



SPECIAL USE REPORT

▶ **FILE #:** 1-F-22-SU

AGENDA ITEM #: 37

AGENDA DATE: 1/13/2022

▶ **APPLICANT:** CHIK-FIL-A, INC. / BETH DAVIDSON

OWNER(S): Anagnost Family Properties, LLC

TAX ID NUMBER: 107 N B 00501

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 4944 Kingston Pk.

▶ **LOCATION:** Southeast side of Kingston Pike, east of Homberg Drive

▶ **APPX. SIZE OF TRACT:** 1.42 acres

SECTOR PLAN: West City

GROWTH POLICY PLAN: N/A

ACCESSIBILITY: Access is via Kingston Pike, a major arterial street with 58ft of pavement width within 85ft of right-of-way; and via Homberg Place, a local street with 23ft of pavement width within 43ft of right-of-way.

UTILITIES: Water Source: Knox-Chapman Utility District

Sewer Source: Knoxville Utilities Board

WATERSHED: Fourth Creek

▶ **ZONING:** C-G-1 (General Commercial)

▶ **EXISTING LAND USE:** CO (Commercial)

▶ **PROPOSED USE:** Drive-through facility

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Office, commercial -- C-G-1 (General Commercial)

South: Commercial, fuel station -- C-G-1 (General Commercial)

East: Coffee shop, parking lot -- C-G-1 (General Commercial)

West: Bank -- C-G-1 (General Commercial)

NEIGHBORHOOD CONTEXT: This property is in the Bearden Village / Homberg Place commercial district that is developed with a mix of office and commercial business in the C-G and O zone, and residential uses in the RN-4 and O zones.

STAFF RECOMMENDATION:

▶ **Approve the request to expand the existing drive-through facility as proposed, subject to 7 conditions.**

1. Meeting the requirements of principal use standards for drive-through facilities (Article 9.3.F) of the City of Knoxville Zoning Ordinance.
2. Meeting the requirements of Article 13 (Signs) of the City of Knoxville Zoning Ordinance, including but not limited to menu boards for the drive-through facility
3. Installation of landscaping per the requirements of Article 12 (Landscaping) of the City of Knoxville Zoning

Ordinance.

4. Verifying that the provided parking meets both the minimum and maximum requirements for the combined uses on the site and provides the required bicycle parking, according to Article 11 (Off-street parking) of the City of Knoxville Zoning Ordinance.
5. Meeting all applicable requirements of the Knoxville Department of Engineering.
6. Meeting all applicable requirements of the Tennessee Department of Transportation.
7. Meeting all other applicable requirements of the City of Knoxville Zoning Ordinance.

With conditions noted above, this request meets the requirements of C-G-1 zone, the principal use standards for drive-through facilities, and the other criteria for approval of a special use.

COMMENTS:

This proposal is for an expansion of an existing drive-through facility for a Chick-fil-A restaurant and the replacement of the existing drive-through lanes and canopies. The new drive-through will include two lanes that fully wrap around the building, except for the front of the building, because drive-through facilities are prohibited between the building and a public road.

To accommodate the second drive-through lane, the plan is to remove landscaping to the rear of the building and parking spaces on the east side of the lot. The replacement landscaping must meet the requirements of Article 12 (Landscaping) of the City of Knoxville Zoning Ordinance, which it appears to meet or be able to meet with significant modifications to the plan. There will be 18 parking spaces removed, leaving 38 spaces in total. The minimum parking requirement for the restaurant, including the patio seating area, is 36 spaces.

The main concern is ensuring that the Kingston Pike driveway does not get blocked by vehicles queued in the drive-through lane or wanting to exit onto Kingston Pike, blocking vehicles from exiting the drive-through. Currently, vehicles do regularly block the Kingston Pike access. The extra queuing space in the second drive-through lane should help, but the area between the building and Kingston Pike is still very congested with vehicle movements.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

- a. The One Year Plan and West City Sector Plan designations for this site are MU-SD, WC-1 (Bearden Village), which recommends a mix of residential, office, and commercial uses, and a pedestrian-friendly street system.
- b. The restaurant building is not being replaced, so modifying the site circulation and the access to Kingston Pike to be more pedestrian-friendly is not feasible. The improvements to the drive-through facility should help reduce vehicle congestion at the Kingston Pike access. However, this may only provide minimal improvement to pedestrian safety at the Kingston Pike driveway sidewalk crossing.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

- a. The C-G (General Commercial) zone is intended to provide for a heterogeneous mix of retail, personal service, office, and residential uses within and along Knoxville's commercial nodes and corridors. The C-G District is intended to promote mixed-use development in a pedestrian-oriented environment that recalls the City's traditional business districts, and offers flexibility in the creation of integrated commercial, office and residential spaces. The C-G District is divided into three levels of intensity related to the overall form and design of the development; however, uses are the same across all levels. This zone is intended primarily for indoor commercial uses with limited exceptions per special use approval.
- b. The restaurant building is not being replaced, so modifying the site circulation and the access to Kingston Pike to be more pedestrian-friendly is not feasible.
- c. The proposed drive-through facility meets the principal use standards of Article 9.3.F of the City of Knoxville Zoning Ordinance.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

- a. The portion of Bearden Village and Homberg Place, where Chick-fil-A is located, is more vehicle-oriented than areas further to the east and west.
- b. The expanded drive-through facility should help reduce congestion at the Kingston Pike access.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE,

LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

a. The expanded drive-through facility will not significantly injure the value of adjacent property or detract from the immediate environment.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

a. The proposal will not draw additional traffic through residential streets since it accesses a major arterial street.

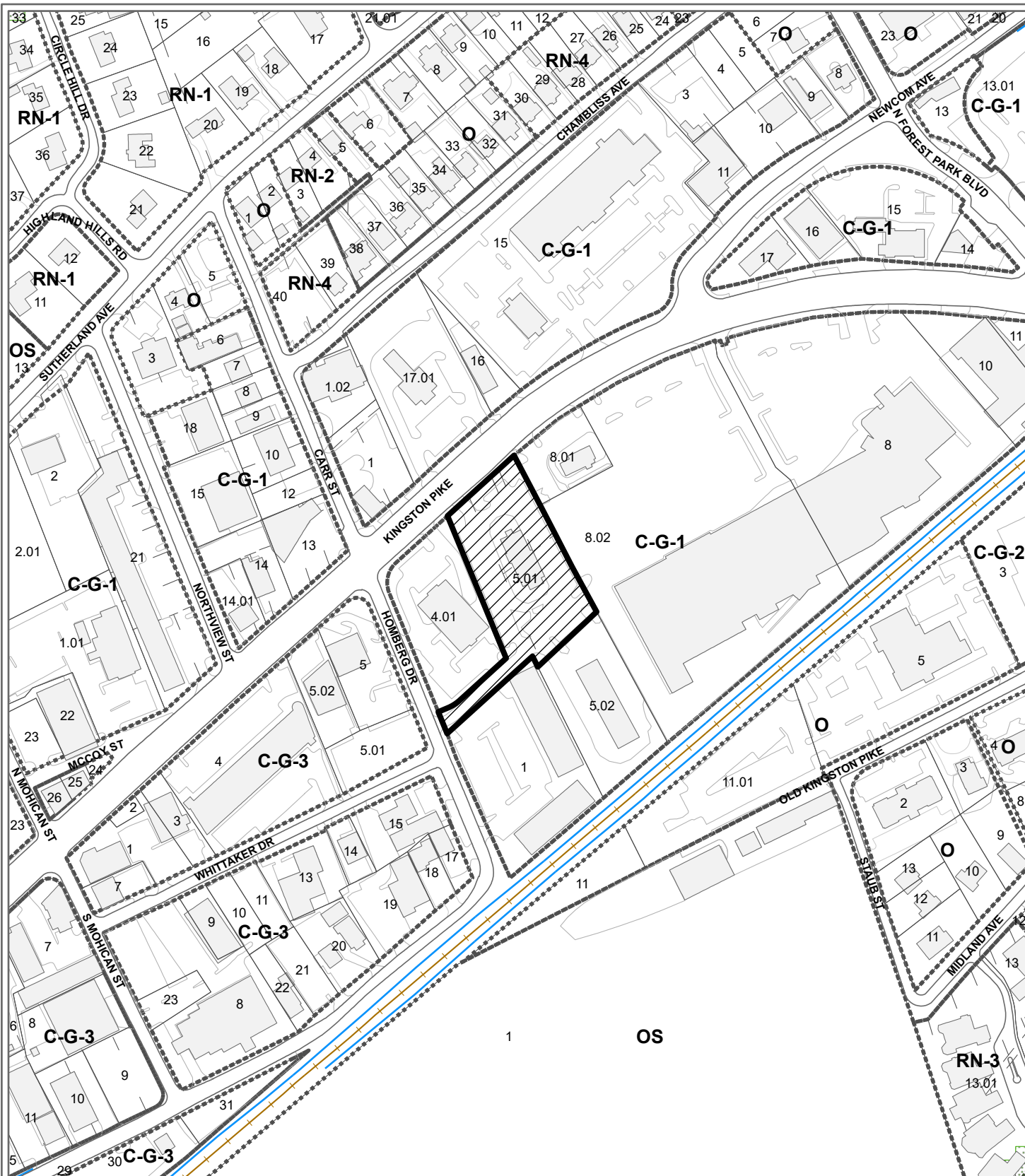
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

a. There are no known uses immediately surrounding the subject site that poses a potential hazard or undesirable environment for the proposed use.

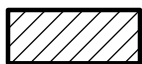
ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**1-F-22-SU
SPECIAL USE**



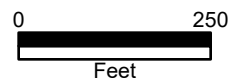
Drive-through facility in C-G-1 (General Commercial)

Original Print Date: 12/2/2021 Revised:
 Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Chik-fil-A, Inc. / Beth Davidson

Map No: 107

Jurisdiction: City



LEGEND		UTILITY CONTACTS	
	PROP. FDC	PLANNING DEPARTMENT	KNOXVILLE-KNOX COUNTY METROPOLITAN PLANNING COMMISSION (NPC)
	EX. FIRE HYDRANT		400 MAIN STREET, SUITE 403
	PROP. VALVE		KNOXVILLE, TN 37902
	EX. VALVE		DAN KELLY
	PROP. MANHOLE		865-215-2500
	EX. MANHOLE		dan.kelly@knoxmetpc.org
	PROP. BOX INLET	ZONING DEPARTMENT	CITY OF KNOXVILLE PLAN REVIEW & INSPECTION DIVISION
	EX. BOX INLET		400 MAIN STREET, ROOM 505
	PROP. POWER POLE		KNOXVILLE, TN 37902
	EX. POWER POLE		TOM REYNOLDS, DEPUTY DIRECTOR
	EX. TREE		865-215-4282
	EX. LIGHT POLE	FIRE MARSHAL	CITY OF KNOXVILLE FIRE MARSHAL'S OFFICE
	PROP. ELECTRIC LINE		400 MAIN STREET, SUITE 539
	EX. ELECTRIC LINE		KNOXVILLE, TN 37902
	PROP. GAS LINE		CAPTAIN JOHN ROGERS
	EX. GAS LINE		865-205-2848
	PROP. TELEPHONE LINE		john.rogers@cityofknoxville.org
	EX. TELEPHONE LINE	TRAFFIC ENGINEERING	TENNESSEE DEPARTMENT OF TRANSPORTATION
	PROP. SANITARY SEWER		7238 REGION LANE, 2ND FLOOR
	EX. SANITARY SEWER		KNOXVILLE, TN 37914
	PROP. STORM SEWER		ANDREW PADGETT, P.E., ASSISTANT REGIONAL TRAFFIC ENGINEER
	EX. STORM SEWER		865-594-2406
	PROP. WATER LINE		andrew.padgett@tn.gov
	EX. WATER LINE	CITY OF KNOXVILLE BUILDING DEPARTMENT	PLAN REVIEW & INSPECTIONS
	EX. FENCE		400 W. MAIN STREET, SUITE 505
	EX. CURB		KNOXVILLE, TN 37902
	PROP. CURB		CHRIS HENWLEY
	FLOOD PLAIN LIMITS		865-215-3252
			chris.henwley@cityofknoxville.org
		SANITARY SEWER & WATER	KNOXVILLE UTILITIES BOARD - KUB
			4000 McLELLERBROOK PARKWAY
			KNOXVILLE, TN 37921
			CHRIS MCCORMICK
			865-556-2123
			chris.mccormick@kub.org
		ARRON JOHNSON	865-556-2426
			aron.johnson@kub.org
		ELECTRIC UTILITY	KNOXVILLE UTILITIES BOARD - KUB
			4000 McLELLERBROOK PARKWAY
			KNOXVILLE, TN 37921
			CHRIS MCCORMICK
			865-556-2123
			chris.mccormick@kub.org
		ARRON JOHNSON	865-556-2426
			aron.johnson@kub.org
		TELEPHONE/INTERNET UTILITY	BELL
			9733 PARKSIDE DRIVE
			KNOXVILLE, TN 37922
			865-539-8593

