



# DEVELOPMENT PLAN REPORT

► **FILE #:** 8-C-22-DP

**AGENDA ITEM #:** 28

**AGENDA DATE:** 8/11/2022

► **APPLICANT:** RON HODGE

OWNER(S): Ron Hodge

TAX ID NUMBER: 68 J A 010

[View map on KGIS](#)

JURISDICTION: County Commission District 7

STREET ADDRESS: 837 MURRAY DR

► **LOCATION:** Northwest side of Murray Dr., east of Lacy Rd.

► **APPX. SIZE OF TRACT:** 2.35 acres

SECTOR PLAN: Northwest City

GROWTH POLICY PLAN: Urban Growth Boundary

ACCESSIBILITY: Access is via Murray Road, a major collector with a pavement width of 18-ft within a right-of-way width of 60-ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Knob Fork, Third Creek

► **ZONING:** PR (Planned Residential)

► **EXISTING LAND USE:** Rural Residential

► **PROPOSED USE:** Townhomes

DENSITY PROPOSED: 4.78

HISTORY OF ZONING: 2-C-22-RZ: A to PR up to 5 du/ac

SURROUNDING LAND USE AND ZONING: North: Single family houses - A (Agricultural)

South: Single family houses - RN-2 (Single-Family Residential Neighborhood)

East: Single family houses - A (Agricultural)

West: Single family houses - A (Agricultural)

NEIGHBORHOOD CONTEXT: This property is located in a transitional area with a mix of residential and commercial uses in the immediate vicinity and Clinton Highway nearby to the west. There are several large vacant agricultural zoned lots located nearby.

## STAFF RECOMMENDATION:

► **Approve the development plan for 11 townhomes as shown in the attachments, subject to 4 conditions.**

1) A peripheral setback reduction to 20-ft along the Murray Drive frontage and 15-ft on the east and west lot lines.

2) Installation of all landscaping as referenced on the development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.

- 3) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 4) Meeting all requirements of Knox County Engineering and Public Works during permit review.

#### **COMMENTS:**

This proposal is for 11 townhomes across from Bill Murray Lane along Murray Drive on a 2.3 acre parcel with a proposed density of 4.7 du/ac.

#### **DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)**

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

##### **1) ZONING ORDINANCE**

PR (Planned Residential) up to 5 du/ac:

- a) The PR zone allows townhomes as part of an approved development plan. The administrative procedures for the PR zone require the Planning Commission to approve the development plan before permits can be issued (Article 5, Section 5.13.15).
- b) The required landscape buffers as shown on the site plan will make the proposed townhomes more compatible with the adjacent single family residential homes.

##### **2) GENERAL PLAN - DEVELOPMENT POLICIES**

- a) Policy 8.1 - Develop infill housing on vacant lots and redevelopment parcels. Infill housing should be compatible with neighboring residences in scale, design, and site layout.
- b) Policy 8.3 - Focus on design quality and neighborhood compatibility in reviewing development proposals.
- c) Policy 9.8 - Encourage a mixture of housing sizes and prices within planned residential developments.
- d) Policy 10.11 - Allow higher densities, smaller yards and narrower lots for portions of planned developments that do not abut or face conventional suburban developments. In exchange, deeper setbacks, wider lots or landscape buffers shall be provided where the new development abuts lower density housing.

##### **3) NORTHWEST CITY SECTOR PLAN**

- a) The property is classified LDR (Low Density Residential). The proposed townhomes are consistent with the residential development in the area and the location criteria for this land use classification.
- b) The property is within the HP (Hillside Protection) area and the slope analysis notes a disturbance budget of 1.1 acres within the 1.69 acres within the HP area. The applicant is demonstrating a disturbance area of 0.98 acres within the HP area in alignment with the slope analysis.

##### **4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN**

- a) The property is within the Urban Growth Boundary. The purpose of the Urban Growth Boundary is for areas around cities and towns that are expected to be reasonably compact but adequate to accommodate the growth of the city.

**ESTIMATED TRAFFIC IMPACT:** 131 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

**ESTIMATED STUDENT YIELD:** 1 (public school children, grades K-12)

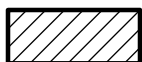
Schools affected by this proposal: Powell Elementary, Powell Middle, and Powell High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Chancery Court. The date of the Knox County Chancery Court hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



**8-C-22-DP  
DEVELOPMENT PLAN**



Townhomes in PR (Planned Residential)

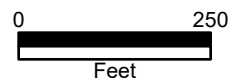
Original Print Date: 7/7/2022  
 Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

Revised:

Petitioner: Ron Hodge

Map No: 68

Jurisdiction: County





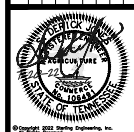
**STERLING**  
ENGINEERING, INC.  
CIVIL ENGINEERING  
CONSULTING  
LAND SURVEYING  
LAND PLANNING

1020 WILLIAM BLOUNT DRIVE  
MARYVILLE, TENNESSEE  
37602-8401  
P.O. BOX 4878  
MARYVILLE, TENNESSEE  
37602-4878  
PHONE: 865-984-3905  
FAX: 865-981-2815  
www.sterling-tn.com

CASE FILE NO. 8-C-22-DP

# CONCEPT PLAN FOR MURRAY RIDGE TOWNHOMES HODGE CONSTRUCTION

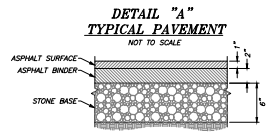
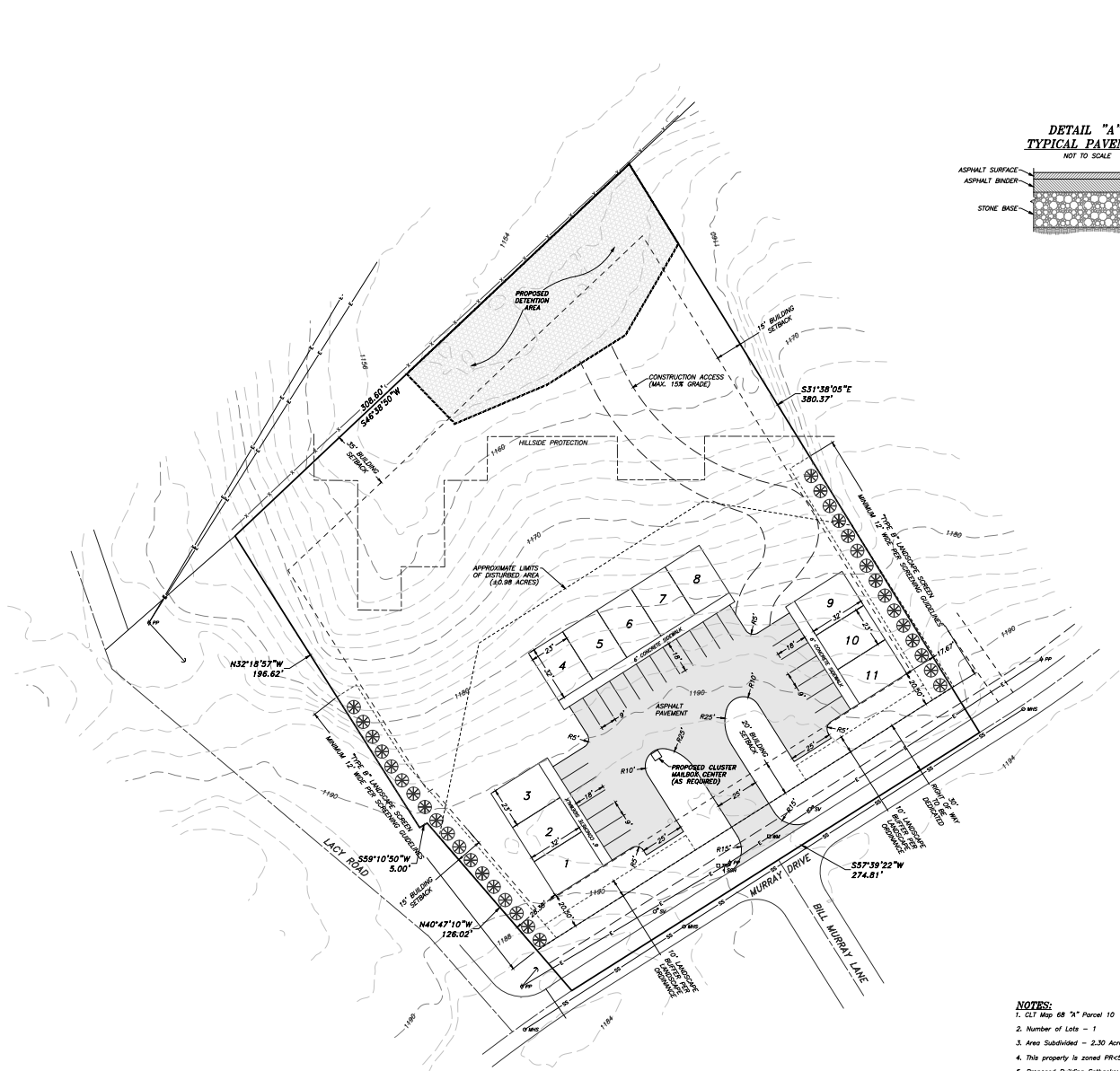
DATE	BY	REVISIONS
7/2/22	SDJ	Revised per Knox County Ordinance



