

# SPECIAL USE REPORT

► **FILE #:** 12-C-22-SU

**AGENDA ITEM #:** 16

**AGENDA DATE:** 12/8/2022

► **APPLICANT:** MIKE STEVENS HOMES, INC

OWNER(S): James Brumit James Brumit

TAX ID NUMBER: 154 F C 028,029

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 9433 HORIZON DR (9437 HORIZON DR)

► **LOCATION:** North side of Horizon Dr., east of Cades Cove Rd., west of Clingmans Dome Dr.

► **APPX. SIZE OF TRACT:** 6099 square feet

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Horizon Dr, a local street with a pavement width of 20-ft within a right-of-way width of 50-ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Tennessee River

► **ZONING:** RN-3(C) (General Residential Neighborhood), HP (Hillside Protection Overlay)

► **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

► **PROPOSED USE:** Increase maximum lot size from 4,500 SF to 6,099 SF for lots 163 and 164

HISTORY OF ZONING: The property was rezoned from R-1 to TC-1 in 2001 (4-Q-01-RZ)

SURROUNDING LAND USE AND ZONING: North: Attached houses -- RN-3(C) (General Residential Neighborhood) & HP (Hillside Protection Overlay)

South: Attached houses -- C-R-2(C) (Regional Commercial), RN-3(C) (General Residential Neighborhood) & HP (Hillside Protection Overlay)

East: Vacant land -- RN-3(C) (General Residential Neighborhood) & HP (Hillside Protection Overlay)

West: Attached houses -- RN-3(C) (General Residential Neighborhood) & HP (Hillside Protection Overlay)

NEIGHBORHOOD CONTEXT: The Beau Monde Subdivision is the residential neighborhood within the Northshore Town Center development, which is developed with a mix of attached and detached houses.

## STAFF RECOMMENDATION:

- **APPROVE the request to amend the previously approved planned district to increase the maximum lot size from 4,500 sqft to 6,100 sqft for the subject property, subject to 1 condition.**

1. Meeting all other applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of the former TC-1 (Town Center) zone (current zoning RN-3), the previously approved development plan, and the other criteria for approval of a special use for modifications to previously approved planned districts per Article 1.4.G.

**COMMENTS:**

The residential design standards for the Beau Monde subdivision have a maximum lot size for houses and townhouses. This request is to combine two existing lots for one townhouse. It will be attached to another townhouse on the left (west) side.

**STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)**

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The One Year Plan and Southwest City Sector Plan designation for this site are MU-CC (Mixed Use Community Center), which recommends a mix of residential, office, and commercial uses at a moderate intensity.

B. The property is within the HP (Hillside Protection Overlay) district. However, it is exempt from those standards because the property was platted before the adoption of the current zoning code and is less than 1 acre.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. Except for the proposed lot size, the request is consistent with the zoning standards and the Northshore Town Center Development Plan and Standards adopted as part of the TC-1 and PC-1 zoning.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The larger townhouse lot size is compatible with the Beau Monde subdivision on a case-by-case basis. With the development nearing total buildout, there are few opportunities for similar requests.

B. The proposed townhouse structure will have a similar height as the attached townhouse and others pending construction on the same block face.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. This proposal will not change the allowed use of the site.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. No additional traffic will be generated.

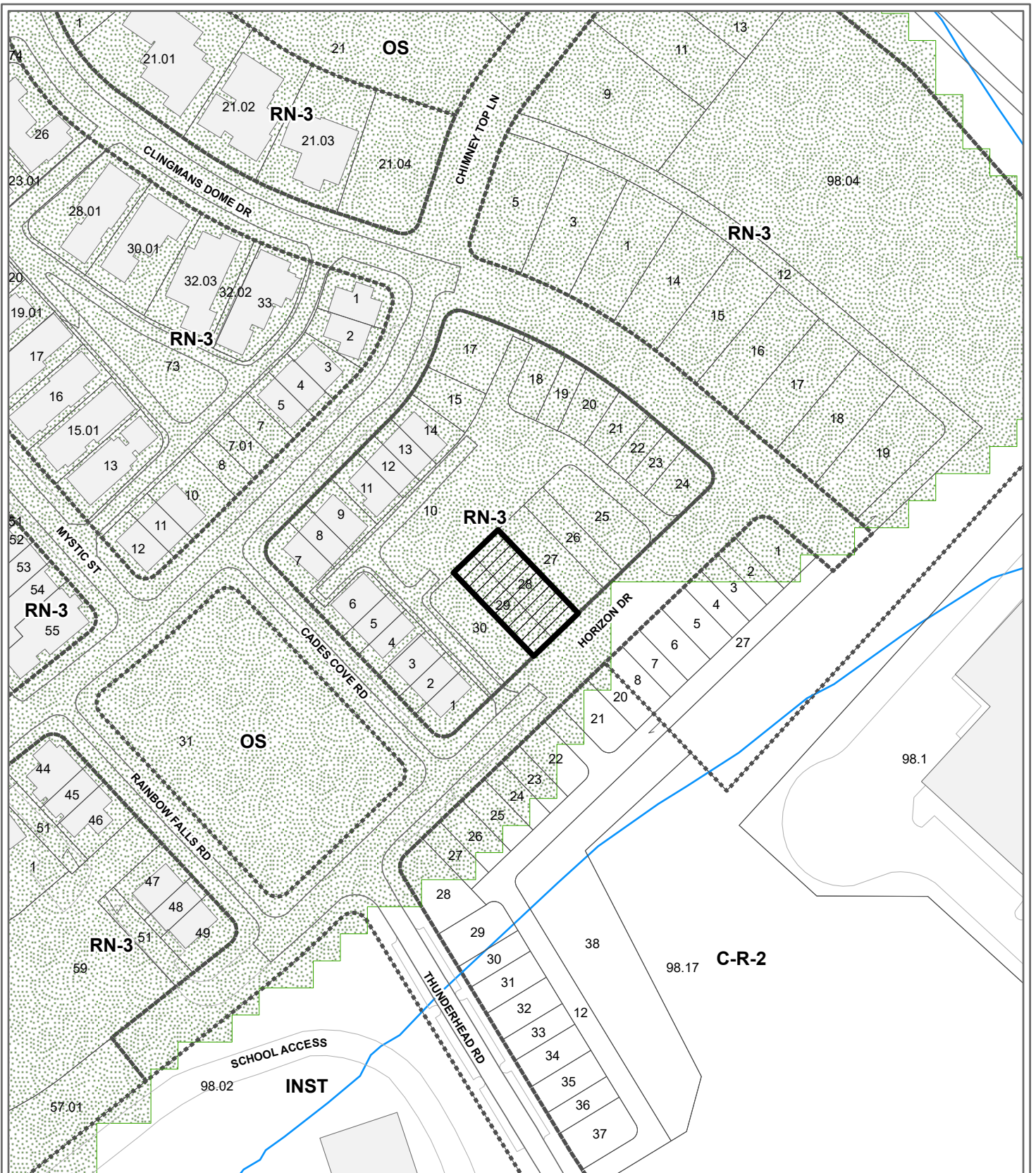
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed uses within the development.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



