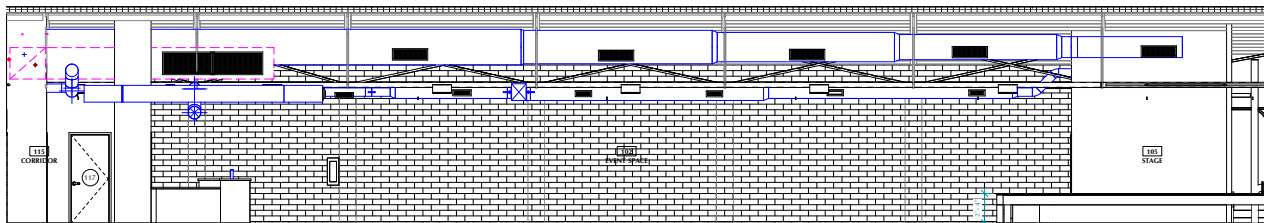


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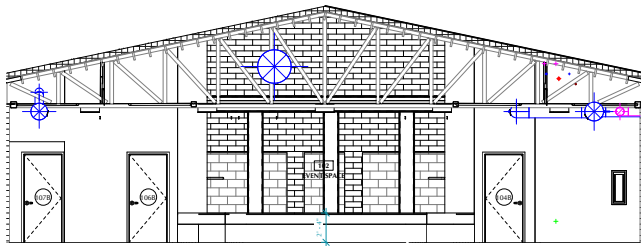
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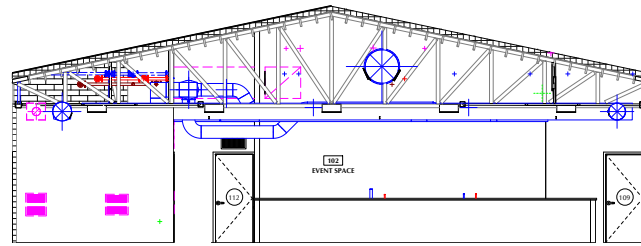
1 EVENT SPACE 102
A7.1 1/4" = 1'-0"



2 EVENT SPACE 102
A7.1 1/4" = 1'-0"



3 EVENT SPACE 102
A7.1 1/4" = 1'-0"



4 EVENT SPACE 102
A7.1 1/4" = 1'-0"

Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

INTERIOR
ELEVATIONS

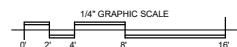
REVISIONS		
Revision #	Description	Date

4-A-22-SU
3/2/2022

DATE: 12/6/2021

PROJECT NO: 213081.2

A7.1





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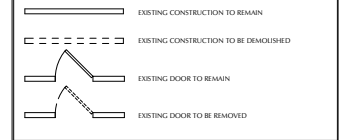
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DEMOLITION NOTES

