



SPECIAL USE REPORT

► **FILE #:** 8-C-22-SU

AGENDA ITEM #: 35

AGENDA DATE: 8/11/2022

► **APPLICANT:** THOMAS R. GASS / ANDY'S FROZEN CUSTARD

OWNER(S): Anthony P. Cappiello, Jr.

TAX ID NUMBER: 121 A A 023

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 6217 KINGSTON PIKE

► **LOCATION:** North side of Kingston Pike, north of Deane Hill Drive

► **APPX. SIZE OF TRACT:** 0.71 acres

SECTOR PLAN: West City

GROWTH POLICY PLAN: N/A

ACCESSIBILITY: Access is via Kingston Pike, a 4-lane with a center turning lane, major arterial within a right-of-way width of 120-ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Fourth Creek

► **ZONING:** C-G-1 (General Commercial), HP (Hillside Protection Overlay)

► **EXISTING LAND USE:** Commercial

► **PROPOSED USE:** Drive-through facility

DENSITY PROPOSED: N/A

HISTORY OF ZONING: 8-I-83-RZ: O-1 to C-3

SURROUNDING LAND USE AND ZONING: North: Offices - O (Office)

South: Right-of-way - ROW (Right-of-Way), O (Office), C-G-1 (General Commercial)

East: Restaurant - C-G-1 (General Commercial)

West: Offices - O (Office)

NEIGHBORHOOD CONTEXT: This corridor is a mix of commercial and office uses along Kingston Pike.

STAFF RECOMMENDATION:

► **Approve the request for a drive-through facility in the C-G-1 zoning district, subject to 7 conditions.**

1. Meeting the requirements of principal use standards for drive-through facilities (Article 9.3.F) of the City of Knoxville Zoning Ordinance.
2. Meeting the requirements of Article 13 (Signs) of the City of Knoxville Zoning Ordinance, including but not limited to menu boards for the drive-through facility.
3. Installation of landscaping per the requirements of Article 12 (Landscaping) of the City of Knoxville Zoning Ordinance.

4. Meeting all applicable requirements of the Knoxville Department of Engineering.
5. Meeting all applicable requirements of the Tennessee Department of Transportation.
6. Meeting all other applicable requirements of the City of Knoxville Zoning Ordinance.
7. Meeting all the application requirements of the City of Knoxville Plans Review and Inspections Department.

With the conditions noted above, this request meets the requirements of C-G-1 zoning, the principal use standards for drive-through facilities, and other criteria for approval of a special use.

COMMENTS:

This is a proposal to construct a new drive-through facility for a frozen custard shop on a site that was most recently a furniture store. The proposed plans show a demolition of the existing structure with construction of a new drive-through facility, with walk-up window service as well. The site has shared access onto Kingston Pike with an adjacent veterinarian office to the west through a permanent easement.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The One Year Plan and Sector Plan designation for this parcel is GC (General Commercial), which includes previously developed strip commercial corridors providing a wide range of retail and service oriented uses.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The C-G zoning district is intended to provide for a heterogeneous mix of retail, personal service, office and residential uses within and along Knoxville's commercial nodes and corridors. Drive-through facilities may be permitted as a special use approval.

B. The C-G-1 zone does not have a minimum lot area or lot width, nor does it have maximum gross floor area standards. The maximum building height is 45-ft, the proposed building shows a maximum height of approximately 16.5-ft.

C. The lot is in the HP (Hillside Protection Overlay) District, however, it is exempt from those standards because it was previously legally disturbed.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. There are other eating and drinking establishments with drive-through facilities in the area, including Krispy Kreme which is located approximately 400-ft to the east along Kingston Pike at the intersection with N. Weisgarber Road

B. The proposed structure will replace an approximate 10,000-sqft commercial building with a smaller commercial building that will have approximately 1,700-sqft in gross floor area with one drive-through lane.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. The proposed drive-through facility will not significantly injure the value of adjacent property or detract from the immediate environment, the adjacent properties are a mix of office and commercial uses.

B. The subject property is required to comply with Article 10 of the City of Knoxville Zoning Ordinance, which regulates impacts. Section 10.2 regulates lighting, while noise, dust and pollution, odors, fire hazards, and other similar concerns are regulated in Section 10.5.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The proposed drive-through facility is along a commercial corridor and does not have direct access connecting to residential areas.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