- GENERAL NOTES**
1. THE CONSTRUCTION OF THIS PROJECT SHALL BE GOVERNED BY THE STATE OF TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITION, THE TDOT STANDARD CONSTRUCTION DRAWINGS, AND THE CITY ENGINEER'S AND STANDARD CONSTRUCTION DRAWINGS.
 2. ALL DISTURBED GREEN AREAS SHALL BE TOP DRESSED AND RE-SEED.
 3. CALL TENNESSEE ONE CALL, 811, 48 HOURS PRIOR TO CONSTRUCTION.
 4. ALL STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH LINED PIPE MEETING ASHSTO M294. TYPE S MAY BE USED.
 5. EARTHWORK AND SITE PREPARATION SHALL BE AS SPECIFIED IN THE SOILS REPORT.
 6. ELECTRICAL CONDUIT SHALL BE AS REQUIRED BY THE POWER COMPANY.
 7. TELEPHONE CONDUIT SHALL BE AS REQUIRED BY THE PHONE COMPANY.
 8. GAS SERVICE SHALL BE AS REQUIRED BY THE GAS COMPANY.
 9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IN THE ENGINEERING AND BUILDING DEPARTMENTS.
 10. ROOF DRAINS MUST BE CONNECTED DIRECTLY TO THE STORM SEWER.
 11. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL SILTATION CONTROL MEASURES NECESSARY TO PREVENT SILT FROM LEAVING THE SITE.
 12. THE CONTRACTOR IS RESPONSIBLE FOR LEGAL REMOVAL OF DEMOLITION MATERIAL AND DEBRIS.
 13. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITION OR BETTER.
 14. ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
 15. PRICES 90 PER FOOT FOR ALL PIPES IS COMPLETE IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS.
 16. TEMPORARY SOIL EROSION AND SEDIMENT CONTROL WILL BE REQUIRED IN ACCORDANCE WITH CITY OF KNOXVILLE AND KNOX COUNTY ENGINEERING DEPARTMENT.
 17. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY ENGINEER AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK TO ARRANGE FOR INSPECTION.
 18. ALL STORM SEWER RUN DISTANCES ARE FROM CENTERLINE TO CENTERLINE OF MANHOLES OR GATCH BASINS. ALL PIPE INVERT ELEVATIONS GIVEN AT MANHOLES ARE AT CENTERLINE OF MANHOLE. ALL STORM SEWER INLETS AND MANHOLES ARE TO HAVE TOP ELEVATIONS.
 19. A 12 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
 20. A 4 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL STORM SEWER PIPE.
 21. A 10 FOOT MINIMUM HORIZONTAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF THE WATER MAIN PIPE TO THE OUTSIDE EDGE OF THE SANITARY SEWER PIPE OR FORCE MAIN PIPE.
 22. AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED FROM THE OUTSIDE EDGE OF ALL WATER MAIN PIPE TO THE OUTSIDE EDGE OF ALL SANITARY SEWER OR FORCE MAIN PIPE.
 23. ALL SANITARY SEWERS SHALL CONFORM TO PVC SDR-35 MEETING ASTM D-3034 WITH JOINTS CONFORMING TO ASTM D-3212 UNLESS OTHERWISE NOTED.

Chick-fil-A

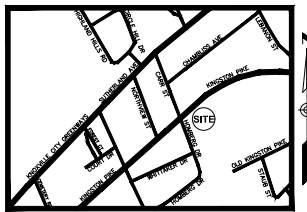
HOMBERG DRIVE FSU

STORE #2847

CUSTOM PROJECT SOLUTIONS

SITE PLANS

4944 KINGSTON PIKE
CITY OF KNOXVILLE
COUNTY OF KNOX
STATE OF TENNESSEE



LOCATION MAP
NOT TO SCALE
LATITUDE N 35°56'23.8" (35.9399)
LONGITUDE W 83°59'9.4" (-83.9859)

PREPARED FOR:
APPLICANT/DEVELOPER: CHICK-FIL-A, INC.
5200 BUFFINGTON RD.
ATLANTA, GEORGIA 30349-2998
CONTACT: BETH DAVIDSON
PHONE: (404) 305-4152
EMAIL: beth.davidson@cfacorp.com

PREPARED BY:
GBC DESIGN, INC.
665 White Pond Dr. Akron, OH 44320-1128
Phone 330-836-0228 Fax 330-836-5782

CONTACT: JOHN E. WALSH, P.E.
EMAIL: jwalsh@gbcdesign.com

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 1905020298, WITH AN EFFECTIVE DATE OF AUGUST 5, 2013, IN KNOX COUNTY, STATE OF TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

BENCHMARK	BM #1	PK NAL SET ELEVATION
	BM #2	PK NAL SET ELEVATION = 926.18
	BM #3	PK NAL SET ELEVATION = 925.28
	BM #4	PK NAL SET ELEVATION = 924.76
		PK NAL SET ELEVATION = 922.93

LAND DESCRIPTION:
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE 5TH CIVIL DISTRICT OF KNOX COUNTY AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A 1/2" REBAR FOUND AT THE INTERSECTION OF THE SOUTHERN RIGHT-OF-WAY OF KINGSTON PIKE AND THE EASTERN RIGHT-OF-WAY OF HOMBERG DR.; THENCE WITH SAID RIGHT-OF-WAY OF KINGSTON PIKE NORTH 47° 40' 35" EAST A DISTANCE OF 183.00' TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING WITH SAID RIGHT-OF-WAY NORTH 47° 43' 53" EAST A DISTANCE OF 163.88' TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY SOUTH 27° 32' 18" EAST A DISTANCE OF 103.12' TO A POINT; THENCE SOUTH 27° 31' 40" EAST A DISTANCE OF 123.75' TO A POINT; THENCE SOUTH 28° 33' 40" EAST A DISTANCE OF 95.07' TO A POINT; THENCE SOUTH 46° 51' 10" WEST A DISTANCE OF 148.42' TO A POINT; THENCE NORTH 26° 36' 40" WEST A DISTANCE OF 21.77' TO A POINT; THENCE SOUTH 47° 46' 02" WEST A DISTANCE OF 38.40' TO A POINT; THENCE NORTH 42° 11' 09" WEST A DISTANCE OF 30.01' TO A POINT; THENCE NORTH 22° 26' 08" WEST A DISTANCE OF 283.71' TO THE TRUE POINT OF BEGINNING.
BEING A PORTION OF THE SAME PROPERTY CONVEYED TO ANAGNOST FAMILY PROPERTIES, LLC, A TENNESSEE LIMITED LIABILITY COMPANY BY DEED OF RECORD IN INSTRUMENT NO. 201009270019067, REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE.
TOGETHER WITH APPURTENANT ACCESS EASEMENT AS SET FORTH IN DECLARATION OF EASEMENT AND MAINTENANCE AGREEMENT OF RECORD IN INSTRUMENT NO. 201108150008632, REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE.
TOGETHER WITH APPURTENANT EASEMENTS FOR ACCESS, INGRESS AND EGRESS, UTILITIES AND STORM AND SURFACE WATER, AS MORE PARTICULARLY DESCRIBED AND SET FORTH IN SHORT FORM LEASE OF RECORD IN INSTRUMENT NO. 201112090290301, REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE.
TOGETHER WITH APPURTENANT EASEMENTS FOR ACCESS, INGRESS AND EGRESS AND STORM AND SURFACE WATER AS MORE PARTICULARLY DESCRIBED AND SET FORTH IN DECLARATION OF EASEMENTS, COVENANTS AND CONDITIONS OF RECORD IN INSTRUMENT NO. 201112090290308, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE.

As-built Type	Required		Required before Certificate of Occupancy		Signed and Sealed Survey Required	
	Yes	No	Yes	No	Yes	No
As-built Type	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sanitary Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Storm Water BMP's	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Service	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Full Size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1-F-22-SU
12/20/2021

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GBC DESIGN, INC.
665 White Pond Dr. Akron, OH 44320-1128
Phone 330-836-0228



CHICK-FIL-A
HOMBERG DRIVE FSU
CUSTOM PROJECT SOLUTIONS
4944 KINGSTON PIKE
KNOXVILLE, TN 37919

FSU# 02847

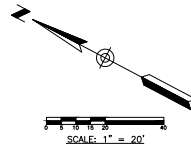
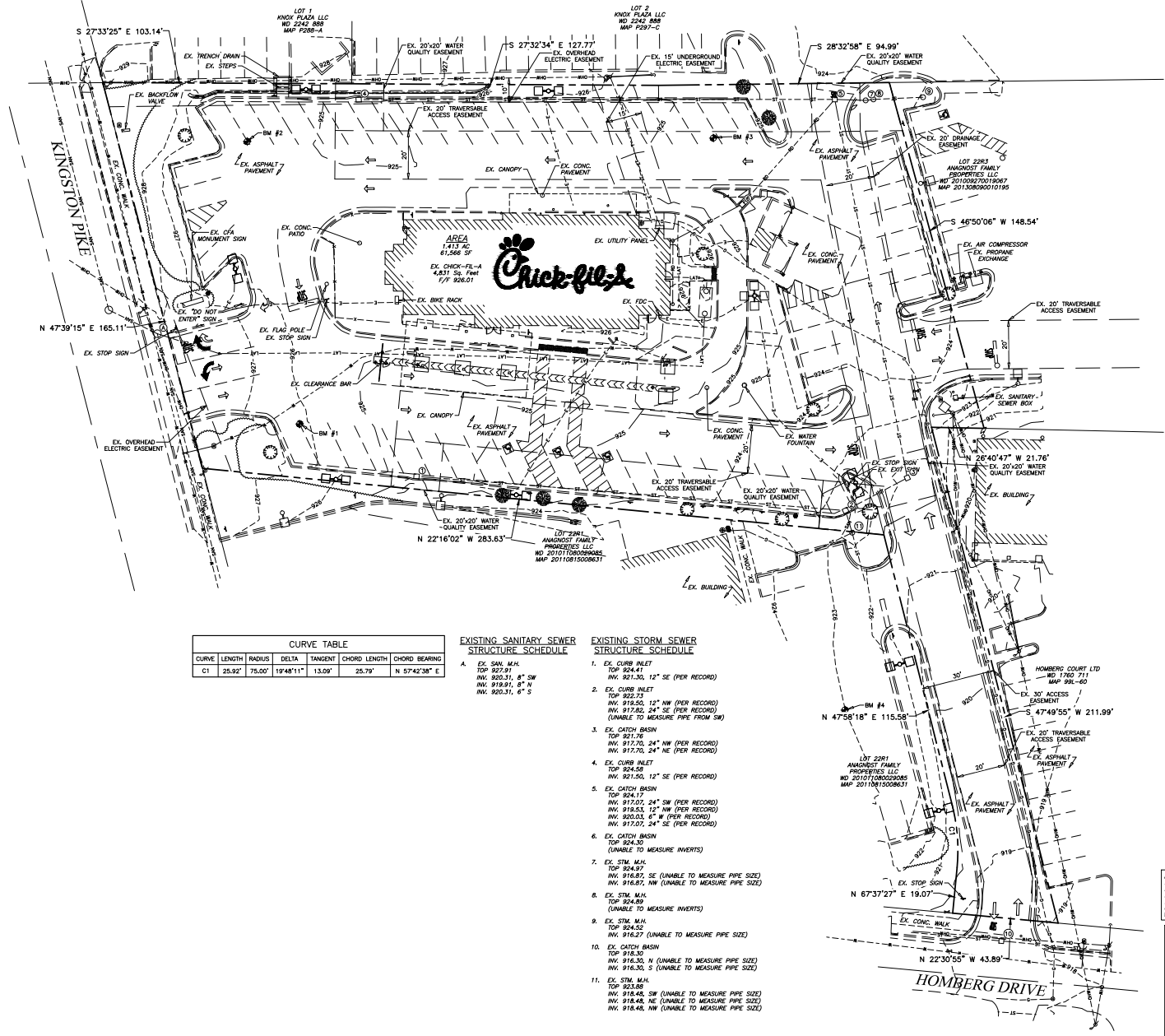
REVISION SCHEDULE

NO.	DATE	DESCRIPTION
GBC PROJECT #	43185A	
PRINTED FOR	Permit	
DATE	11/04/21	
DRAWN BY	B.A.W.	

