



# USE ON REVIEW REPORT

► **FILE #:** 2-F-22-UR

**AGENDA ITEM #:** 24

**AGENDA DATE:** 2/10/2022

► **APPLICANT:** POWER SOLUTIONS HOLDINGS (OWNER)

OWNER(S): Matthew Young / Power Solutions Holdings

TAX ID NUMBER: 118 17318

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 1035 Data Ln.

► **LOCATION:** Northwest side of Data Ln. terminus, generally east of Lovell Rd & northeast of Murdock Dr.

► **APPX. SIZE OF TRACT:** 3.87 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is off of Data Lane, a local road with a 25-ft pavement width inside a 70-ft right-of-way.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Turkey Creek

► **ZONING:** BP (Business and Technology) / TO (Technology Overlay)

► **EXISTING LAND USE:** IND

► **PROPOSED USE:** Expansion of the existing office/warehouse facility

HISTORY OF ZONING: None noted for this property; the TO (Technology Overlay) zone was applied to this property in 1983 when the zone was created and applied to the Tech Corridor.

SURROUNDING LAND USE AND ZONING:

North: RA (Low Density Residential) / TO (Technology Overlay) - Single family detached residences

South: BP (Business and Technology Park) / TO (Technology Overlay) - Office buildings

East: BP (Business and Technology Park) / TO (Technology Overlay) - Vacant land

West: BP (Business and Technology Park) / TO (Technology Overlay) - Vacant land

NEIGHBORHOOD CONTEXT: This property is located in the "Tech Corridor" and is largely surrounded by office buildings and office/warehouse developments, though it abuts a single family detached residential neighborhood to the rear of the property in the north.

## STAFF RECOMMENDATION:

► **Approve the request to expand this office-warehouse development in the BP zone subject to three conditions.**

- 1) Installation of all landscaping as shown on development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
- 2) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 3) Meeting all applicable requirements of the Knox County Zoning Ordinance.

**COMMENTS:**

This is a request to expand an existing office/warehouse development. The proposed structure would function as an extension of the existing building, providing additional space for offices, warehousing, and a research and development area.

This property is in the BP (Business and Technology Park) / TO (Technology Overlay) zones. Per Section 5.50.12 of the Knox County Zoning Ordinance, applications in the BP zone require approval through the use on review process, and applications in the TO zone require approval by the TTCDA (Section 5.90.01). The request was approved by the TTCDA on November 8, 2021 (Case 11-B-21-TOB).

The 3.87-acre site is at the northern terminus of both Data Lane and Corridor Park Boulevard. The new building is proposed on the western side of the site and an additional access point is depicted off of Corridor Park Boulevard. However, the applicant has since decided not to implement the new driveway. This change does not change the impact of the project on the surrounding properties, and it is still in compliance with the zoning ordinance, so the changes to the site plan in the southwest corner of the site can be handled during permitting after receiving an administrative TTCDA approval recording the changes.

This property was originally platted as two separate parcels. The existing detention pond was originally designed for one of those parcels and the adjacent property to the south (see Exhibit A, plat from 2005, lots 14 & 16). The pond will require modification to accommodate the additional land. This will be resolved during the permitting phase, and this was agreed upon by the TTCDA.

The proposal meets all setback requirements. The adjacent lots to the north are single family residential, so a 100-ft setback is required at the rear of the site, and this has been met. This is greater than the 50-ft peripheral boundary required for the BP zone boundary at the rear of the site.

The proposed new building is approximately 9,193 sq ft in area. Combined with the square footage of the existing building, the total building footprint on the site is 17,242 sq ft. The BP zone has requirements for ground area coverage (GAC), floor area ratio (FAR), and impervious area ratio (IAR), and all are in compliance with the required metrics. The IAR will decrease further once the second driveway is removed from the plans. The plans meet all other requirements of the BP zone.

The TTCDA Guidelines require a minimum of 11 parking spaces and allow a maximum of 17 spaces based on the mix of office and warehouse uses in the new building. 10 spaces are proposed for the new building, but the building will also share the parking at the existing building. Shared parking is typically better suited for uses with differing peak times. However, in this case, the parking for the existing building is significantly over the maximum allowed, and staff finds the shared parking option to be preferable over adding additional spaces for the new building. A waiver was approved by the TTCDA to allow the parking to be 1 space below the minimum required.

The proposed landscaping is in compliance with the BP zoning regulations and with the TTCDA Guidelines. Most of the landscaping is to the rear and west side of the property. The rear of the property faces single family residences and the west side is visible from Corridor Park Boulevard, so concentrating the landscaping on those two sides of the building is appropriate.

**DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10 – SECTION 2)**

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

**1) THE PROPOSED USE IS CONSISTENT WITH THE ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND SECTOR PLAN.**

A. The property is designated TP (Technology Park) on the Northwest County Sector Plan. The TP land use has the following description: "This land use primarily includes offices and research and development facilities."

The target area for such development has been the Pellissippi Technology Corridor.”

B. For this Use on Review application to be approved in the TP land use classification, the Planning Commission must find that the proposed use is “consistent with, and not in conflict with” the sector plan.

C. The proposed expansion of the office-warehouse use is consistent with the sector plan and One Year Plan.

**2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.**

A. The BP (Business and Technology Park) zone is intended to provide for a wide range of land uses which are generally categorized in business, industrial and/or office classifications of use, whether in the public or private sectors. The permitted land uses are intended to include those businesses which require building spaces characterized by offices, research and development, manufacturing, and/or combinations of such uses. Potential impacts are addressed within this district through site-specific planning and design, consistent with the regulations contained herein specific to, but not limited to: area requirements, maximum lot coverage and building height limits, landscaping, utilities, signs, and off-street parking regulations.

B. The proposed development plans meets the aforementioned requirements of the BP zone.

C. The BP zone permits the proposed office-warehouse use by right, though development plans require approval by the Planning Commission through the use on review process.

**3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.**

A. The proposed office-warehouse building is compatible with the surrounding area. This property is located in the Technology Overlay zone, which consists of mostly office buildings, research and development facilities, and office-warehouse uses.