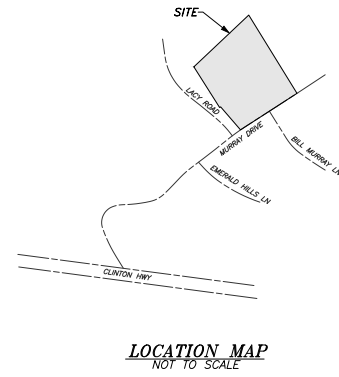
SHEET  
**CP**

DESIGNED: SDJ  
DRAWN: SDJ  
CHECKED:  
DATE: 6/2/22  
SCALE: 1" = 30'  
DRAWING: 7495-CP  
PROJECT NO: SEI#7495

KNOX COUNTY, TN



8-C-22-DP  
Revised



- LEGEND:**
- ERS EXISTING IRON ROD
  - NIR NEW IRON ROD
  - A= ARC LENGTH
  - R= RADIUS
  - D= CHORD BEARING (DELTA)
  - B= CHORD BEARING
  - C= CHORD LENGTH
  - A= ACRES
  - SF SQUARE FEET
  - WBR WARRANTY DEED BOOK
  - PG PAGE
  - DWB DRAINAGE BASIN
  - CEV CENTERLINE
  - EVV ELECTRIC VAULT
  - GVV GATE VALVE
  - POLE GUY ANCHOR
  - SENER SENER LATERAL
  - MANHOLE (EXISTING)
  - LP LIGHT POLE (LP)
  - PP POWER POLE (PP)
  - POST (POST)
  - WV WATER VALVE
  - WBW BOUNDARY LINE
  - ROAD RIGHT-OF-WAY LINE
  - EASEMENT LINE
  - ROAD CENTERLINE
  - EDGE OF ROAD
  - PARKING LANE STRIPES
  - ROAD STRIPE YELLOW SOLID
  - SMOOTH-WALL PLASTIC PIPE (SWP)
  - CORRUGATED METAL PIPE (CMP)
  - REINFORCED CONCRETE PIPE (RCP)
  - FENCE LINE
  - ELECTRIC LINE (OVERHEAD)
  - ELECTRIC LINE (EXISTING U/G)
  - TVA POWER LINE
  - WATER LINE (EXISTING)
  - SEWER LINE (EXISTING)
  - SHALE LINE
  - DITCH LINE
  - EXISTING INTERMEDIATE CONTOUR
  - EXISTING INDEX CONTOUR

**CERTIFICATE OF APPROVAL FOR RECORDING**  
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Tennessee-Florida County Subdivision Regulations except as has been amended and described in a report filed with the Metropolitan Planning Commission.

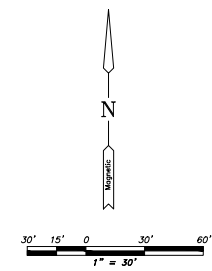
Registered Engineer \_\_\_\_\_  
TN License No. \_\_\_\_\_  
Date \_\_\_\_\_

**NOTES:**

1. CLT Map 68 "A" Parcel 10
2. Number of Lots = 1
3. Area Subdivided = 2.30 Acres
4. This property is zoned PRCS DU/AC
5. Proposed Building Setbacks:  
Front: 20'  
Rear: 35'  
Side: 15'
6. This proposed development is to be served by public utilities.

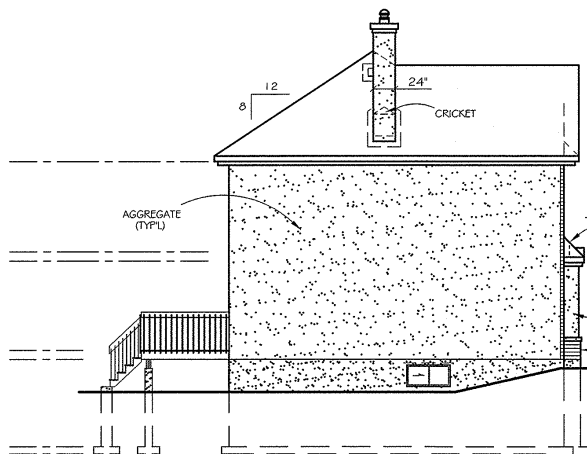
**OWNER/DEVELOPER:**  
HODGE CONSTRUCTION, LLC  
c/o RON HODGE  
P.O. BOX 1064  
KNOXVILLE, TN 37901  
865-755-3287

**PROPERTY DATA:**  
ADDRESS: 857 MURRAY DRIVE  
ZONING: PRCS DU/AC  
PARCEL ID: 088A010  
ACREAGE: 2.30 ACRES



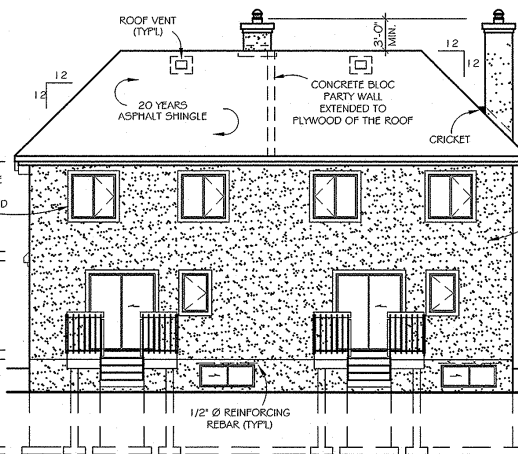
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6/27/2022



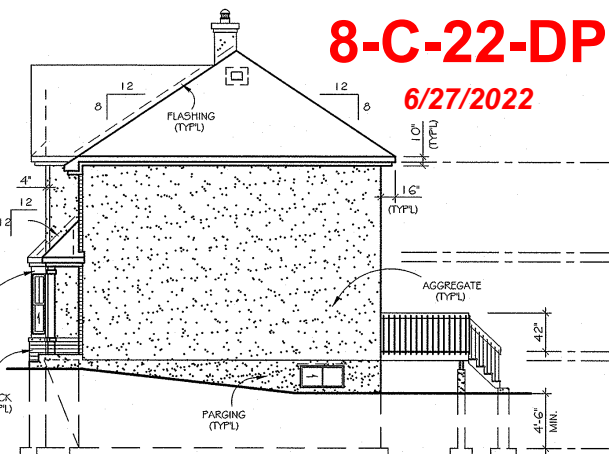
**LEFT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"

## OWNERSHIP OF DOCUMENTS

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THESE DRAWINGS HAVE BEEN PREPARED SPECIFICALLY FOR THE BENEFIT OF:

PROJECT:

FOR THE CONSTRUCTION OF ONE BUILDING OR LOT NUMBER:

# LOT / ADDRESS:

APPROVED ON:

SIGNED BY:

Project manager for PLANIMAGE INC.

NOTE: The authors of these plans assume no responsibility for the realization of this project.

Under its own responsibility, the contractor will have to check all the measurements and sizes of every opening before starting the work. Please notify Planimage Inc. for any mistake or omission with regard to the matter.

All steel structures are of the G-40.21.350W type and must be checked by a qualified engineer.

The wood called for is spruce of grade #1 or better.

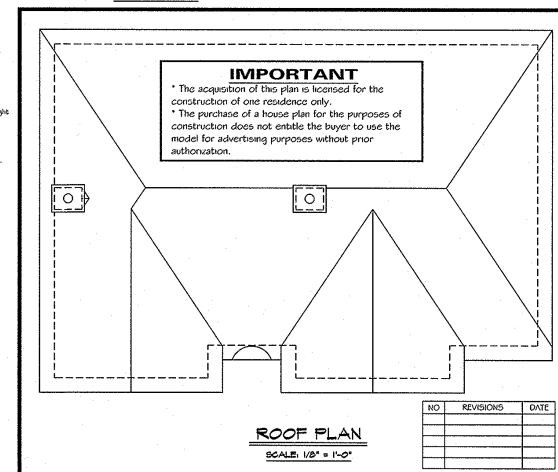
All structural elements of the roof must be approved by the manufacturer's engineer.

These plans were drawn for a load capacity on the ground at 2000 lb./sq.ft., a deflection of 1/32", a total load (dead and live) for floors at 50 lb./sq.ft. (at 74 lb./sq.ft. with 1 1/2" lightweight concrete slabs), for roofs at 30 lb./sq.ft., and balconies at 100 lb./sq.ft. Consult the designer before making any changes and/or modifications.

Dimensions of doors and windows must be adjusted to the specific dimensions of models as per manufacturer's specifications.

These plans have been drawn by an architectural technologist, member of the O.T.C.A.Q.