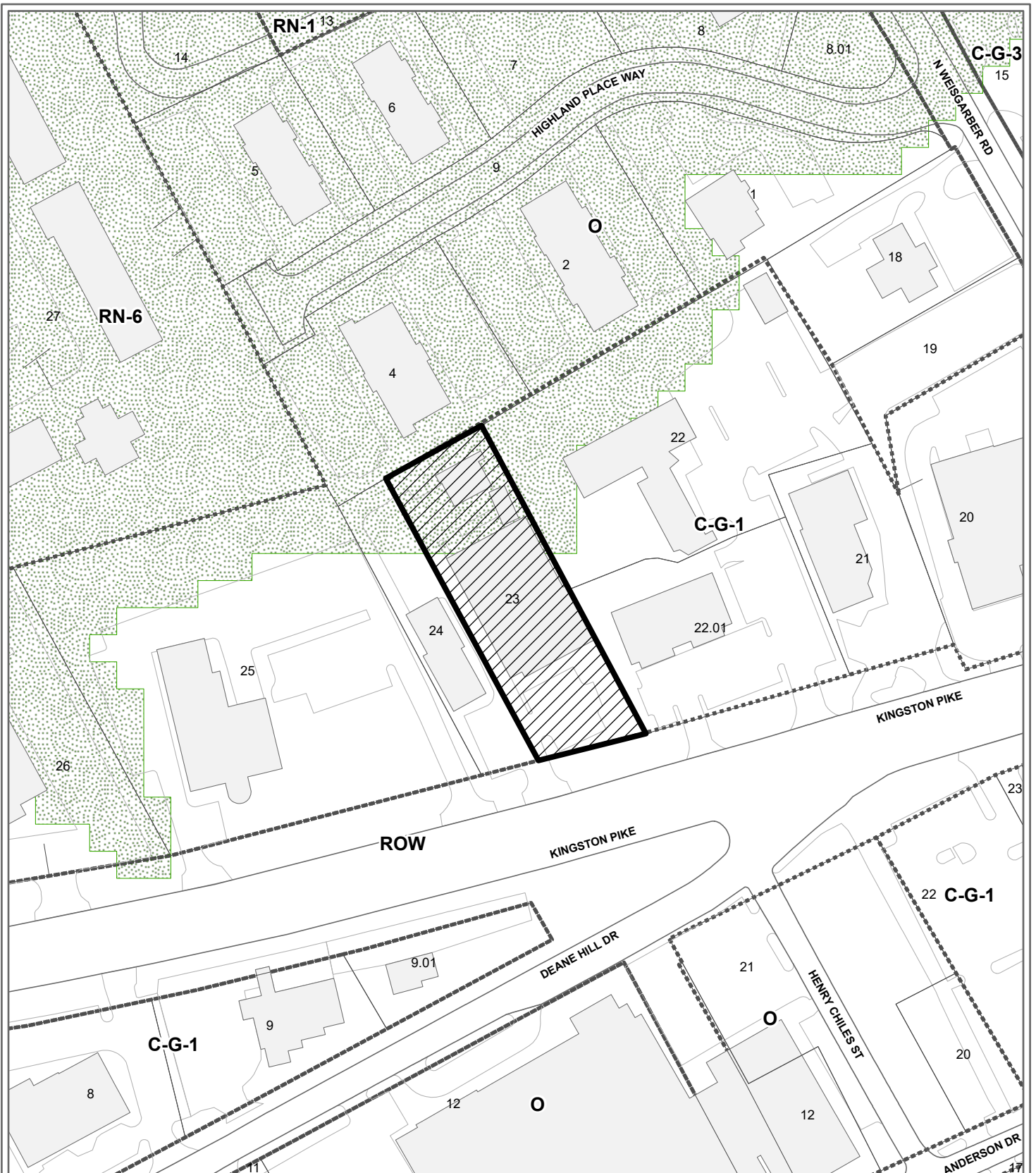
A. There are no known uses immediately surrounding the subject site that pose a potential hazard or undesirable environment for the proposed use.

ESTIMATED TRAFFIC IMPACT: 410 (average daily vehicle trips)

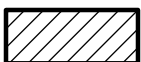
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



**8-C-22-SU
SPECIAL USE**



Drive-through facility in C-G-1 (General Commercial), HP (Hillside and Ridgetop Protection Overlay)

Original Print Date: 7/7/2022
 Knoxville - Knoxville Planning Commission * City / County Building * Knoxville, TN 37902

Revised:

Petitioner: Thomas R. Gass / Andy's Frozen Custard

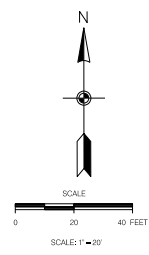
Map No: 121
































Jurisdiction: City

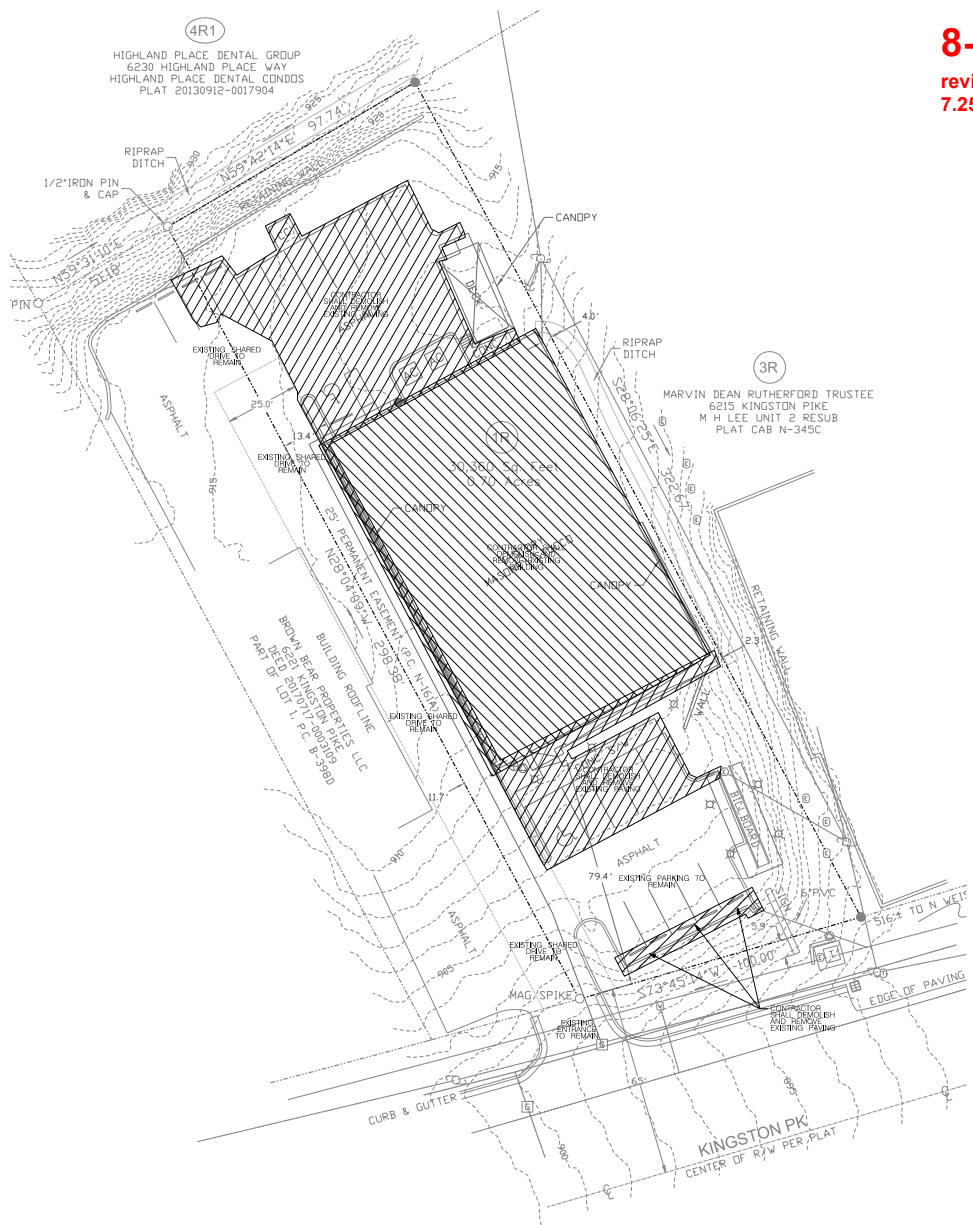
0 125
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revised
7.25.2022