TITLE SHEET

Permit SHEET NUMBER

C-000



LEGEND

- EX. FIRE HYDRANT
- EX. VALVE
- EX. MANHOLE
- EX. CATCH BASIN
- EX. BOX INLET
- EX. LIGHT POLE
- EX. DECORATIVE LAMP
- EX. POWER POLE
- EX. TREE
- EX. TELEPHONE LINE
- EX. ELECTRIC LINE
- EX. OVERHEAD WIRE
- EX. GAS LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATER LINE
- EX. CURB

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	25.92	75.00	19°48'11"	13.09	25.79	N 57°42'38" E

EXISTING SANITARY SEWER STRUCTURE SCHEDULE

1. EX. SAN. M.A. TOP 927.91 INV. 920.31, 6" SW INV. 919.91, 8" N INV. 920.31, 6" S
2. EX. CATCH BASIN TOP 921.76 INV. 917.70, 24" NW (PER RECORD) INV. 917.70, 24" NE (PER RECORD)
3. EX. CATCH BASIN TOP 924.41 INV. 918.50, 12" NW (PER RECORD) INV. 917.82, 24" SE (PER RECORD) (UNABLE TO MEASURE PIPE FROM SW)
4. EX. CATCH BASIN TOP 924.58 INV. 917.07, 24" SW (PER RECORD) INV. 918.62, 12" NW (PER RECORD) INV. 920.03, 6" W (PER RECORD) INV. 917.07, 24" SE (PER RECORD)
5. EX. CATCH BASIN TOP 924.30 INV. 917.07, 24" SW (PER RECORD) INV. 918.62, 12" NW (PER RECORD) INV. 920.03, 6" W (PER RECORD) INV. 917.07, 24" SE (PER RECORD)
6. EX. STM. M.A. TOP 924.97 INV. 916.87, 24" SW (UNABLE TO MEASURE PIPE SIZE) INV. 916.87, 24" NW (UNABLE TO MEASURE PIPE SIZE)
7. EX. STM. M.A. TOP 924.59 INV. 916.87, 24" SW (UNABLE TO MEASURE PIPE SIZE) INV. 916.87, 24" NW (UNABLE TO MEASURE PIPE SIZE)
8. EX. STM. M.A. TOP 924.89 INV. 916.87, 24" SW (UNABLE TO MEASURE PIPE SIZE) INV. 916.87, 24" NW (UNABLE TO MEASURE PIPE SIZE)
9. EX. STM. M.A. TOP 924.89 INV. 916.87, 24" SW (UNABLE TO MEASURE PIPE SIZE) INV. 916.87, 24" NW (UNABLE TO MEASURE PIPE SIZE)
10. EX. CATCH BASIN TOP 918.30 INV. 916.30, N (UNABLE TO MEASURE PIPE SIZE) INV. 916.30, S (UNABLE TO MEASURE PIPE SIZE)
11. EX. STM. M.A. TOP 921.88 INV. 918.48, 38" (UNABLE TO MEASURE PIPE SIZE) INV. 918.48, NE (UNABLE TO MEASURE PIPE SIZE) INV. 918.48, NW (UNABLE TO MEASURE PIPE SIZE)

EXISTING STORM SEWER STRUCTURE SCHEDULE

1. EX. CURB INLET TOP 924.41 INV. 921.50, 12" SE (PER RECORD)
2. EX. CURB INLET TOP 922.73 INV. 918.50, 12" NW (PER RECORD) INV. 917.82, 24" SE (PER RECORD) (UNABLE TO MEASURE PIPE FROM SW)
3. EX. CATCH BASIN TOP 921.76 INV. 917.70, 24" NW (PER RECORD) INV. 917.70, 24" NE (PER RECORD)
4. EX. CURB INLET TOP 924.58 INV. 921.50, 12" SE (PER RECORD)
5. EX. CATCH BASIN TOP 924.15 INV. 917.07, 24" SW (PER RECORD) INV. 918.62, 12" NW (PER RECORD) INV. 920.03, 6" W (PER RECORD) INV. 917.07, 24" SE (PER RECORD)
6. EX. CATCH BASIN TOP 924.30 INV. 917.07, 24" SW (PER RECORD) INV. 918.62, 12" NW (PER RECORD) INV. 920.03, 6" W (PER RECORD) INV. 917.07, 24" SE (PER RECORD)
7. EX. STM. M.A. TOP 924.97 INV. 916.87, 24" SW (UNABLE TO MEASURE PIPE SIZE) INV. 916.87, 24" NW (UNABLE TO MEASURE PIPE SIZE)
8. EX. STM. M.A. TOP 924.59 INV. 916.87, 24" SW (UNABLE TO MEASURE PIPE SIZE) INV. 916.87, 24" NW (UNABLE TO MEASURE PIPE SIZE)
9. EX. STM. M.A. TOP 924.89 INV. 916.87, 24" SW (UNABLE TO MEASURE PIPE SIZE) INV. 916.87, 24" NW (UNABLE TO MEASURE PIPE SIZE)
10. EX. STM. M.A. TOP 924.89 INV. 916.87, 24" SW (UNABLE TO MEASURE PIPE SIZE) INV. 916.87, 24" NW (UNABLE TO MEASURE PIPE SIZE)
11. EX. STM. M.A. TOP 921.88 INV. 918.48, 38" (UNABLE TO MEASURE PIPE SIZE) INV. 918.48, NE (UNABLE TO MEASURE PIPE SIZE) INV. 918.48, NW (UNABLE TO MEASURE PIPE SIZE)

FLOOD ZONE ASSIGNMENT: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ON FLOOD INSURANCE RATE MAP NO. 470830278G, WITH AN EFFECTIVE DATE OF AUGUST 5, 2013, IN WHICH COUNTY, STATE OF TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.



Chick-fil-A
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CUSTOM PROJECT SOLUTIONS
4844 KINGSTON PIKE
KNOXVILLE, TN 37919

1-F-22-SU
12/20/2021

FSU# 02847

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

FILE NO. 1-F-22-SU
GBC PROJECT # 43195A
PRINTED FOR: Permit
DATE: 11/04/21
DRAWN BY: B.A.V.
SHEET: 1 of 1

EXISTING CONDITIONS PLAN

SHEET NUMBER

C-100

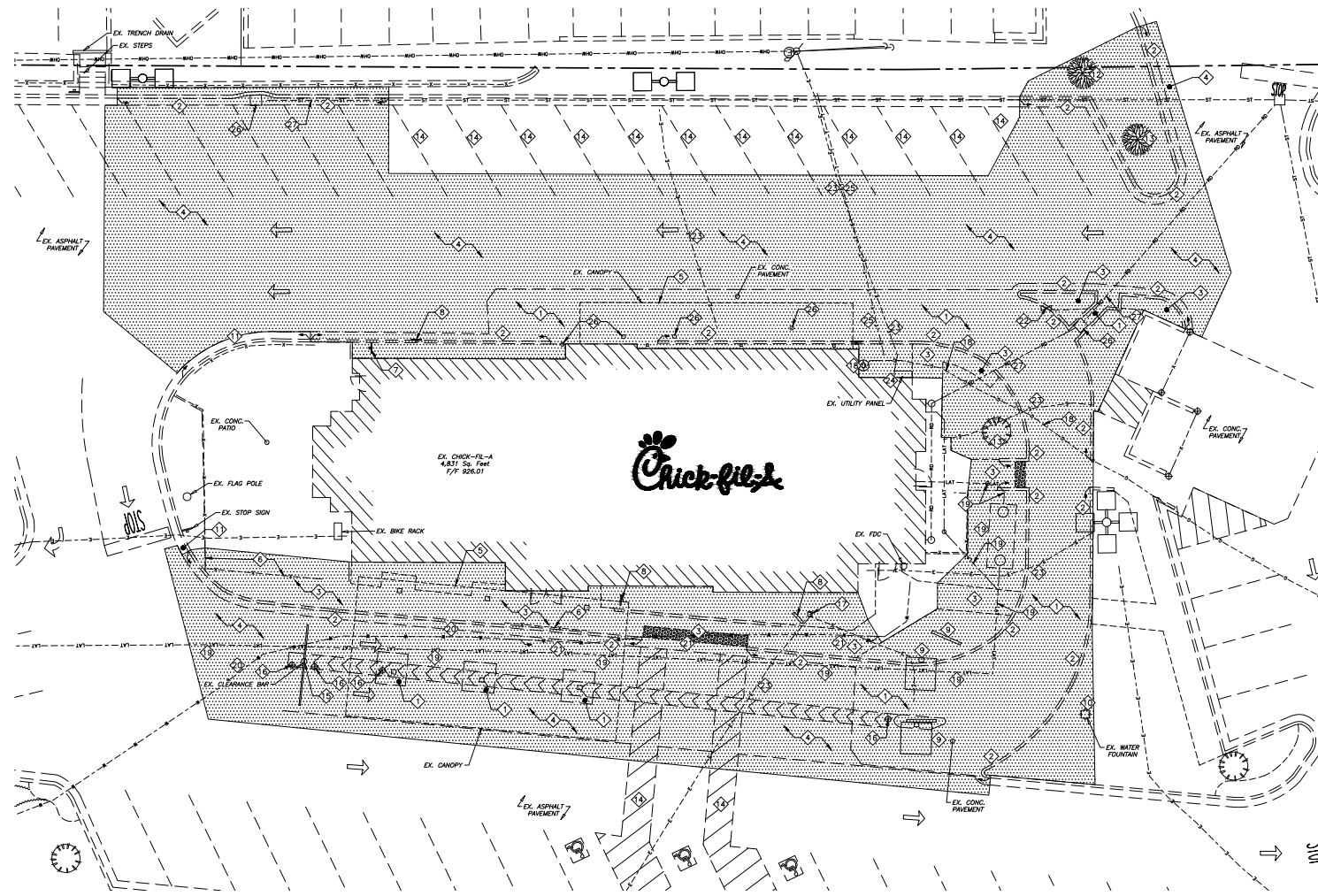
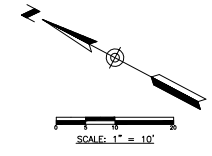
DEMOLITION NOTES

- 1. EXISTING CONCRETE PAVEMENT TO BE SAWCUT FULL DEPTH AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- 2. EXISTING CONCRETE CURB TO BE SAWCUT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- 3. EXISTING CONCRETE WALK/PATIO TO BE SAWCUT AT NEAREST JOINT AND REMOVED AS NEEDED FOR NEW CONSTRUCTION
- 4. EXISTING ASPHALT PAVEMENT TO BE SAWCUT & REMOVED AS NEEDED FOR NEW CONSTRUCTION
- 5. EXISTING CANOPY & RELATED UTILITIES TO BE REMOVED
- 6. EXISTING RAILING TO BE REMOVED & SALVAGED FOR POSSIBLE REUSE IF NEEDED.
- 7. EXISTING SIGN TO REMAIN
- 8. EXISTING SIGN TO BE REMOVED
- 9. EXISTING ORDER STATION & ASSOCIATED UTILITIES TO BE REMOVED
- 10. EXISTING WATER FOUNTAIN TO REMAIN
- 11. EXISTING CONCRETE CURB TO REMAIN
- 12. EXISTING TREE TO REMAIN
- 13. EXISTING TREE TO BE REMOVED
- 14. EXISTING PAINT STRIPING TO BE BLACKED OUT AS NEEDED FOR NEW LAYOUT.
- 15. EXISTING CLEARANCE BAR TO BE REMOVED
- 16. EXISTING BOLLARD TO BE REMOVED
- 17. EXISTING UTILITY BOX TO REMAIN
- 18. EXISTING GAS SERVICE & METER TO REMAIN
- 19. EXISTING GREASE TRAP, SANITARY LATERAL, CLEANOUTS, AND SANITARY SEWER TO REMAIN. CONTRACTOR TO ADJUST TOPS OF STRUCTURES/CLEANOUTS TO PROPOSED GRADE. CONTRACTOR TO VERIFY GREASE TRAP / CLEANOUTS ARE TRAFFIC RATED IF IN PAVEMENT IN PROPOSED LAYOUT.
- 20. EXISTING WATER SERVICE TO REMAIN
- 21. EXISTING WATER SERVICE TO BE RELOCATED
- 22. EXISTING WATER VALVE TO REMAIN. CONTRACTOR TO ADJUST TOP TO PROPOSED GRADE AND VERIFY TOP IS TRAFFIC RATED.
- 23. EXISTING ELECTRIC SERVICE TO REMAIN.
- 24. EXISTING UTILITY PANEL TO REMAIN
- 25. EXISTING COMMUNICATIONS SERVICE TO REMAIN.
- 26. EXISTING STORM STRUCTURE / CLEANOUT TO REMAIN. CONTRACTOR TO ADJUST TOP TO PROPOSED GRADE AND VERIFY TOP IS TRAFFIC RATED IF IN PAVEMENT IN PROPOSED LAYOUT.
- 27. EXISTING STORM SEWER / ROOF DRAIN TO REMAIN.