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**ROOF PLAN**

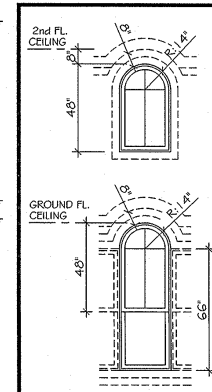
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NO	REVISIONS	DATE



**FRONT ELEVATION**

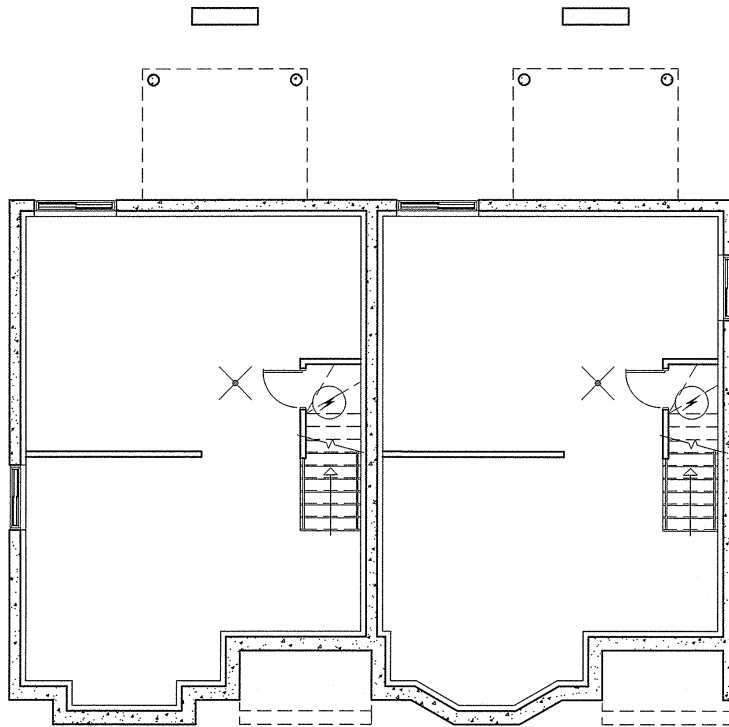
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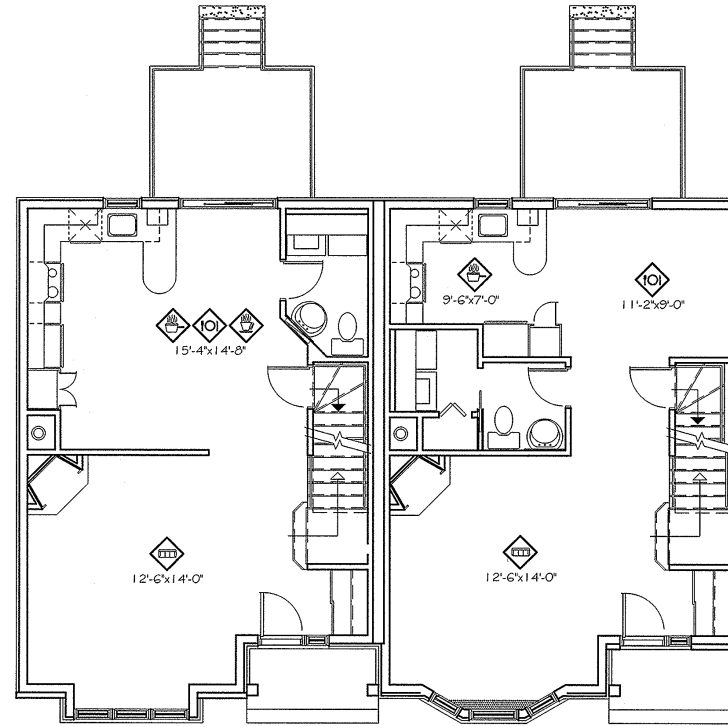
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owner's name \_\_\_\_\_  
draft title \_\_\_\_\_  
**ELEVATIONS**  
scale: A3 SHOWN  
drawn by: C.D. / R.H. date: 1997/08  
verified by: N.D. date: 2005/11  
plan no: #30558 ref. no: \_\_\_\_\_

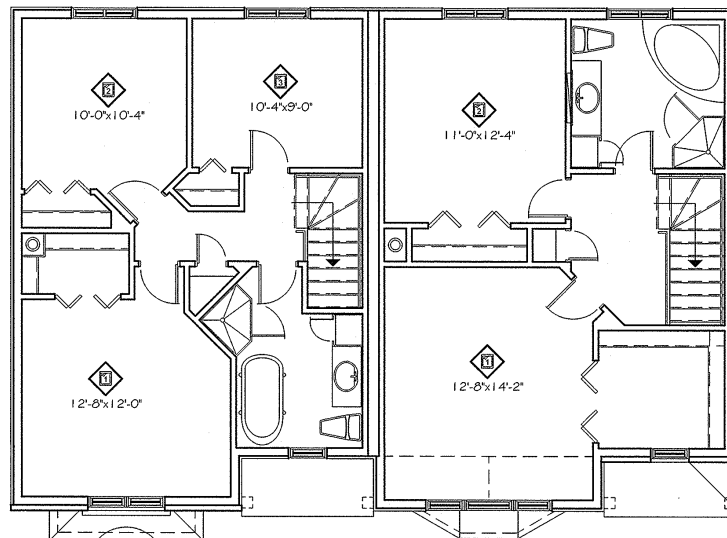




**FOUNDATION PLAN**



**GROUND FLOOR PLAN**



**SECOND FLOOR PLAN**

	HOSE BIB
	VALVE
	ACCESS PANEL FOR PLUMBING
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	LIGHTING OUTLET
	LIGHTING OUTLET WITH CHAIN
	WALL MOUNTED LIGHTING FIXTURE
	LIGHTING OUTLET ON TIMER
	CEILING FAN
	RECESSED POT LIGHT
	110 V REGULAR OUTLET
	RAZOR OUTLET
	COUNTER OUTLET
	WEATHERPROOF OUTLET
	220 V OUTLET
	BATHROOM FAN
	THERMOSTAT
	BASEBOARD HEATER
	110 V SMOKE DETECTOR
	110 V CARBON MONOXIDE DETECTOR
	ELECTRICAL PANEL
	HEAT DETECTOR
	"EXIT" INDICATOR
	PORTABLE FIRE EXT.
	EMERGENCY LIGHTING FIXTURE
	EMERGENCY BELL RING
	DOOR BELL PANEL
	MANUAL FIRE ALARM

KEY

**8-C-22-DP**

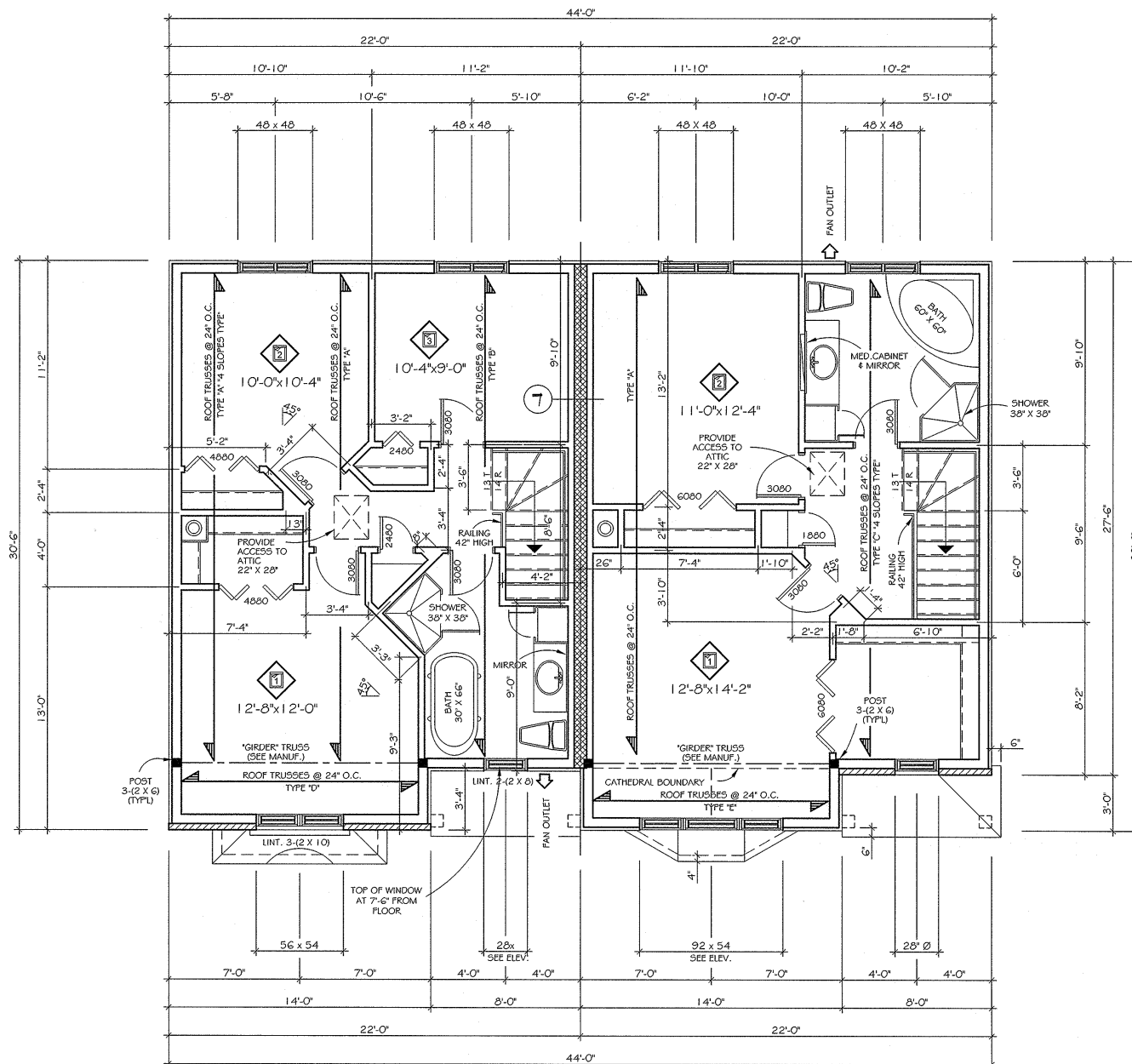
**6/27/2022**

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owner's name	
draft title	
scale : 3/16" = 1'-0"	date
drawn by : C.D./R.H.	1997/08
verified by : N.D.	date 2005/11
plan no : #30558	ref. no :





NOTE: REFER TO THE ROOF PLAN PROVIDED BY THE TRUSS MANUFACTURER FOR THE EXACT LOCATION OF THE ATTACHMENT POINTS, BEAMS AND/OR MAIN TRUSSES.