<u>LEGEND:</u>				
EXISTING		PROPOSED		
	536		536	GROUND CONTOUR ELEVATION
	535.25'		535.25'	SPOT ELEVATION
				STRUCTURE
		NA		PROPERTY LINE
		NA		EASEMENT
				EDGE OF PAVEMENT
	SD		SD	STORM DRAIN
	SS		SS	SANITARY SEWER
	PW		PW	POTABLE WATER
	NG		NG	NATURAL GAS
	OE		OE	OVERHEAD ELECTRICAL
	W		W	WATER METER
	NA			FIRE HYDRANT
	NA		X	SILT PENDING
				CURB
				CATCH BASIN
NA				CONCRETE PAVEMENT
NA				ASPHALT PAVEMENT
NA				RIP RAP



**WILL ROBINSON
& ASSOCIATES**



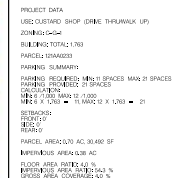
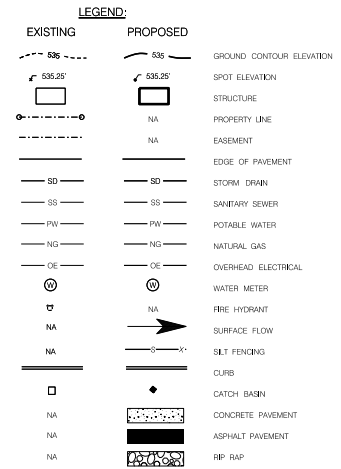
A Site Plan for:
Andy's Custard
6217 Kingston Pike
Knoxville, TN
Planning Case # 8-C-22-SU

REVISIONS:
07.20.2022 CITY COMMENTS

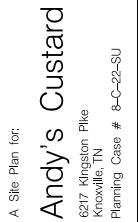
DRAWN: WNR
CHECKED: WNR
DATE: 06/23/2022
FILE NAME:
PROJECT NO:

PL01
CONCEPT DEMOLITION PLAN
DRAWING

revised
7.25.2022



1248 N. Shorewood Ln
Caryville, TN 37714
(865) 386-4200
wrassociates@bellsouth.net

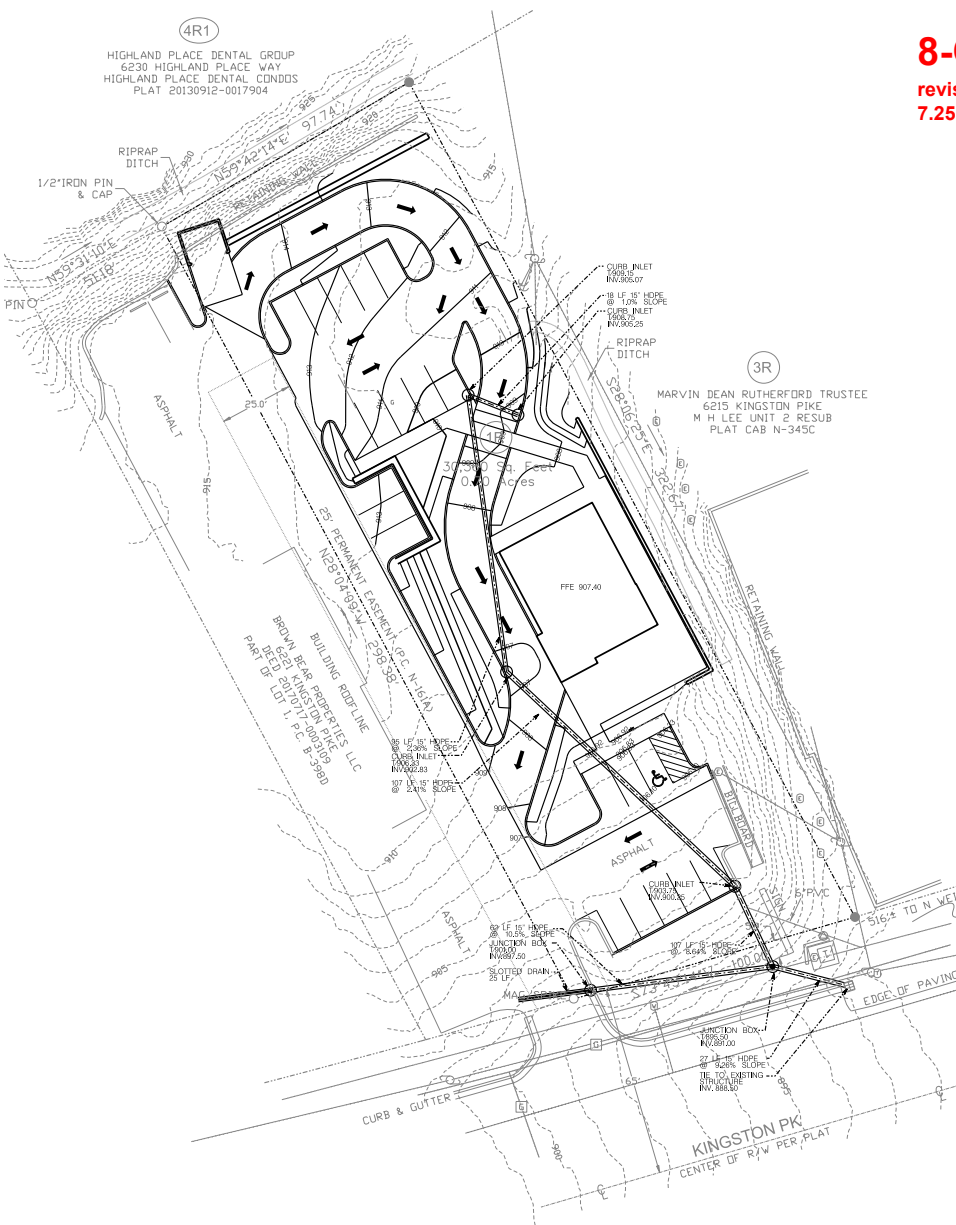


PL02

CONCEPT LAYOUT PLAN
DRAWING

8-C-22-SU

revised
7.25.2022



WILL ROBINSON
& ASSOCIATES



A Site Plan for:
Andy's Custard
6217 Kingston Pike
Knoxville, TN
Planning Case # 8-C-22-SU

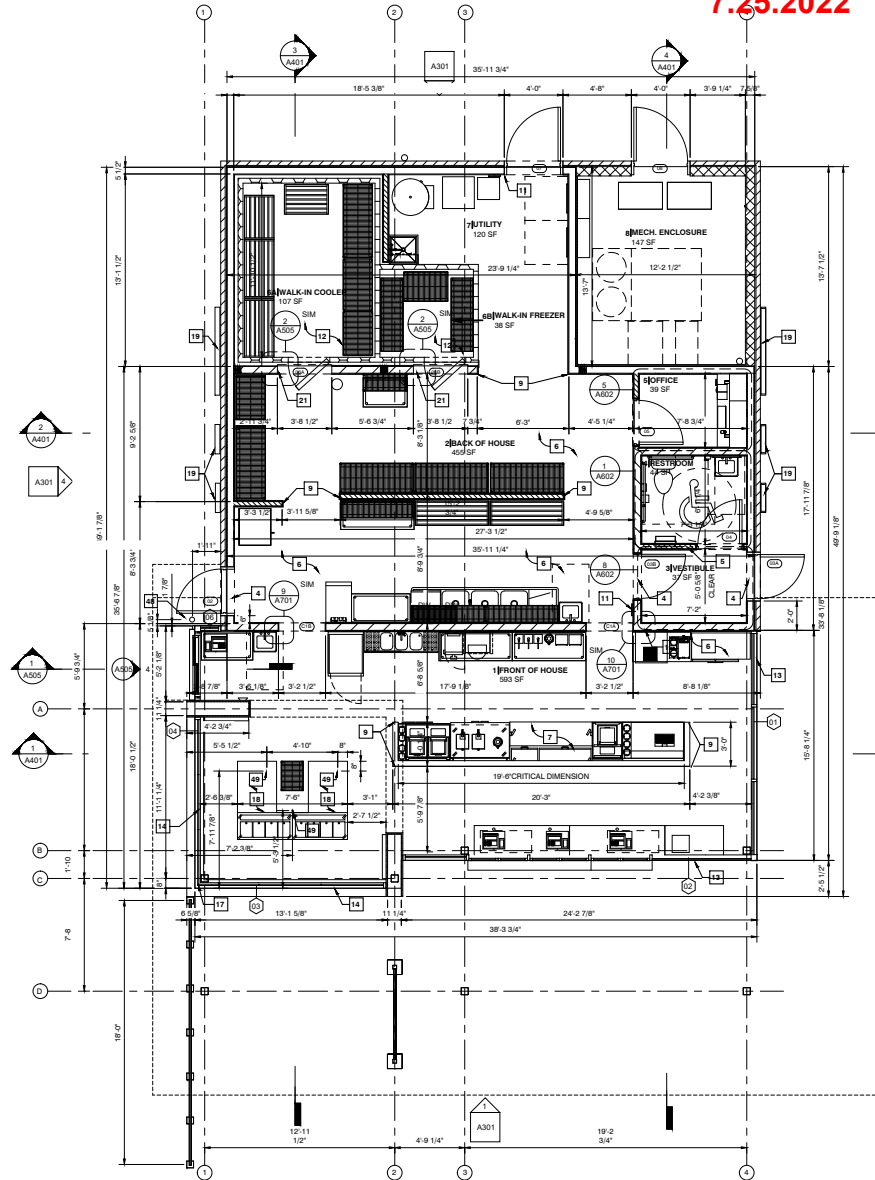
REVISIONS:
07.20.2022 CITY COMMENTS

DRAWN: WNR
CHECKED: WNR
DATE: 06/23/2022
FILE NAME:
PROJECT NO:

PL03
CONCEPT GRADING PLAN
DRAWING

8-C-22-SU

revised
7.25.2022



KEYNOTES:

1. ROOF DRAINS BELOW SIDEWALK TO STORM SEWER. NOTE: EXPELL WATER UNDER SIDEWALK TO CURB - NOT ONTO WALK.
2. NEW PANEL(S) ON(S).
3. DRIVE THRU WINDOW.
4. TACTILE ALUMINUM EXIT SIGNAGE IN COMPLIANCE WITH SECTION 1011.3 BC 2006 SURFACE MOUNTED TO DOOR.
5. TACTILE ALUMINUM RESTROOM SIGNAGE IN COMPLIANCE WITH SECTION 1111.3 BC 2006 SURFACE MOUNTED TO DRYWALL.
6. PROVIDE 3' CLEAR ACCESSIBLE EGRESS PATH.
7. CONTRACTOR TO CONFIRM LOCATION OF THE CENTER SERVICE ISLAND WITH ARCHITECT BEFORE ROUGH IN OF PLUMBING.
8. ROOF STRUCTURE WITH CLEAR ANODIZED ALUMINUM FASCIA WITH 3 CONTINUOUS BANDS OF NEON TUBING AND HARDIE REVEAL PANEL (7/16\"/>

PARTITION LEGEND:

NEW INTERIOR PARTITION
2 x 4 WOOD STUDS
A-1: 5/8\"/>

NEW INTERIOR PARTITION
2 x 4 WOOD STUDS, 5/8\"/>

1. DIMS. ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.

2. REFER TO A301 FOR NOTES ON WALL TYPE / DETAILING.

3. REFER TO FINISH PLAN AND SCHEDULE FOR VARIATIONS TO INTERIOR WALL FINISHES.

4. ALL FOOD AND NON-FOOD SURFACES ARE TO BE SMOOTH, DURABLE, NON-ABSORBENT, LIGHT IN COLOR AND EASILY CLEANABLE PER LOCAL CITY HEALTH DEPARTMENT REGULATIONS.

5. REFER TO INT. ELEV. FOR CONDITIONS WITH TILE AS FIN. WALL SURFACE. PROVIDE 5/8\"/>

6. BATHROOM WALLS SHOULD BE INSUL. WITH SOUND BATT INSUL. TO ACHIEVE AN STC RATING OF 50.

7. ALL WALLS CONTAINED WITHIN OR DIRECTLY FACING ROOM 2: BACK OF HOUSE TO UTILIZE FRP 1 IN LIEU OF 5/8\"/>



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Architect of Record
William Douglas Hurley
Tennessee License No. 102100
Form Disclosure No. 3382

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ANDY'S FROZEN CUSTARD
6217 Kingston Pike
Knoxville, TN
Planning Case # 8-C-22-SU

