SUBDIVISION REPORT - CONCEPT

▸ **FILE #:**	**6-SE-22-C**	**AGENDA ITEM #:**	**29**
		AGENDA DATE:	**6/9/2022**
▸ **SUBDIVISION:**	**KNOXVILLE MULTI-USE STADIUM**		
▸ **APPLICANT/DEVELOPER:**	**RR LAND, LLC**		
OWNER(S):	RR Land, LLC		
TAX IDENTIFICATION:	95 H B 001, 002, 003, 004 & 005 095HC010 & 012	**View map on KGIS**	
JURISDICTION:	City Council District 6		
STREET ADDRESS:	400 E. Jackson Ave. (and 0 E. Jackson Avenue; 0 and 250 Patton Street; 501, 650 and 651 Willow Avenue)		
▸ **LOCATION:**	**Generally bounded to the north by E. Jackson Ave., to the east by Florida St., on the west by Hall of Fame Dr. & to the south of First Creek**		
SECTOR PLAN:	Central City		
GROWTH POLICY PLAN:	N/A		
WATERSHED:	First Creek		
▸ **APPROXIMATE ACREAGE:**	**18 acres**		
▸ **ZONING:**	**I-MU (Industrial Mixed-Use)**		
▸ **EXISTING LAND USE:**	**Vacant land**		
▸ **PROPOSED USE:**	**Commercial subdivision**		
SURROUNDING LAND USE AND ZONING:	North: Warehouses - I-MU (Industrial-Mixed Use) South: First Creek, commercial buildings, and the Austin Homes development East: Warehouses - I-MU (Industrial-Mixed Use) West: S. Hall of Fame and James White Parkway right-of-way		
▸ **NUMBER OF LOTS:**	**7**		
SURVEYOR/ENGINEER:	Brad Salsbury / S&ME, Inc.		
ACCESSIBILITY:	In its final stage, the project will have frontage along E. Jackson Avenue, Florida Street, and Patton Street. Pavement and rights-of-way widths vary.		
▸ **SUBDIVISION VARIANCES REQUIRED:**	**N/A, none requested at this time.**		

STAFF RECOMMENDATION:

▸ **Approve the Concept Plan, subject to six conditions.**

1) Submitting to Planning Commission staff prior to final plat review by the Planning Commission, the certification of design plan approval form as required by the Knoxville-Knox County Subdivision Regulations.
2) Implementation of the improvements associated with the Planned Devleopment for this site (Case File #s 9-A-21-PD and 11-A-21-PD).
3) Obtaining all applicable permits from TDOT for any work within the TDOT right-of-way.
4) Meeting all applicable requirements of the City of Knoxville Engineering Department.
5) Provision of street names which are consistent with the Uniform Street Naming and Addressing System.

6) Installation of all sidewalks, walkways and the public plaza as identified on the site plan. A bond shall be provided to the City of Knoxville Engineering Department by the developer in an amount sufficient to guarantee the installation of the sidewalks unless otherwise agreed upon in the development agreement with the City.

COMMENTS:

This proposal is for a 7-lot subdivision at the future site of the multiuse stadium/mixed-use development. Plats that subdivide property into 6 or more lots are required to submit a concept plan, so the concept plan requires approval by the Planning Commission.

Several road closures have been approved by City Council and are now closed (Case File #s 11-A-21-AC, 11-B-21-SC, 11-C-21-SC, 11-D-21-SC, 1-A-22-SC, 1-B-22-SC, 1-C-22-SC, 1-D-22-SC, 3-A-22-SC, 3-B-22-SC, and 3-C-22-SC). An administrative final plat was approved combining the closed rights-of-way and surrounding properties into one lot.

This concept plan is the first step in establishing the new lots for the stadium and surrounding buildings. The purpose of the subdivision is to establish lots for some of the buildings in order for those buildings to move forward with funding and further site plan development. Lots 3, 5, and 7 will be the site for Buildings A, B, and C. Lots 2, 4, and 6 will be public plazas and will not hold a structure but will instead have access easements in place to serve the surrounding buildings. Lot 1 will house the stadium. The proposed concept plan also shows the reconfiguration of Willow Road. Patton Street will become a driveway in future steps.