NO.	REVISIONS	DATE

## IMPORTANT

\* The acquisition of this plan is licensed for the construction of one residence only.  
 \* The purchase of a house plan for the purposes of construction does not entitle the buyer to use the model for advertising purposes without prior authorization.

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owner's name	
draft title <b>2nd FLOOR PLAN</b>	
scale : 1/4" = 1'-0"	date
drawn by : C.D./R.H.	1997/08
verified by : N.D.	date
2005/11	ref. no :
plan no : #30558	

↑ - HOUSE # 1 -

- HOUSE # 2 - ↑



# 8-C-22-DP

6/27/2022

## GENERAL INFORMATION

- All measurements to take priority.
- Construction must meet National Building Code of Canada standards, last edition.
- Footings must be latest to type and condition of soil.
- Footings for load-bearing walls must be 24" x 12" (or according to type and condition of soil).
- Plan for waterproof flash around tubs and showers.
- Double the joists under parallel partitions and staircases. (Add 4" if problems with plumbing.)
- Lintels over openings will be of 2 (2 x 10) except if specified otherwise.
- Mechanical ventilators and range hood must cut in outside.
- Plan to install required air exchanger system.

- Plan for:
  - Water waste(s).
  - Water meter.
  - Exterior faucets.
  - Sump pump according to municipal laws in effect.
  - Electric riser.
  - 110 v interconnected electric smoke detector. (1 per level)
  - 110 v electric carbon monoxide detector (1 per level, if garage or fireplace) connected to smoke detectors.
  - 110 v electric heat detector (1 per garage).
  - Telephones outlets.
  - Cable outlets.
  - Control vacuum cleaner outlets in walls.

NOTE: REFER TO THE ROOF PLAN PROVIDED BY THE TRUSS MANUFACTURER FOR THE EXACT LOCATION OF THE ATTACHMENT POINTS, BEAMS AND/OR MAIN TRUSSES.

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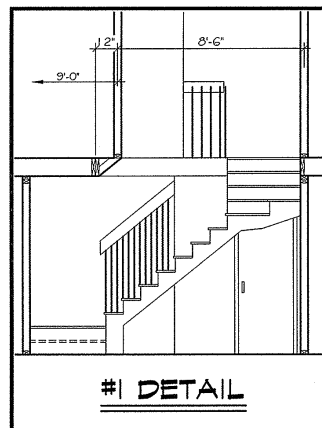
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**GROUND FLOOR PLAN**

scale: 1/4" = 1'-0"

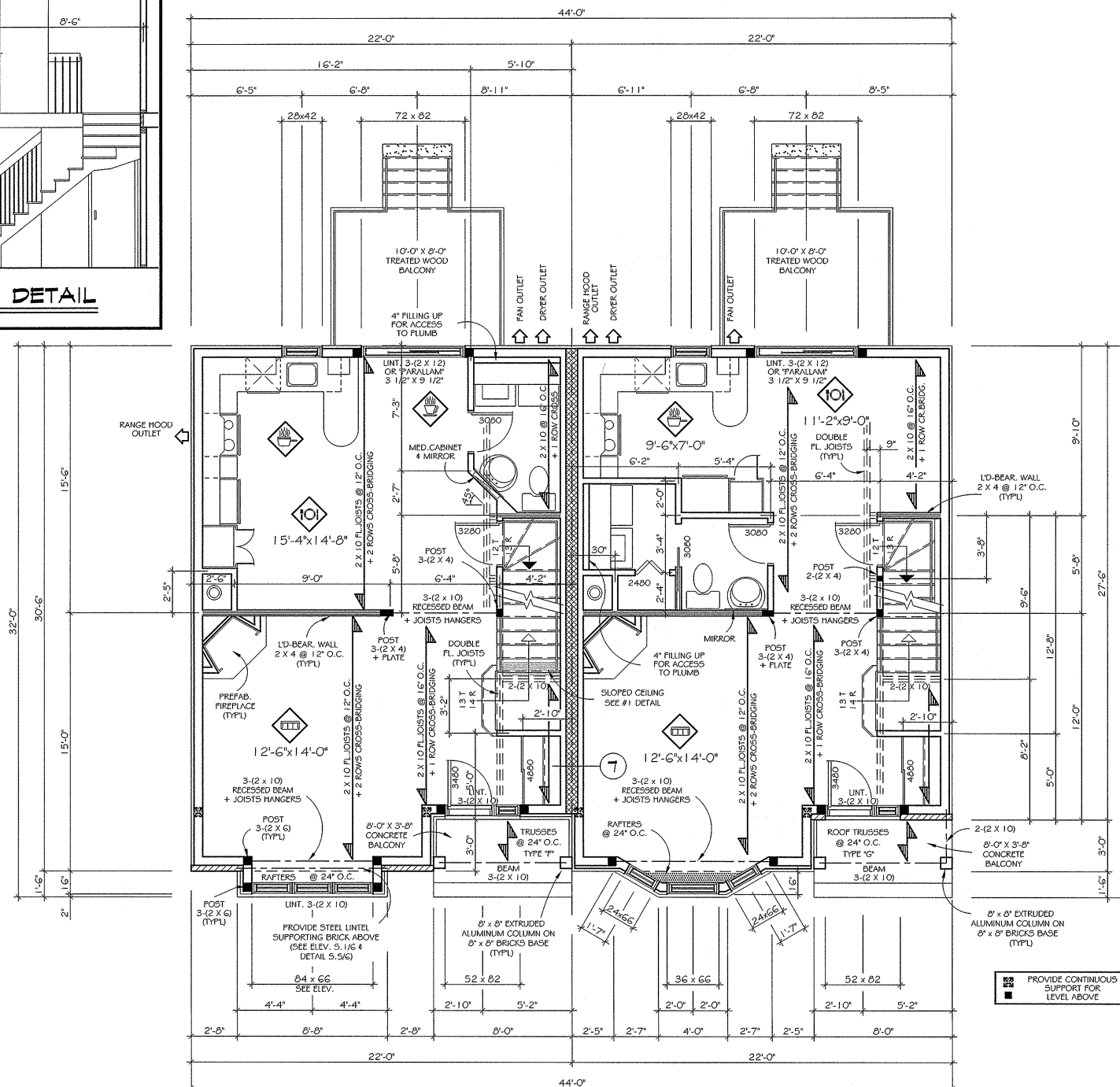
drawn by: C.D./R.H. date: 1997/08

verified by: N.D. date: 2005/11

plan no: #30558 ref. no:



#1 DETAIL

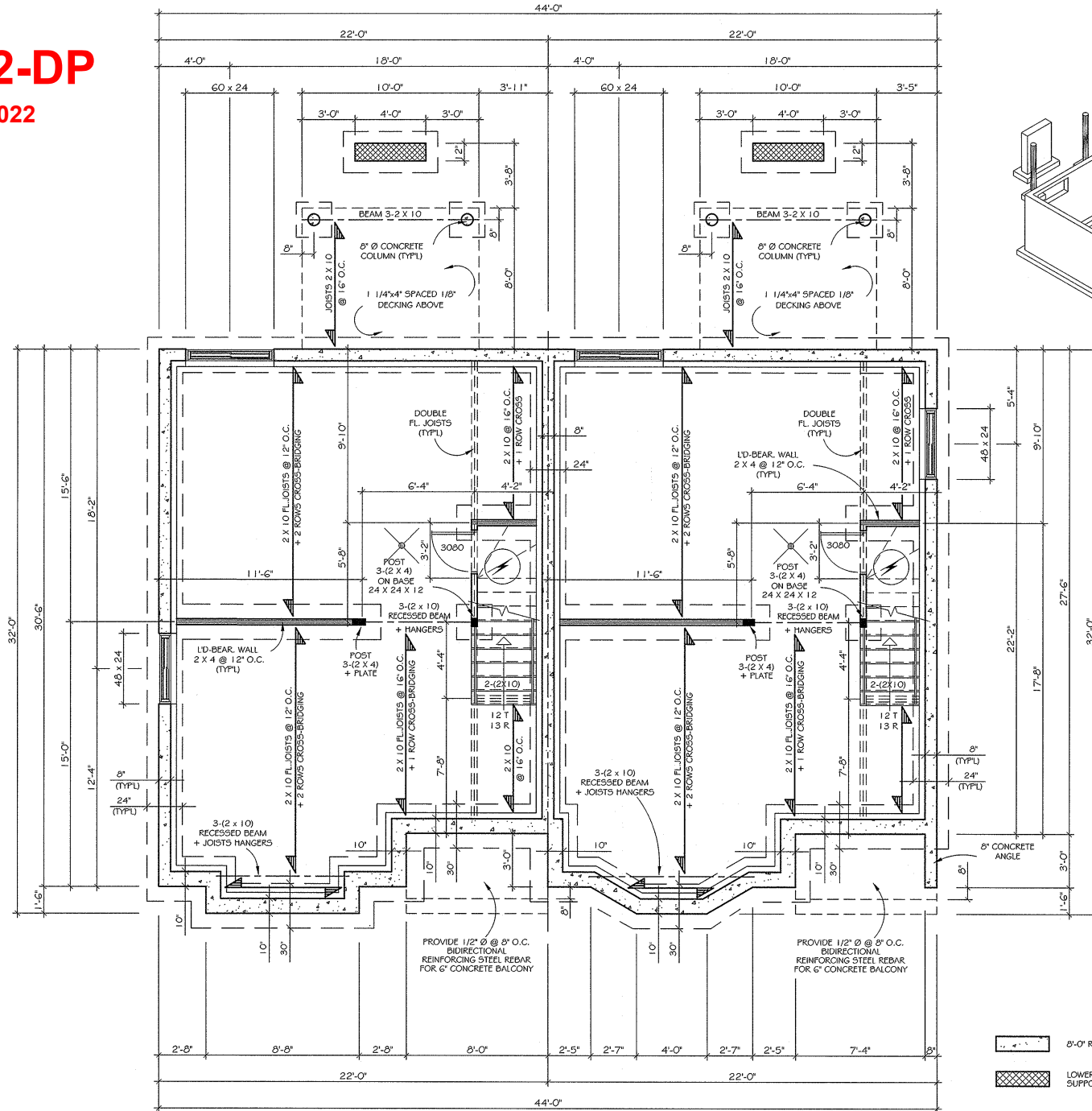


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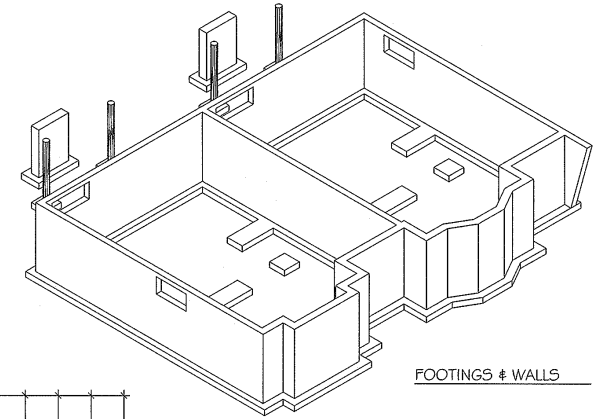
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# 8-C-22-DP

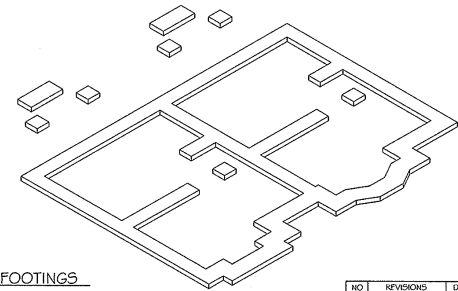
6/27/2022



- 8'-0" REGULAR FOUNDATION
- LOWER FOUNDATION FOR SUPPORT & TREADS OF BALCONY



FOOTINGS & WALLS



FOOTINGS

"ISOMETRIC VIEWS"

NO	REVISIONS	DATE

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owner's name	
draft title <b>FOUNDATION PLAN</b>	
scale : 1/4" = 1'-0"	date
drawn by : C.D. / R.H.	1997/08
verified by : N.D.	date 2005/11
plan no : #30558	ref. no :

↑ - HOUSE # 1 -

- HOUSE # 2 - ↑



# 8-C-22-DP

6/27/2022



## PLAN #30558

### DEAR CUSTOMER

We would like to thank you for your trust in selecting a Planimage original design for the construction of your new home. We understand that this project is dear to you and we are convinced that this plan will satisfy all your selection criteria. Please check your order to verify that it has been completely fulfilled, that you have received the right plan and the appropriate number of copies. Any discrepancies should be reported immediately to our order desk at 1 800 752-6744. Additional copies of this plan may also be ordered at this same number.

Great care and attention have been put into the preparation of these drawings, in order to provide you with the most complete construction package possible. They are the starting point for the construction of your home, and, as such, will serve as a technical guide for your professional builder or general contractor and sub-contractors. These drawings contain all the necessary information required by these professionals in order to build the house. However, they must not be perceived as a "how to" guide on residential construction. Today's homes are a complex amalgamation of building materials, construction techniques and diverse trades and, as such, require a certain level of skill and knowledge in order to properly achieve the final result. If you choose to build the home yourself, without the services of a licensed professional contractor, Planimage suggests that you consider hiring a building consultant to guide you throughout the entire building process.

### SUPPLEMENTAL DOCUMENTS

Stock home plans, like the one you have purchased contain all the necessary information required for the construction of the residence, while providing considerable savings in custom design architectural fees. However, in addition to these drawings, you may be required to submit any or all of the following documents, in order to meet city, county or state / provincial requirements, as well as local building codes and architectural review boards governing your build area. Planimage suggests that you contact your local building department and / or architectural review board to obtain all the requirements necessary for the issuance of a construction permit. Ask for particulars such as maximum / minimum building heights, exterior finish requirements, setbacks, etc. that may be mandatory in your particular build area. Please note that Planimage may request all these information on your behalf for additional fees.

**Site Plan:** Your permit department and lending institution will probably require you to submit a site plan along with your construction drawings. A site plan is a drawing that shows your property lines and the location of the house and other topographical features located on the property. A site plan is usually prepared by a local land surveyor or engineer. If you are building in a subdivision, try contacting the surveyor that prepared the subdivision plat plans. He will have all the required information concerning setbacks and municipal requirements. You can also use the services of a landscape architect to prepare your site plan. He can incorporate landscaping features such as driveways, pools, storage sheds, etc., that may be required by the permit department.

**Floor Plans Layout:** You may be asked to submit a plan or diagram showing the various mechanical systems that will be installed in your new residence. Or you may want to analyse on plan the various possibilities relating to interior design. At the end of the plan book, you will find a page showing all the floor levels presented on a small scale, which may be quite helpful for you.

**Structural Engineer:** The structural components shown in plans signed by Planimage are designed by our team of professional technologists. On some occasions when certain structural elements require a more complex design, these components are calculated and sealed by a licensed professional structural engineer. However, this seal is only valid in the province of Quebec. You may be asked to provide an engineer's seal, valid in your particular province or state. If required, consult a local structural engineer that will be familiar with the conditions in your area, and thereby verify that the structural components indicated on the plans meet local codes.

**Professional Stamp:** All plans designed and drawn by Planimage are signed and sealed by a licensed professional architectural technologist, member of the O.T.S.C.A.Q., valid in the province of Quebec. Some of our plans are also signed by an architect, member of the A.Q.A. Although valid in most municipalities throughout Quebec, some municipalities might not acknowledge the technologist's seal, and require that construction drawings be signed and stamped by an architect. If you are building in such a municipality, please contact the permit department for further instructions on compliance. You may be required to consult a local architect to review and stamp the drawings.

### COMPLEMENTARY SERVICES

**Modification Service:** Plans designed and drawn by Planimage can be modified or altered to suit your specific needs. Minor or more extensive modifications usually require modifying the construction drawings. Planimage offers this service to its clients, in order to avoid errors during construction and to streamline the entire building process, from permit approval to final inspection. For more information and a quotation for the cost of modifying this plan, simply contact one of our architectural technologists at 1 800 752-6744.

**List of Materials:** You can purchase a list of materials, prepared specifically for your plan. The list contains the complete quantities of materials and hardware that you or your contractor will need to purchase in order to build the house.

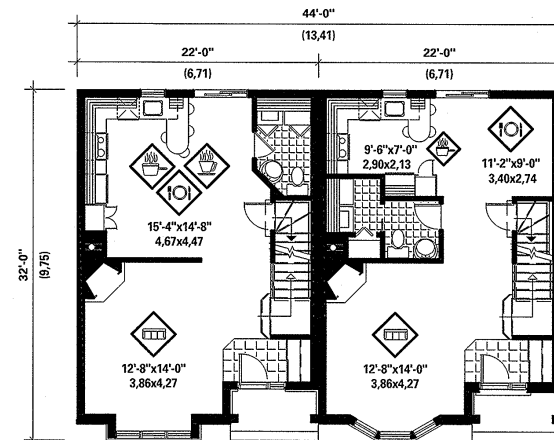
**Interior Design:** Planimage colors your dream with its interior design service. Our imaginative approach will provide you or your contractor with innovative interior design options, suited to your personal lifestyle as well as your budget.

**3D Animation:** Using 3D images created by computer, Planimage gives them a life of their own by producing animations. Available on CD-Rom or VHS tapes, they are an ideal way to showcase a residential or real-estate development, whether it be the inside of the house or even the outdoors environment.

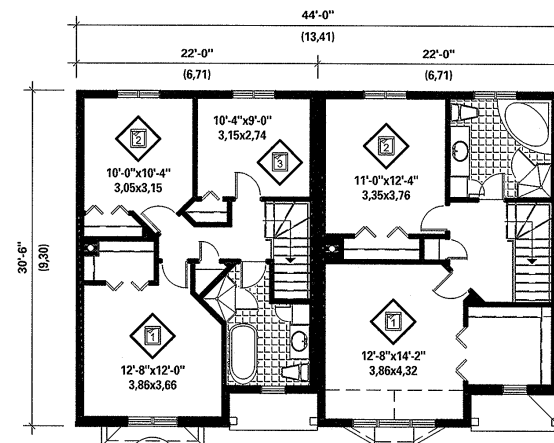
**Virtual Visits:** Wandering through different rooms of a house while taking a virtual tour is just like visiting the house in person. By reproducing each room in minute detail, Planimage allows you to stroll around and observe the different rooms from every possible angle simply by using your computer mouse.