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- LEGEND**
- EX. FIRE HYDRANT
 - EX. VALVE
 - EX. MANHOLE
 - EX. CATCH BASIN
 - EX. BOX INLET
 - EX. LIGHT POLE
 - EX. DECORATIVE LAMP
 - EX. POWER POLE
 - EX. TREE

- LEGEND**
- EX. TELEPHONE LINE
 - EX. ELECTRIC LINE
 - EX. OVERHEAD WIRE
 - EX. GAS LINE
 - EX. SANITARY SEWER
 - EX. STORM SEWER
 - EX. WATER LINE
 - EX. CURB
- AREA OF DEMOLITION INCLUDING PAVEMENT REMOVAL, BUILDINGS, CONCRETE, SIGNS, LIGHT POLES, UTILITY SERVICES, FENCES, TREES, ETC.
- LIMITS OF DISTURBANCE = 0.37 AC.



1-F-22-SU
12/20/2021

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FSU# 02847

FILE NO. 1-F-22-SU

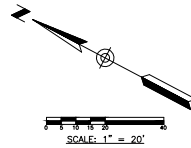
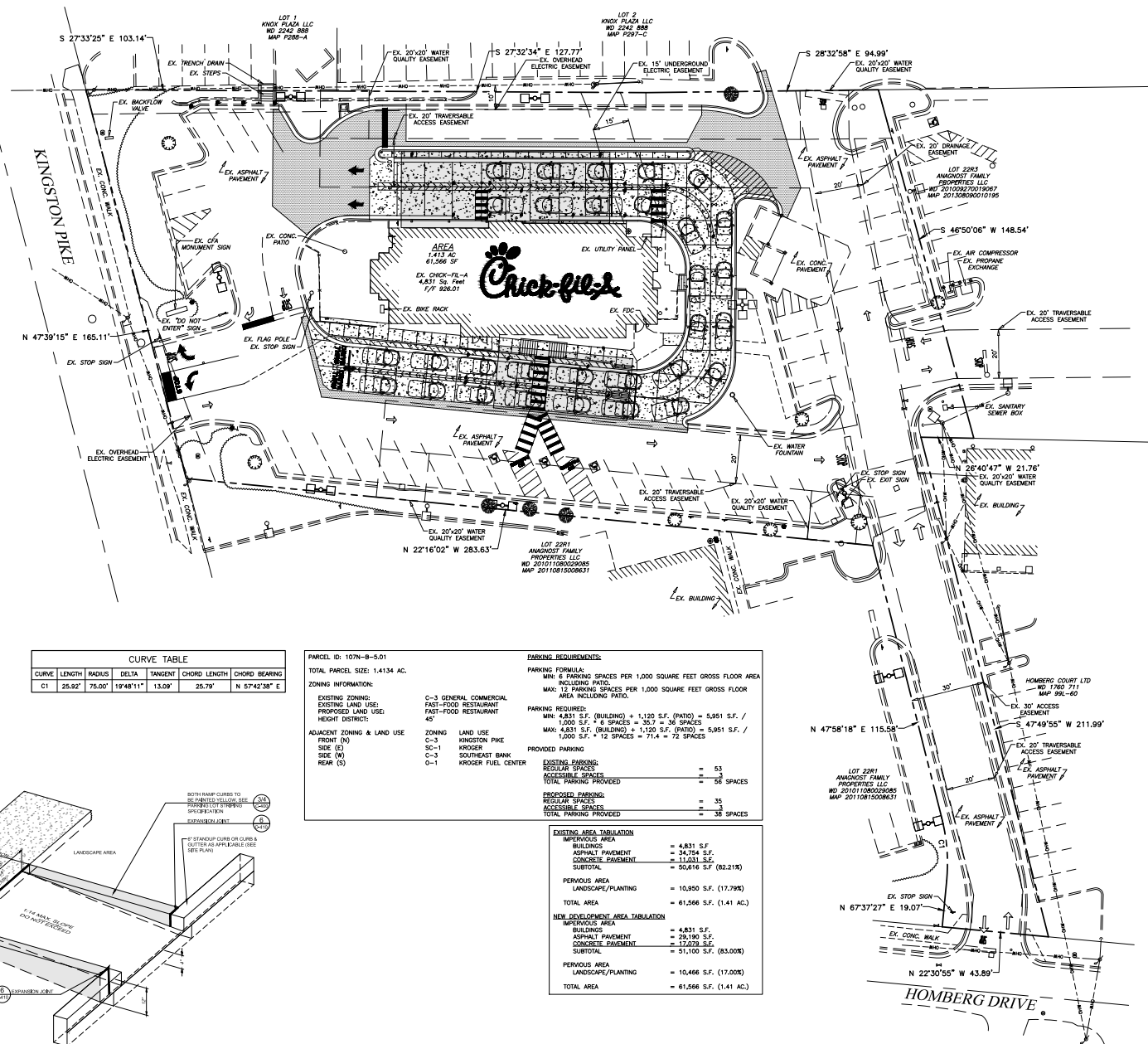
REVISION	SCHEDULE NO.	DATE	DESCRIPTION

GBC PROJECT # 43105A
PRINTED FOR Permit
DATE 11/04/21
DRAWN BY B.A.W.

Information contained on this drawing is the property of GBC Design, Inc. and shall not be used for any other project without the written consent of GBC Design, Inc. This drawing is not a contract. See contract documents for complete project requirements.

SHEET
DEMOLITION PLAN

Permit
SHEET NUMBER C-110



LEGEND

- PROP. FIRE HYDRANT
- ▲ EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX W/LET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- PROP. ACCESSIBLE RAMP - RAMP IS NOT TO BE SCORED OR GROOVED
- EX. CURB
- PROP. CURB & GUTTER
- PROP. ASPHALT PAVEMENT
- PROP. CONCRETE PAVEMENT/WALK

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	25.92'	75.00'	19°48'11"	13.09'	25.79'	N 57°42'38" E

PARCEL ID: 107N-B-5.01
 TOTAL PARCEL SIZE: 1,4134 AC.
 ZONING INFORMATION:
 EXISTING ZONING: C-3 GENERAL COMMERCIAL
 PROPOSED LAND USE: FAST-FOOD RESTAURANT
 HEIGHT DISTRICT: 45'
 ADJACENT ZONING & LAND USE:
 FRONT (N): C-3 KINGSTON PIKE
 SIDE (E): SC-1 KROGER
 SIDE (W): C-3 SOUTHEAST BANK
 REAR (S): O-1 KROGER FUEL CENTER

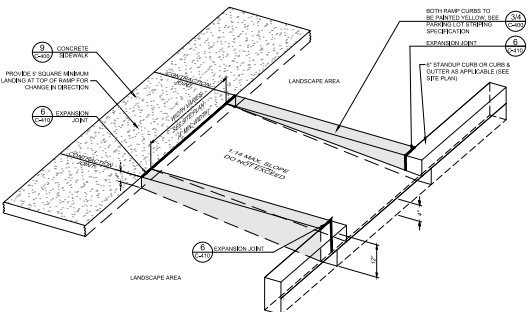
PARKING REQUIREMENTS:
 PARKING FORMULA:
 MIN: 6 PARKING SPACES PER 1,000 SQUARE FEET GROSS FLOOR AREA INCLUDING PATIO.
 MAX: 12 PARKING SPACES PER 1,000 SQUARE FEET GROSS FLOOR AREA INCLUDING PATIO.
 PARKING REQUIRED:
 MIN: 4,831 S.F. (BUILDING) = 1,120 S.F. (PATIO) = 5,951 S.F. / 1,000 S.F. = 6 SPACES = 36 SPACES
 MAX: 4,831 S.F. (BUILDING) + 1,120 S.F. (PATIO) = 5,951 S.F. / 1,000 S.F. = 12 SPACES = 72 SPACES
 PROVIDED PARKING:
 EXISTING PARKING:
 REGULAR SPACES = 53
 ACCESSIBLE SPACES = 3
 TOTAL PARKING PROVIDED = 56 SPACES
 PROPOSED PARKING:
 REGULAR SPACES = 35
 ACCESSIBLE SPACES = 3
 TOTAL PARKING PROVIDED = 38 SPACES

EXISTING AREA TABULATION

IMPERVIOUS AREA	
BUILDINGS	= 4,831 S.F.
ASPHALT PAVEMENT	= 34,754 S.F.
CONCRETE PAVEMENT	= 11,033 S.F.
SUBTOTAL	= 50,618 S.F. (82.21%)
PERVIOUS AREA	
LANDSCAPE/PLANTING	= 10,950 S.F. (17.79%)
TOTAL AREA	= 61,568 S.F. (1.41 AC.)

NEW DEVELOPMENT AREA TABULATION

IMPERVIOUS AREA	
BUILDINGS	= 4,831 S.F.
ASPHALT PAVEMENT	= 29,190 S.F.
CONCRETE PAVEMENT	= 12,070 S.F.
SUBTOTAL	= 51,100 S.F. (83.00%)
PERVIOUS AREA	
LANDSCAPE/PLANTING	= 10,468 S.F. (17.00%)
TOTAL AREA	= 61,568 S.F. (1.41 AC.)



63 RETURNED CURB ACCESSIBLE RAMP
 NOT TO SCALE

FLOOD ZONE ASSIGNMENT: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ON FLOOD INSURANCE RATE MAP NO. 4708302278C, WITH AN EFFECTIVE DATE OF AUGUST 5, 2013, IN SHER COUNTY, STATE OF TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

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1-F-22-SU
 12/20/2021



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 KNOXVILLE, TN 37919

FSU# 02847

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

Permit
 SHEET NUMBER
 C-200

NOTE: FOR CONCRETE PAVEMENT CONSTRUCTION - SEE JOINING DETAILS 7, 8, 9, & 10 ON SHEET C-410 AND DETAIL 1 ON SHEET C-440.

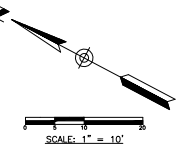
SITE PLAN DESIGN NOTES & KEY PLAN

- 1 PAINTED DIRECTIONAL ARROW DETAIL 1/C-400
- 2 PAINTED DRIVE-THRU GRAPHICS DETAIL 2/C-400
- 3 PAINTED STOP LINE GRAPHIC DETAIL 2/C-400
- 4 PAINTED ACCESSIBILITY-PARKING-SYMBOL DETAIL 2/C-400
- 5 ACCESSIBLE-PARKING-STALL DETAIL-38A/6-400
- 6 60" PARKING STALL DETAIL 4/C-400
- 7 90" PARKING-STALL DETAIL 5/C-400
- 8 DIRECTIONAL-SIGNAGE-SEE-SIGNAGE-PACKAGE DETAIL-76/6-400
- 9 "STOP" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-76/6-400
- 10 "ACCESSIBLE-PARKING" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-6/6-400
- 11 "FOUR-SIDE-DELIVERY" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-6/6-400
- 12 "RIGHT-TURN-ONLY" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-76/6-400
- 13 "ONE-WAY" SIGN (USE APPLICABLE DIRECTION)-SEE-SIGNAGE-PACKAGE DETAIL-76/6-400
- 14 "LEFT-TURN-ONLY" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-76/6-400
- 15 "PEDESTRIAN-CROSSWALK" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-76/6-400
- 16 "DO-NOT-ENTER" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-77/6-400
- 17 "NO-PARKING" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-77/6-400
- 18 "TWO-ORDER-LANES" SIGN-SEE-SIGNAGE-PACKAGE DETAIL-77/6-400