**12-C-22-SU  
SPECIAL USE**



Increase maximum lot size from 4,500 SF to 6,099 SF for lots 163 and 164 in RN-3(c)(General Residential Neighborhood), HP (Hillside Protection Overlay)

Original Print Date: 11/15/2022

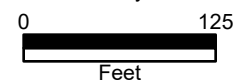
Revised:

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

Petitioner: Mike Stevens Homes, Inc

Map No: 154

Jurisdiction: City



# BRUMIT RESIDENCE

## CONSTRUCTION DOCUMENTS

BRUMIT RESIDENCE  
Northshore Town Center - Lot 164 R

### NOTES

#### Applicable Codes: 2018 International Residential Code

##### General Notes:

- The information contained within these construction documents shows design intent and basic framing details and does not show construction means or methods which are the sole responsibility of the contractor. It is the contractor's responsibility to utilize standard construction detailing and practices that will provide a well-crafted, structurally sound and weatherproof finished product. The contractor shall verify all dimensions and site conditions before starting work.
- It is the contractor's responsibility to ensure that all work is in strict accordance with the latest edition of all applicable national, state and local building codes and construction standards.
- It is the contractor's responsibility to ensure that all building materials and equipment are installed according to the manufacturer's directions. Contractor shall follow all instructions to maintain warranties supplied by manufacturer.
- It is the contractor's responsibility to verify all plan dimensions and details with respect to site conditions and final selection of building materials (which may change details and/or plan dimensions). Consult architect when in doubt.

##### Foundation Notes:

- Provide Simpson mudsill anchors per code (maximum 72" o.c., unless noted otherwise) *Where crawl space is indicated:*
- Provide crawl space access door & hardware per code
- Crawl space to be min 42" high unless otherwise noted. Crawl space shall be graded and have min. 6 mil vapor barrier. Seal and tape all joints and seal to foundation walls with manufacturer recommended sealant.
- Crawl space shall be vented with HVAC unit or foundation vents as required by the IRC. Check plan for specification.
- Where slab on grade is indicated:
- Slab to be minimum 4" thick, 3000 psi, fiber-mesh reinforced concrete slab on minimum 4" crushed stone (#57). Provide joints as required.
- Radon Control System: When slab is under living space: provide sub-slab radon control system. Extend pipe to minimum 12" above the roof and comply with IRC Appendix F, Section 103.6.1. Install multiple vent pipes per 103.6.2 where required.
- Foundation wall exterior shall be waterproofed w/ Grace "Stairstep 3000" or equal
- Slotted perimeter drain shall be installed on top of footing at exterior side of foundation
- All lumber in contact with masonry to be pressure treated
- Provide frost-proof hose bibs as directed by contractor

##### Typical Foundation Wall:

- Typical foundation wall to consist of an 8" concrete wall. Provide brick ledge below grade level. Wall at brick ledge and below will be 12" thick.
- Typical footing under foundation wall to be a continuous concrete footing with compressive strength of minimum 3,000psi tested at 28 days. Check plan and details for footing size and reinforcing.

##### Typical Fireplace Footing:

- Footings under masonry fireplace and chimney to extend a minimum of 1'-0" past face of foundation wall and are to be a minimum of 1'-0" deep. Reinforce the footing with #5, 8" o.c. each way. Site conditions may require a more extensive footing. Contractor is responsible for determining capacity of soil and other site conditions.

##### Floor Plan Notes:

- Do not scale drawings. Calculate any necessary dimensions and call the architect for clarification if required. Contractor to verify all dimensions and conditions at job site.
- Dimensions at perimeter of house dimensions are to frame-line (defined as exterior face of OSB sheathing, concrete wall, or CMU wall), dimensions to windows and doors are to centerline of rough opening, all other dimensions are to face of stud, concrete wall, or CMU wall, unless otherwise noted.
- Window sizes indicated on plans are generic sash sizes. Consult manufacturer for rough opening dimensions.
- Refer to plans and exterior elevations for window types. Coordinate operability of windows and direction of casement swing with owner.
- Prefabricated fireplaces and flues shall be UL approved and installed per manufacturer's specifications. It is the contractor's responsibility to assure that all applicable fire and building codes are met or exceeded.
- Moisture resistance gypsum board shall be used in bathrooms and other rooms where water fixtures or water is present.
- Contractor to center plumbing fixtures in space provided unless noted otherwise.
- Contractor to provide termite shield consisting of continuous metal flashing epoxy-sealed to concrete foundation; joints in flashing to be epoxy sealed or soldered.
- Provide minimum 1/2" gypsum board at all walls separating garages from dwelling
- Provide minimum 5/8" type-x gypsum board at all garage ceilings with living space above.
- Provide outdoor combustion air to wood burning fireplaces per 2018 IRC N1102.4.2

