

# REZONING REPORT

► **FILE #:** 12-C-22-RZ

**AGENDA ITEM #:** 19

**AGENDA DATE:** 12/8/2022

► **APPLICANT:** DENNIS BAGGETT

OWNER(S): Dennis Baggett

TAX ID NUMBER: 78 112.03

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 4710 MESSER LN

► **LOCATION:** South of Messer Ln, east of Weaver Rd

► **APPX. SIZE OF TRACT:** 1.05 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Messer Ln, a local road with a 15-ft pavement width within a 40-ft right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Grassy Creek

► **PRESENT ZONING:** A (Agricultural)

► **ZONING REQUESTED:** RA (Low Density Residential)

► **EXISTING LAND USE:** Single Family Residential

►  
EXTENSION OF ZONE: Yes, the LDR land use and RA zone are adjacent to the east.

HISTORY OF ZONING: None noted

SURROUNDING LAND  
USE AND ZONING: North: Single Family Residential, Rural Residential,  
Agricultural/Forestry/Vacant - A (Agricultural), RA (Low Density  
Residential)

South: Agricultural/Forestry/Vacant - A (Agricultural)

East: Single Family Residential, Rural Residential,  
Agricultural/Forestry/Vacant - A (Agricultural), RA (Low Density  
Residential)

West: Single Family Residential, Rural Residential,  
Agricultural/Forestry/Vacant - A (Agricultural), RA (Low Density  
Residential)

NEIGHBORHOOD CONTEXT: The area consists primarily of single family residential and agricultural land  
uses.

## STAFF RECOMMENDATION:

► **Approve the RA (Low Density Residential) zone because it is consistent with the surrounding development and sector plan.**

**COMMENTS:**

PURSUANT TO THE KNOX COUNTY ZONING ORDINANCE, ARTICLE 6.30.01: THE FOLLOWING CONDITIONS MUST BE MET FOR ALL REZONINGS (must meet all of these):

THE PROPOSED AMENDMENT SHALL BE NECESSARY BECAUSE OF SUBSTANTIALLY CHANGED OR CHANGING CONDITIONS IN THE AREA AND DISTRICTS AFFECTED, OR IN THE COUNTY GENERALLY:

1. The area surrounding the subject property has seen a moderate transition from agricultural to residential land use since the late 1990s.
2. The east side of the property abuts large lot single family residences that were rezoned from A (Agricultural) to RA (Low Density Residential) in 2020. While the property across the street was rezoned from A (Agricultural) to RA (Low Density Residential) in 1992.

THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH THE INTENT AND PURPOSE OF THE APPLICABLE ZONING ORDINANCE:

1. This residential zone provides for residential areas with low population densities.
2. Rezoning should be based on the entire range of uses allowed within a zone to ensure that any development brought forth at a future time would be compatible with the surrounding land uses.

THE PROPOSED AMENDMENT SHALL NOT ADVERSELY AFFECT ANY OTHER PART OF THE COUNTY, NOR SHALL ANY DIRECT OR INDIRECT ADVERSE EFFECTS RESULT FROM SUCH AMENDMENT.

1. The area consists primarily of single family residential and agricultural land uses. This rezoning to RA is consistent with the land uses and development pattern surrounding the subject property.
2. This minor extension of RA (Low Density Residential) zoned acreage should not have any adverse effects on any other parts of the county.