B. The building is to be one story height and is of a similar square footage as other buildings in the vicinity.

**4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY.**

A. The proposed office-warehouse is an extension of a use already on the site. The additional building is not expected to significantly injure the value of adjacent property.

B. The property abuts single family residences to the north at the rear of the site. The existing vegetation in that portion of the site is substantial and is to be retained, which should help to mitigate potential noise or visual impacts.

**5) THE USE WILL NOT DRAW ADDITIONAL TRAFFIC THROUGH RESIDENTIAL AREAS.**

A. The site is accessed via local roads off of Dutchtown Road, a minor arterial, which is classified to handle large traffic capacities. No traffic through residential subdivisions or side streets is required to access this property.

**6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.**

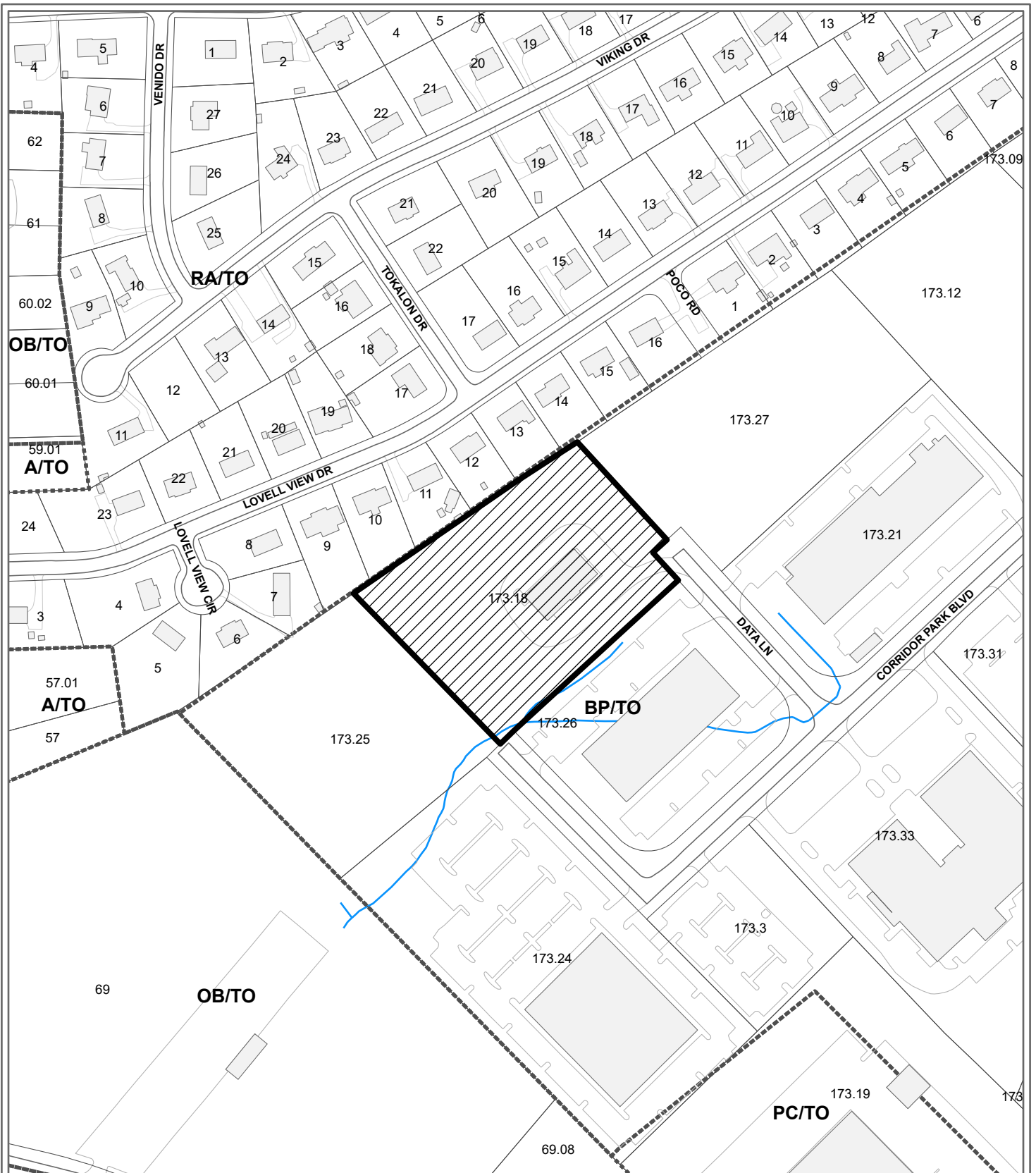
A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed expansion.

ESTIMATED TRAFFIC IMPACT: 60 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



**2-F-22-UR  
USE ON REVIEW**

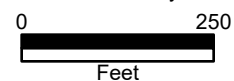


Expansion of the existing office/warehouse facility in BP (Business and Technology) / TO (Technology Overlay)

Original Print Date: 1/10/2022  
 Revised:  
 Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