##### Door and Window Notes:

- Contractor to verify all door and window dimensions prior to placing order.
- All required egress windows shall meet national and local codes to ensure the safety of occupants.
- Windows with sills less than 24" from floor and more than 72" from grade or other exterior surface shall be provided with fall prevention devices acceptable to R312.2.2
- All doors and windows shall be sealed top sides and bottom per current best construction practices and shall operate smoothly.
- Install weather-stripping and weather sweeps on all doors leading to unconditioned areas. All operable windows shall be factory weather stripped.
- Provide self-closing door between residence and garage (R302.5.1)

##### Electrical, Lighting, Audio/Visual, Communications

- All electrical and lighting locations shall be marked by the builder (on floor or wall) and approved by the owner prior to installation of wiring or fixtures.
- Contractor shall make the necessary allowances for wiring of audio-visual, communication and security systems.

##### Wood Framing Notes:

- The design, adequacy and safety of erection bracing, shoring, etc., is the sole responsibility of the Contractor. Walls which support joists, rafters, etc., and are laterally supported by same shall be braced until all construction is completed.
- All framing lumber to be #2 Southern Pine KD, unless noted otherwise. Minimum bending strength to be as per SPIB grading rules. All wall studs to be #2 spruce - minimum bending strength to be 1,000 psi.
- Contractor shall use "Simpson Strong-Tie" (or equivalent) wood framing anchors, connectors, hangers, etc. for all wood to wood connections. All anchors, etc. to be installed in accordance with manufacturer's specifications.
- Floor sheathing to be 3/4" T&G plywood or Advantech Sheathing or equal.
- Roof sheathing to be 5/8" exterior grade plywood. Install using clips and space joints as recommended by APA standards.
- Unless noted otherwise on plans, headers to be as follows:  
Up to 6'-0": (2) 2x8  
6'-0" to 7'-0": (2) 2x10  
Over 7'-0": (2) 2x12
- Cutting, notching, bored holes in stud walls, rafters, etc. shall be done in accordance with International Building Code.
- Ridge boards, where indicated on framing plans shall not be less than 1" in thickness, and not less in depth than cut end of rafters. Rafters shall be placed directly opposite each other and nailed to ridge board.
- All wood built-up girders, beams, studs to sole plate, etc., to be connected as per International Building Code Fastening Schedule.
- At openings in exterior walls, a wall stud shall be at each side of the opening, with the ends of the header supported as follows, unless noted otherwise:
  - For openings less than 3'-0" in width, each end of header shall rest on a single header stud or may be supported by framing anchors attached to wall stud.
  - For openings over 3'-0" to less than 6'-0", each end shall bear on single header stud.
  - For openings more than 6'-0", in width, each end shall bear on double header stud.
  - Any header supporting concentrated loads from beams above, each end shall bear on double header stud.
- Where wood beams bear on stud walls, provide minimum, double or triple stud (depending on beam width) under beam bearing.
- Use double floor joists under walls parallel to joists, or block between joists accordingly.
- Align floor joists with wall studs where possible.
- All wood in contact with concrete or concrete block units shall be pressure treated
- Provide continuous 24ga. galvanized metal sheets separating all wood surfaces from earth or gravel fill.
- All brick to be supported by triple rafters and brick lintel.
- All brick to be supported by triple rafters and brick lintel.
- Where provided, framing design is based on the following general conditions:
  - Roof live load 20lb./s.f.
  - Roof dead load 24lb./s.f.
  - Floor live loads 40lb./s.f. (bedrooms 30lb./s.f.)
  - Floor live loads 60lb./s.f. at deck
  - Floor dead loads at hardwood and carpet 15lb./s.f.
  - Floor dead loads at tile 35lb./s.f.

##### Insulation Notes:

- Insulation at the perimeter of all conditioned space shall be as follows:  
**Attic** - R-49 loose fill fiberglass insulation  
**Vaulted Ceiling** - R-30 fiberglass batt insulation in framing cavity. Provide baffles for ventilation as required by roof configuration. Extend batt to outer edge of wall plate, do not compress. Maximum 500 sqft. or 20% of total insulated ceiling area.  
**Exterior Wood Framed Walls** - R-20 fiberglass batt insulation in wall cavity  
**Floor Over Unconditioned Space** - R-19 batt insulation between framing members  
**Basement Wall** (Concrete or CMU) - R-13 fiberglass batt insulation in wall cavity of minimum 2x4 framing installed at interior of masonry foundation wall -OR- R-10 continuous rigid foam at interior or exterior.  
**Crawl Space Wall** (in case of encapsulated crawl) - R-10 rigid foam insulation at interior of crawl space wall  
**Slab on Grade** - R-10 rigid insulation to begin at top of slab, inside foundation wall (45 degree cut at top edge) and extend under slab for total combined horizontal and vertical distance of 2'.

##### Roof Notes:

- Refer to elevations for downspout and gutter locations when supplied.
- Install all roofing materials per manufacturer recommendations and instructions to maintain the specified warranty or guarantee.
- Provide flashing per construction details or per SMACNA if none are shown.
- All attics shall be ventilated per local building codes.
- Typical soffit vent shall be 2" continuous aluminum soffit vent by Air Vent Inc. or equal.
- See details for typical eave and rake overhang.
- Typical roof section:
  - Shingles as selected by owner
  - 15 lb. felt
  - option 1: 2x rafters @ 16" o.c. with 7/16" OSB sheathing w/ ply clips
  - option 2: 2x rafters @ 24" o.c. with 5/8" OSB sheathing w/ ply clips
  - Batt insulation per code
  - 1/2" gypsum board with smooth finish

##### Elevation Notes:

- Do not scale drawings. Calculate any necessary dimensions and call the architect for clarification if required. Contractor to verify all dimensions and conditions at job site.
- Finish grade lines shown are approximate. Contractor to verify that grade slopes away from foundation.
- Gutters and downspouts may not be shown for clarity of drawings. Owner or contractor may elect to use rain diverters over doors or walkways in lieu of gutters. Size gutters and downspouts per SMACNA standards and place downspouts in inconspicuous or aesthetically pleasing locations.
- Shutters shall be sized to match actual window openings. Mount with hinges and hold open with shutter dogs located at bottom rail (as shown).