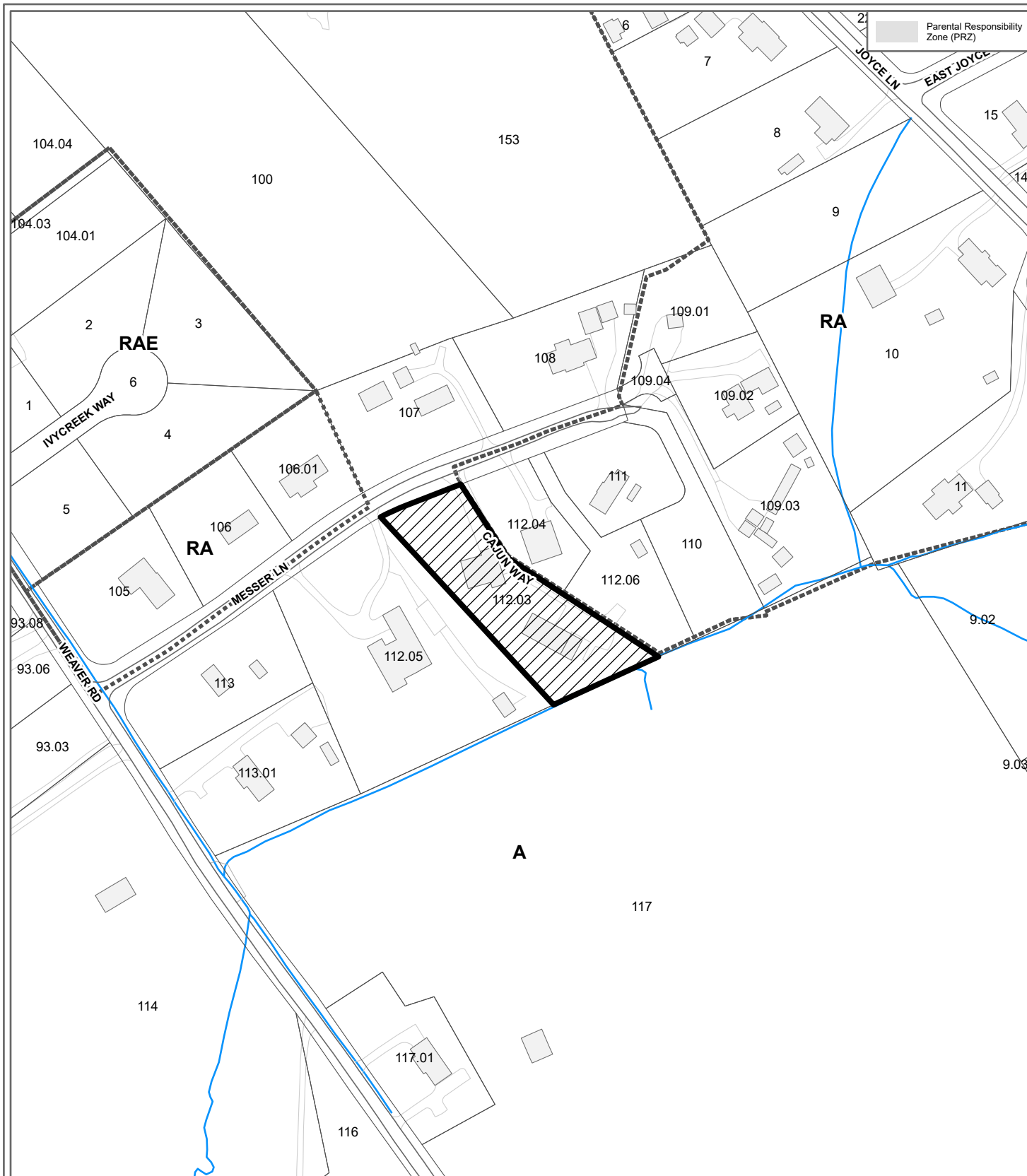
THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH AND NOT IN CONFLICT WITH THE GENERAL PLAN OF KNOXVILLE AND KNOX COUNTY, INCLUDING ANY OF ITS ELEMENTS, MAJOR ROAD PLAN, LAND USE PLAN, COMMUNITY FACILITIES PLAN, AND OTHERS:

1. This rezoning is not conflict with the General Plan or any other adopted plans.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

If approved, this item will be forwarded to Knox County Commission for action on 1/23/2023. If denied, Knoxville-Knox County Planning Commission's action is final, unless the action to deny is appealed to Knox County Commission. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



## 12-C-22-RZ REZONING

From: A (Agricultural)

To: RA (Low Density Residential)