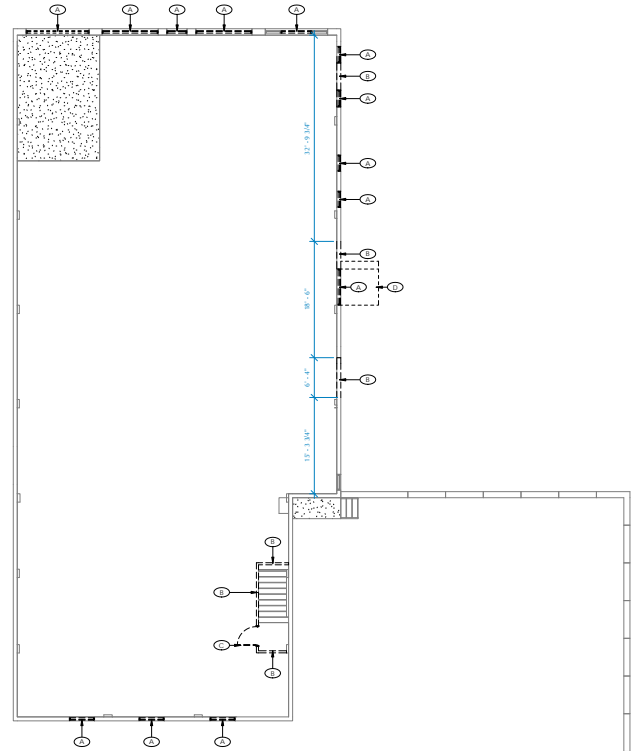
1. REPRESENTATIONS OF EXISTING SITE AND BUILDING CONDITIONS ARE PROVIDED FOR REFERENCE ONLY. INTERPOLATED FROM DOCUMENTS PROVIDED BY THE OWNER. THE OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DATA. REPRESENTATIONS ARE NOT INTENDED TO SUPPLANT FIRST HAND OBSERVATIONS. INTEGRATION OF NEW WORK WITH EXISTING WORK IS SUBJECT TO MINOR ADJUSTMENT IN THE FIELD. NOTIFY THE ARCHITECT IF EXISTING CONDITIONS VARY SIGNIFICANTLY FROM THOSE INDICATED ON THE DOCUMENTS PRIOR TO EXECUTING AFFECTED WORK.
2. THE DOCUMENTS ARE NOT INTENDED TO INDICATE ALL MATERIALS TO BE REMOVED, RELOCATED OR REPAIRED. THE CONTRACTOR SHALL NOT RECEIVE ADDITIONAL PAYMENT FOR DEMOLITION, PATCHING OR REPAIR WORK THAT CAN BE REASONABLY INFERRED FROM EXAMINATION OF SITE CONDITIONS AND CONTRACT DOCUMENTS. VERIFY WITH OWNER AND ARCHITECT WHICH ITEMS TO BE REMOVED SHALL BE KEPT IN THE PROJECT OR TURNED OVER TO THE OWNER. ITEMS NOT SO DESIGNATED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF OFF SITE PER ALL REGULATIONS.
3. DASHED LINES INDICATE ITEMS TO BE REMOVED OR DEMOLISHED.
4. DIMENSIONS INDICATED AS A --L-- ARE SUBJECT TO MINOR ADJUSTMENT IN THE FIELD. OTHER DIMENSIONS ARE FIXED UNLESS DIRECTED OTHERWISE. NOTIFY THE ARCHITECT IF ACTUAL DIMENSIONS VARY MORE THAN 2" FROM DIMENSION INDICATED ON THE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FIELD DIMENSIONS, PARTICULARLY WHERE NEW WORK IS TO BE FITTED WITHIN EXISTING CONSTRUCTION.
5. ANY EXISTING STRUCTURE, WALLS, CEILING, ETC. TO REMAIN WHERE STRUCTURAL STABILITY MAY BE LESSENNED BY REMOVAL AS NOTED ON DRAWINGS SHALL BE BRACED AND LEFT IN STABLE CONDITION UNTIL NEW CONSTRUCTION COMMENCES.
6. ALL EXISTING PLUMBING AND GAS LINES SHALL BE CAPPED AFTER REMOVAL OF EXISTING FIXTURES. ALL UTILITIES TO BE CAPPED IN AREA AFFECTED AS REQUIRED AND REROUTED PER FINAL LAYOUT. PROVIDE RATED CONSTRUCTION OR OPENING PROTECTIVES MATCHING EXISTING CONSTRUCTION WHERE REQUIRED.
7. CEILINGS INDICATED TO BE REMOVED SHALL INCLUDE ALL CEILING FINISHES, SUSPENSION SYSTEMS AND FRAMING SOLELY CONSTRUCTED FOR THE CEILING SYSTEM UNLESS NOTED OTHERWISE.
8. PATCH AND REPAIR ALL NEW OPENINGS IN EXISTING CONSTRUCTION AND SURFACES EXPOSED DUE TO DEMOLITION TO MATCH ADJACENT OR NEW FINISH.
9. REMOVE ANY WALL HANGINGS, PLAQUES AND FURNISHINGS AFFECTED BY DEMOLITION AND RENOVATION AND TURN OVER TO OWNER.
10. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE GENERAL PUBLIC FROM INJURY BY DEMOLITION WORK AND TO PROVIDE FREE AND SAFE PASSAGE TO AND FROM OCCUPIED PORTIONS OF THE BUILDING.
11. CONTRACTOR TO PREVENT DAMAGE TO EXISTING SIDEWALK AND PARKING AREA DURING CONSTRUCTION OR INSTALLATION OF SERVICES.
12. DO NOT INTERRUPT EXISTING UTILITIES IN USE BY OCCUPIED FACILITIES UNLESS AUTHORIZED IN WRITING BY THE A/E.
13. LOCATE, IDENTIFY, SHUT OFF, CAP AND DISCONNECT UTILITIES AT PROPERTY LINE OR VALVE. PROVIDE BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN SERVICES TO ADJACENT PROPERTIES AND FACILITIES. PROVIDE A MINIMUM 72 HOUR ADVANCE NOTICE TO PROPERTY OWNERS IF SHUT DOWN OF UTILITY SERVICE IS REQUIRED DURING CHANGE OVER.
14. CONTRACTOR TO COORDINATE WORK SCHEDULE WITH OWNERS REPRESENTATIVE TO ACCOMMODATE LEVEL OF NOISE PRODUCED BY SCHEDULED WORK WITH BUILDING OCCUPANTS DURING DEMOLITION.
15. REMOVE ALL EXISTING FINISHES AT DEMOLISHED AREAS UNLESS NOTED OTHERWISE. REMOVE EXISTING FINISHES AS REQUIRED AT OTHER AREAS SCHEDULED TO RECEIVE NEW FINISHES.
16. PROTECT ALL FINISHES OR FIXTURES WHICH ARE EXISTING TO REMAIN. REPAIR OR REPLACE AS REQUIRED.
17. SALVAGEABLE ITEMS SHALL BE STORED, RE-USED, OR DISPOSED OF AT THE OWNERS DIRECTION.

DEMOLITION LEGEND

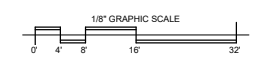


DEMOLITION KEYNOTES

- (A) EXISTING STOREFRONT TO BE REMOVED.
- (W) EXISTING WALL TO BE REMOVED
- (D) EXISTING DOOR TO BE REMOVED
- (C) EXISTING CONCRETE PAD AND STAIR TO BE REMOVED



GROUND LEVEL DEMOLITION PLAN
AD1.1 1/8" = 1'-0"



Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

DEMOLITION PLANS

REVISIONS		
Revision #	Description	Date

4-A-22-SU
3/2/2022

DATE: 12/6/2021
PROJECT NO: 213081.2

AD1.1



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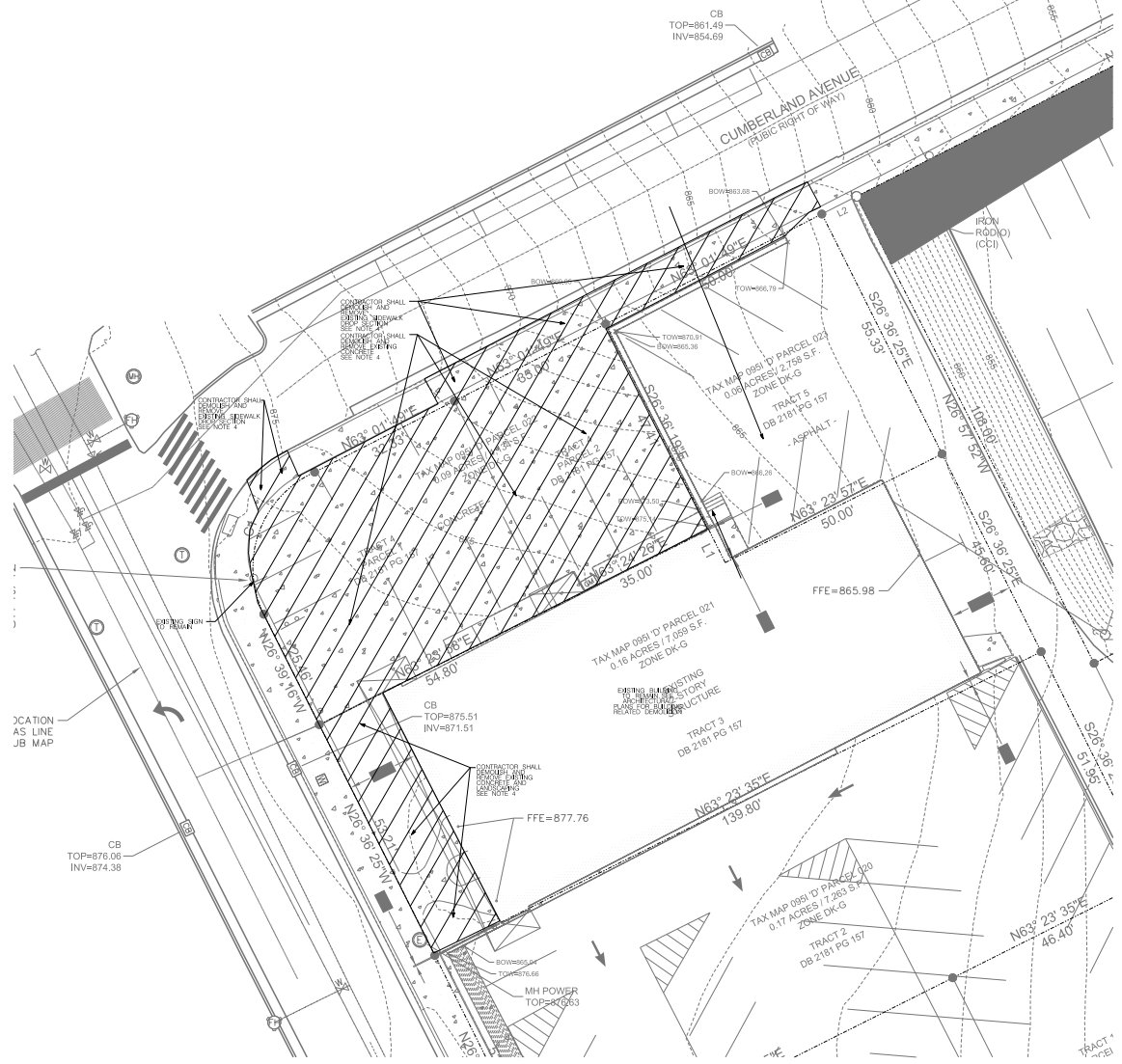


SCALE: 1" = 30 FEET

EXISTING	PROPOSED	DESCRIPTION
---	---	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	SEWER
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	UNDERGROUND ELECTRICAL
---	---	MANHOLE
---	---	WATER METER
---	---	FIRE HYDRANT
---	---	SURFACE FLOW
---	---	SET FENCING
---	---	CURB
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT
---	---	CONSTRUCTION ENTRANCE
---	---	EROSION CONTROL MAT

SITE DEMOLITION NOTES

1. SEE BOUNDARY AND TOPOGRAPHIC SURVEY IS FROM A SURVEY BY MICHAEL BRADY INDICATED ABOVE. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE CONTRACTOR DOES NOT ACCEPT ANY RESPONSIBILITY FOR EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
2. CONTRACTOR SHALL CALL IN ONE CALL TO LOCATE SITE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL UTILIZE ONE CALL INFORMATION, SITE RECORDS AND ANY OTHER MEANS AT HIS DISCRETION TO DETERMINE THE LOCATION OF EXISTING UTILITIES.
3. DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL EXISTING AND DEMONSTRATION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE FUNCTIONAL.
4. CONTRACTOR SHALL REMOVE EXISTING ASPHALT PAVEMENT CURBS, SEWER AND OTHER RELATED MATERIALS TO THE LIMITS INDICATED ON THIS PLAN AND BEYOND OF THE WASTE MATERIALS AS DIRECTED BY THE OWNER AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS. COORDINATE DEMOLITION WITH THE OWNER PRIOR TO TEMPORARY ACCESS ROUTES AS REQUIRED. PERFORM DEMOLITION IN ACCORDANCE WITH THE PROJECT PHASING PLANS.
5. THE CONTRACTOR SHALL REMOVE EXISTING TREES WITHIN THE AREA OF WORK DEPICTED ON THE FOLLOWING DRAWINGS AND AS REQUIRED IN THE FIELD. CONTRACTOR SHALL REMOVE SOME TREES INCLUDING ROOTBALL UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL DEPOSE OF WASTE OFFSITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS. MULCHED BRANCHES MAY BE USED FOR EROSION CONTROL BUT MUST BE REMOVED WHEN THE SITE HAS BEEN STABILIZED.
6. PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING CONCRETE AND/OR PAVEMENT ALONG ALL LIMITS OF CONCRETE AND/OR PAVEMENT DEMOLITION.
7. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE. DEPOSE OF DEMOLITION WASTE OFF THE OWNERS PROPERTY IN A LEGAL MANNER.
8. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK. WATER USE SHALL NOT BE EXCESSIVE TO THE POINT OF SUSPENDING SOLIDIFICATION IN RUNOFF WATER.
9. THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, FENCES, TREES, UTILITIES AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR SHALL PREPARE THE PROJECT SITE FOR THE PROPOSED CONSTRUCTION IDENTIFIED ON THE FOLLOWING DRAWINGS FOR THE PROJECT. NO ADDITIONAL PAYMENT SHALL BE MADE FOR WORK REQUIRED AND NOT SPECIFICALLY NOTED ON THE DRAWINGS. DEMOLITION WORK MAY BE INDICATED ON DRAWINGS BY OTHER DISCIPLINES.