12-C-22-SU  
10/25/2022

WALL LEGEND	SQUARE FOOTAGE CALCULATIONS	SHEET INDEX
<div><div></div>8" C.M.U. WALL</div> <div><div></div>TYPICAL WALL</div> <div><div></div>LOAD BEARING WALL</div> <div><div></div>BRICK VENER</div>	<div>CONDITIONED: MAIN LEVEL - 1,825</div> <div>UPPER LEVEL - 2,073</div> <div>ROOF LEVEL - 525</div> <div>GUEST SUITE - 398</div> <div>TOTAL: 4,821</div> <div>UNCONDITIONED: GARAGE - 845</div> <div>PORCHES - 437</div>	<div>A.0 COVER SHEET</div> <div>A.1 FOUNDATION</div> <div>A.2 FIRST FLOOR</div> <div>A.3 UPPER FLOORS</div> <div>A.4 ROOF &amp; DETAILS</div> <div>A.5 ELEVATIONS</div> <div>A.6 ELEVATIONS</div> <div>A.7 SECTIONS</div>

NOTE: PRE-ENG MANUF. LAYOUTS WILL BE PROVIDED TO CODES DEPT. PRIOR TO FRAMING

ISSUE DATE: 09/22/2022

REVISIONS:

Cover Sheet

A.0

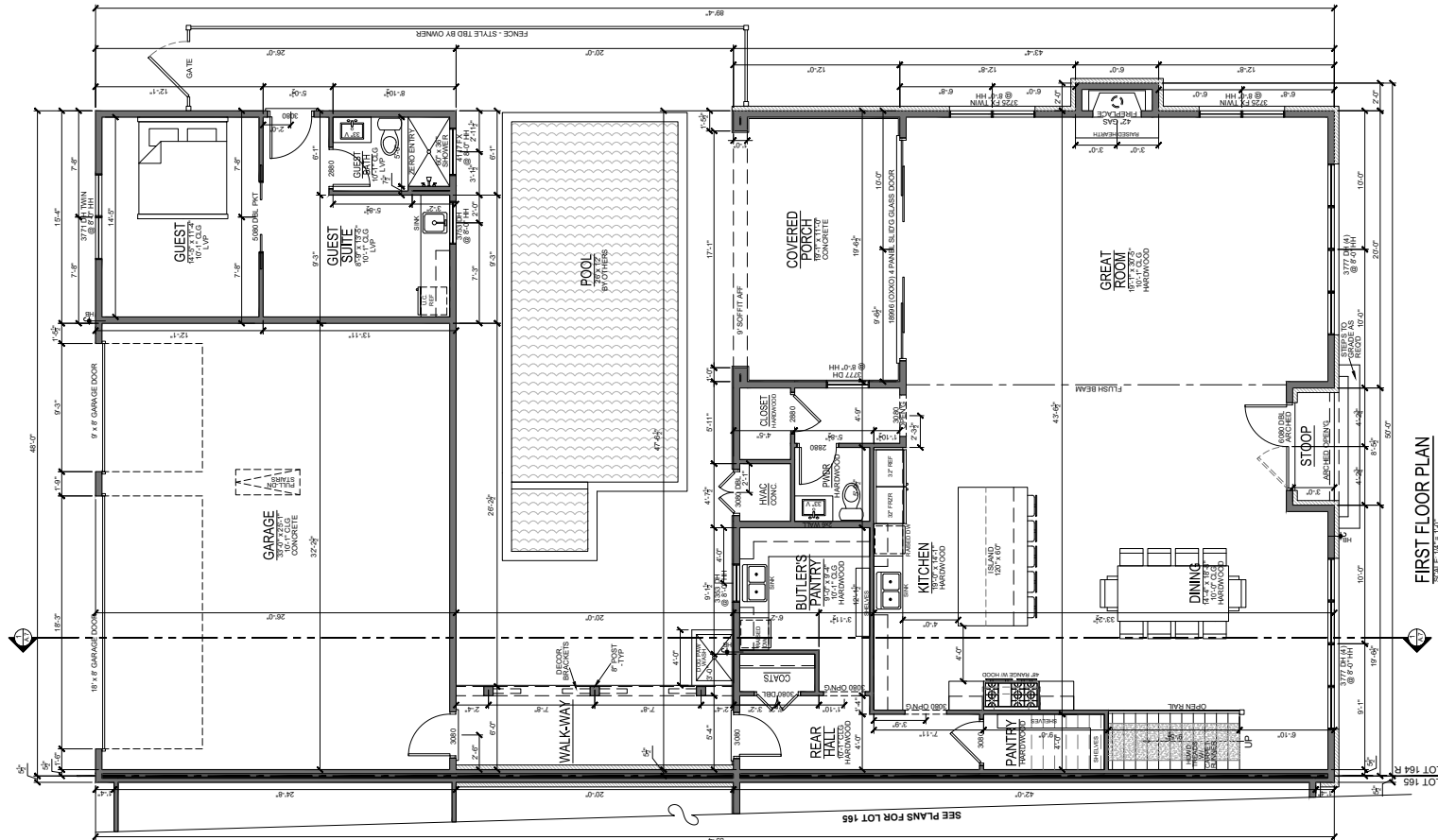
# BRUMIT RESIDENCE

## Northshore Town Center - Lot 164 R

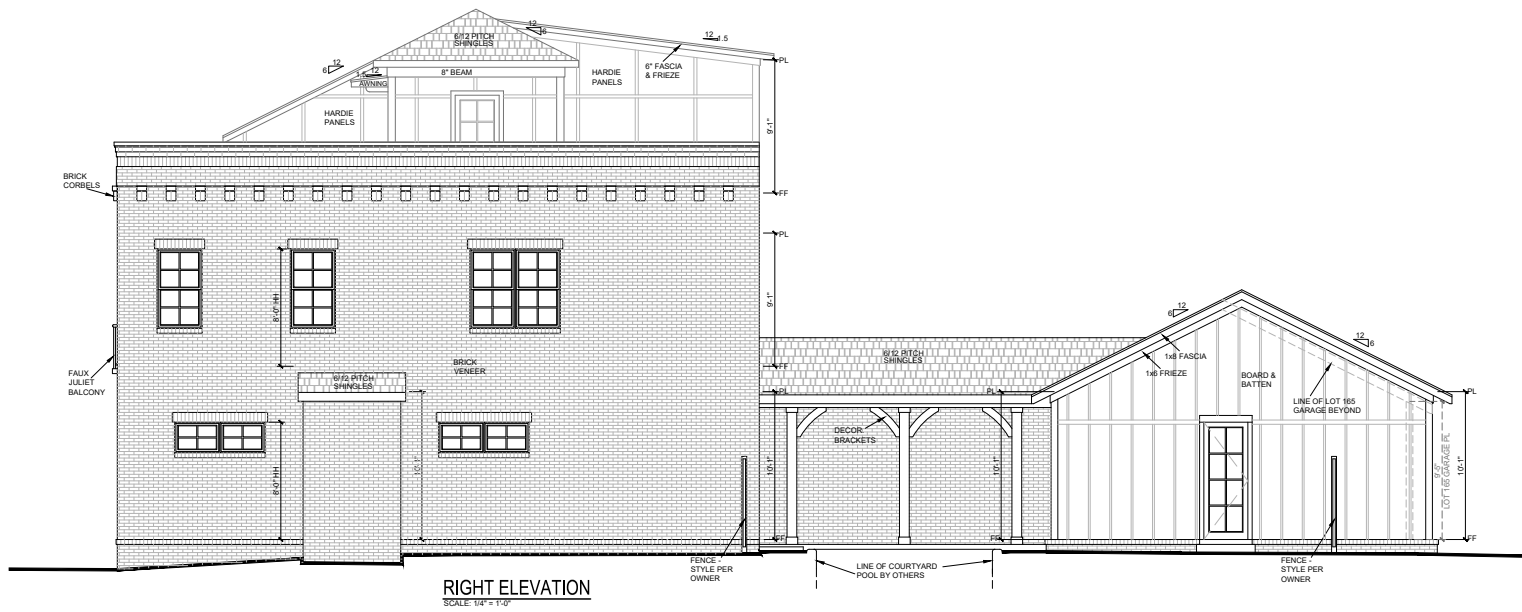
ISSUE DATE: 09/22/2022  
 REVISIONS:

First Floor

A.2



12-C-22-SU  
 10/25/2022



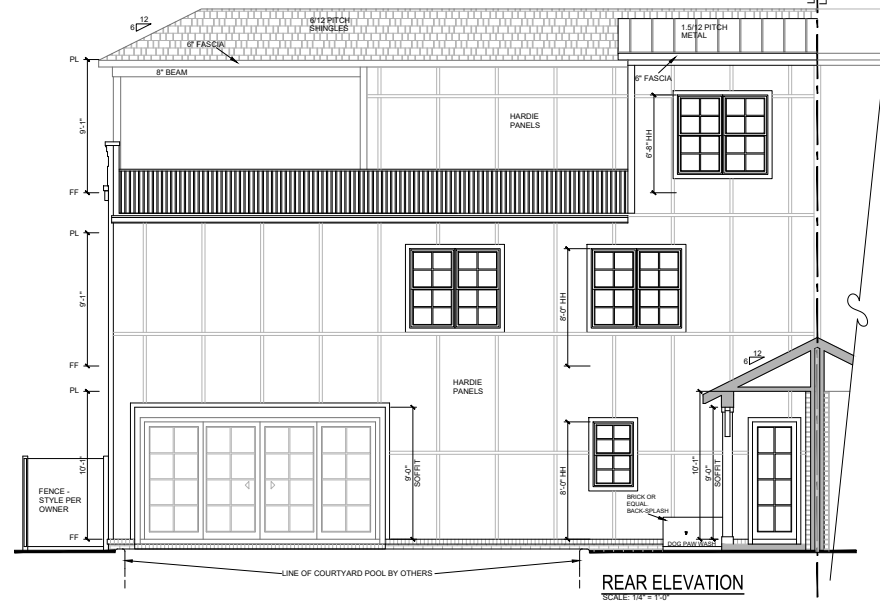
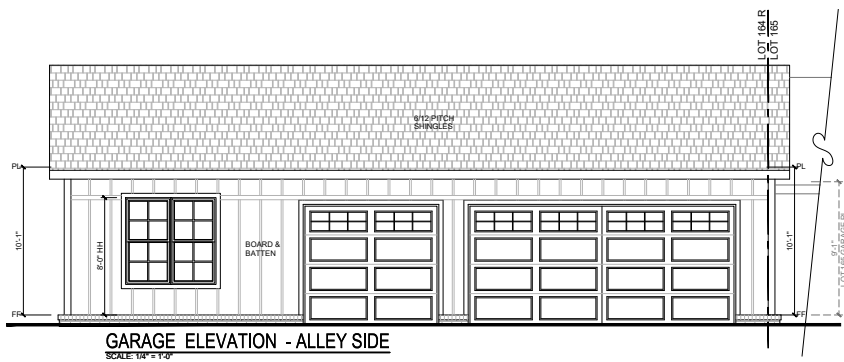
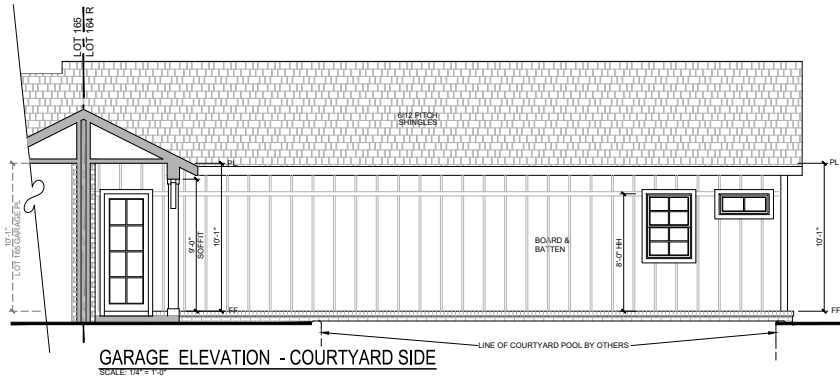
12-C-22-SU  
 10/25/2022