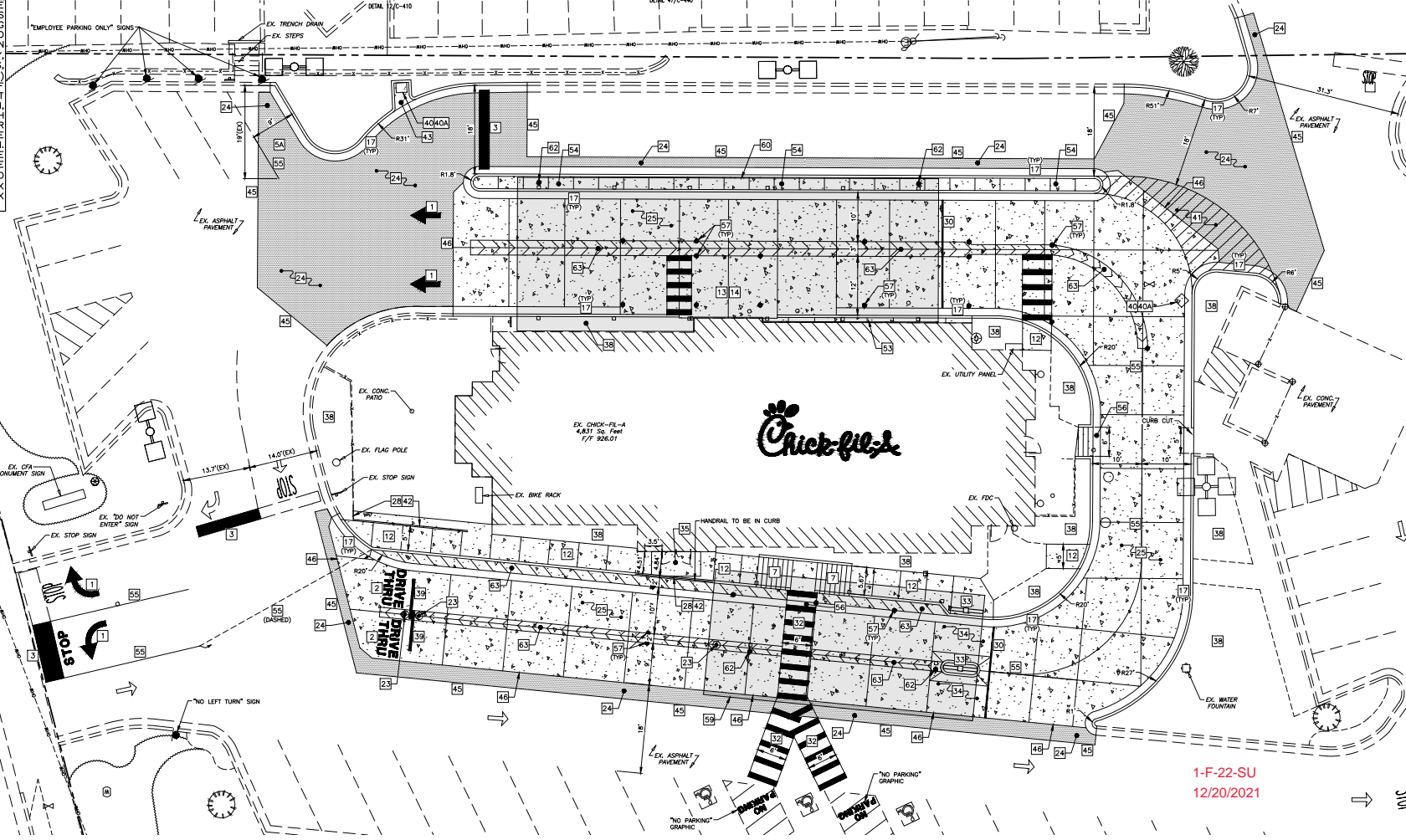
- 19 "MEAL-DELIVERY-ZONE" SIGN DETAIL-56/6-400
- 20 BOLLARD-MOUNTED-SIGN DETAIL-5/6-400
- 21 SIDEWALK ACCESSIBLE RAMP DETAIL 3/C-410
- 22 CURB-RAMP-WITH-FLARED-SIDES DETAIL-5/6-410
- 23 CURB-RAMP-WITH-SHORT-FLARED-SIDES DETAIL-5/6-410
- 24 RETELECTABLE-MARKING-BEVEGE DETAIL-6/6-410
- 25 CONCRETE-GREENWALK DETAIL-10/6-400
- 26 SIDEWALK WITH CURB & GUTTER DETAIL 10/C-400
- 27 DRIVE-THRU PLAN - 2" BELOW FFE DETAIL 12/C-430
- 28 DRIVE-THRU PLAN - FLUSH-WITH-FFE DETAIL-8/6-400
- 29 DRIVE-THRU ISOMETRIC DETAIL 9/C-430
- 30 GROUND-PLASTIC-WHEEL-STOP DETAIL-5/6-410
- 31 LANDSCAPE & IRRIGATION-PROTECTOR DETAIL-14/6-410
- 32 CONCRETE CURB & GUTTER - TYPE "B" DETAIL 11/C-400
- 33 CONCRETE CURB & GUTTER - TYPE "H" MOUNTABLE DETAIL-11B/6-400
- 34 ROLL-OVER/MOUNTABLE-CURB DETAIL-11/6-400
- 35 SCREENED-REFUSE-ENCLOSURE DETAIL-6/6-400
- 36 SCREENED-REFUSE-ENCLOSURE-SPANNER DETAIL-3/6-400
- 37 SCREENED-REFUSE-ENCLOSURE-ALTERNATE-DRAINAGE DETAIL-4/6-400
- 38 CONCRETE BOLLARD DETAIL 5/C-400
- 39 TYPICAL ASPHALT PAVEMENT SECTION DETAIL 2/C-400
- 40 CONCRETE PAVING DRIVE-THRU LANE DETAIL 2/C-400
- 41 CONCRETE-PAVEMENTS DETAIL 12/C-410
- 42 CONCRETE-APRON-TRASH-ENCLOSURE DETAIL 8/C-420
- 43 ALUMINUM HANDRAIL DETAIL 8/C-420
- 44 TYPICAL-ADA-RAMP-AND-HANDRAIL DETAIL 9/C-420
- 45 EXPANSION JOINT DETAIL 6/C-410
- 46 MULTI-LANE-DIRECTIONAL-GRAPHICS DETAIL-6/6-400
- 47 CROSSWALK MARKING DETAIL 7/C-420
- 48 DRIVE-THRU ORDER POINT ISLAND DETAIL 7/C-400
- 49 MENU BOARD LOOP DETECTION SYSTEM DETAIL 5 & 6/C-430
- 50 5'x5' LANDING AND ENTRY DOOR FROST SLAB DETAIL 10/C-430
- 51 GREASE-TRAP-SEE-UTILITY-PLAN DETAIL-10/6-400
- 52 BUILDING-DOWNSPOUT-CONNECTION-TO-CONNECT-TO-SITE-DRAINAGE-SYSTEM-LANDSCAPED AREA (SEE LANDSCAPE PLAN) DETAIL 10/C-430
- 53 DRIVE-THRU CLEARANCE BAR DETAIL 12/C-430
- 54 TYPICAL SECTION AT STORM/SANITARY STRUCTURE DETAIL 11/6-400
- 55 STORM WEEP HOLE DETAIL DETAIL 40A/6/C-440
- 56 PAVEMENT STRIPING AREA DETAIL 41/C-440
- 57 THICKENED SLAB EDGE AT RAILING CORE-DRILLS DETAIL 42/C-440
- 58 CONCRETE FLUME DETAIL 43/C-440
- 59 EX-ASPHALT / PROP.-CONCRETE-INTERFACE DETAIL-44/6-400
- 60 BUTT JOINT (ASPHALT) DETAIL 4/C-420
- 61 BUTT JOINT (CONCRETE) DETAIL-7/6-410
- 62 PAVEMENT EDGE DETAIL DETAIL 47/6-440
- 63 SINGLE-BIKE-RACK DETAIL 8/6-400
- 64 RELOCATED-TRANSFORMER DETAIL 9/6-400
- 65 CHICK-FIL-A PRIME-SIGN-SEE-SIGNAGE-PACKAGE DETAIL 5/6-410
- 66 RELOCATED-FLAGPOLE DETAIL 6/6-410
- 67 RETAINING-WALL-WITH-42" HANDRAIL DETAIL 6/6-400
- 68 OUTDOOR PATIO SPACE. SEE ARCHITECTURAL PLANS SHEET A-101 DETAIL 7/C-420
- 69 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB DETAIL 5 & 6/C-430
- 70 4" THICK CONCRETE STRIP BETWEEN CURBS DETAIL 10/C-430
- 71 4" WIDE PAINT STRIPE DETAIL 5/6-400
- 72 CURB & GUTTER AT ACCESSIBLE RAMP DETAIL 5/6-400
- 73 MAGNETIC DELINEATOR DETAIL 57/C-440
- 74 GASH-STATION-LOCATION DETAIL 57/C-440
- 75 PROPOSED 2'x2' CANOPY - SEE CANOPY PLANS DETAIL 57/C-440
- 76 PROPOSED 6'x6' CANOPY - SEE CANOPY PLANS DETAIL 57/C-440
- 77 TYPICAL SECTION AT STORM/SANITARY STRUCTURE DETAIL 11/6-400
- 78 GWT-BLOCKS-AT-REAR-OF-DUMPMSTER-ENCLOSURE-SEE-DETAIL-SHEET-C-430 DETAIL 6/6-400
- 79 STORM SINKER CLEWOUT DETAIL DETAIL 62/C-440
- 80 STRIPING PER CHICK-FIL-A DUAL FLEX LANE REQUIREMENTS DETAIL 62/C-440

LEGEND

- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. BOB INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- ▭ PROP. ACCESSIBLE RAMP - RAMP IS NOT TO BE SCORED OR GROoved
- ▭ EX. CURB
- ▭ PROP. CURB & GUTTER
- ▭ PROP. ASPHALT PAVEMENT
- ▭ PROP. CONCRETE PAVEMENT/WALK



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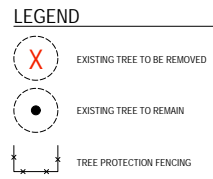
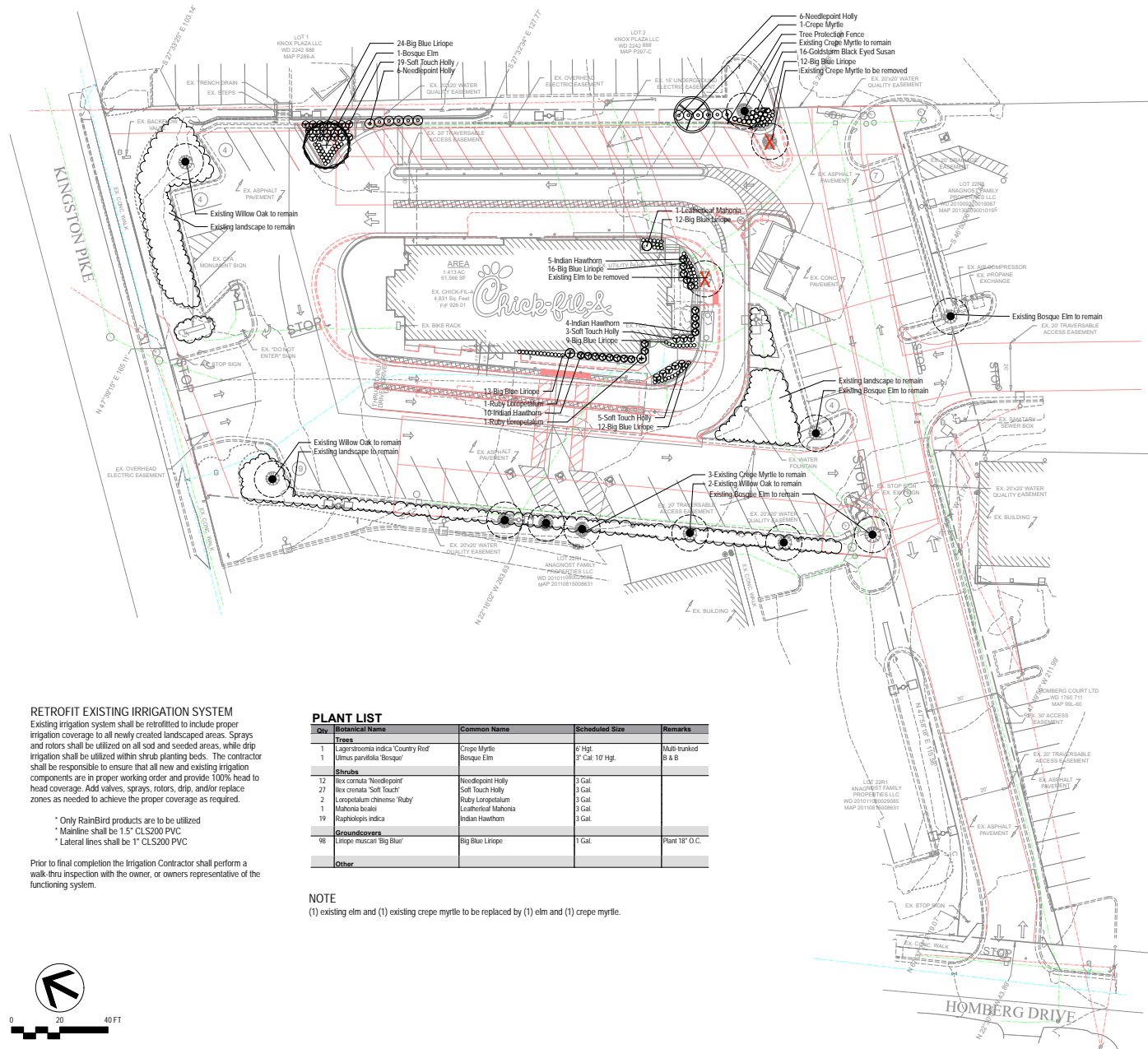
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FSU# 02847

REVISION SCHEDULE	DATE	DESCRIPTION

FILE NO. 1-F-22-SU
GBC PROJECT # 43105A
PRINTED FOR Permit
DATE 11/04/21
DRAWN BY B.A.W.
SHEET SITE PLAN
DETAIL DETAIL
SHEET NUMBER C-210