Building Renovation for:
THE OUTPOST
 808 State Street
 Knoxville, Tennessee 37902

SITE DEMOLITION PLAN

REVISIONS		
Revision #	Description	Date

4-A-22-SU
3/2/2022

DATE: 12.13.21
PROJECT NO: 2130812

C1.1



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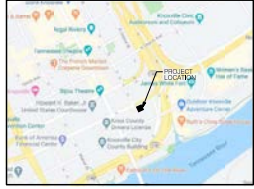


SCALE
1" = 30 FEET

EXISTING	PROPOSED	DESCRIPTION
---	---	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	UNDERGROUND ELECTRICAL
---	---	MANHOLE
---	---	WATER METER
---	---	FIRE HYDRANT
---	---	SURFACE FLOW
---	---	SOFT FENCING
---	---	CURB
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT
---	---	CONSTRUCTION ENTRANCE
---	---	EROSION CONTROL MAT

SITE LAYOUT NOTES

1. SUBPARCEL DOMINION: PARCEL 020 23 23
2. TOTAL BUILDING AREA:
3. TOTAL SITE/LOT AC TOTAL DED AREA: 506 AC TOTAL NEW IMPVRS 620 AC.
4. DEED REFERENCE: 295-41, CITY BLOCK 1002, WARD 06
5. THE PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA. SEE MAP 0685.
6. SITE BENCHMARK CONTACT SURVEY FOR SITE BENCHMARK DATUM NAVD 86.
7. SITE BOUNDARY AND TOPOGRAPHY INFORMATION IS FROM A SURVEY BY ENGINEERING DATED 06/03. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPTS RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
8. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDER. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THE INFORMATION.
9. PARKING SUMMARY:
TOTAL REQUIRED: 0
TOTAL PROVIDED: 0
10. SETBACKS:
NOT APPLICABLE
11. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR DISPOSITION OF THE SOILS, ALL MATERIALS AND DEBRIS OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS.
12. CONTRACTOR SHALL COMPLY WITH ALL PREVENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
13. VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNER REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
14. TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
15. CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SEWERLINES, DRAINAGE STRUCTURES, UTILITIES OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
16. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. REEL ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
17. DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
18. MAINTAIN ONE SET OF FINISHT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW BENCHMARK ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.



PROJECT LOCATION MAP - NOT TO SCALE

SIDWALK NOTES

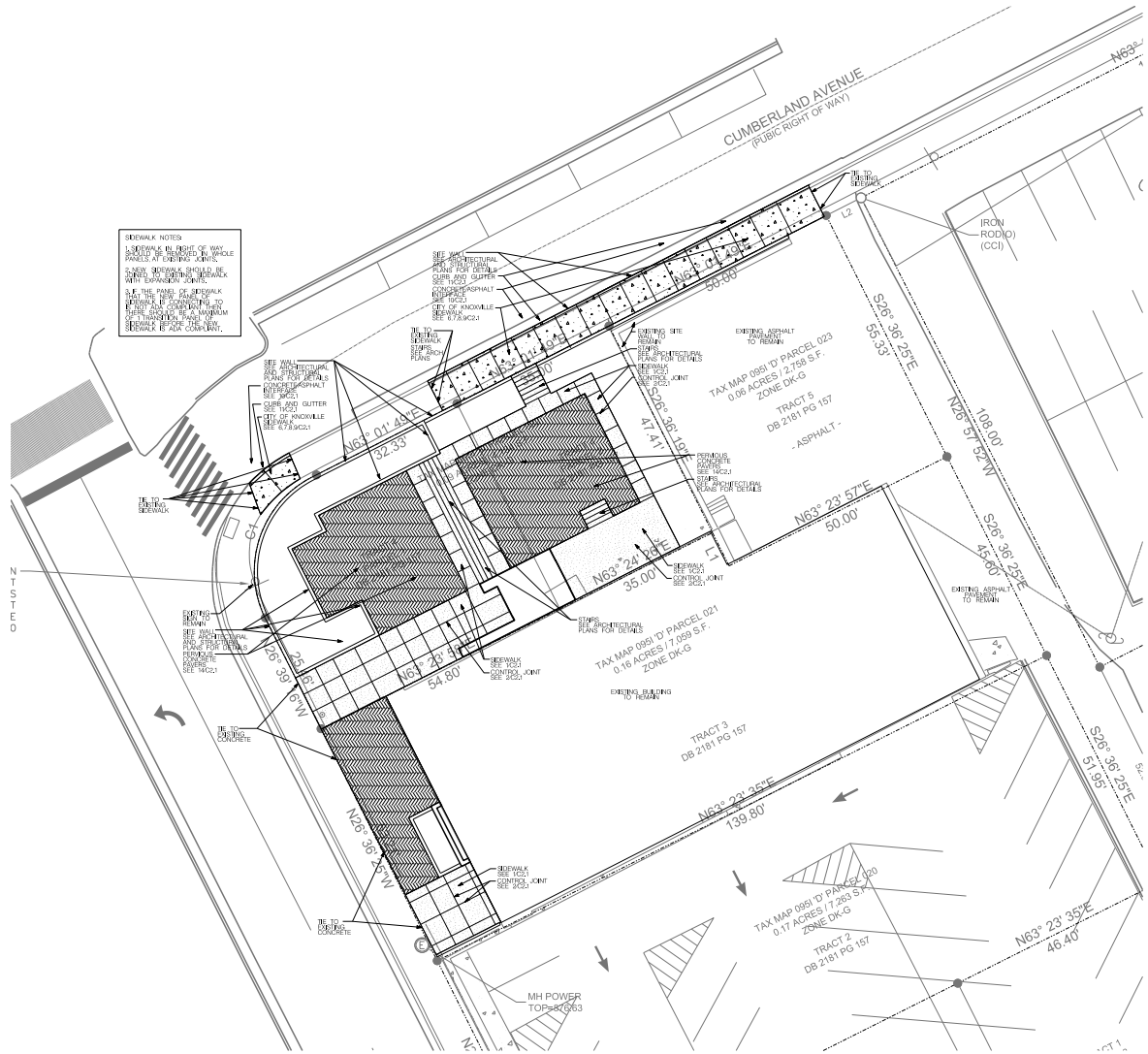
1. MINIMUM WIDTH OF WAY: 10 FEET. MINIMUM WIDTH OF SIDEWALK: 5 FEET. MINIMUM WIDTH OF SIDEWALK WITH CURB: 6 FEET.