ISSUE BLOCK

NO.	DATE	DESCRIPTION

CHECKED BY: JWS

DRAWN BY: JWS

DOCUMENT DATE: 11/8/21

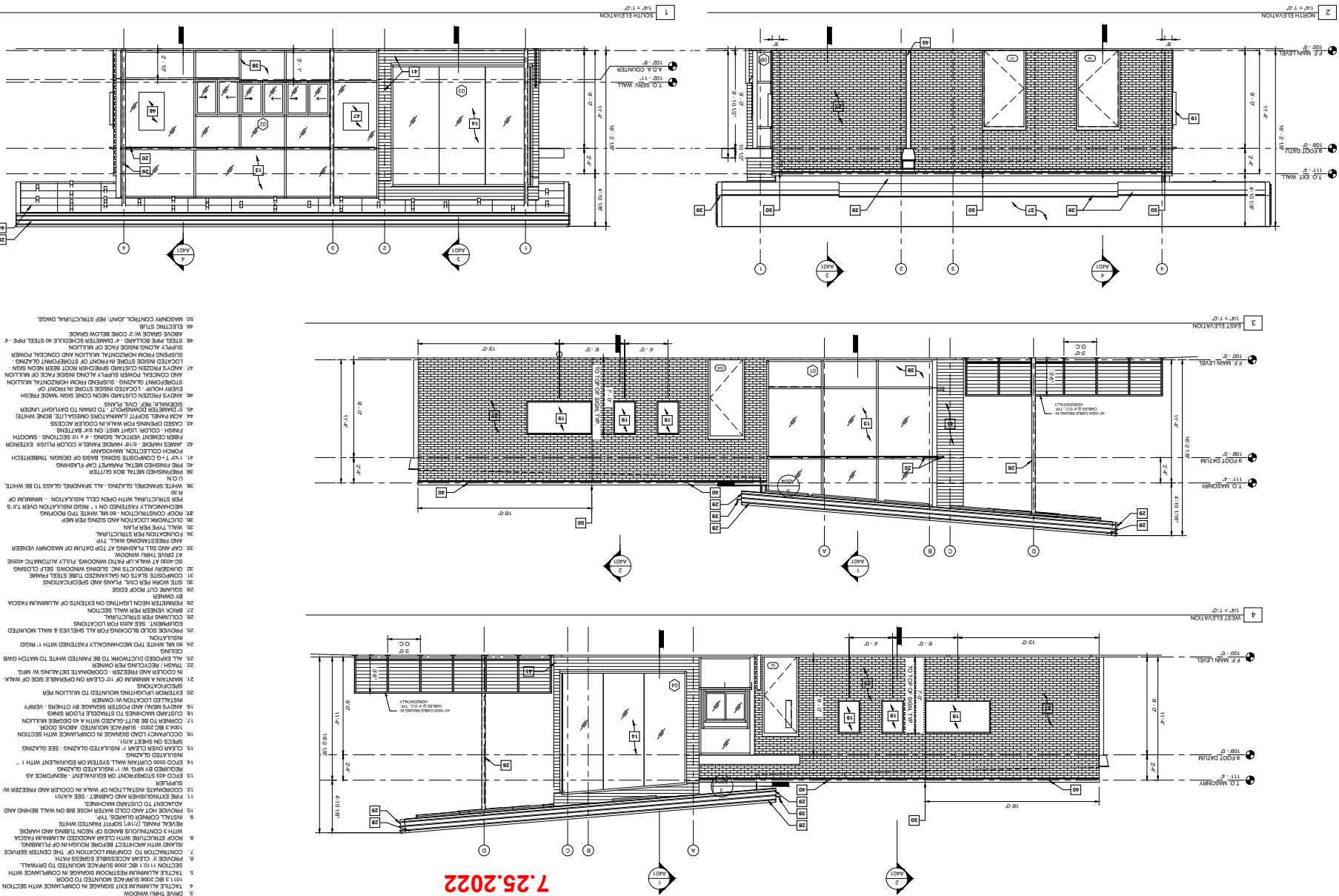


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DIMENSIONED PLAN

SHEET:
A201

6217 Kingston Pike
Knoxville, TN
Planning Case # 8-C-22-SU



revised
7.25.2022

8-C-22-SU

KEYNOTES:

1. CONTRACTOR TO CONFIRM LOCATION OF THE CENTER SERVICE ISLAND WITH ARCHITECT BEFORE ROUGHEN OR PLUMBING.

2. PROVIDE 3 CLEAR ACCESS EGRESS PATHS.

3. SECTION 1101.01 ICC 2008 SURFACE MOUNTED TO DRYWALL.

4. TACTILE MINIMUM RETHROW SIGNAGE IN COMPLIANCE WITH ICC 2008.

5. TACTILE MINIMUM EXIT SIGNAGE IN COMPLIANCE WITH SECTION 1101.01 ICC 2008.

6. DRIVE THRU WINDOW.

7. NEW PANELBOARDS.

8. ROUGH WHIMS W/ALL UNDERWALL TO FURNISH SYSTEM. **NOTE:** EXPERT WATER UNDER SIDEWALK TO CURB. NOT ONT WALL.

INSTALL LOCATION W/ OWNER
ANVAY MENIN AND MASTER SIGNAGE BY OTHERS - RRRP
1000'S B.C. 2000 - SURFACE MOUNTED ABOVE DOOR
COMMUNITY LOAD SIGNAGE IN COMPLIANCE WITH SECTION
3603 ON SHEET #101
FCCO 3500 CURTAIN WALL SYSTEM ON EQUIVALENT W/ " -
REINFORCED BY W/ R - INSULATED EQUIVALENT - REINFORCE AS
SUPPLIER
BRF EXHAUSTORISER AND CABINET - SEE #101
ADJACENT TO CURTAIN WALLS
PROTECT CURTAIN WALLS AND OLD WALLS ON WALL BEHIND AND
INSTALL CURTAIN GLASS, 1" P
REPEL PANEL 17"10" SPOFFT PAINTED WHITE
WITH A COLORED BARS OF BRIGHT YELLOW
INSTALL CURTAIN GLASS, 1" P

217 MAINTAIN A MINIMUM OF 10' CLEAR ON OPERABLE SIDE OF WALK-
218 THRU IN COOLING PERMITTER - COORDINATE DETAILING W/ MFG.
219 CEILING
220 ALL EXPOSED DUCTWORK TO BE PAINTED WHITE TO MATCH GWB
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223 INSULATION
224 EQUIP. SOUD BLOCKING FOR ALL SHELVES & WALL MOUNTED
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29 SQUARE CUT ROOF EDGE
30 SITE WORK PER CIVL. PLANS AND SPECIFICATIONS
31 COMPOSITE SLABS NO GALVANIZED TRUE STEEL FRAME
32 QUINSEY PRODUCTS INC. SLIDING WINDOWS, SELF CLOSING
33 SC-3000 AT WALK-UP PATIO WINDOWS, FULLY AUTOMATIC 400SE
34 CAP AND SILL FLASHING AT TOP DATUM OF MASONRY VENEER
35 FOUNDATION PER STRUCTURAL
36 WALL TYPE PER PLAN
37 DUCTWORK LOCATION AND SIZING PER MEP

MECHANICALLY FASTENED ON 1" RIGID INSULATION OVER 1/8" S
PER STRUCTURAL WITH OPEN CELL INSULATION - MINIMUM OF
R-30
WHITE SPANDREL GLAZING - ALL SPANDREL GLASS TO BE WHITE.
U.O.N.
PRE-FINISHED METAL BOX GLASSER
41. PRE-FINISHED METAL PAPER CLASHING
PORCH COLLECTION, MARBON
JAMES MARBLE 5/16" MARBON PANELS @ COLOR PLUS @ EXTERIOR
FIBER CEMENT VERTICAL JOINTING - 2" X 10 SECTIONS - SMOOTH
FINISH - COLOR LIGHT MIST, NO. 14 BATTERS

45 ACI PANEL SCOFF (LAWMAVERS OVERLAP, BONE WHITE)
46 6" DIAMETER DOWNSPOUT - TO DRAIN TO DOWNGUT FINDER
SIDEWALK, REF. CIVIL PLANS
45 AND A FROZEN ZOSTER NEON CONE SIGN MADE FRESH
EVERY HOUR - LOCATED INSIDE STORE IN FRONT OF
STOREFRONT GLAZING - SUSPENS FROM HORIZONTAL NULLION
AND CONCRETE POWER SUPPLY ALONG INSIDE FACE OF NULLION
47 AND A FROZEN CUSTOMER SPEECHER BOOT BEER NEON SIGN
LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING -
SUSPENS FROM HORIZONTAL NULLION AND CONCRETE POWER
SUPPLY ALONG INSIDE FACE OF NULLION
48 STEEL PIPE BOLLARD - 4" DIAMETER SCHEDULE 40 STEEL PIPE -

49. ELECTRIC STUD
50. MASONRY CONTROL JOINT; REF. STRUCTURAL DWGS.

A top-down diagram of a vehicle. A rectangular box in the center of the vehicle contains the symbol '9P' with two lightning bolts, indicating a hazard warning flasher. The vehicle is positioned on a road with dashed white lines. A vertical line on the left side of the vehicle represents the driver's side door. A small rectangular box is located on the left side of the vehicle, near the front. A small rectangular box is located on the right side of the vehicle, near the front. A small rectangular box is located on the right side of the vehicle, near the rear. A small rectangular box is located on the right side of the vehicle, near the rear.