**Photographs:** We are always delighted to see one of our designs become reality. Send us exterior and interior pictures of your new home, we'd like to see them. They could even be chosen for publication in an upcoming magazine in our "Dream come true" article. You can use the online form or the form which is enclosed in this shipment box.

We invite you to contact our order desk for any relevant information or prices on the above services.



### GROUND FLOOR PLAN



### SECOND FLOOR PLAN

#### LIVING AREA

GROUND FLOOR	1318 Sq.Ft. 122,44 Sq.M.
SECOND FLOOR	1294 Sq.Ft. 120,21 Sq.M.

We are honoured that you have chosen a Planimage original design. We wish you good building and long life in your new home.

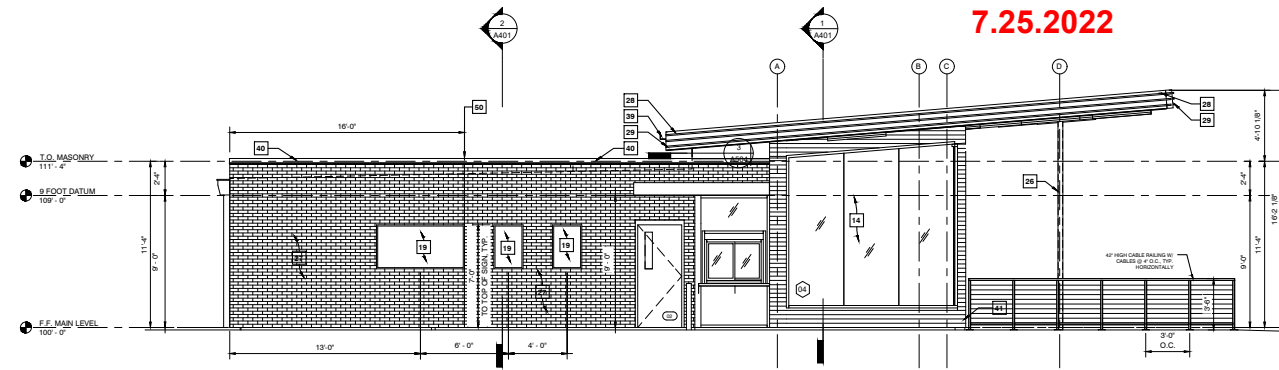


1501 AMPERE, SUITE 105  
BOUCHERVILLE, QUEBEC, CANADA, J4B 5Z5  
(450) 641-7526 (800) 752-6744  
(450) 641-6688  
www.planimage.com info@planimage.com

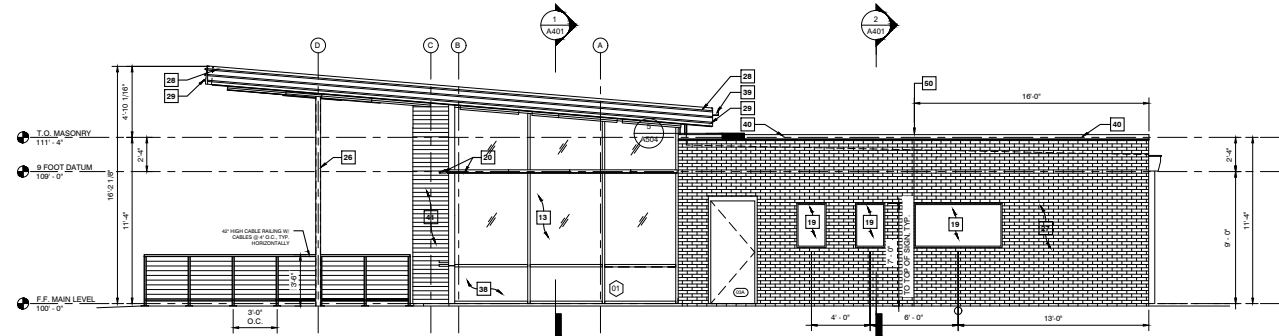


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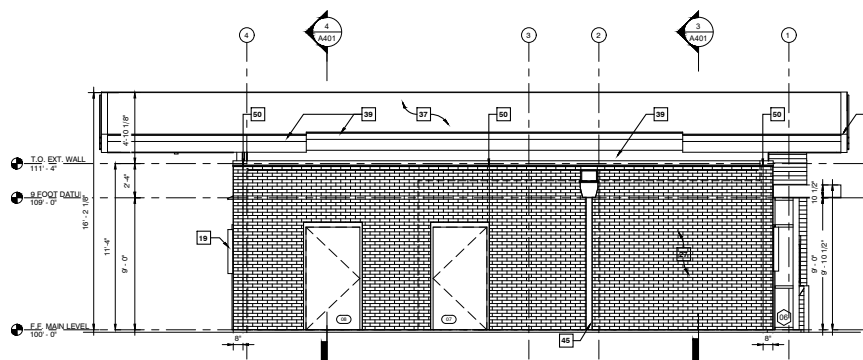
revised  
7.25.2022



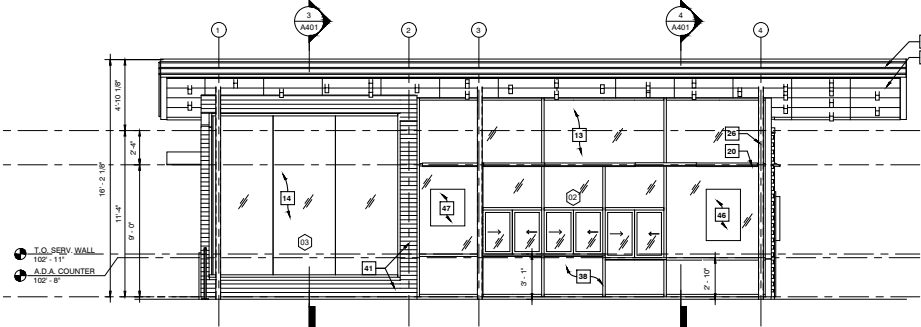
4 WEST ELEVATION  
1/4" = 1'-0"



3 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"