1-F-22-SU
12/20/2021



- ### LANDSCAPE NOTES
- ATLANTIC:**
- Landscape Contractor to read and understand the Landscape Specifications (sheet L-100) prior to finalizing bids. The Landscape Specifications shall be added to throughout the construction process.
 - Contractor is responsible for locating and protecting all underground utilities prior to digging. Contractor is responsible for protecting existing trees from damage during construction.
 - All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
 - All tree protection areas to be protected from sedimentation.
 - All tree protection fencing to be inspected daily, and repaired or replaced as needed.
 - No parking, storage or other construction activities are to occur within tree protection areas.
 - All planting areas shall be cleaned of construction debris (i.e. concrete, rock, rubble, building materials, etc.) prior to adding and spreading of the topsoil.
 - General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
 - In all parking lot islands, the General Contractor is responsible to remove all debris, hardscape/soil subgrade to a min. 24" depth. Add topsoil to a 6" 8" beam height above island curbing refer to landscape specifications, and landscape island detail.
 - Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approval topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
 - Any deviations from the approved set of plans are to be approved by the Landscape Architect.
 - Landscaping shall be installed in conformance with ANSI Z60.1 "The American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
 - Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
 - Soil to be tested to determine fertilizer and lime requirements prior to laying soil.
 - Annual and perennial beds: add min. 4 inch layer of organic material and fill to a min. depth of 12 inches. Match annual and perennial beds with 2-3 inch depth of mini muggers.
 - All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (mulch type to be double shredded hardwood mulch).
 - Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
 - Soil to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds to be "Y" trenched, see Landscape Details.
 - Any existing grass disabled during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
 - Water thoroughly twice in first 24 hours and apply mulch immediately.
 - The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for warranty requirements/specifications.
 - Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/specifications.
 - Existing irrigation system shall be retrofitted as needed to provide 100% head to head coverage in all new and existing landscaped areas; see Detail notes for guidelines.
 - Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
 - Remove stakes and gaffing from all trees after one year from planting.

PLANT LIST

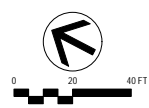
Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
1	Lagerstroemia indica 'Country Red'	Crape Myrtle	6' Hgt.	Multi-trunked
1	Ulmus parvifolia 'Bosque'	Bosque Elm	3" Cal. 10' Hgt.	B & B
Shrubs				
12	Ilex cornuta 'Needlepoint'	Needlepoint Holly	3 Gal.	
27	Ilex crenata 'Soft Touch'	Soft Touch Holly	3 Gal.	
2	Loropetalum chinense 'Ruby'	Ruby Loropetalum	3 Gal.	
1	Mahonia bealei	Leatherleaf Mahonia	3 Gal.	
19	Raphiolepis indica	Indian Hawthorn	3 Gal.	
Groundcovers				
98	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	Plant 18" O.C.
Other				

NOTE
 (1) existing elm and (1) existing crape myrtle to be replaced by (1) elm and (1) crape myrtle.

RETROFIT EXISTING IRRIGATION SYSTEM
 Existing irrigation system shall be retrofitted to include proper irrigation coverage to all newly created landscaped areas. Sprays and rotors shall be utilized on all sod and seeded areas, while drip irrigation shall be utilized within shrub planting beds. The contractor shall be responsible to ensure that all new and existing irrigation components are in proper working order and provide 100% head to head coverage. Add valves, sprays, rotors, drip, and/or replace zones as needed to achieve the proper coverage as required.

- * Only RainBird products are to be utilized
- * Mainline shall be 1.5" CLS200 PVC
- * Lateral lines shall be 1" CLS200 PVC

Prior to final completion the Irrigation Contractor shall perform a walk-thru inspection with the owner, or owners representative of the functioning system.



1-F-22-SU
 12/20/2021

Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

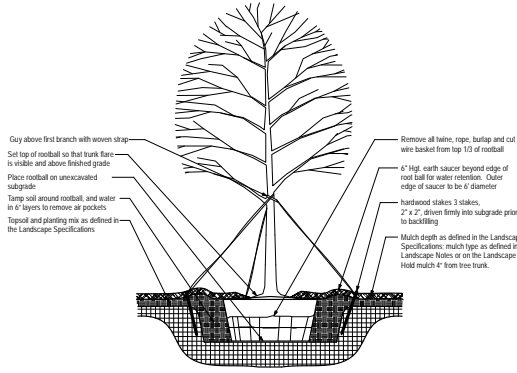
manley
 LANDSCAPE ARCHITECTURE
 Landscape Architecture
 770.442.8171 tel
 770.442.1123 fax
 Manley Land Design, Inc.
 5116 Canton Street
 Alpharetta, Georgia 30009
 manleylanddesign.com

CHICK-FIL-A
HOMBERG DRIVE FSU
CUSTOM PROJECT SOLUTIONS
 4944 KINGSFORT PIKE
 KNOXVILLE, TN 37919

FSU# 02847

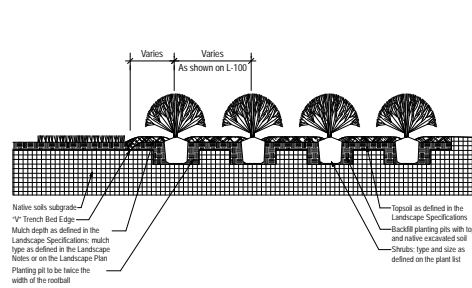
PERMIT

FILE NO.	1-F-22-SU
REVISION SCHEDULE	NO. DATE DESCRIPTION
M.D. PROJECT #	2021269
PRINTED FOR	PERMIT
DATE	11.22.21
DRAWN BY	KCN
Information contained on this drawing and all other files prepared by other means under the direct supervision and professional control of the architect.	
SHEET	
Landscape Plan	
SHEET NUMBER	L-100



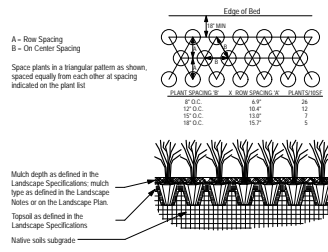
- NOTE**
- Hole to be twice the width of the rootball.
 - Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches. Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
 - Remove Guy Wires and Staking when warranty period has expired (after one year).

1 TREE PLANTING & STAKING
SCALE: NTS



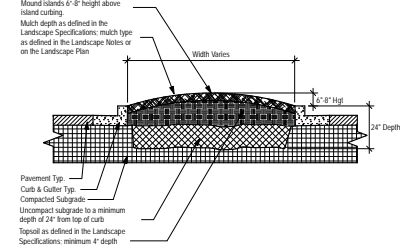
- NOTE**
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
 - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
 - Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

2 SHRUB BED PLANTING DETAIL
SCALE: NTS



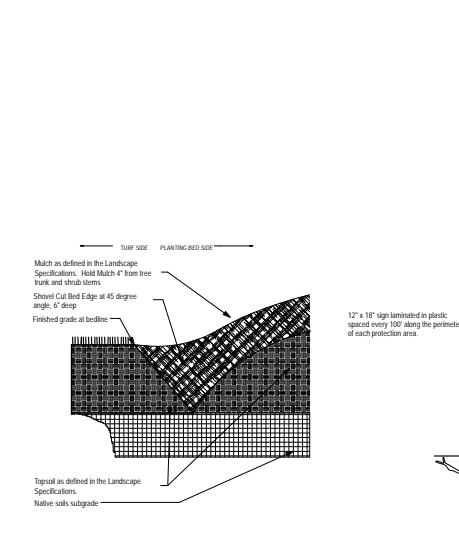
- NOTE**
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
 - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
 - Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

3 GROUNDCOVER PLANTING DETAIL
SCALE: NTS

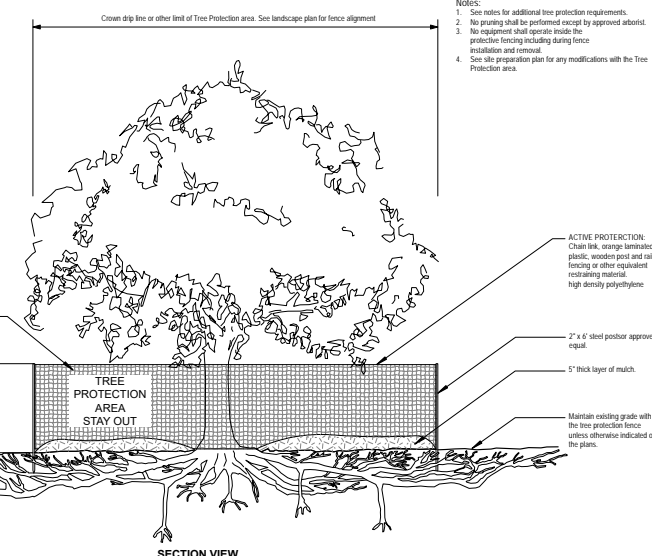


- NOTE**
- Clean construction debris from within landscape island areas (i.e. concrete, rocks, rubble, building materials, etc), prior to installing topsoil and plant material.
 - Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum bottom 6" height above island cutting.
 - Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
 - Install mulch or sod as specified on the Landscape Plan, and as defined in the Landscape Specifications.

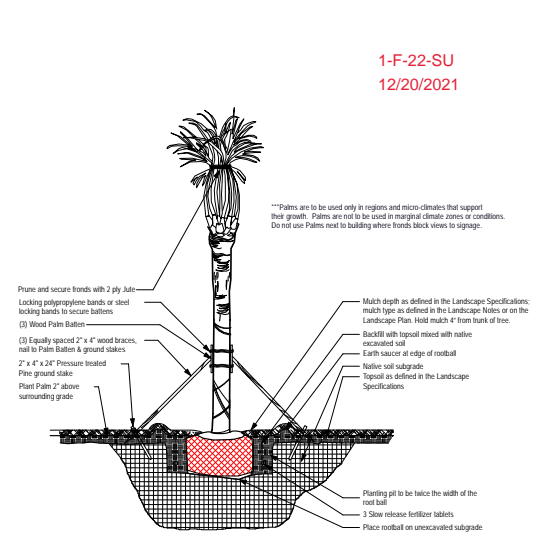
4 PAVING ISLAND DETAIL
SCALE: NTS



5 "V" TRENCH BED EDGING
SCALE: NTS



6 TREE PROTECTION FENCING DETAIL
SCALE: NTS



7 PALM PLANTING & STAKING DETAIL
SCALE: NTS

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

manley
L A N D S C A P E A R C H I T E C T U R E
Landscape Architecture
770.442.8171 tel
770.442.1123 fax
Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
manleylanddesign.com

CHICK-FIL-A
HOMBERG DRIVE FSU
CUSTOM PROJECT SOLUTIONS
4944 KINGSTON PIKE
KNOXVILLE, TN 37919

FSU# 02847

REVISION SCHEDULE	NO.		DATE		DESCRIPTION
	NO.	DATE	NO.	DATE	
FILE NO. 1-F-22-SU					
MLO PROJECT #	2021269				
PRINTED FOR	PERMIT				
DATE	11.22.21				
DRAWN BY	KCN				