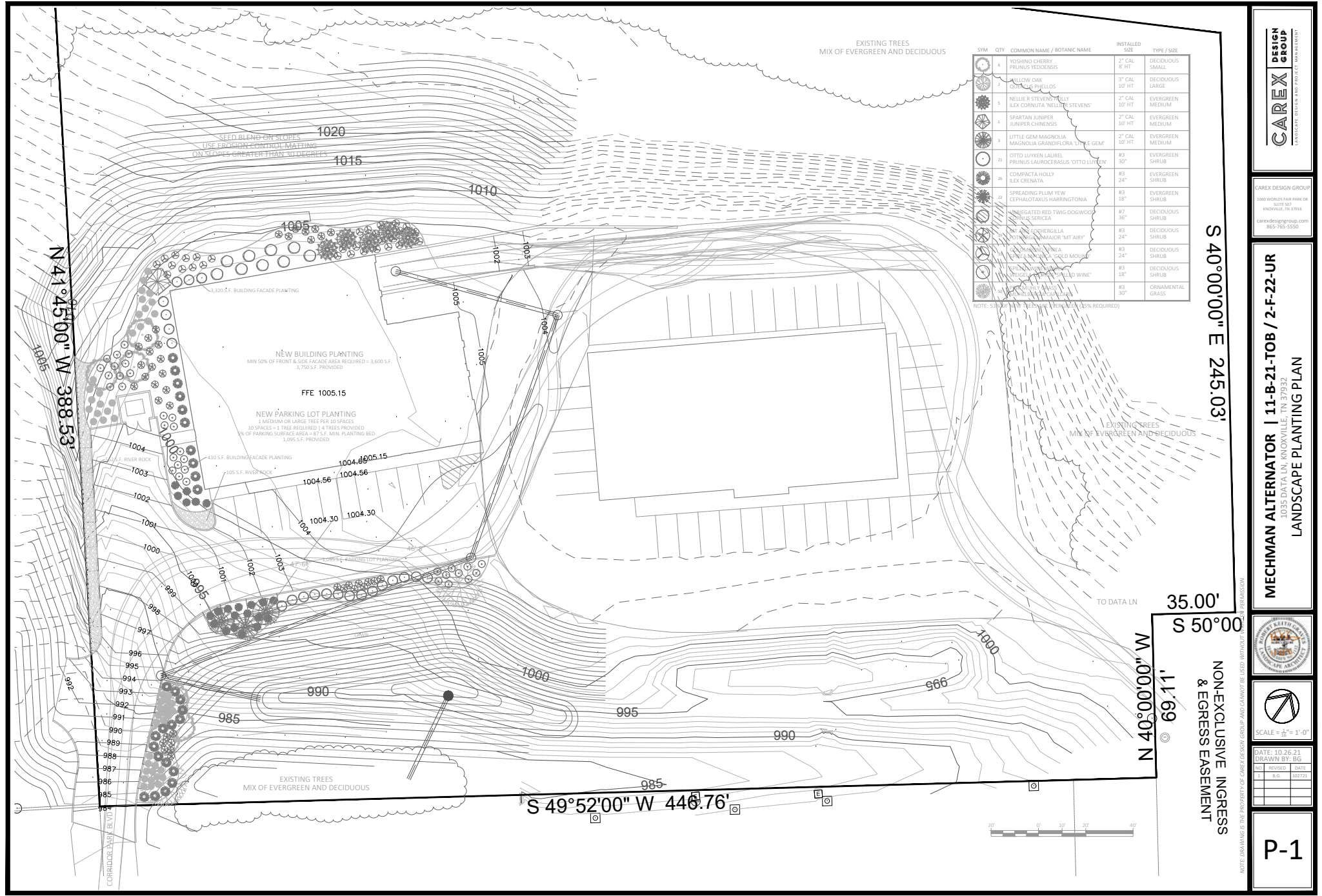
Petitioner: Power Solutions Holdings

Map No: 118  
 Jurisdiction: County









SYM	QTY	COMMON NAME / BOTANIC NAME	INSTALLED SIZE	TYPE / SIZE
	6	YOSHINO CHERRY PRUNUS YEDDENSIS	2" CAL 8' HT	DECIDUOUS SMALL
	3	WILLOW OAK QUERCUS VIRENDOIDES	3" CAL 10' HT	DECIDUOUS LARGE
	5	NELLIE R. STEVENS HOLLY ILEX CORNUTA 'NELLIE STEVENS'	2" CAL 10' HT	EVERGREEN MEDIUM
	1	SPARTAN JUNIPER JUNIPER CHINENSIS	2" CAL 10' HT	EVERGREEN MEDIUM
	1	LITTLE GEM MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CAL 10' HT	EVERGREEN MEDIUM
	21	OTTO LUYKEN LAUREL PRUNUS LAUROCEARUS 'OTTO LUYKEN'	#3 30"	EVERGREEN SHRUB
	26	COMPACTA HOLLY ILEX CRENATA	#3 24"	EVERGREEN SHRUB
	22	SPREADING PLUM YEW CEPHALOTAXUS HARRINGTONIA	#3 18"	EVERGREEN SHRUB
	7	UNDULIGATED RED TWIG DOGWOOD CORNUS SERICEA	#7 36"	DECIDUOUS SHRUB
	1	MT. AIRY NORWAY SPRUCE POTANINIA MAJOR 'MT AIRY'	#3 24"	DECIDUOUS SHRUB
	1	CORDANA WEeping TREE VITIS CORNUTA 'CORDANA'	#3 24"	DECIDUOUS SHRUB
	1	WEeping TREE VITIS CORNUTA 'WEeping'	#3 18"	DECIDUOUS SHRUB
	1	ORNAMENTAL GRASS	#3 30"	ORNAMENTAL GRASS

NOTE: 55% MIN. TREES IN EASEMENT (15% REQUIRED)



CAREX DESIGN GROUP  
1000 WOODS PARK DR  
SUITE 202  
KNOXVILLE, TN 37932  
carexdesigngroup.com  
865-765-5550

MECHMAN ALTERNATOR  
1035 DATA LN, KNOXVILLE, TN 37932  
LANDSCAPE PLANTING PLAN



DATE: 10.26.21  
DRAWN BY: BG  
CHECKED BY: JMS  
PLOT NO: 107725

P-1



GENERAL PLANTING NOTES

PLANT MATERIAL

All plant material planted shall be guaranteed by the Contractor for a minimum of six (6) months, and begins at the time of acceptance by the Designer or Owner. Any plant or sodding not found in a healthy growing condition at the end of the guarantee period shall be removed from the site and replaced within 10 days.

PROTECTION

**Protection of Existing Structures:** All existing buildings, walks, walls, paving, piping (and other items of construction) and planting (trees, shrubs, ground covers, etc.) already completed or established shall be protected from damage by the Contractor. All damage resulting from negligence shall be repaired or replaced to the satisfaction of the Designer or Owner.

**Protection of Existing Plant Materials:** The Contractor shall be responsible for all unauthorized cutting or damage to existing trees, shrubs, and ground covers caused by operation of equipment, stockpiling of materials, careless labor, etc. This shall include compaction by driving or parking inside the drip-line of trees or the spilling of oil, gasoline, or other deleterious materials within the drip-line of trees.