Petitioner: Dennis Baggett

Map No: 78

Jurisdiction: County

0 200  
Feet

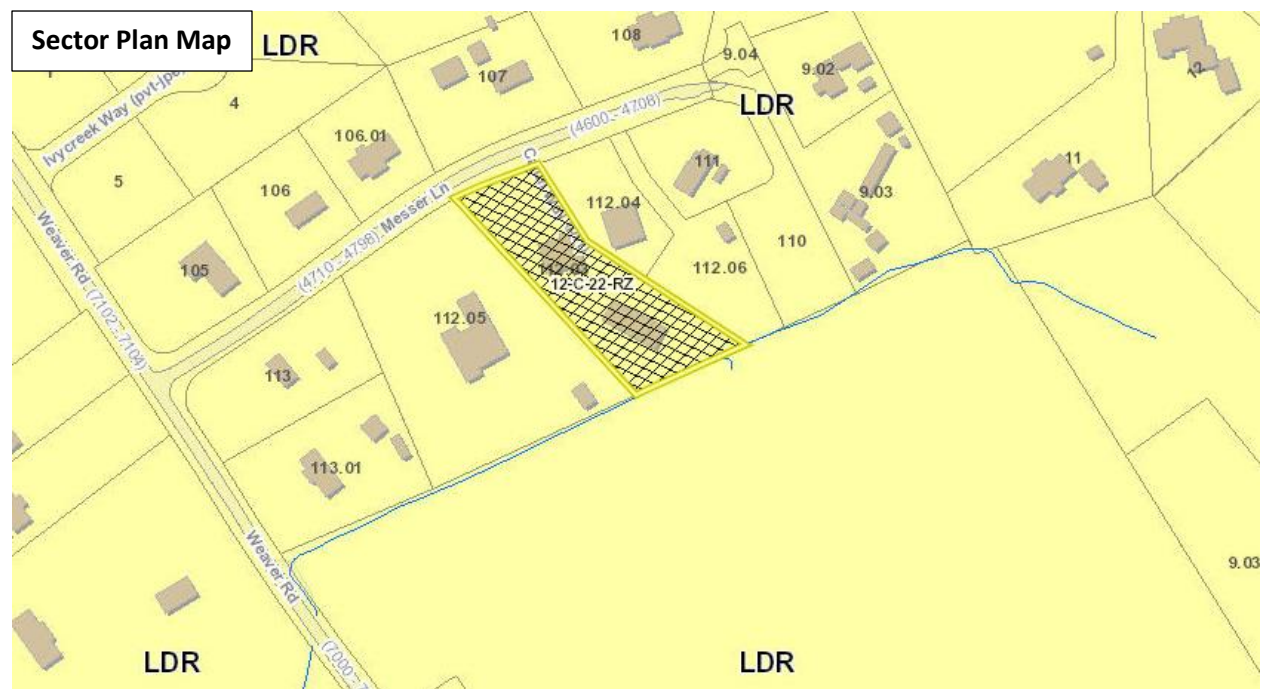
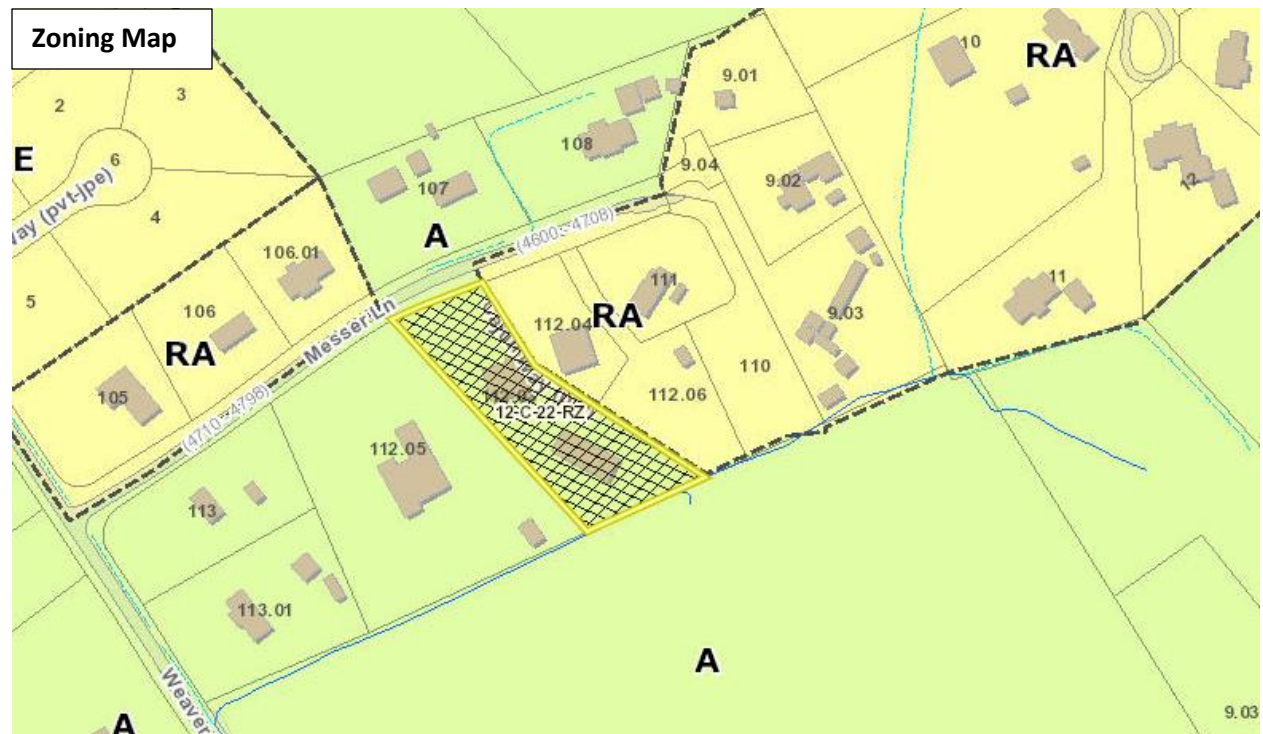