2. NEW SIDEWALKS SHALL BE CONCRETE OR ASPHALT WITH CURB AND GUTTER.

3. S.E. THE ROAD OF SIDEWALK SHALL BE 10 FEET WIDE AND SHALL BE CONCRETE OR ASPHALT WITH CURB AND GUTTER.

4. SIDEWALKS SHALL BE 5 FEET WIDE AND SHALL BE CONCRETE OR ASPHALT WITH CURB AND GUTTER.

5. SIDEWALKS SHALL BE 5 FEET WIDE AND SHALL BE CONCRETE OR ASPHALT WITH CURB AND GUTTER.



Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

SITE LAYOUT PLAN

REVISIONS	Revision #	Description	Date

4-A-22-SU
3/2/2022

DATE: 12.13.21
PROJECT NO: 2130812

C1.2



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Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

SITE GRADING PLAN

REVISIONS

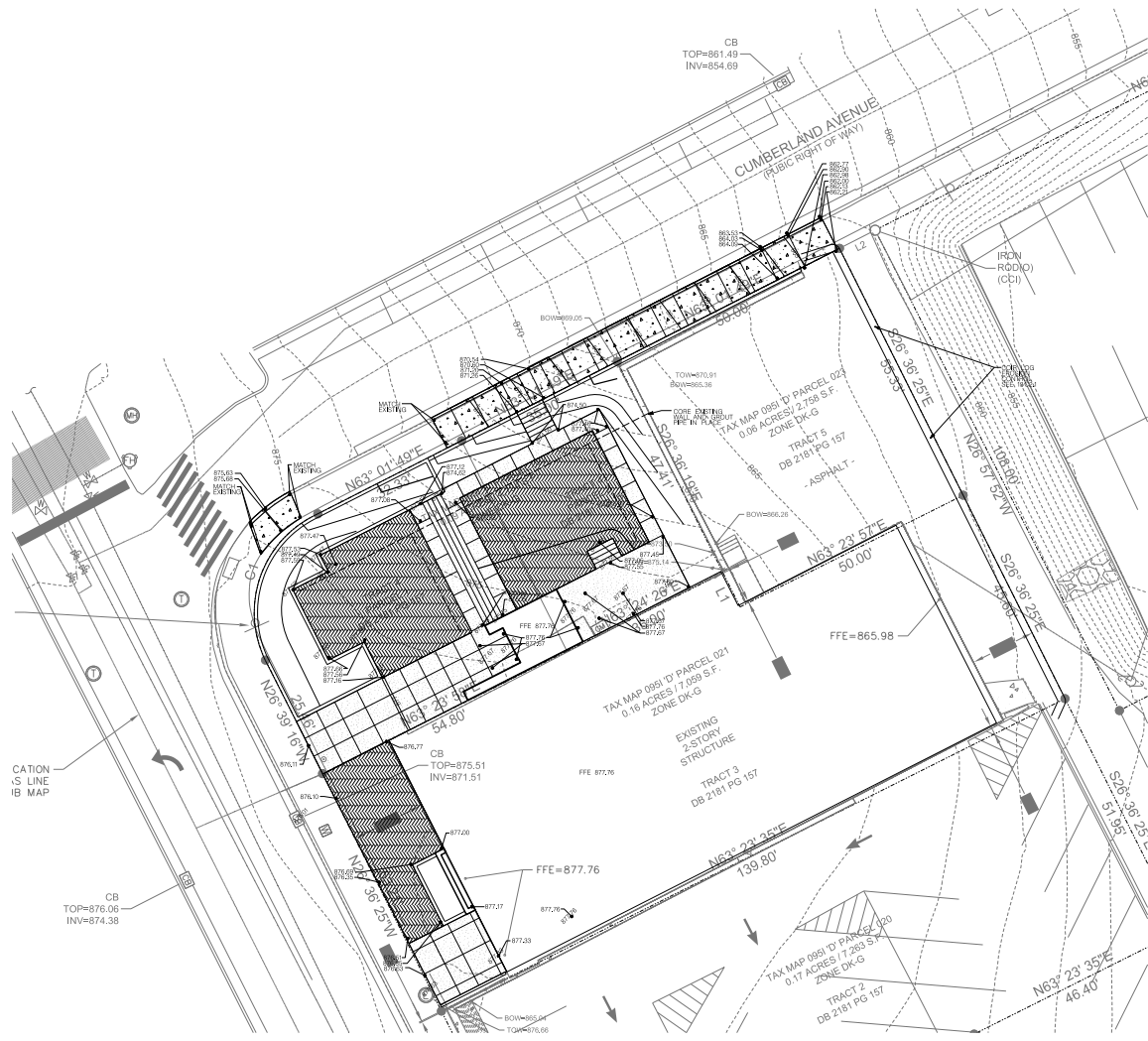
Revision # Description Date

4-A-22-SU
3/2/2022

DATE: 12.13.21

PROJECT NO: 2130812

C1.3



EXISTING	PROPOSED	DESCRIPTION
---	---	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	UNDERGROUND ELECTRICAL
---	---	MANHOLE
---	---	WATER METER
---	---	FIRE HYDRANT
---	---	SURFACE FLOW
---	---	BILT FENCING
---	---	CURB
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT
---	---	CONSTRUCTION ENTRANCE
---	---	EROSION CONTROL MAT

SITE GRADING NOTES

1. SITE BENCHMARK/CONTRACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK MARK INDICATED.
2. SITE BOUNDARY AND TOPOGRAPHY INFORMATION IS BASED ON A SURVEY BY MICHAEL BRADY INC DATED 09/20. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND RECORD THE EXISTENCE OF ANY BENCHMARKS. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY OWNERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING BILT FENCING, RIP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
5. THE CONTRACTOR SHALL EMPLOY SOIL CONSULTANTS FOR THE TESTING OF SOIL COMPACTED TO ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOILS SHALL BE QUANTIFIED TO 5% OF 10' HORIZONTAL DISTANCE AS BEING TESTED. THE STANDARD PROCTOR METHOD SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN 4-2% OF OPTIMUM.
6. THE PROJECT MAY INCLUDE EROSION OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THE PLAN THE SITE SURVEY AND INSPECT THE SITE BEFORE THE CONTRACTOR SHALL BEGIN WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THE GRADING PLAN ARE REQUIRED TO MEET THE GOAL.
7. ALL SLOPES GREATER THAN 2:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-77 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL:1 VERTICAL.
9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS. USE SEED MIXTURES FOR SOIL OR STEEPER SLOPES AND FINAL GRADING OR EXPOSED SURFACES TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL EXPOSURES.
10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE RESTORED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS IF DETAILS ARE NOT SHOWN REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN RETAINED TO PRODUCE A LOCK UP IN OF EROSION MAT.
13. ADEQUATE DRAINAGE AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER EROSION MANAGEMENT MEASURES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE CONSTRUCTION SITE IS STABILIZED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE AND EROSION CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
14. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION OR PROVIDE WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
15. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS OR STORM DRAINS.
16. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ON-SITE.
17. CONSTRUCTION MATERIALS WILL BE STORED IN THE PARKING AREA BETWEEN THE BUILDING AND WASHINGTON BLDG. TRUCKS ON THE PROJECT SHALL PROVIDE A TRUCK PROTECTIVE WITH A LID, MINIMUM MATERIAL STORAGE AREA IN AN NEAT AND ORDERLY MANNER.
18. CONTRACTOR SHALL INSTALL A THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE.
19. LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.
20. STABILIZATION WILL BE COMPLETED WITHIN 15 DAYS (7 DAYS FOR 20% SLOPES) ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.