MAINTENANCE

**Plant Material Maintenance:** All plants and planting included under the Contract shall be maintained by watering, cultivating, spraying, and all other operations necessary to ensure a healthy condition by the Contractor until accepted by the Designer.

**Plant Grading:** Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to *Standardized Plant Names*, 1942 Edition. All plants not otherwise specified as being specimen, shall be excellent quality or better, as determined by the local plant industry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems.

**Planting Soil:** Planting soil shall be fertile, friable without mixture of subsoil materials, and obtained from a well-drained, industry acceptable site. It shall be free from heavy clay, stones, lumps, plants, root or other foreign materials, or noxious grass (such as Torpedo, Bermuda or nut grass) and noxious weeds. The PH range shall be 5.0 to 7.0 inclusive. Soil conditioner is to be mixed into soil as shown on planting details. All planting beds are to grade away from any structure or building to ensure proper drainage.

PLANTING PROCEDURES

**Cleaning Up Before Commencing Work:** The Contractor shall clean-up work and planting areas of all rubbish or objectionable matter and it shall be removed from the surface of all plant beds. These materials shall not be mixed with the soil. Should this Contractor find conditions beneath the soil which will in any way adversely affect the plant growth, he shall immediately call it to the attention of the Owner. Failure to do so before planting shall make the corrective measure the responsibility of this Contractor.

**Obstruction Below Ground:** Contractor is responsible for underground utilities verification. If underground construction, utilities or obstructions are encountered during the excavation of planting areas, or pits, alternate locations for the plant material shall be selected and approved by the Designer.

**Plant Material Layout:** It is suggested that Contractor stake tree or plant locations from the planting plans prior to digging pits, making any necessary adjustments.

**Tree Guying and Bracing:** Procedure shall be at the discretion of the Contractor in accordance with sound nursery practices and by the approval of Designer to insure stability and maintain plants in an upright position. See planting details for specific procedure for each plant requirement. Staking the trees is at the discretion of the Contractor, however any plants showing adverse growth at end of warranty period due to not staking will need to be replaced at Contractors cost.

**Mulching:** Provide a three (3) inch minimum layer of specified mulch over the entire area of each shrub bed, ground cover and vine bed and tree pit or as otherwise specified.

**Digging and Handling:** Protect roots or balls of plants at all times from sun and drying winds, excess water and freezing, as necessary until planting. No plants moved with a ball shall be planted if the ball is cracked or broken.

**Watering:** Water plants in thoroughly upon planting. Contractor is responsible for watering all plant material until project is complete.

LAWN SODDING

**Work:** Work consists of soil preparation, lawn bed preparation, and sodding complete, in strict accordance with the specifications and the applicable drawings, to produce a grass lawn acceptable to the Owner/Designer.

**Soil Preparation:** All areas that are to be sodded, shall be cleared of any rough grass, weeds, and debris, and the ground brought to a smooth and even grade.

**Fertilizer:** Fertilizer shall be a commercial type, 12-6-8, complying with local fertilizer laws and applied at a rate consistent with industry standards.

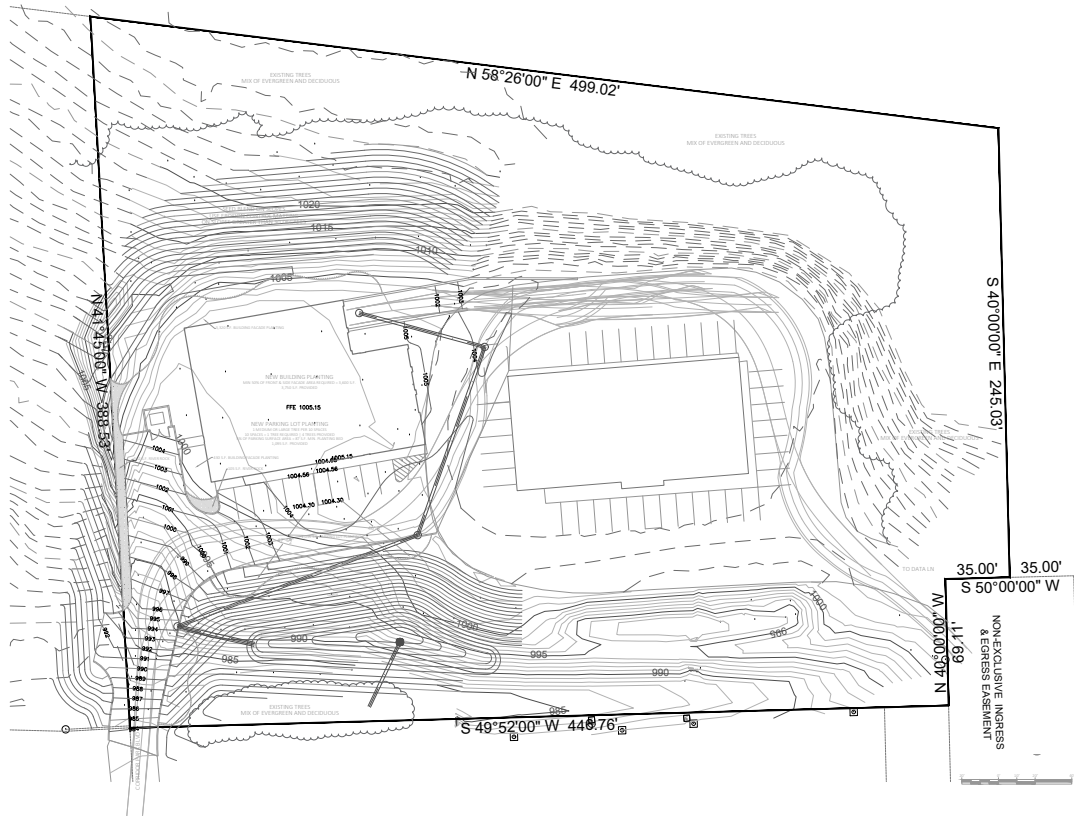
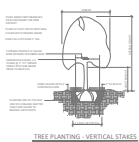
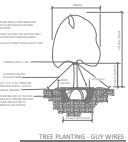
**Sodding:** The Contractor shall sod all the areas as designated on the drawings within the contract limits, unless specified otherwise. The sod shall meet all local specifications, absolutely true to variety type, and free from weeds, fungus, insects and disease of any kind. Each sod panel shall have sufficient root and soil base to assure proper sod growth. Sod panels shall be laid tightly together so as to make a solid sodded lawn area. Sod shall be laid uniformly against the edges of all buildings, paved and planted areas. Immediately following sod laying, the lawn areas shall be rolled with a lawn roller, and then thoroughly watered. After rolling it, in the opinion of the Designer, top-dressing and over-seeding may be necessary to fill the voids between the sod panels and to even out inconsistencies in the sod. For top-dressing, clean sand as approved by the Designer shall be uniformly spread over the entire surface of the sod and thoroughly watered in. During delivery, prior to and during the planting of the lawn areas, the sod panels shall at all times be protected from excessive drying and unnecessary exposure of the roots to the sun. Any sod damaged as noted shall not be used on the site.