Original Print Date: 11/15/2022

Revised:

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

## Exhibit A. 12-C-22-RZ Contextual Images





## Exhibit A. 12-C-22-RZ Contextual Images





# Development Request

## DEVELOPMENT

- ☐ Development Plan  
☐ Planned Development  
☐ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ Sector Plan  
☐ One Year Plan  
☒ Rezoning

**Dennis Baggett**

Applicant Name

Affiliation

**10/13/2022**

Date Filed

**12/8/2022**

Meeting Date (if applicable)

**12-C-22-RZ**

File Number(s)

## CORRESPONDENCE

*All correspondence related to this application should be directed to the approved contact listed below.*

**Dennis Baggett**

Name / Company

**7003 Cajun Way Powell TN 37849**

Address

**865-851-1225 / djbag@frontier.com**

Phone / Email

## CURRENT PROPERTY INFO

**Dennis Baggett**

Owner Name (if different)

**7003 Cajun Way Powell TN 37849**

Owner Address

**865-851-1225 / djbag@frontier.**

Owner Phone / Email

**4710 MESSER LN**

Property Address

**78 112.03**

Parcel ID

Part of Parcel (Y/N)?

**1.05 acres**

Tract Size

**West Knox Utility District**

Sewer Provider

**West Knox Utility District**

Water Provider

Septic (Y/N)

## STAFF USE ONLY

**South of Messer Ln, east of Weaver Rd**

General Location

☐ City

**Commission District 6**

**A (Agricultural)**

**Single Family Residential**

☒ Count

District

Zoning District

Existing Land Use

**Northwest County**

Planning Sector

**LDR (Low Density Residential)**

Sector Plan Land Use Classification

**Planned Growth Area**

Growth Policy Plan Designation

## DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan	<input type="checkbox"/> Planned Development	<input type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA	<input type="checkbox"/> Residential	<input type="checkbox"/> Non-residential	
Home Occupation (specify) _____			
Other (specify) _____			

## SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

## ZONING REQUEST

<input checked="" type="checkbox"/> Zoning Change	<b>RA (Low Density Residential)</b>	Pending Plat File Number
	Proposed Zoning	
<input type="checkbox"/> Plan		
Amendment	Proposed Plan Designation(s)	
Proposed Density (units/acre)    Previous Zoning Requests		
Additional Information		

## STAFF USE ONLY

### PLAT TYPE

☐ Staff Review    ☐ Planning Commission

### ATTACHMENTS

☐ Property Owners / Option Holders    ☐ Variance Request

### ADDITIONAL REQUIREMENTS

- ☐ COA Checklist (Hillside Protection)  
☐ Design Plan Certification (Final Plat)  
☐ Site Plan (Development Request)  
☐ Traffic Impact Study  
☐ Use on Review / Special Use (Concept Plan)

Fee 1	Total
<b>\$650.00</b>	
Fee 2	
Fee 3	

## AUTHORIZATION

<b>Dennis Baggett</b>	<b>10/13/2022</b>
Applicant Signature	Date

Phone / Email

<b>Dennis Baggett</b>	<b>10/13/2022</b>
Property Owner Signature	Date

I declare under penalty of perjury the foregoing (i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent) is true and correct.