PERMANENT SEEDING RECOMMENDATIONS FOR HIGH MAINTENANCE AREAS (REGION II)

THESE MANUAL TABLE 12-4 PREPARED SEED MIXTURES USING NATIVAS OR NATURALIZED ALGOL AND NATURALIZED GRASS

REGION II	ZONE	BEST	MARGINAL	RATE/AC (LBS/AC)
II	<2500 FT ELEV. HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	SEPT 1 - SEPT 15 APR 1 - JUNE 10	15 BROWNTOP WHEAT (HURSE CROP) 45 REED TALL FESCUE 25 CHEWING FESCUE

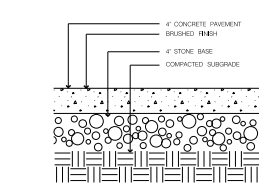
THESE MANUAL TABLE 12-4 ALLOWABLE SEED MIXES AND PLANTING DATES

REGION II	ZONE	BEST	MARGINAL	RATE/AC (LBS/AC)
II	<2500 FT ELEV. HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	JULY 15 - AUG 15 APR 1 - MAY 10	200 XY 2F FESCUE

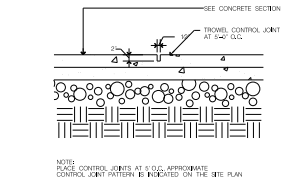


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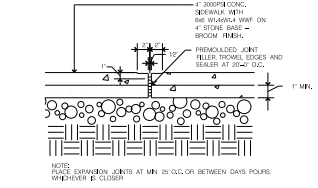
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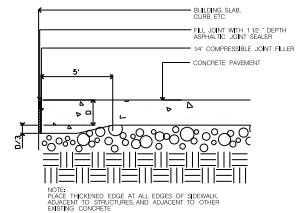
1 TYPICAL SIDEWALK SECTION
C2.1 NOT TO SCALE



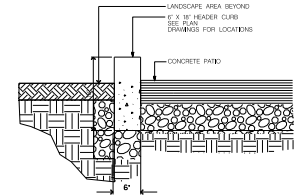
2 CONTROL JOINT DETAIL
C2.1 NOT TO SCALE



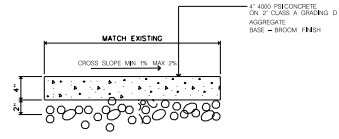
3 EXPANSION JOINT DETAIL
C2.1 NOT TO SCALE



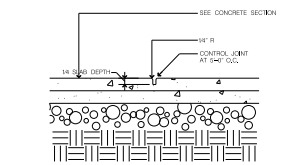
4 THICKENED EDGE DETAIL
C2.1 NOT TO SCALE



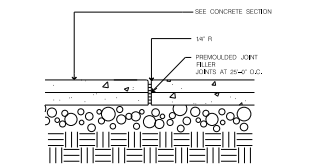
5 HEADER CURB DETAIL
C2.1 NOT TO SCALE



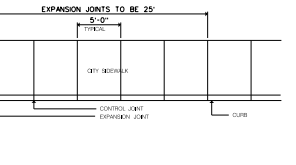
6 CITY SIDEWALK DETAIL
C2.1 NOT TO SCALE



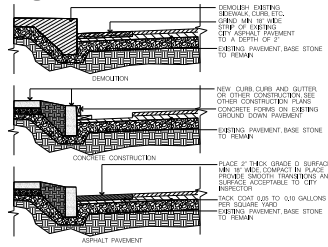
7 CONTROL JOINT DETAIL
C2.1 NOT TO SCALE



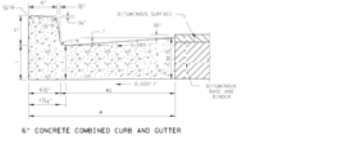
8 EXPANSION JOINT DETAIL
C2.1 NOT TO SCALE



9 CITY SIDEWALK JOINT PATTERN
C2.1 NOT TO SCALE



10 CONCRETE/ASPHALT INTERFACE DETAIL
C2.1 NOT TO SCALE

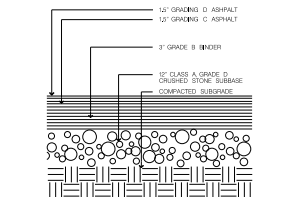


6\"/>

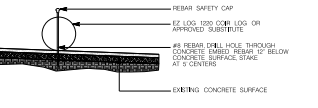
TYPE	TOTAL WIDTH (IN. MIN.)	WIDTH OF CURB (IN. MIN.)	WIDTH OF GUTTER (IN. MIN.)	MINIMUM CURB HEIGHT (IN. MIN.)	MINIMUM GUTTER DEPTH (IN. MIN.)	MINIMUM GUTTER LENGTH (IN. MIN.)
STANDARD	48	18	30	4	4	10
WIDE	54	24	30	4	4	10
NARROW	42	12	30	4	4	10