**BRUMIT RESIDENCE**  
 Northshore Town Center - Lot 164 R

ISSUE DATE: 09/22/2022  
 REVISIONS:

Elevations

A.5



12-C-22-SU  
 10/25/2022

# BRUMIT RESIDENCE

## Northshore Town Center - Lot 164 R

ISSUE DATE: 09/22/2022  
 REVISIONS:

Elevations

A.6

Certificate of Ownership and General Dedication.

(I, We), the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I am, we are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat.

Owner(s) Printed Name: BRUMIT, JAMES MARK & PAIGE ELIZABETH

Signature(s):

Date:

Owner Certification for Public Sewer and Water Service - Minor Subdivisions

(I, We) the undersigned owner(s) of the property shown herein understand that it is our responsibility to verify with the Utility Provider the availability of public sewer and water systems in the vicinity of the lot(s) and to pay for the installation of the required connections.

Owner(s) Printed Name: BRUMIT, JAMES MARK & PAIGE ELIZABETH

Signature(s):

Date:

**Certification of Final Plat — All Indicated Markers, Monuments and Benchmarks Set** I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville/Knox County Subdivision Regulations except as has been itemized, described and justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as identified on the final plat. The indicated permanent reference markers and monuments, benchmarks and property monuments were in place on the day of 2022.

Registered Land Surveyor

Tennessee License No.

Date:

**Certification of Category and Accuracy of Survey.** Survey accuracy shall meet the requirements of the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

I hereby certify that this is a Category survey and the ratio of precision of the unadjusted survey is not less than 1: as shown hereon and that said survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

Registered Land Surveyor

Tennessee License No.

Date:

Addressing Department Certification

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville/Knox County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and these regulations.

Signed:

Date:

Zoning district(s) in which the land being subdivided is located shall be indicated as shown on the zoning map by the Planning Commission as follows.

Zoning Shown on Official Map

Date:

By

This is to certify that all property taxes and assessments due on this property have been paid.

City of Knoxville Tax Clerk: Signed:

Date:

Knox County Trustee: Signed:

Date:

Certification of Approval of Public Water System - Minor Subdivisions

This is to certify that the subdivision shown hereon is approved subject to the installation of a public water system, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of water system in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider

Authorized Signature for Utility

Date:

City of Knoxville Department of Engineering  
The Knoxville Department of Engineering hereby approves this plat on this day of 20

Engineering Director

Planning Staff Certification of Approval for Recording — Final Plat

This is to certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat, and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds. Pursuant to Section 13-3-3405 of Tennessee Code, Annotated, the approval of this plat by the Planning Commission shall not be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

Signed:

Date:

State of County of

On this day of 20

Before me personally appeared

to me known to be the person

described in, and who executed the foregoing instrument, and

acknowledged that he executed the same as his free act and deed.

Witness my hand and notarial seal, this day and year above.

Notary's Signature & Seal

My commission expires

Certification of Approval of Public Sanitary Sewer System - Minor Subdivisions

This is to certify that the subdivision shown hereon is approved subject to the installation of public sanitary sewers and treatment facilities, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of sanitary sewers in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider

Authorized Signature for Utility

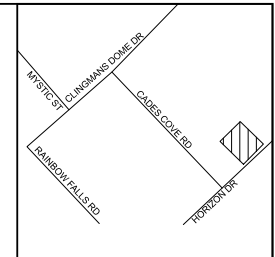
Date:

THIS SURVEY WAS PREPARED USING A COMBINATION OF TOTAL STATION AND R.T.K. G.P.S. DATA COLLECTION.  
G.P.S. RECEIVER INFO: SOKKIA MESA S/N 144387, TOPCON ANTENNA: PG-S1, TOTAL STATION: TOPCON GPT-6205A  
VERTICAL DATUM IS NAVD83, GEOID12