PLANTING DETAILS

Refer to drawings.

CLEAN UP

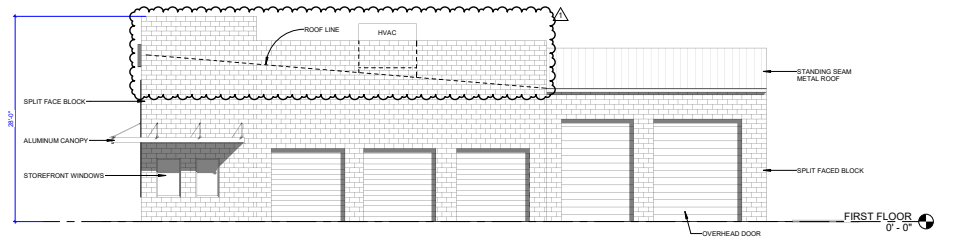
**During Construction:** Contractor is responsible for clean-up of all areas affected by construction. This includes roadways, driveways, parking lots, sidewalks, lawn and planting areas. No bulk materials to be stored on street unless approved by Owner. Any materials in roadways, driveways etc. shall be clearly visible with tape, cones etc. Any open holes left shall be covered with plywood or other safety device. All areas not constructed, planted or sodded shall receive grass seed and straw unless otherwise stipulated.



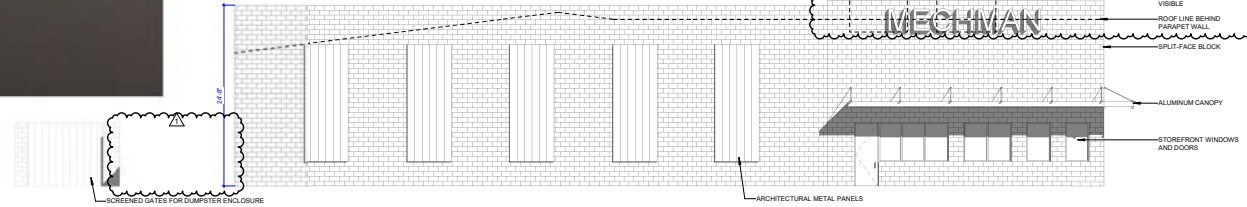
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10	19	MT AIRY FOTHERGILLA FOTHERGILLA MAJOR 'MT AIRY'	#3 24"	DECIDUOUS SHRUB
11	10	GOLDMOUND SPIREA SPIREA JAPONICA 'GOLD MOUND'	#3 24"	DECIDUOUS SHRUB
12	14	SPILLED WINE WEIGELA WEIGELA FLORIDA 'SPILLED WINE'	#3 18"	DECIDUOUS SHRUB
13	10	PINK MUHLY GRASS MUHLENBERGIA CAPILLARS	#3 30"	ORNAMENTAL GRASS

NOTE: 53% OF NEW TREES ARE EVERGREEN (25% REQUIRED)