MINIMUM DEPTH TO NEXT ADOBE CURB OR DRIVE

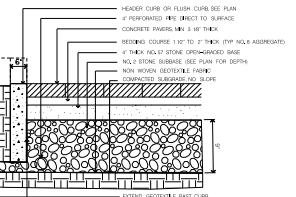
11 CITY CURB AND GUTTER
C2.1 NOT TO SCALE



12 CITY RIGHT OF WAY PAVEMENT
C2.1 NOT TO SCALE



13 COIR LOG DETAIL
C2.1 NOT TO SCALE



14 CONCRETE PAVER SECTION
C2.1 NOT TO SCALE

Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

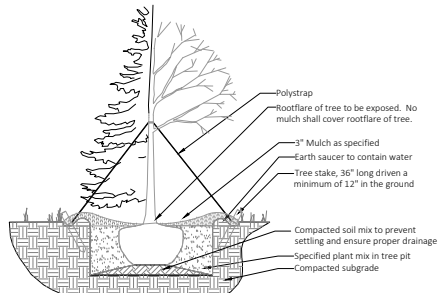
SITE DETAILS

REVISIONS
Revision # Description Date

4-A-22-SU
3/2/2022

DATE: 12.13.21
PROJECT NO: 2130812

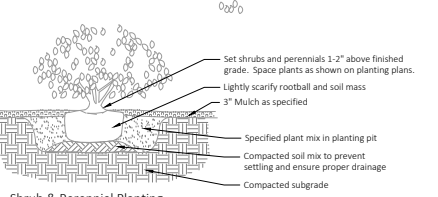
C2.1



- General Notes:**
- Excavate tree pit to a depth equal to depth of rootball plus 24", and a width equal to two times the diameter of the rootball.
 - Fill tree pit with water and confirm percolation rate. Notify landscape architect if poor drainage conditions exist.
 - Install tree 2" above finished grade. Avoid any damage to rootball or trunk of tree.
 - Add specified plant mix and soil amendments.
 - Remove burlap on top 2/3 of tree rootball.
 - Immediately soak tree pit with water and remove any air pockets that may have occurred during backfilling.
 - Stake and gas trees with specified materials.

General Tree Planting

Scale: NTS



Shrub & Perennial Planting

Scale: NTS

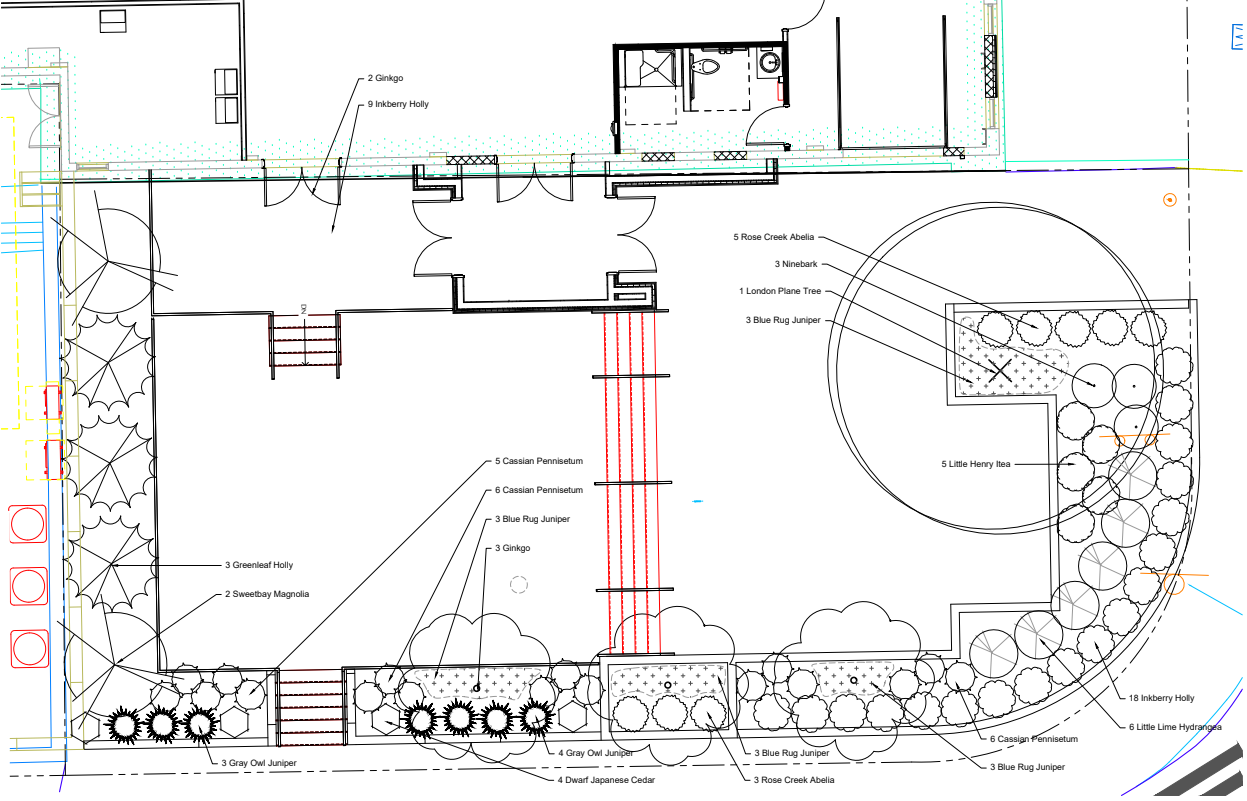
LANDSCAPE REQUIREMENT NOTES:

- 12.5 PARKING LOT PERIMETER LANDSCAPE YARD**
- N/A, parking is less than 10,000 SF
- 12.6 INTERIOR PARKING LOT LANDSCAPE**
- N/A, parking is less than 20,000 SF
- 12.7 SITE LANDSCAPE**
N/A, existing structure w/ less than 30% SF additions
- 12.8 BUFFER YARDS**
No buffer yard required as there are no adjacent residential zoning.
- Trees**
Total property area = .3 acres. 8 trees per acre required. 3*8 = 2.5, 3 trees required. 9 trees proposed

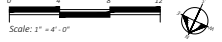
PLANTING LEGEND:

Qty	Botanical Name	Common Name	Size	Notes	Mature Height
Deciduous Trees					
3	<i>Ginkgo biloba</i>	Ginkgo	2" cal.	central leader, full and dense, male	25' to 50'
1	<i>Platanus x acerifolia</i>	London Plane Tree	2" cal.	central leader, full and dense	40' to 50'
Evergreen Trees					
3	<i>Ilex opaca</i>	Green Leaf Holly	6" ht.	central leader, full and dense	15' to 20'
2	<i>Magnolia virginiana</i>	Sweetbay Magnolia	6" ht.	central leader, full and dense	20' to 35'
1	<i>Chamaecyparis obtusa</i>	Hinoki Cypress	6" ht.	central leader, full and dense	
Deciduous Shrubs					
6	<i>Hydrangea paniculata</i>	Lime Light Hydrangea	3 gallon	full and dense	
9	<i>Itea virginica 'Sprich'</i>	Little Henry Itea	3 gallon	full and dense	
3	<i>Physocarpus</i>	Ninebark	3 gallon	full and dense	
17	<i>Pennisetum alopecuroides</i>	Cassian	3 gallon	full and dense	
Evergreen Shrubs					
12	<i>Juniperus horizontalis</i>	Blue Rug Juniper	3 gallon	full and dense	
18	<i>Ilex glabra</i>	Inkberry Holly	3 gallon	full and dense	
7	<i>Juniperus virginiana</i>	Gray Owl Juniper	3 gallon	full and dense	
4	<i>Cryptomeria japonica 'nana glubosa'</i>	Dwarf Japanese Cedar	3 gallon	full and dense	
8	<i>Abelia x chinensis</i>	Rose Creek Abelia	3 gallon	full and dense	

- Planting Notes:**
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
 - Contractor to provide allowance for soil amendments, percolation tests, soil tests, mulch and irrigation.
 - Irrigation system to be drip unless otherwise noted and approved.
 - Contractor to complete work within schedule established by owner.
 - Contractor to provide one year warranty for all plant material from date of substantial completion.
 - Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
 - The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
 - All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition. Quality of the plant material to be judged by the landscape architect.
 - Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
 - No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
 - Planting plans may need to be adjusted in the field. Contractor to coordinate layout of plant material with landscape architect for on-site approval prior to installation.
 - Test plant beds and plant pits for adequate drainage. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
 - Trees shall be installed 3" above finish grade in hardpan areas to provide good drainage unless otherwise directed.
 - Groundcover and shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and weeds. Add specified soil amendments and fertilizer. Install plants, edge bed area, mulch and water thoroughly.
 - Set all plants plumb and turned so that the most attractive side is viewed.
 - Plants shall be measured to their main structure, not tip to tip of branches.
 - Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix.
 - Broken root balls for trees shall be rejected. Contractor to check root balls and expose rootflares to check for root grinding. Do not assess the rootflares is exposed upon purchase from the nursery.
 - All plants shall be measured to their main structure, not tip to tip of branches.
 - Any plant materials shipped to site in uncovered vehicles/trailer shall be rejected regardless of season.
 - All tree scars over 1 - 1/2" shall be rejected and tree to be replaced.
 - All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type or otherwise noted on plans.
 - Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
 - If rootball is wrapped in non-biodegradable burlap, remove entire wrap after placed in pit.



Landscape Plan





Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Michael Schmidt

Applicant Name

Affiliation

2/8/2022
Date Filed

April 14, 2022
Meeting Date (if applicable)

File Number(s)

4-A-22-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
 Property Owner
 Option Holder
 Project Surveyor
 Engineer
 Architect/Landscape Architect

Michael Schmidt	Johnson Architecture Inc.
Name	Company
2240 Sutherland Ave Suite 105	Knoxville TN 37919
Address	City State ZIP
(865) 405-1546	mschmidt@jainc.com
Phone	Email

CURRENT PROPERTY INFO

Buddy Cruze	720 E Jackson Ave	(865) 389-6111
Property Owner Name (if different)	Property Owner Address	Property Owner Phone
808 State Street	095ID021	
Property Address	Parcel ID	
KUB	KUB	N
Sewer Provider	Water Provider	Septic (Y/N)

STAFF USE ONLY

East side of State St., southeast side of Cumberland Ave. **.15 acre (aprx 6660 sf)**
 General Location **north of Main St.** Tract Size

City County
 6th DK-G CO
 District Zoning District Existing Land Use

Central City MU-RC N/A
 Planning Sector Sector Plan Land Use Classification Growth Policy Plan Designation

DEVELOPMENT REQUEST

- Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential

Home Occupation (specify) _____

Other (specify) **Live Performance Venue**

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name _____

Unit / Phase Number
 Combine Parcels
 Divide Parcel
 Total Number of Lots Created

Other (specify) _____

Attachments / Additional Requirements

Related Rezoning File Number

ZONING REQUEST

Zoning Change
 Proposed Zoning _____

Plan Amendment Change
 Proposed Plan Designation(s) _____

Proposed Density (units/acre) Previous Rezoning Requests

Other (specify) **Special use application**

Pending Plat File Number

STAFF USE ONLY

PLAT TYPE

- Staff Review
 Planning Commission

ATTACHMENTS

- Property Owners / Option Holders
 Variance Request

ADDITIONAL REQUIREMENTS


- Design Plan Certification (*Final Plat*)
 Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1	Fee 2	Fee 3	Total
0401	1500.00		
			\$1500.00

AUTHORIZATION

 Michael Schmidt 02/03/2022
 Applicant Signature Please Print Date

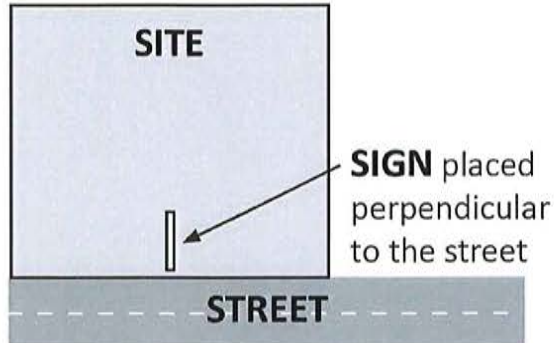
(865) 405-1546 mschmidt@jainc.com
 Phone Number Email

 Buddy Cruze 02/03/2022
 Property Owner Signature Please Print Date

2/8/22 swm

SWM 2/8/2022

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

March 10, 2022 and April 15, 2022
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Michael Schmidt

Date: 2/8/2022

File Number: 4-A-22-5U

- Sign posted by Staff
- Sign posted by Applicant