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PERMIT Landscape Details

SHEET NUMBER **L-101**



REV.	DATE	BY	DESCRIPTION



PERMIT SET



1019 E. North Street
Ottawa, Kansas 66067
Phone: 785-242-2111
Fax: 785-242-2022

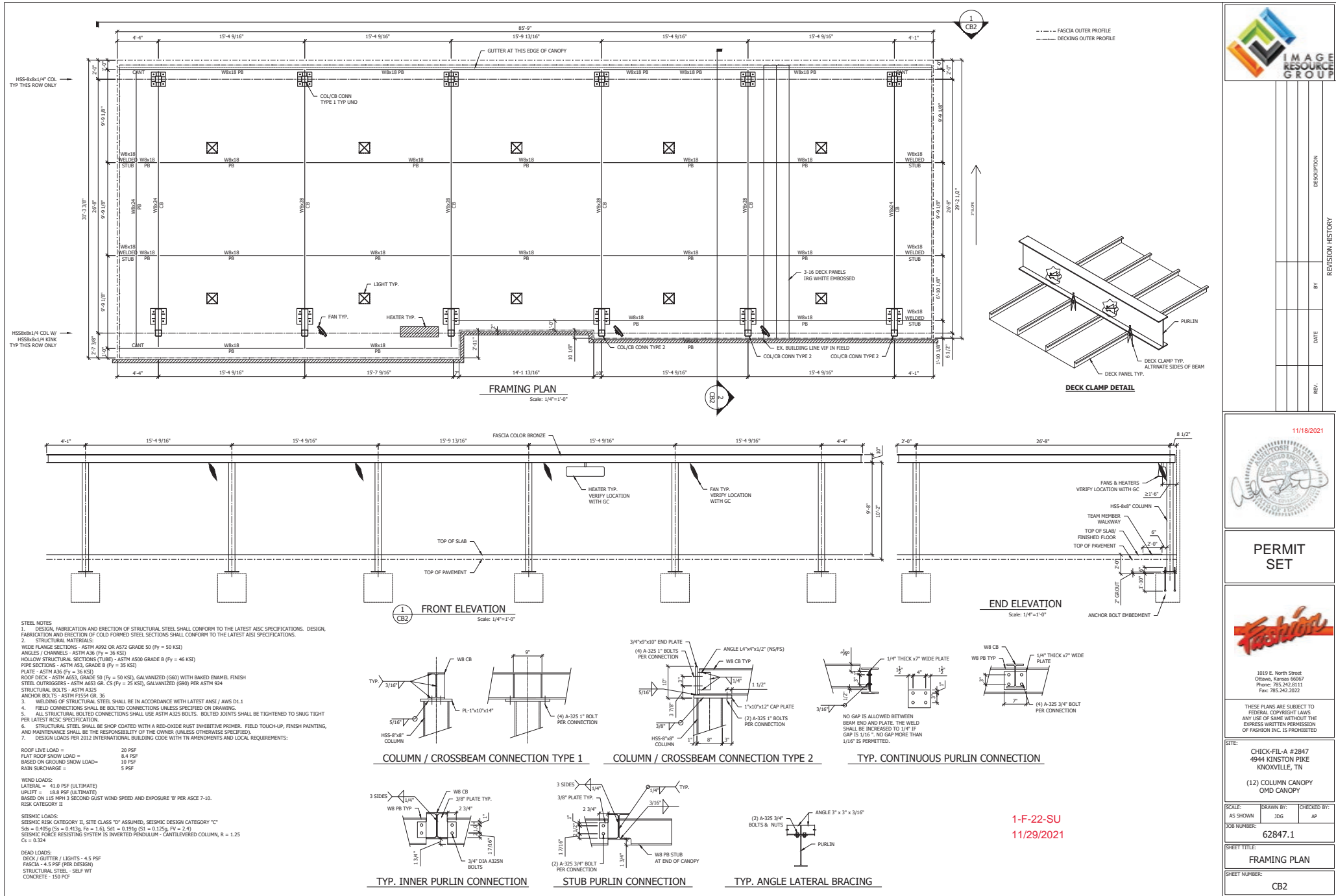
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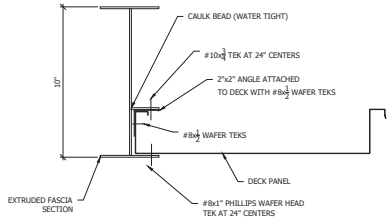
SITE: CHICK-FIL-A #2847
4944 KINSTON PIKE
KNOXVILLE, TN
(12) COLUMN CANOPY OMD CANOPY

SCALE: AS SHOWN DRAWN BY: JCG CHECKED BY: AP
JOB NUMBER: 62847.1

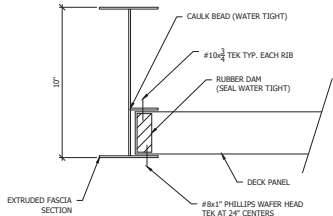
SHEET TITLE: **FRAMING PLAN**

SHEET NUMBER: **CB2**

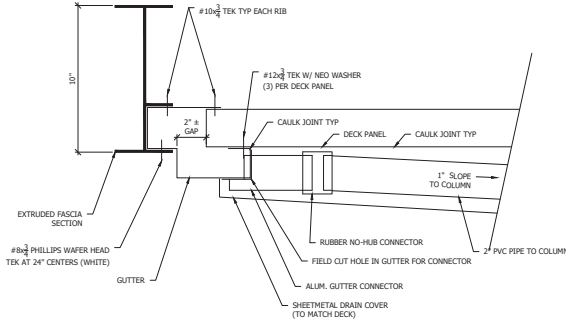




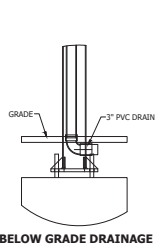
FASCIA SECTION (ENDS)



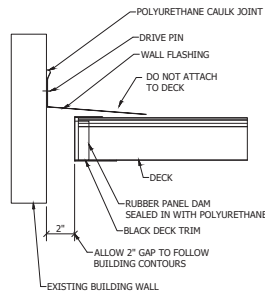
FASCIA SECTION (SIDE WITHOUT GUTTER)



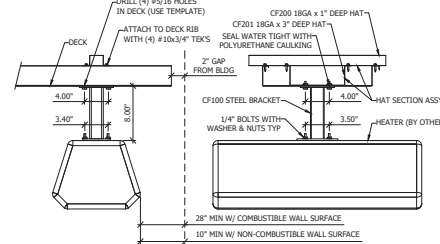
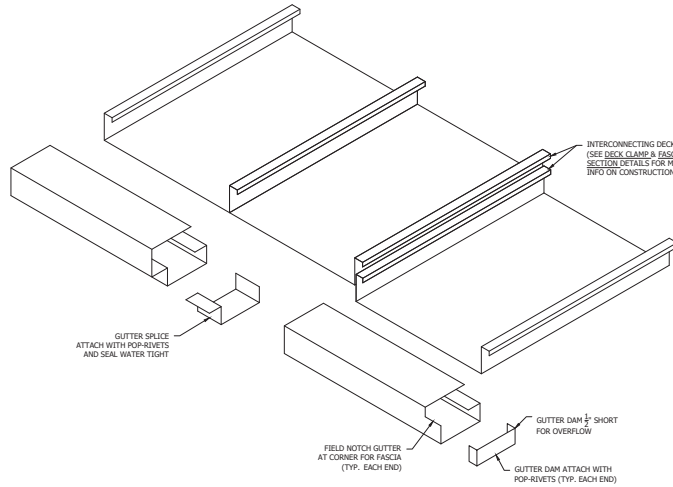
FASCIA / GUTTER SECTION W/ UNDERGROUND DRAINAGE



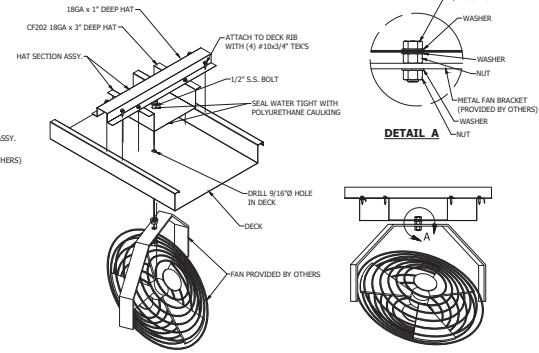
BELOW GRADE DRAINAGE



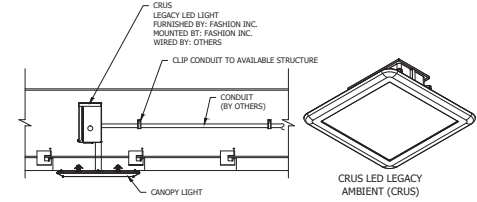
BUILDING FLASHING DETAIL



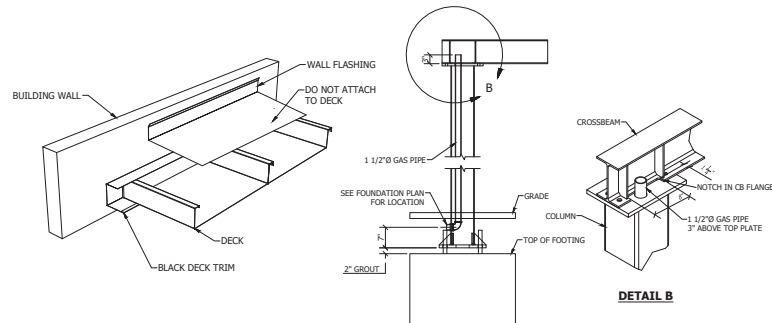
HEATER BRACKET DETAIL



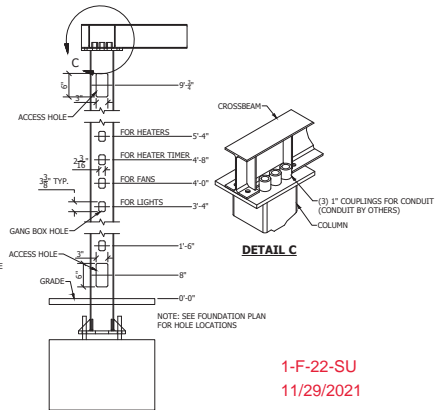
FAN BRACKET DETAIL



CANOPY LIGHT DETAIL



GAS PIPE DETAIL



ACCESS HOLE / GANG BOX HOLE DETAIL



REV.	DATE	BY	DESCRIPTION



PERMIT SET



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Ottawa, Kansas 66067
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Fax: 785-242-2022

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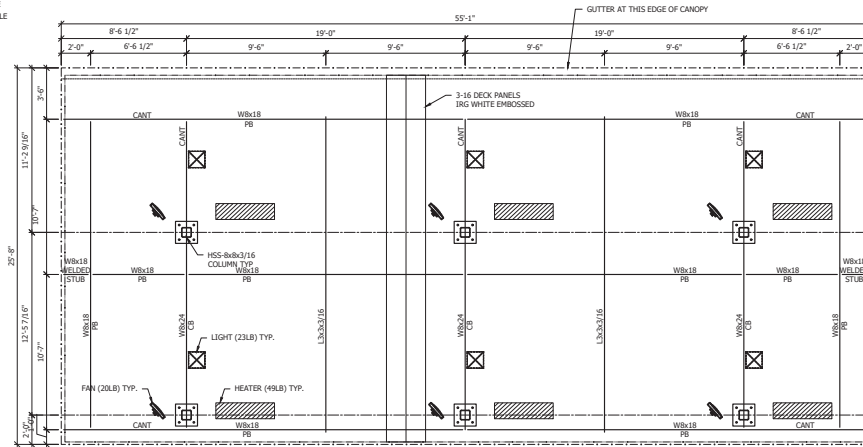
DATE: CHICK-FIL-A #2847
4944 KINSTON PIKE
KNOXVILLE, TN

(12) COLUMN CANOPY
OMD CANOPY

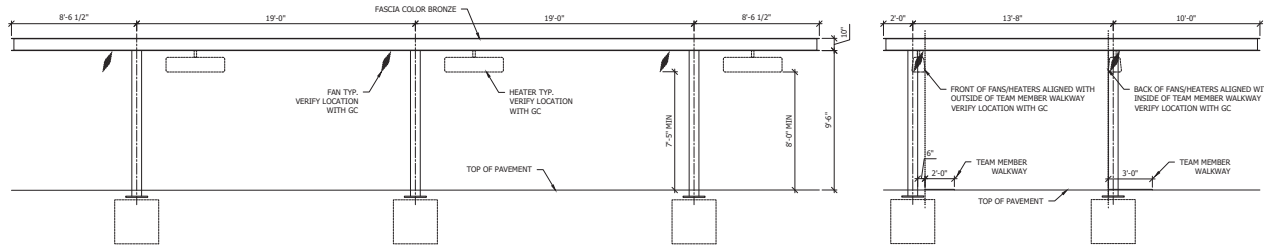
SCALE: AS SHOWN DRAWN BY: JDE CHECKED BY: AP
JOB NUMBER: 62847.1
SHEET TITLE: STANDARD DETAILS
SHEET NUMBER: CB3

1-F-22-SU
11/29/2021

--- FASCIA OUTER PROFILE
 --- DECKING OUTER PROFILE



FRAMING PLAN
 Scale: 1/4"=1'-0"



SIDE ELEVATION
 Scale: 1/4"=1'-0"

END ELEVATION
 Scale: 1/4"=1'-0"