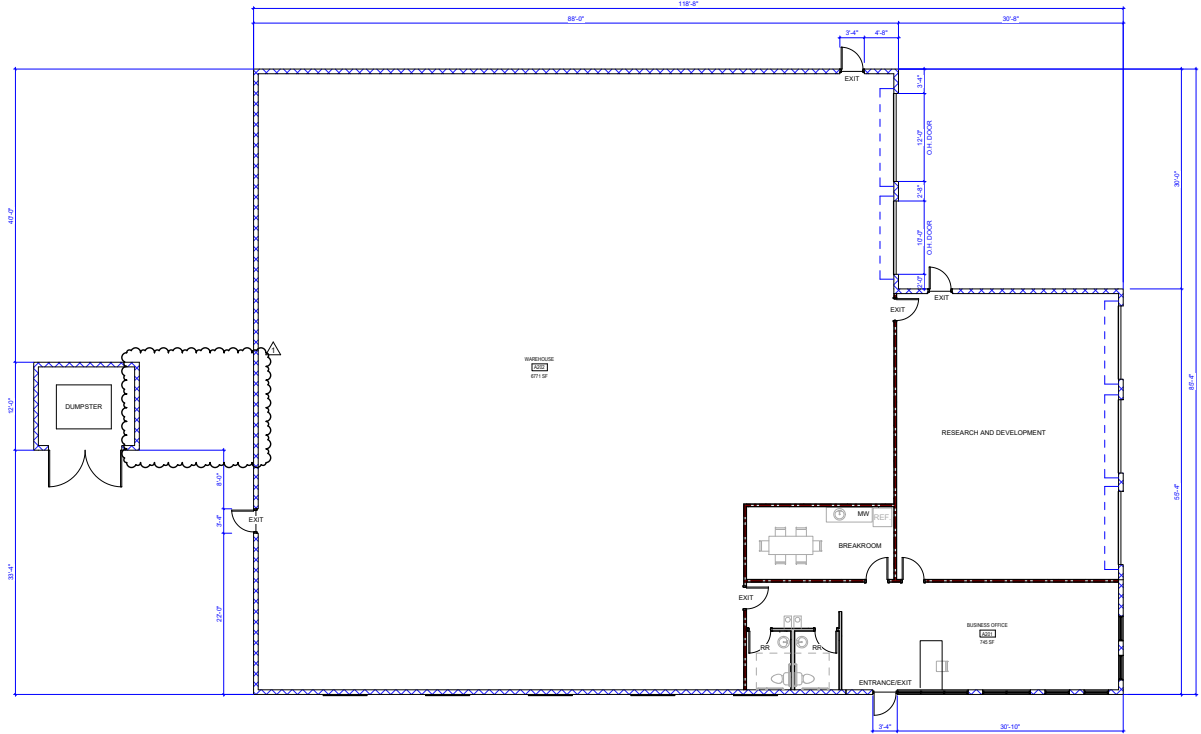




3 SIDE ELEVATION  
1/8" = 1'-0"



2 FRONT ELEVATION  
1/8" = 1'-0"



1 FLOOR PLAN  
1/8" = 1'-0"



MECHMAN ALTERNATOR -  
CONSTRUCTION OF A NEW WAREHOUSE

11-A-21-TOB / 2-F-22-JR

Drawing Information		
Revisions		
No.	Description	Date
1	TTCCA RESPONSE 1	10.27.21
Project Number		21042
Issue Date		10/4/21
Drawn By		CTM
Checked By		DML
Scale		1/8" = 1'-0"
FLOOR PLAN		

A101



# CERTIFICATION OF FINAL PLAT - CONSTRUCTION COMPLETE

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED TO PRACTICE SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THIS PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE/KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED, DESCRIBED AND JUSTIFIED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION, OR FOR VARIANCES FOR WHICH APPLICATION HAS BEEN FILED. THE INSTRUMENTS WERE IN PLACE ON THE 15th DAY OF 11/2004.

*David M. Fox*  
REGISTERED LAND SURVEYOR  
TENNESSEE LICENSE NO. 1647

## CERTIFICATE OF OWNERSHIP AND GENERAL DEDICATION

(I, WE) *Ronald Nutt & J. Kelly Milam, ETAL* THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREIN, HEREBY ADOPT THIS AS (MY, OUR) PLAN OF SUBDIVISION AND DEDICATE THE STREETS AS SHOWN TO THE PUBLIC USE FOREVER AND HEREBY CERTIFY THAT (I AM, WE ARE) THE OWNER(S) IN FEE SIMPLE OF THE PROPERTY, AND AS PROPERTY OWNER(S) HAVE AN UNRESTRICTED RIGHT TO DEDICATE RIGHT-OF-WAY AND/OR GRANT EASEMENT AS SHOWN ON THIS PLAT.

SIGNATURE(S) *J. Kelly Milam*

ZONING SHOWN ON OFFICIAL MAP *BP/TO*

DATE: *11-17-04* BY: *Thomas Buehler*

THIS IS TO CERTIFY THAT THE SUBDIVISION SHOWN HEREON IS APPROVED SUBJECT TO THE INSTALLATION OF SANITARY SEWERS AND TREATMENT FACILITIES AND THAT SUCH INSTALLATION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

DATE: *11-17-04* *Rennie Nease*  
KNOX COUNTY HEALTH DEPARTMENT

THIS IS TO CERTIFY THAT ALL PROPERTY TAXES AND ASSESSMENTS DUE ON THIS PROPERTY HAVE BEEN PAID.

SIGNED: *MIKE LOWE* *11-17-04*  
KNOX COUNTY TRUSTEE DATE  
*Paid thru 03 Tax*

## CERTIFICATE OF APPROVAL FOR RECORDING

THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF KNOXVILLE AND KNOX COUNTY AND WITH THE EXISTING OFFICIAL PLANS, WITH THE EXCEPTION OF ANY VARIANCES AND STIPULATIONS NOTED ON THIS PLAT AND IN THE MINUTES OF THE KNOXVILLE-KNOX COUNTY METROPOLITAN PLANNING COMMISSION, ON THIS 10th DAY OF Nov. 2004, AND THAT THE RECORDING PLAT IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE KNOX COUNTY REGISTER OF DEEDS.

SIGNED: *Di Z...*  
DATE: *1-6-05*

## ADDRESSING DEPARTMENT CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE SUBDIVISION NAME AND ALL STREET NAMES CONFORM TO THE KNOXVILLE/KNOX COUNTY STREET NAMING AND ADDRESSING ORDINANCE, THE ADMINISTRATIVE RULES OF THE PLANNING COMMISSION, AND THESE REGULATIONS.

SIGNED: *Shirley G. Mase*  
DATE: *17 Nov 04*

## INSPECTION OF COMPLETED STREETS AND RELATED IMPROVEMENTS:

I, THE UNDERSIGNED HEREBY CERTIFY THIS SUBDIVISION HAS BEEN INSPECTED AND ALL STREETS AND RELATED IMPROVEMENTS HAVE BEEN COMPLETED IN A MANNER THAT MEETS ALL CITY STANDARDS AND SPECIFICATIONS AND HAVE BEEN OFFICIALLY ACCEPTED AS BUILT BY THE APPROPRIATE OFFICIAL(S).

SIGNED: *Leo La Camera*  
DATE: *11/17/04*  
DEPT.: *KNOX CO EPW*  
TITLE: *D.I.E.*

## INSPECTION OF COMPLETED DRAINAGE SYSTEMS

I, THE UNDERSIGNED HEREBY CERTIFY THIS SUBDIVISION HAS BEEN INSPECTED AND DRAINAGE SYSTEMS HAVE BEEN COMPLETED IN A MANNER THAT MEETS ALL CITY AND COUNTY STANDARDS AND SPECIFICATIONS (WHICHEVER IS APPROPRIATE) AND ARE FULLY STABILIZED AND HAVE BEEN OFFICIALLY ACCEPTED AS BUILT BY THE APPROPRIATE OFFICIAL(S).