SHEET:
A301

ELEVATIONS

SHEETS BEARING THIS SEAL
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RESPONSIBILITY FOR ALL
OTHER PLANS, SPECIFICATIONS
OR INSTRUMENTS ARE



CHECKED BY:	JWS
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DOCUMENT DATE:	11/8/21

[illegible]

ANDY'S FROZEN CUSTAR
6217 Kingston Pike
Knoxville, TN
Planning Case # 8-C-22-SU

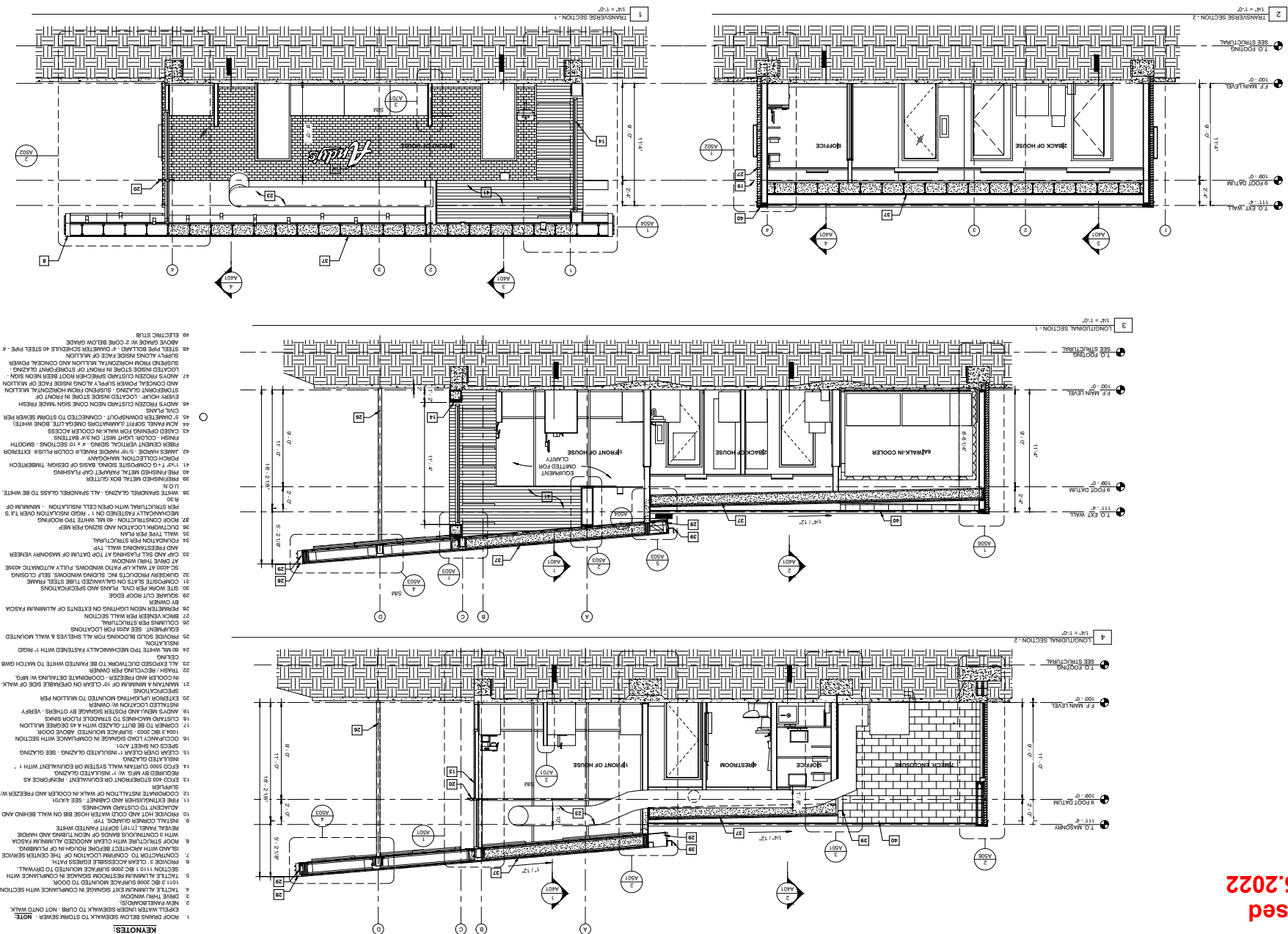


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Abstract of Record
William Douglas Hurley
Tennessee license No. 102100
Film Disclosure No. 3502

2009 Ajax Avenue Suite 100
Rogers Arkansas 72758
architects
and
engineers
pdp2



KEYNOTES:

[illegible]

A401

SECTIONS

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ISSUE BLOCK

ANDY'S FROZEN CUSTARD
6217 Kingston Pike
Knoxville, TN
Planning Case # 8-C-22-SU



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pb2
architectural
engineering

2809 Ajax Avenue Suite 100
Rogers, Arkansas 72758
Phone: 479.634.3545
Fax: 479.634.1209
Architect of Record
Wilson Douglas Hurley
Tennessee License No. 102100
Firm Disclosure No. 3502



Development Request

DEVELOPMENT

- ☐ Development Plan
☐ Planned Development
☒ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ Sector Plan
☐ One Year Plan
☐ Rezoning

Thomas R. Gass / Andy's Frozen Custard

6/27/2022

Applicant Name

Date Filed

8/11/2022

()

8-C-22-SU

Planning Commission
Meeting (if applicable)

Legislative Meeting (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Will Robinson Will Robinson and Associates

Name / Company

1248 N. Shorewood Ln. Ln. Caryville TN 37714

Address

865-386-4201 / wendy@wracivil.com

Phone / Email

CURRENT PROPERTY INFO

Anthony P. Cappiello, Jr.