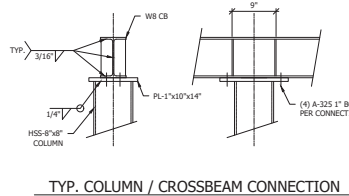
STEEL NOTES:
 1. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS. DESIGN, FABRICATION AND ERECTION OF COLD FORMED STEEL SECTIONS SHALL CONFORM TO THE LATEST AISI SPECIFICATIONS.
 2. STRUCTURAL MATERIALS:
 WIDE FLANGE SECTIONS - ASTM A992 OR A572 GRADE 50 (F_y = 50 KSI)
 ANGLES / CHANNELS - ASTM A36 (F_y = 36 KSI)
 HOLLOW STRUCTURAL SECTIONS (TUBE) - ASTM A500 GRADE B (F_y = 46 KSI)
 PIPE SECTIONS - ASTM A53, GRADE B (F_y = 35 KSI)
 PLATE - ASTM A36 (F_y = 36 KSI)
 ROOF DECK - ASTM A653, GRADE 50 (F_y = 50 KSI), GALVANIZED (G60) WITH BAKED ENAMEL FINISH
 STEEL OUTRIGGERS - ASTM A653 GR. C5 (F_y = 25 KSI), GALVANIZED (G90) PER ASTM 924
 STRUCTURAL BOLTS - ASTM A325
 ANCHOR BOLTS - ASTM F1554 GR. 36
 3. WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH LATEST AWS / AWS D1.1
 4. FIELD CONNECTIONS SHALL BE BOLTED CONNECTIONS UNLESS SPECIFIED ON DRAWING.
 5. ALL STRUCTURAL BOLTED CONNECTIONS SHALL USE ASTM A325 BOLTS. BOLTED JOINTS SHALL BE TIGHTENED TO SNUG TIGHT PER LATEST AISC SPECIFICATION.
 6. STRUCTURAL STEEL SHALL BE SHOP COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER. FIELD TOUCH-UP, FINISH PAINTING, AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER (UNLESS OTHERWISE SPECIFIED).
 7. DESIGN LOADS PER 2012 INTERNATIONAL BUILDING CODE WITH TN AMENDMENTS AND LOCAL REQUIREMENTS:

ROOF LIVE LOAD = 20 PSF
 FLAT ROOF SNOW LOAD = 8.4 PSF
 BASED ON GROUND SNOW LOAD = 10 PSF
 RAIN SURCHARGE = 5 PSF

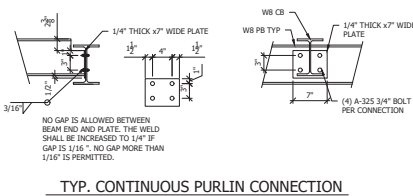
WIND LOADS:
 LATERAL = 41.0 PSF (ULTIMATE)
 UPLIFT = 18.8 PSF (ULTIMATE)
 BASED ON 115 MPH 3 SECOND GUST WIND SPEED AND EXPOSURE 'B' PER ASCE 7-10.
 RISK CATEGORY II

SEISMIC LOADS:
 SEISMIC RISK CATEGORY II, SITE CLASS "D" ASSUMED, SEISMIC DESIGN CATEGORY "C"
 S_{ds} = 0.405g (S_s = 0.413g, P_a = 1.6), S_{d1} = 0.191g (S₁ = 0.125g, P_v = 2.4)
 SEISMIC FORCE RESISTING SYSTEM IS INVERTED PENDULUM - CANTILEVERED COLUMN, R = 1.25
 C_s = 0.324

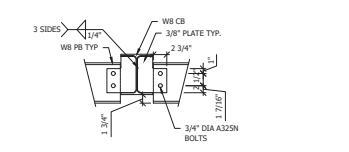
DEAD LOADS:
 DECK / GUTTER / LIGHTS - 4.5 PSF
 FASCIA - 4.5 PSF PER DESIGN
 STRUCTURAL STEEL - SELF WT
 CONCRETE - 150 PCF



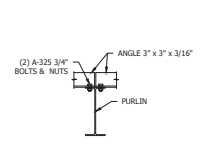
TYP. COLUMN / CROSSBEAM CONNECTION



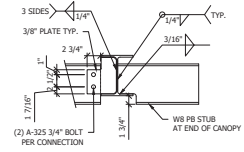
TYP. CONTINUOUS PURLIN CONNECTION



TYP. INNER PURLIN CONNECTION



TYP. ANGLE LATERAL BRACING



TYP. STUB PURLIN CONNECTION

1-F-22-SU
 11/29/2021



REV.	DATE	BY	DESCRIPTION

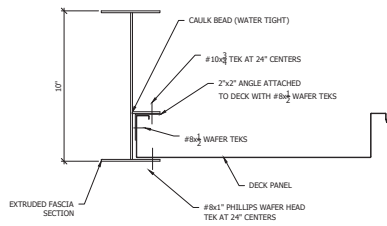


11/18/2021
PERMIT SET

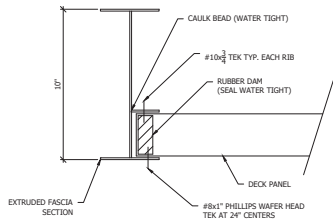


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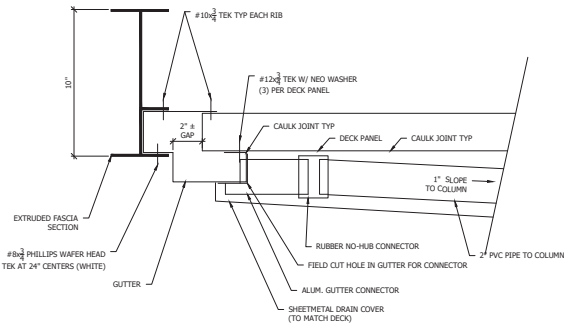
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AS SHOWN	JOG	AP
JOB NUMBER:	62847	
SHEET TITLE:	FRAMING PLAN	
SHEET NUMBER:	CA2	



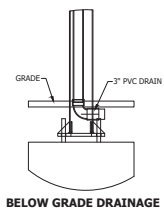
FASCIA SECTION (ENDS)



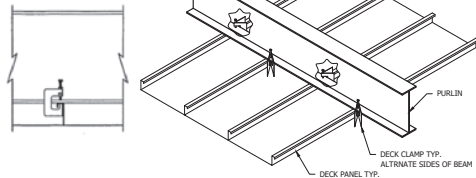
FASCIA SECTION (SIDE WITHOUT GUTTER)



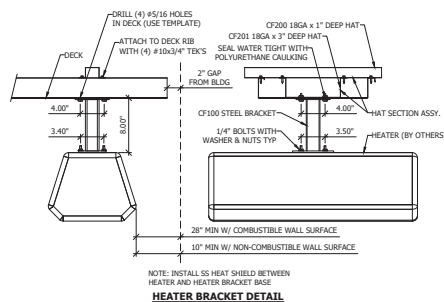
FASCIA / GUTTER SECTION W/ UNDERGROUND DRAINAGE



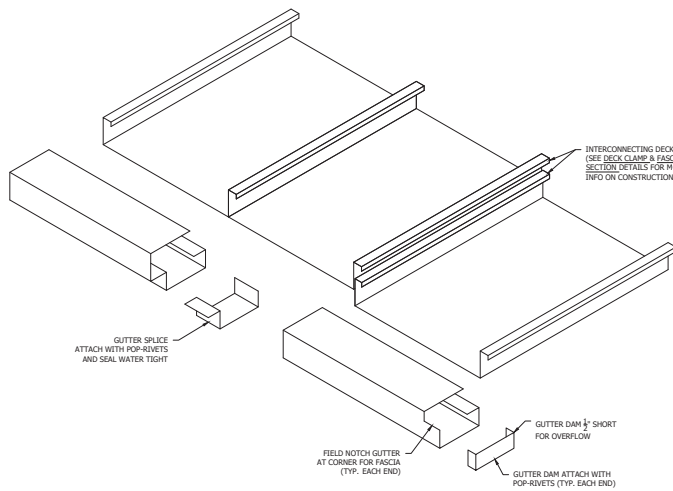
BELOW GRADE DRAINAGE



DECK CLAMP DETAIL



HEATER BRACKET DETAIL



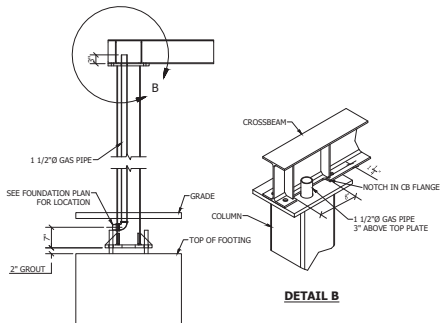
GUTTER SPlice
ATTACH WITH POP-RIVETS
AND SEAL WATER TIGHT

GUTTER DAM 1/2\"/>

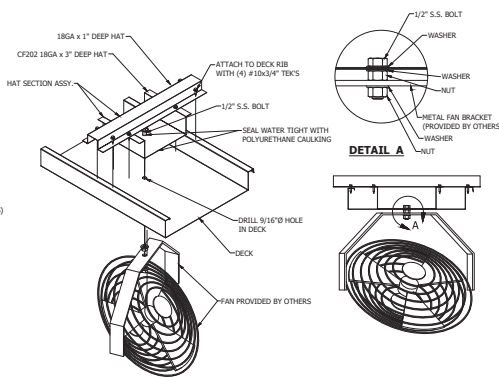
FIELD NOTCH GUTTER
AT CORNERS FOR FASCIA
(TYP. EACH END)

GUTTER DAM ATTACH WITH
POP-RIVETS (TYP. EACH END)

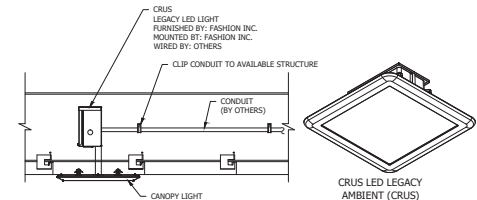
INTERCONNECTING DECK
(SEE DECK CLAMP & FASCIA
SECTION DETAILS OR WISE
INFO ON CONSTRUCTION)



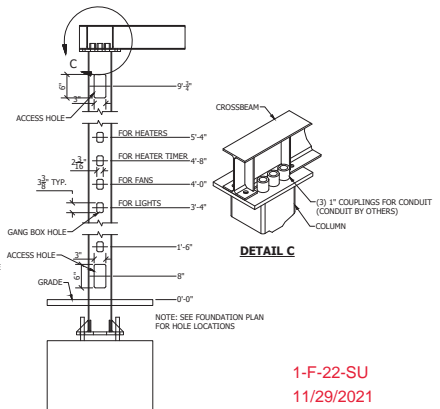
GAS PIPE DETAIL



FAN BRACKET DETAIL



CANOPY LIGHT DETAIL



ACCESS HOLE / GANG BOX HOLE DETAIL

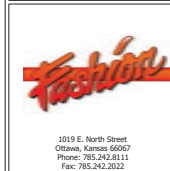
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11/29/2021



NO.	DESCRIPTION	BY	DATE	REV.



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Ottawa, Kansas 66067
Phone: 785-242-8111
Fax: 785-242-2022

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CHICK-FIL-A #2847
4944 KINSTON PIKE
KNOXVILLE, TN

(6) COLUMN CANOPY
F2F CANOPY

SCALE: AS SHOWN DRAWN BY: JDE CHECKED BY: JP
JOB NUMBER: 62847

SHEET TITLE: STANDARD DETAILS

SHEET NUMBER: CA3



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Chick-fil-A, Inc. - Beth Davidson

Lessee

Applicant Name

Affiliation

11/29/2021

1/13/2022

Date Filed

Meeting Date (if applicable)

File Number(s)

1-F-22-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Allan Wiley

GBC Design, Inc.

Name

Company

565 White Pond Drive

Akron

OH

44320

Address

City

State

ZIP

330-836-0228

awiley@gbcdesign.com

Phone

Email

CURRENT PROPERTY INFO

Anagnost Family Properties, LLC

7609 Twining Drive, Knoxville, TN 37919

Owner Name (if different)

Owner Address

Owner Phone

4944 Kingston Pike, Knoxville, TN 37919

107NB00501

Property Address

Parcel ID

KUB

KUB

No

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

Southeast side of Kingston Pike, east of Homberg Dr

1.42 acres

General Location

Tract Size

City County

2nd
District

C-G-1
Zoning District

Restaurant
Existing Land Use

West City

MU-SD WC-1

N/A

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

DEVELOPMENT REQUEST

- Development Plan Use on Review / Special Use Hillside Protection COA
 Residential Non-Residential

Home Occupation (specify) _____

Drive-through facility

Other (specify) _____

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name _____

Unit / Phase Number _____

Combine Parcels

Divide Parcel

Total Number of Lots Created _____

Other (specify) _____

Attachments / Additional Requirements

Related Rezoning File Number

ZONING REQUEST

Zoning Change

Proposed Zoning _____

Plan Amendment Change

Proposed Plan Designation(s) _____

Proposed Density (units/acre) _____

Previous Rezoning Requests _____

Other (specify) _____

Pending Plat File Number

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)
 Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1		Total
0401	Special Use	\$1,500
Fee 2		
Fee 3		

AUTHORIZATION

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

Beth Davidson

Digitally signed by Beth Davidson
Date: 2021.11.22 08:57:45 -05'00'

Chick-fil-A, Inc. - Beth Davidson

11/22/2021

Applicant Signature

Please Print

Date

(404) 305-4152

beth.davidson@cfacorp.com

Phone Number

Email

Michael Reynolds

Digitally signed by Michael Reynolds
Date: 2021.11.30 09:34:59 -05'00'

Michael Reynolds

swm / 11/30/31

Staff Signature

Please Print

Date