SIGNED: *Leo La Camera*  
DATE: *11/17/04*  
DEPT.: *KNOX CO EPW*  
TITLE: *D.I.E.*

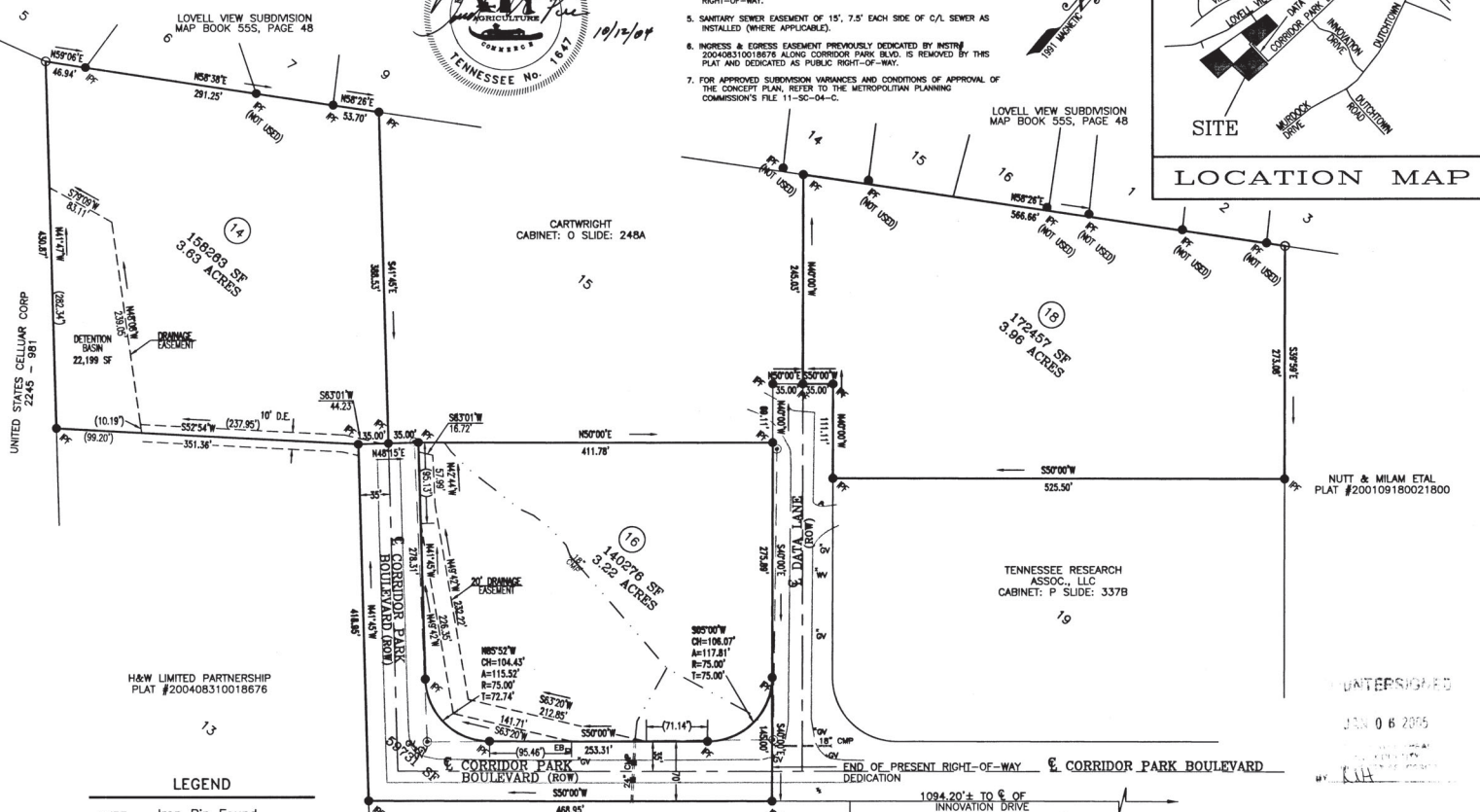
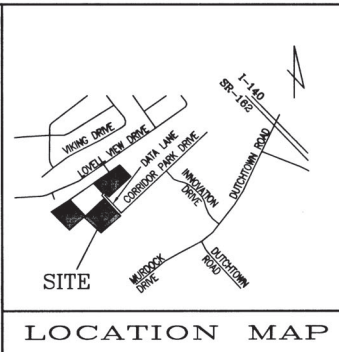
I CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 AS SHOWN HEREON.

*David M. Fox*  
REGISTERED LAND SURVEYOR



## NOTES:

- IRON PINS FOUND (IPF) SHOWN ON PLAT. ALL OTHERS SET BY BHNAP, UNLESS NOTED OTHERWISE ON PLAT.
- 10' UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS INSIDE ALL EXTERIOR LOT LINES AND ALONG ALL ROADS, 5' UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS ALONG BOTH SIDES OF ALL INTERIOR LOT LINES, PLUS OTHER EASEMENTS AS SHOWN. UTILITY AND DRAINAGE EASEMENTS TO BE CENTERED ABOUT DRAINAGE STRUCTURE AS INSTALLED.
- THIS PROPERTY IS ZONED BP/TO.
- THIS PROPERTY CONTAINS 12.18 ACRES DIVIDED INTO 3 LOTS & PUBLIC RIGHT-OF-WAY.
- SANITARY SEWER EASEMENT OF 15', 7.5' EACH SIDE OF C/L SEWER AS INSTALLED (WHERE APPLICABLE).
- INGRESS & EGRESS EASEMENT PREVIOUSLY DEDICATED BY INSTR. 20040831001878 ALONG CORRIDOR PARK BLVD. IS REMOVED BY THIS PLAT AND DEDICATED AS PUBLIC RIGHT-OF-WAY.
- FOR APPROVED SUBDIVISION VARIANCES AND CONDITIONS OF APPROVAL OF THE CONCEPT PLAN, REFER TO THE METROPOLITAN PLANNING COMMISSION'S FILE 11-35-04-C.