# Development Request

## DEVELOPMENT

- ☐ Development Plan  
☐ Planned Development  
☐ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ SP ☐ OYP  
☒ Rezoning

Dennis Baggett

Applicant Name

9/03/2022

Date Filed

Meeting Date (if applicable)

Affiliation

File Number(s)

12-C-22-RZ

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☒ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☐ Architect/Landscape Architect

Dennis Baggett

Name

Company

7003 Cajun Way

Powell

TN

37849

Address

City

State

ZIP

865-851-1225

djbagg@frontier.com

Phone

Email

## CURRENT PROPERTY INFO

Dennis & Jo Baggett

7003 Cajun Way Powell TN 37849

865-851-1225

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

4710 Messer Lane Powell TN 37849

Property Address

Parcel ID

Halsdale Powell

Halsdale Powell

N

Sewer Provider

Water Provider

Septic (Y/N)

## STAFF USE ONLY

General Location

Tract Size

☐ City ☐ County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

August 29, 2022



**DEVELOPMENT REQUEST**

- ☐ Development Plan    ☐ Use on Review / Special Use    ☐ Hillside Protection COA  
☐ Residential    ☐ Non-Residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) \_\_\_\_\_

Related City Permit Number(s)

**SUBDIVISION REQUEST**

Proposed Subdivision Name \_\_\_\_\_

☐ Combine Parcels    ☐ Divide Parcel  
 Unit / Phase Number \_\_\_\_\_

Total Number of Lots Created \_\_\_\_\_

☐ Other (specify) \_\_\_\_\_☐ Attachments / Additional Requirements \_\_\_\_\_

Related Rezoning File Number

**ZONING REQUEST**☒ Zoning ChangeProposed Zoning **RA**☐ Plan Amendment Change

Proposed Plan Designation(s) \_\_\_\_\_

Pending Plat File Number

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

☐ Other (specify) \_\_\_\_\_**STAFF USE ONLY****PLAT TYPE**

- ☐ Staff Review    ☐ Planning Commission

**ATTACHMENTS**

- ☐ Property Owners / Option Holders    ☐ Variance Request

**ADDITIONAL REQUIREMENTS**

- ☐ Design Plan Certification (Final Plat)  
☐ Use on Review / Special Use (Concept Plan)  
☐ Traffic Impact Study  
☐ COA Checklist (Hillside Protection)

Fee 1

Total

0801 | 650<sup>00</sup>

Fee 2

650<sup>00</sup>

Fee 3

Pd 10/13/22

Applicant Signature

*Dennis Baggett* 10/13/22

Dennis Baggett

09/03/2022

Please Print

Date

865-851-1225

djbagg@frontier.com

Phone Number

Email

Property Owner Signature

Dennis Baggett

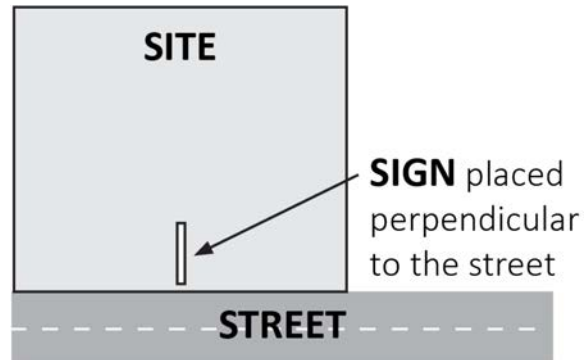
9/03  
09/03/2022

Please Print

Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

***The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:***

\_\_\_\_\_ 11/25/2022 \_\_\_\_\_ and \_\_\_\_\_ 12/9/2022 \_\_\_\_\_  
 (applicant or staff to post sign) (applicant to remove sign)

**Applicant Name:** Dennis Baggett

**Date:** 10/13/22

**File Number:** 12-C-22-RZ

☐

Sign posted by Staff

☒

Sign posted by Applicant