● 1/2" IRON PIN FOUND

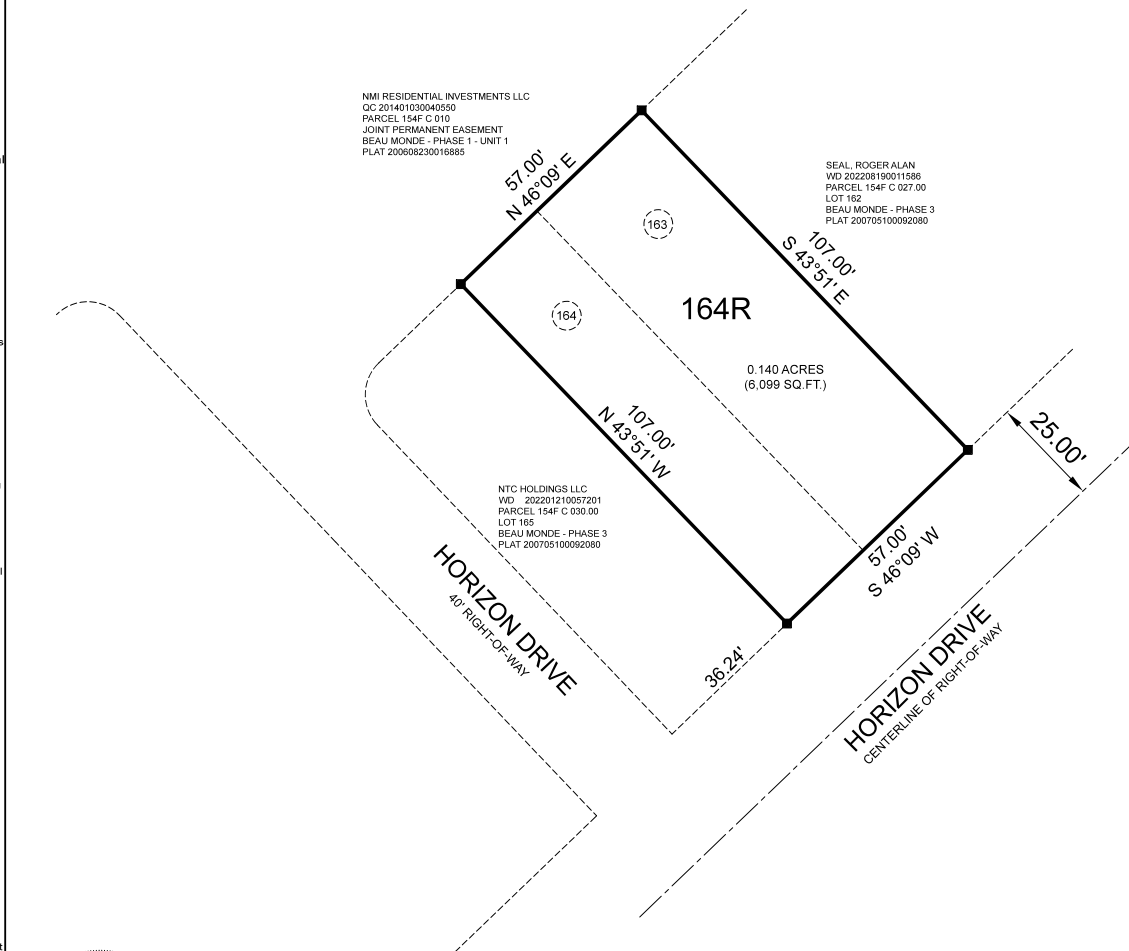
■ 1/2" IRON PIN SET

GRID NORTH



LOCATION MAP

- IRON PIN AT EACH CORNER
- 3.5' UTILITY AND DRAINAGE EASEMENT EACH SIDE OF ALL LOT LINES, 5' INSIDE EXTERIOR BOUNDARY LINES AND ROAD RIGHTS-OF-WAY PER ORIGINAL PLAT.
- 15' SANITARY SEWER EASEMENT, 7.5' EACH SIDE OF SANITARY SEWER AS INSTALLED.
- 1 LOT EQUALING 0.140 ACRES (6099 FT<sup>2</sup>)
- ZONED RN-3
- BUILDING SETBACKS FOR VARIOUS DWELLING TYPES LISTED IN PLAT 200705100092080
- FOR CONDITIONS OF APPROVAL OF THE MOST RECENT USE-ON-REVIEW, REFER TO THE PLANNING COMMISSION'S FILE 1-C-18-UR.



OWNER(S):  
BRUMIT, JAMES MARK & PAIGE ELIZABETH  
10221 THIMBLE FIELDS DR  
KNOXVILLE, TN 37922



PLANNING #

FINAL PLAT OF THE RESUBDIVISION OF LOTS  
163 & 164, BEAU MONDE PHASE 3

DISTRICT: 6 WARD: 51 CITY BLOCK: 51008 CITY OF KNOXVILLE

INSTR.: WD 202209300020383 / PLAT 200705100092080 KNOX COUNTY

C. L. T. MAP: 154F C 28 & 29

SCALE: 1"=20'

DATE: 10/5/2022

**HINDS SURVEYING CO.**

3555 WINDY J FARMS DR. LOUISVILLE, TN 37777

PH. 558-9799 FAX. 233-3393

WWW.HINDSSURVEYING.COM

JOB # 2209004



# Development Request

## DEVELOPMENT

- ☐ Development Plan  
☐ Planned Development  
☒ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ Sector Plan  
☐ One Year Plan  
☐ Rezoning

Mike Stevens Homes, Inc

Applicant Name

Affiliation

10/25/2022

Date Filed

12/8/2022

Meeting Date (if applicable)

12-C-22-SU

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Amy Driskill

Name / Company

9724 Kingston Pike Suite 106 Knoxville TN 37922

Address

865-724-7031 / adriskill@mikestevenshomes.com

Phone / Email

## CURRENT PROPERTY INFO

James Brumit James Brumit

Owner Name (if different)

10221 Thimble Fields Dr Knoxville TN 37922

Owner Address

865-360-3622

Owner Phone / Email

9433 HORIZON DR / 9437 HORIZON DR

Property Address

154 F C 028,029

Parcel ID

Part of Parcel (Y/N)?

6099 square feet

Tract Size

Knoxville Utilities Board

Sewer Provider

Knoxville Utilities Board

Water Provider

Septic (Y/N)

## STAFF USE ONLY

North side of Horizon Dr., east of Cades Cove Rd., west of Clingmans Dome Dr.