LEGEND	
● IPF	Iron Pin Found
○ IPS	Iron Pin Set
⊙	Storm Manhole
⊞	Catch Basin
⊙	Sanitary Sewer Manhole
° CO	Cleanout
⊙	Power Pole
⊙	Light Pole
— OH —	Overhead Electric
— UG —	Underground Electric
⊙	Fire Hydrant
⊙	Water Valve
⊙	Gas Valve
-X-X-	Fence
□ EB	Electric Box



Instr. 2004083100004209 Page 1 of 1  
REC'D FOR REC 01/06/2005 10:30:42AM  
RECORD FEE: \$17.00  
N. TAX: \$0.00 T. TAX: \$0.00

11-SF-04-F

## OWNER:

RONALD NUTT & J. KELLY MILAM, ETAL  
2035 LAKESIDE CENTRE WAY, SUITE 250  
KNOXVILLE, TENNESSEE 37922  
PHONE: (865) 470-4868

M558220BS

Int# 200109180021800  
REFERENCE DEED: DEED BK , PG



BATSON, HIMES, NORVELL & POE  
REGISTERED ENGINEERS & LAND SURVEYORS  
4334 PAPERMILL DRIVE  
KNOXVILLE, TENNESSEE 37909  
PHONE (865) 588-6472  
FAX (865) 588-6473  
email@bhn-p.com

SCALE: 1"=100' DATE: 10/12/04  
100 50 0 100 200

LOT 22R-1R  
COMPUTATIONAL SYSTEMS INCORPORATED  
CABINET: M SLIDE: 137A  
FINAL PLAT  
FOR  
CORRIDOR PARK  
LOTS 14, 16 & 18  
C-L-T MAP 118, PART OF PARCEL 173  
DISTRICT 6, KNOX COUNTY, TN.

UNTESTED  
JAN 06 2005  
KIA



Michelle Portier <michelle.portier@knoxplanning.org>

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## TTCDA site plans for review

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**Amanda Purkey** <Amanda.Purkey@knoxcounty.org>

Wed, Oct 13, 2021 at 9:56 AM

To: Michelle Portier <michelle.portier@knoxplanning.org>, Aaron Fritts <Aaron.Fritts@knoxcounty.org>, Leo LaCamera <Leo.LaCamera@knoxcounty.org>

Michelle,

11-A-21-TOB - Required to do Water quality and detention for development.

11-B-21-TOB - The existing pond was only designed for Lots 14 & 16, the pond will be required to be modified to accommodate the expansion of the lot 15. A signed letter of agreement from the adjacent property owner will be required during the design phase.

### Amanda Purkey

*Civil Plans Reviewer*

Land Development Services

Office: 865-215-5829

205 West Baxter, Ave.

Knoxville, TN 37917



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**From:** Michelle Portier <michelle.portier@knoxplanning.org>

**Sent:** Wednesday, October 13, 2021 8:10 AM

**To:** Aaron Fritts <Aaron.Fritts@knoxcounty.org>; Leo LaCamera <Leo.LaCamera@knoxcounty.org>; Amanda Purkey <Amanda.Purkey@knoxcounty.org>

**Subject:** [External]TTCDA site plans for review

[Quoted text hidden]

>>>CAUTION<<<

This message originates outside of the Knox County email system. Use caution if this message contains attachments, links or requests for information.





# Development Request

## DEVELOPMENT

- ☐ Development Plan  
☐ Planned Development  
☒ Use on Review / Special Use  
☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan  
☐ Final Plat

## ZONING

- ☐ Plan Amendment  
☐ SP ☐ OYP  
☐ Rezoning

Matthew Young for Power Solutions Holdings

Owner

Applicant Name

Affiliation

12/30/21

~~02/03/21~~ **2/10/2022**

Date Filed

Meeting Date (if applicable)

File Number(s)

**2-F-22-UR**

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☒ Engineer ☐ Architect/Landscape Architect

Will Robinson

Will Robinson & Associates

Name

Company

1248 N Shorewood Ln

Caryville

TN

37714

Address

City

State

ZIP

865-386-4201

wendy@wracivil.com

Phone

Email

## CURRENT PROPERTY INFO

Power Solutions Holdings

1035 Data Lane

865-775-742-5666

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

1035 Data Lane

118 17318

Property Address

Parcel ID

First Utility District

First Utility District

N

Sewer Provider

Water Provider

Septic (Y/N)

## STAFF USE ONLY

Northwest side of the Data Ln terminus; generally east of Lovell Rd and north of Murdock Dr

3.87 ac.

General Location

Tract Size

☐ City ☒ County

6th

BP/TO

Office/warehouse facility

District

Zoning District

Existing Land Use

Northwest County

TP (Technology Park)

Planned Growth Area

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

November 22, 2021

## DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Use on Review / Special Use <input type="checkbox"/> Hillside Protection COA	Related City Permit Number(s)
<input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
Home Occupation (specify) _____	
Other (specify) Add a second building to expand the existing facility; use will remain the same	

## SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number <input type="checkbox"/> Combine Parcels <input type="checkbox"/> Divide Parcel	
Total Number of Lots Created	
<input type="checkbox"/> Other (specify) _____	
<input type="checkbox"/> Attachments / Additional Requirements	

## ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment Change	Proposed Plan Designation(s)	
Proposed Density (units/acre)	Previous Rezoning Requests	
<input type="checkbox"/> Other (specify) _____		

## STAFF USE ONLY

### PLAT TYPE

- ☐ Staff Review ☐ Planning Commission

### ATTACHMENTS

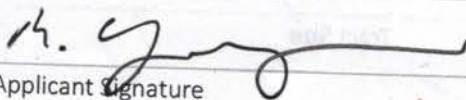
- ☐ Property Owners / Option Holders ☐ Variance Request

### ADDITIONAL REQUIREMENTS

- ☐ Design Plan Certification (Final Plat)  
☐ Use on Review / Special Use (Concept Plan)  
☐ Traffic Impact Study  
☐ COA Checklist (Hillside Protection)

Fee 1		Total
0401	\$1,500.00	\$1,500.00
Fee 2		
Fee 3		

## AUTHORIZATION

  
Applicant Signature

Matthew Young for Power Solutions Holdir

Please Print

775-742-5666

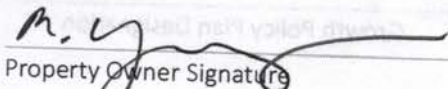
Phone Number

mlogan@mechman.com

Email

Date

12/30/21

  
Property Owner Signature

Matthew Young

Please Print

12/30/21

Date  
2/3/2022 swm

Accepted by: MMP