6217 Kingston Pike  
Knoxville, TN  
Planning Case # 8-C-22-SU

## KEYNOTES:

1. ROOF DRAINS BELOW SIDEWALK TO STORM SEWER - NOTE: EXPELL WATER UNDER SIDEWALK TO CURB - NOT ONTO TOAD.
2. NEW PANELBOARDS.
3. DRIVE THRU WINDOW.
4. TACTILE ALUMINUM EXIT SIGNAGE IN COMPLIANCE WITH SECTION 1011.3 IBC 2006 SURFACE MOUNTED TO DOOR.
5. TACTILE ALUMINUM RESTROOM SIGNAGE IN COMPLIANCE WITH SECTION 1110.1 IBC 2006 SURFACE MOUNTED TO DRYWALL.
6. PROVIDE 3' CLEAR ACCESSIBLE EGRESS PATH.
7. CONTRACTOR TO CONFIRM LOCATION OF THE CENTER SERVICE ISLAND WITH ARCHITECT BEFORE ROUGH IN OF PLUMBING.
8. ROOF STRUCTURE WITH CLEAR ANODIZED ALUMINUM FASCIA WITH 3 CONTINUOUS BANDS OF NEON TUBING AND HARDIE REVEAL PANEL (1/16") SOFFIT PAINTED WHITE.
9. INSTALL CORNER GUARDS TYP.
10. PROVIDE HOT AND COLD WATER HOSE BIB ON WALL BEHIND AND ADJACENT TO CUSTARD MACHINES.
11. FIRE EXTINGUISHER AND CABINET - SEE 4/A701.
12. COORDINATE INSTALLATION OF WALK-IN COOLER AND FREEZER W/ SUPPLIER.
13. EFCO 400 STOREFRONT OR EQUIVALENT - REINFORCE AS REQUIRED BY MFG. W/ 1" INSULATED GLAZING.
14. EFCO 5500 CURTAIN WALL SYSTEM OR EQUIVALENT WITH 1" INSULATED GLAZING.
15. CLEAR OVER CLEAR 1" INSULATED GLAZING - SEE GLAZING SPECS ON SHEET A701.
16. OCCUPANCY LOAD SIGNAGE IN COMPLIANCE WITH SECTION 1004.3 IBC 2003 - SURFACE MOUNTED ABOVE DOOR.
17. CORNER TO BE BUTT GLAZED WITH A-45 DEGREE MILLION.
18. CUSTARD MACHINES TO STRADDLE FLOOR SINKS.
19. ANDY'S MENU AND POSTER SIGNAGE BY OTHERS - VERIFY INSTALLED LOCATION W/ OWNER.
20. EXTERIOR UPLIGHTING MOUNTED TO MULLION PER SPECIFICATIONS.
21. MAINTAIN A MINIMUM OF 10" CLEAR ON OPERABLE SIDE OF WALK-IN COOLER AND FREEZER - COORDINATE DETAILING W/ MFG.
22. TRASH / RECYCLING PER OWNER.
23. ALL EXPOSED DUCTWORK TO BE PAINTED WHITE TO MATCH GWS CEILING.
24. 60 MIL WHITE TPO MECHANICALLY FASTENED WITH 1" RIGID INSULATION.
25. PROVIDE SOLID BLOCKING FOR ALL SHELVES & WALL MOUNTED EQUIPMENT - SEE ADDS FOR LOCATIONS.
26. COLUMNS PER STRUCTURAL.
27. BRICK VENEER PER WALL SECTION.
28. PERIMETER NEON LIGHTING ON EXTENTS OF ALUMINUM FASCIA BY OWNER.
29. SQUARE CUT ROOF EDGE.
30. SITE WORK PER CIVIL PLANS AND SPECIFICATIONS.
31. COMPOSITE SLATS ON GALVANIZED TUBE STEEL FRAME.
32. GUNSEY PRODUCTS INC. SLIDING WINDOWS: SELF CLOSING SC-4030 AT WALK-UP PATIO WINDOWS. FULLY AUTOMATIC 4030E AT DRIVE THRU WINDOW.
33. CAP AND SILL FLASHING AT TOP DATUM OF MASONRY VENEER AND FREESTANDING WALL TYP.
34. FOUNDATION PER STRUCTURAL.
35. WALL TYPE PER PLAN.
36. DUCTWORK LOCATION AND SIZING PER MEP.
37. ROOF CONSTRUCTION - 60 MIL WHITE TPO ROOFING MECHANICALLY FASTENED ON 1" RIGID INSULATION OVER 1/2" S PER STRUCTURAL WITH OPEN CELL INSULATION - MINIMUM OF R-30.
38. WHITE SPANDREL GLAZING - ALL SPANDREL GLASS TO BE WHITE, U.O.N.
39. PRE-FINISHED METAL BOX GUTTER.
40. PRE-FINISHED METAL PARAPET CAP FLASHING.
41. 1"x2" T-G COMPOSITE SIDING, BASIS OF DESIGN: TIMBERTECH PORCH COLLECTION, MANHATTAN.
42. JAMES HARDIE - 5/16" HARDIE PANELS COLOR PLUS® EXTERIOR FIRE CEMENT VERTICAL SIDING - 4" x 16" SECTIONS - SMOOTH FINISH - COLOR: LIGHT MIST; ON 3/4" BATTENS.
43. CASED OPENING FOR WALK-IN COOLER ACCESS.
44. ACM PANEL SOFFIT (LAMINATORS OMEGA SLATE, BONE WHITE) - 6" DIAMETER DOWNSPOUT - TO DRAIN TO DAYLIGHT UNDER SIDEWALK - REF. CIVIL PLANS.
45. ANDY'S FROZEN CUSTARD NEON CONE SIGN "MADE FRESH EVERY HOUR" - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING - SUSPEND FROM HORIZONTAL MULLION AND CONCEAL POWER SUPPLY ALONG INSIDE FACE OF MULLION.
46. ANDY'S FROZEN CUSTARD SPEECHER NOOT BEER NEON SIGN - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING - SUSPEND FROM HORIZONTAL MULLION AND CONCEAL POWER SUPPLY ALONG INSIDE FACE OF MULLION.
47. STEEL PIPE BOLLARD - 4" DIAMETER SCHEDULE 40 STEEL PIPE - 4' ABOVE GRADE W/ 2" CORE BELOW GRADE.
48. ELECTRIC STUB.
49. MASONRY CONTROL JOINT; REF. STRUCTURAL DWGS.

**pb2**  
Engineering

2809 Alpa Avenue Suite 100  
Knoxville, Tennessee 37208  
Phone: 423.254.3545  
Fax: 423.254.1291

Architect of Record  
William Douglas Hurley  
Tennessee License No. 107105  
Firm Disclosure No. 1052

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**Andy's**  
Frozen Custard

**ANDY'S FROZEN CUSTARD**  
6217 Kingston Pike  
Knoxville, TN  
Planning Case # 8-C-22-SU

## ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: JWS

DRAWN BY: JWS

DOCUMENT DATE: 11/8/21

**11.08.2021**

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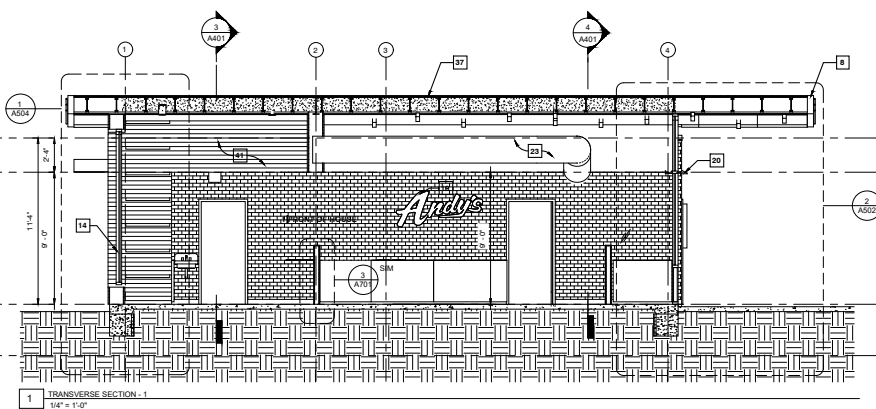
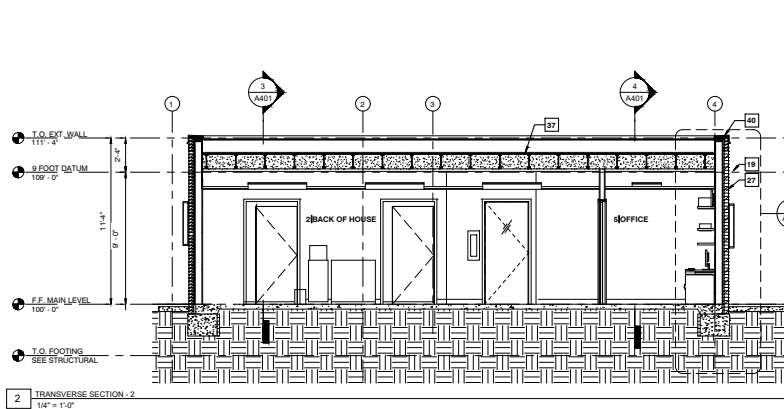
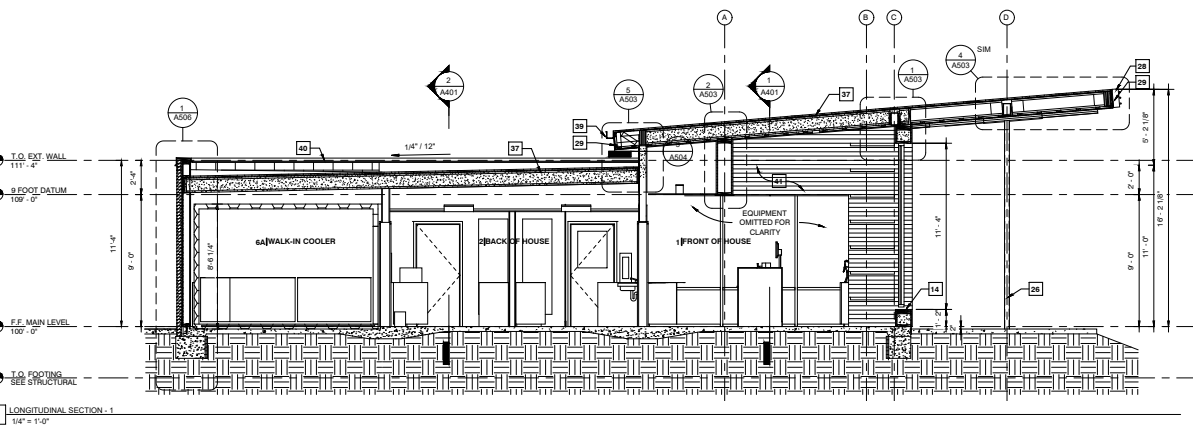
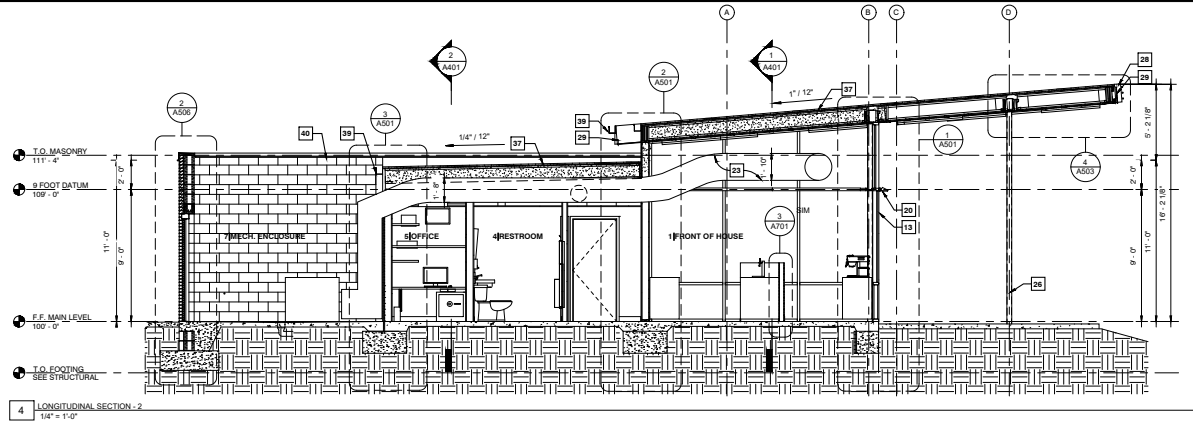
ELEVATIONS