P.O. Box 11505 Knoxville TN 37939

865-482-1214

Owner Name (if different)

Owner Address

Owner Phone / Email

6217 KINGSTON PIKE

Property Address

121 A A 023

0.71 acres

Parcel ID

Part of Parcel (Y/N)?

Tract Size

KUB SEWER

KUB WATER

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

North side of Kingston Pike, north of Deane Hill Drive

General Location

☒ City

Council District 2

C-G-1 (General Commercial), HP (Hillside and Ridgetop
Protection Overlay)

Commercial

☐ County

District

Zoning District

Existing Land Use

West City

GC (General Commercial), HP (Hillside and Ridgetop Prot

N/A

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

DEVELOPMENT REQUEST

- ☐ Development Plan ☐ Planned Development ☒ Use on Review / Special Use
☐ Hillside Protection COA ☐ Residential ☐ Non-residential

Home Occupation (specify) _____

Other (specify) **Drive-through facility**

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name

Related Rezoning File Number

Unit / Phase Number

Total Number of Lots Created

Additional Information

- ☐ Attachments / Additional Requirements

ZONING REQUEST

- ☐ Zoning Change

Proposed Zoning

Pending Plat File Number

Proposed Density (units/acre) Previous Zoning Requests

- ☐ Plan Amendment Change

Proposed Plan Designation(s)

Additional Information

STAFF USE ONLY

PLAT TYPE

- ☐ Staff Review ☐ Planning Commission

ATTACHMENTS

- ☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

- ☐ COA Checklist (Hillside Protection)
☐ Design Plan Certification (Final Plat)
☒ Site Plan (Development Request)
☐ Traffic Impact Study
☐ Use on Review / Special Use (Concept Plan)

Fee 1

\$1,500.00

Total

Fee 2

Fee 3

AUTHORIZATION

By signing below, I certify that I am the property owner, applicant, or owner's authorized representative.

Thomas R. Gass Andy's Frozen Custard,

6/27/2022

Application Authorized By

Affiliation

Date

417-676-4970 / tom.gass@eatandys.com

Phone / Email

Mike Reynolds

Staff Signature

Please Print

Date Paid

(1) Download and fill out this form at your convenience.
(2) Sign the application digitally (or print, sign, and scan).

(3) Either print the completed form and bring it to the
Knoxville-Knox County Planning offices
OR email it to applications@knoxplanning.org



Development Request

Reset Form

DEVELOPMENT

- ☐ Development Plan
☐ Planned Development
☒ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ SP ☐ OYP
☐ Rezoning

Thomas R Gass / Andy's Frozen Custard

Franchisee / Managing Partner

Applicant Name

06/27/2022

August 11, 2022

Affiliation

File Number(s)

Date Filed

Meeting Date (if applicable)

8-C-22-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☒ Engineer ☐ Architect/Landscape Architect
Will Robinson Will Robinson & Associates

Name

1248 N Shorewood Ln

Company

Caryville

TN

37714

Address

865-386-4201

City

wendy@wracivil.com

State

ZIP

Phone

Email

CURRENT PROPERTY INFO

Anthony P. Cappiello, Jr.

Property Owner Name (if different)

6217 Kingston Pike Knoxville, TN

P.O. Box 11505, Knoxville, TN 37939

Property Owner Address

121AA023X

Property Owner Phone

(865) 482 - 1214

Property Address

KUB

Parcel ID

KUB

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

See digital application attached

General Location

Tract Size

☐ City ☐ County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

November 22, 2021

DEVELOPMENT REQUEST

- ☐ Development Plan ☒ Use on Review / Special Use ☐ Hillside Protection COA
☐ Residential ☒ Non-Residential

Related City Permit Number(s)

Home Occupation (specify) _____

Other (specify) Drive-through facility _____

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name _____

Unit / Phase Number ☐ Combine Parcels ☐ Divide Parcel Total Number of Lots Created _____☐ Other (specify) _____☐ Attachments / Additional Requirements _____**ZONING REQUEST**

Pending Plat File Number

☐ Zoning Change _____
Proposed Zoning _____☐ Plan Amendment Change _____
Proposed Plan Designation(s) _____

Proposed Density (units/acre) _____

Previous Rezoning Requests _____

☐ Other (specify) _____**STAFF USE ONLY****PLAT TYPE**

- ☐ Staff Review ☐ Planning Commission

ATTACHMENTS

- ☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

- ☐ Design Plan Certification (*Final Plat*)
☐ Use on Review / Special Use (*Concept Plan*)
☐ Traffic Impact Study
☐ COA Checklist (*Hillside Protection*)

Fee 1		Total
401	Special Use	\$1,500
Fee 2		
Fee 3		

MR

AUTHORIZATION
Applicant Signature

Thomas R Gass

June 24, 2022

Please Print

Date

417-676-4970

tom.gass@eatandys.com

Phone Number

Email


Property Owner Signature

Anthony P. Cappiello, Jr.

June 25, 2022

Please Print

Date