General Location

☒ City

Council District 2

RN-3(c)(General Residential Neighborhood), HP (Hillside Protection Overlay)

Agriculture/Forestry/Vacant Land

☐ Count

District

Zoning District

Existing Land Use

Southwest County

Planning Sector

MU-CC (Mixed Use Community Center), HP (Hillside Prot

Sector Plan Land Use Classification

N/A (Within City Limits)

Growth Policy Plan Designation

## DEVELOPMENT REQUEST

- ☐ Development Plan   ☐ Planned Development   ☒ Use on Review / Special Use  
☐ Hillside Protection COA   ☐ Residential   ☐ Non-residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) **Increase maximum lot size from 4,500 SF to 6,099 SF for lots 163 and 164**

Related City Permit Number(s)

## SUBDIVISION REQUEST

Proposed Subdivision Name

Related Rezoning File Number

Unit / Phase Number

Total Number of Lots Created

Additional Information

- ☐ Attachments / Additional Requirements

## ZONING REQUEST

- ☐ Zoning Change

Proposed Zoning

Pending Plat File Number

- ☐ Plan

Amendment

Proposed Plan Designation(s)

Proposed Density (units/acre)   Previous Zoning Requests

Additional Information

## STAFF USE ONLY

### PLAT TYPE

- ☐ Staff Review   ☐ Planning Commission

### ATTACHMENTS

- ☐ Property Owners / Option Holders   ☐ Variance Request

### ADDITIONAL REQUIREMENTS

- ☐ COA Checklist (Hillside Protection)  
☐ Design Plan Certification (Final Plat)  
☒ Site Plan (Development Request)  
☐ Traffic Impact Study  
☐ Use on Review / Special Use (Concept Plan)

Fee 1

**\$450.00**

Total

Fee 2

Fee 3

## AUTHORIZATION

**Mike Stevens Homes, Inc**

**10/25/2022**

Applicant Signature

Please Print

Date

Phone / Email

**James Brumit James Brumit**

**10/25/2022**

Property Owner Signature

Please Print

Date

I declare under penalty of perjury the foregoing (i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent) is true and correct.



# Development Request

## DEVELOPMENT

- ☒ Development Plan  
☐ Planned Development  
☒ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ SP ☐ OYP  
☐ Rezoning

Mike Stevens Homes, Inc.

Applicant Name

Affiliation

10/24/2022

Date Filed

December 2022

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☒ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☐ Architect/Landscape Architect

Amy Driskill

Name

Mike Stevens Homes

Company

9724 Kingston Pike suite 100e

Address

Knoxville

City

TN

State

37822

ZIP

865-724-7031

Phone

adriskill@mikestevenshomes.com

Email

## CURRENT PROPERTY INFO

James M. & Paige E Brumit

Property Owner Name (if different)

10221 Thimble Fields Dr.

Property Owner Address

865-360-3622

~~252-292-4844~~

Property Owner Phone

9433 & 9437 Horizon Dr.

Property Address

154FC028 & 154FC029

Parcel ID

First Utility

Sewer Provider

First Utility

Water Provider

N

Septic (Y/N)

## STAFF USE ONLY

General Location

Tract Size

☐ City ☐ County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

August 29, 2022

**DEVELOPMENT REQUEST**

☒ Development Plan ☒ Use on Review / Special Use ☐ Hillside Protection COA

☐ Residential ☐ Non-Residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) Increase maximum lot size from 4,500sf to 12,099 sq' for lots 1163 + 1164

Related City Permit Number(s)

**SUBDIVISION REQUEST**

Related Rezoning File Number

Proposed Subdivision Name

☐ Combine Parcels ☐ Divide Parcel

Unit / Phase Number

Total Number of Lots Created

☐ Other (specify) \_\_\_\_\_

☐ Attachments / Additional Requirements

**ZONING REQUEST**

Pending Plat File Number

☐ Zoning Change

Proposed Zoning

☐ Plan Amendment Change

Proposed Plan Designation(s)

Proposed Density (units/acre)

Previous Rezoning Requests

☐ Other (specify) \_\_\_\_\_

**STAFF USE ONLY****PLAT TYPE**

☐ Staff Review ☐ Planning Commission

**ATTACHMENTS**

☐ Property Owners / Option Holders ☐ Variance Request

**ADDITIONAL REQUIREMENTS**

☐ Design Plan Certification (*Final Plat*)

☐ Use on Review / Special Use (*Concept Plan*)

☐ Traffic Impact Study

☐ COA Checklist (*Hillside Protection*)

Fee 1

Total

Fee 2

Fee 3

**AUTHORIZATION**

Amy Driskill  
Applicant Signature

Amy Driskill - Mike Stevens Homes  
Please Print

10/24/22  
Date

865-724-7031  
Phone Number

adriskill@mikestevenshomes.com  
Email

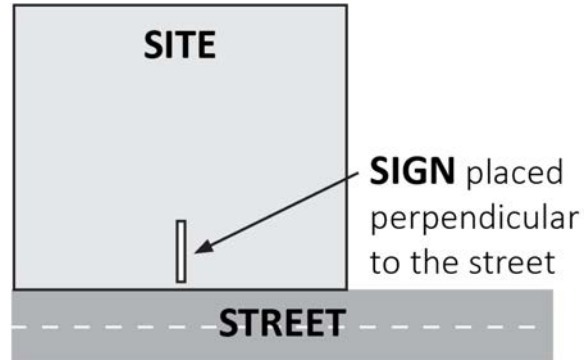
Thank you  
Property Owner Signature

James Mark Brumit  
Please Print

10/24/22  
Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

***The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:***

\_\_\_\_\_ 11/25/2022 \_\_\_\_\_ and \_\_\_\_\_ 12/9/2022 \_\_\_\_\_  
 (applicant or staff to post sign) (applicant to remove sign)

**Applicant Name:** Mike Stevens Homes

**Date:** 10/25/22

**File Number:** 12-C-22-SU

☒

Sign posted by Staff

☐

Sign posted by Applicant