SHEET:  
A301



# 8-C-22-SU

revised  
7.25.2022



- KEYNOTES:**
1. ROOF DRAINS BELOW SIDEWALK TO STORM SEWER. **NOTE:** EXPELL WATER UNDER SIDEWALK TO CURB - NOT ONTO WALK.
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  9. INITIAL CORNER GUARDS, TYP.
  10. PROVIDE HOT AND COLD WATER HOSE BIB ON WALL BEHIND AND ADJACENT TO CUSTARD MACHINES.
  11. FIRE EXTINGUISHER AND CABINET - SEE 4/A701
  12. COORDINATE INSTALLATION OF WALK-IN COOLER AND FREEZER W/ SUPPLIER
  13. EFCO 403 STOREFRONT OR EQUIVALENT - REINFORCE AS REQUIRED BY MFG. W/ 1\"/>
  14. EFCO 5800 CURTAIN WALL SYSTEM OR EQUIVALENT WITH 1\"/>
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  24. 60 MIL WHITE TPO MECHANICALLY FASTENED WITH 1\"/>
  25. PROVIDE SOLID BLOCKING FOR ALL SHELVES & WALL MOUNTED EQUIPMENT - SEE A203 FOR LOCATIONS
  26. COLUMNS PER STRUCTURAL
  27. BRICK VENEER PER WALL SECTION
  28. PERIMETER NEON LIGHTING ON EXTENTS OF ALUMINUM FASCIA BY OWNER
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  40. PRE-FINISHED METAL PARAPET CAP FLASHING
  41. 1\"/>
  42. JAMES HARDIE - 5/8\"/>
  43. FIBER CEMENT VERTICAL SIDING - 4\" x 11\" SECTIONS - SMOOTH FINISH - COLOR: LIGHT MIST; ON 3/4\" BATTENS
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  47. ANDY'S FROZEN CUSTARD NEON CONE SIGN - MADE FRESH EVERY HOUR - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING - SUSPEND FROM HORIZONTAL MULLION AND CONCEAL DOWNER SUPPLY ALONG INSIDE FACE OF MULLION
  48. ANDY'S FROZEN CUSTARD SPECTRUM ROOT BEER NEON SIGN - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING - SUSPEND FROM HORIZONTAL MULLION AND CONCEAL DOWNER SUPPLY ALONG INSIDE FACE OF MULLION
  49. STEEL PIPE SOLLARD - 4\" DIAMETER SCHEDULE 40 STEEL PIPE - 4\" ABOVE GRADE W/ 2\" CORE BELOW GRADE
  50. ELECTRIC SUB

**pb2**  
Engineering

2809 Alpa Avenue Suite 100  
Knoxville, Tennessee 37208  
Phone: 423.254.3545  
Fax: 423.434.1029

Architect of Record  
William Douglas Hurley  
Tennessee License No. 102100  
Form CD-000-001 Rev. 10/02

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**Andy's**  
Frozen Custard

6217 Kingston Pike  
Knoxville, TN  
Planning Case # 8-C-22-SU

ISSUE BLOCK

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/8/21
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
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DOCUMENT DATE: 11/8/21

11.5K.2021

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SECTIONS

SHEET:  
A401





# Development Request

## DEVELOPMENT

- ☒ Development Plan  
☐ Planned Development  
☐ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ Sector Plan  
☐ One Year Plan  
☐ Rezoning

**Ron Hodge**

Applicant Name

**6/21/2022**

Date Filed

**8/11/2022**

**()**

Planning Commission  
Meeting (if applicable)

Legislative Meeting (if applicable)

**8-C-22-DP**

File Number(s)

## CORRESPONDENCE

*All correspondence related to this application should be directed to the approved contact listed below.*

**Ron Hodge**

Name / Company

**P.O. Box 1064 Knoxville TN 37901-1064**

Address

**865-755-3287 / hodgeconstruction@hotmail.com**

Phone / Email

## CURRENT PROPERTY INFO

**Ron Hodge**

Owner Name (if different)

**P.O. Box 1064 Knoxville TN 37901-1064**

Owner Address

**865-755-3287 / hodgeconstructi**

Owner Phone / Email

**837 MURRAY DR**

Property Address

**68 J A 010**

Parcel ID

Part of Parcel (Y/N)?

**2.35 acres**

Tract Size

**KUB SEWER**

Sewer Provider

**KUB WATER**

Water Provider

Septic (Y/N)

## STAFF USE ONLY

**Northwest side of Murray Dr., east of Lacy Rd.**

General Location

☐ City

**Commission District 7**

**PR (Planned Residential)**

**Rural Residential**

☒ County District

Zoning District

Existing Land Use

**Northwest City**

Planning Sector

**LDR (Low Density Residential), HP (Hillside Protection)**

Sector Plan Land Use Classification

**Urban Growth Boundary**

Growth Policy Plan Designation

**DEVELOPMENT REQUEST**

- ☒ Development Plan   ☐ Planned Development   ☐ Use on Review / Special Use  
☐ Hillside Protection COA   ☐ Residential   ☐ Non-residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) **Townhomes**

Related City Permit Number(s)

**SUBDIVISION REQUEST**

Proposed Subdivision Name

Related Rezoning File Number

Unit / Phase Number

Total Number of Lots Created

Additional Information \_\_\_\_\_

- ☐
- Attachments / Additional Requirements

**ZONING REQUEST**

- ☐
- Zoning Change

Proposed Zoning

Pending Plat File Number

Proposed Density (units/acre)   Previous Zoning Requests

- ☐
- Plan Amendment Change

Proposed Plan Designation(s)

Additional Information \_\_\_\_\_

**STAFF USE ONLY****PLAT TYPE**

- ☐
- Staff Review
- ☐
- Planning Commission

**ATTACHMENTS**

- ☐
- Property Owners / Option Holders
- ☐
- Variance Request

**ADDITIONAL REQUIREMENTS**

- ☐ COA Checklist (Hillside Protection)  
☐ Design Plan Certification (Final Plat)  
☒ Site Plan (Development Request)  
☐ Traffic Impact Study  
☐ Use on Review / Special Use (Concept Plan)

Fee 1

**\$900.00**

Total

Fee 2

Fee 3

**AUTHORIZATION***By signing below, I certify that I am the property owner, applicant, or owner's authorized representative.***Ron Hodge, P.O. Box 1064 Knoxville TN 37901-1064****6/21/2022**

Application Authorized By

Affiliation

Date

**865-755-3287 / hodgeconstruction@hotmail.com**

Phone / Email

**Mike Reynolds**

Staff Signature

Please Print

Date Paid



# Development Request

## DEVELOPMENT

- ☐ Development Plan  
☐ Planned Development  
☐ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ SP ☐ OYP  
☐ Rezoning

Ron Hodge

Hodge Construction LLC.

Applicant Name

Affiliation

June 21, 2022

August 11, 2022

File Number(s)

Date Filed

Meeting Date (if applicable)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☒ Applicant ☒ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☐ Architect/Landscape Architect

Ron Hodge

Hodge Construction LLC.

Name

Company

P.O. Box 1064

knoxville

tn

37901-1064

Address

City

State

ZIP

865-755-3287

hodgeconstruction@hotmail.com

Phone

Email

## CURRENT PROPERTY INFO

Ron Hodge

101 East Fifth Avenue

865-755-3287

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

837 Murray Rd

068JA010

Property Address

Parcel ID

Knox

Knox

Sewer Provider

Water Provider

Septic (Y/N)

## STAFF USE ONLY

General Location

Tract Size

☐ City ☐ County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

November 22, 2021

**DEVELOPMENT REQUEST**

☐ Development Plan ☒ Use on Review / Special Use ☐ Hillside Protection COA  
☐ Residential ☐ Non-Residential  
Home Occupation (specify) 3 bed

Related City Permit Number(s)

Other (specify) \_\_\_\_\_

**SUBDIVISION REQUEST**

Proposed Subdivision Name

olia Square Towneh☐ Combine Parcels☐ Divide Parcel

Unit / Phase Number

Total Number of Lots Created

☐ Other (specify) \_\_\_\_\_☐ Attachments / Additional Requirements

Related Rezoning File Number

**ZONING REQUEST**☐ Zoning Change

Proposed Zoning

☐ Plan Amendment Change

Proposed Plan Designation(s)

Pending Plat File Number

Proposed Density (units/acre)

Previous Rezoning Requests

☐ Other (specify) \_\_\_\_\_**STAFF USE ONLY****PLAT TYPE**☐ Staff Review☐ Planning Commission**ATTACHMENTS**☐ Property Owners / Option Holders☐ Variance Request**ADDITIONAL REQUIREMENTS**☐ Design Plan Certification (*Final Plat*)☐ Use on Review / Special Use (*Concept Plan*)☐ Traffic Impact Study☐ COA Checklist (*Hillside Protection*)

Fee 1

Total

Fee 2

Fee 3

**AUTHORIZATION**

Applicant Signature

Ron Hodge

Please Print

6-21-22  
Date

Phone Number

865-755-3287

Email

hodgeconstruction@hotmail.com

Property Owner Signature

Ron Hodge  
Please Print6-21-22  
Date