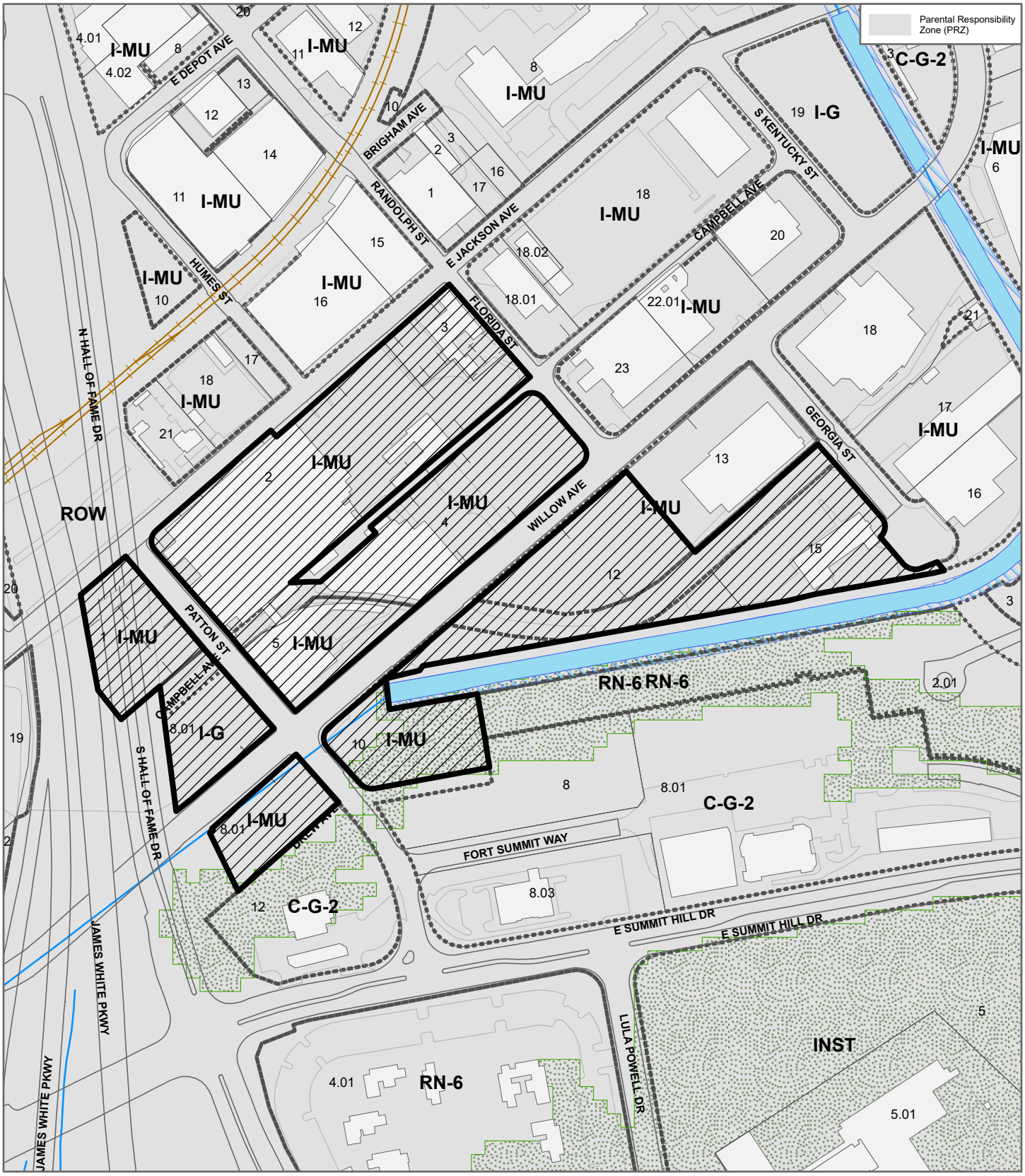
The City of Knoxville requires sidewalks to be installed along road frontages when a property is developed or redeveloped, and sidewalks are proposed around the block containing the stadium and supporting buildings. The applicant has been working with the City's Engineering Department on the roads surrounding the stadium, and the concept plan reflects what Engineering has agreed to. E. Jackson Avenue, Florida Avenue, Patton Street, and Willow Street are shown as what they would be post-construction, including road width, sidewalks, striping, crosswalks, and other similar details.

The plan shows easements for future sidewalks, utilities, and access. The final plat will provide more detail on the various easements that are required and will further define the public plazas. Some variances will be needed, and these would be handled during the final plat process. Variances are required to be heard by the Planning Commission, so the case will be on the Planning Commission agenda once completed. The variances that are known at this time include: elimination of the utility and drainage easements along lot lines and reduction in intersection radii, though it would also include any others that may be identified during the review process.

The concept plan does not introduce any changes to what was approved in the Planned Development (Case File #s 9-A-21-PD and 11-A-21-PD).

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

Knoxville-Knox County Planning Commission's approval or denial of this request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court appeal hearing will depend on when the appeal application is filed.



6-SE-22-C
CONCEPT PLAN

Petitioner: RR Land, LLC

Commercial subdivision in I-MU (Industrial Mixed-Use)

Map No: 95
Jurisdiction: City

0 250
Feet

N

Original Print Date: 5/5/2022 Revised:

*Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902*

CERTIFICATION OF REGISTERED ENGINEER

I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

REGISTERED ENGINEER:
TENNESSEE LICENSE No.:
DATE: _____

CERTIFICATION OF LAND SURVEYOR

I hereby certify that I am a registered land surveyor, licensed to practice surveying under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

REGISTERED LAND SURVEYOR:
TENNESSEE LICENSE No.:
DATE: _____

NOTES

1. THE PROJECT SITE IS SHOWN ON JURISDICTION, TAX MAP 095H, 095A, Groups B, C, M, AS PARCEL 095H, 095A, Groups B, C, M.
2. SUBJECT PROPERTY IS CURRENTLY ZONED I-MU, INDUSTRIAL MIXED USE DISTRICT, FOR ACCURATE INFORMATION CONCERNING ZONING, SETBACK REQUIREMENTS AND RESTRICTIONS CONTACT KNOXVILLE/KNOX COUNTY PLANNING SERVICES AT (865) 215-2500.
3. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY S&ME, INC.DATED 01/04/2021. S&ME INC. AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

NOTE:
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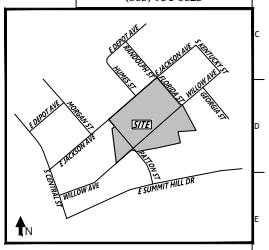
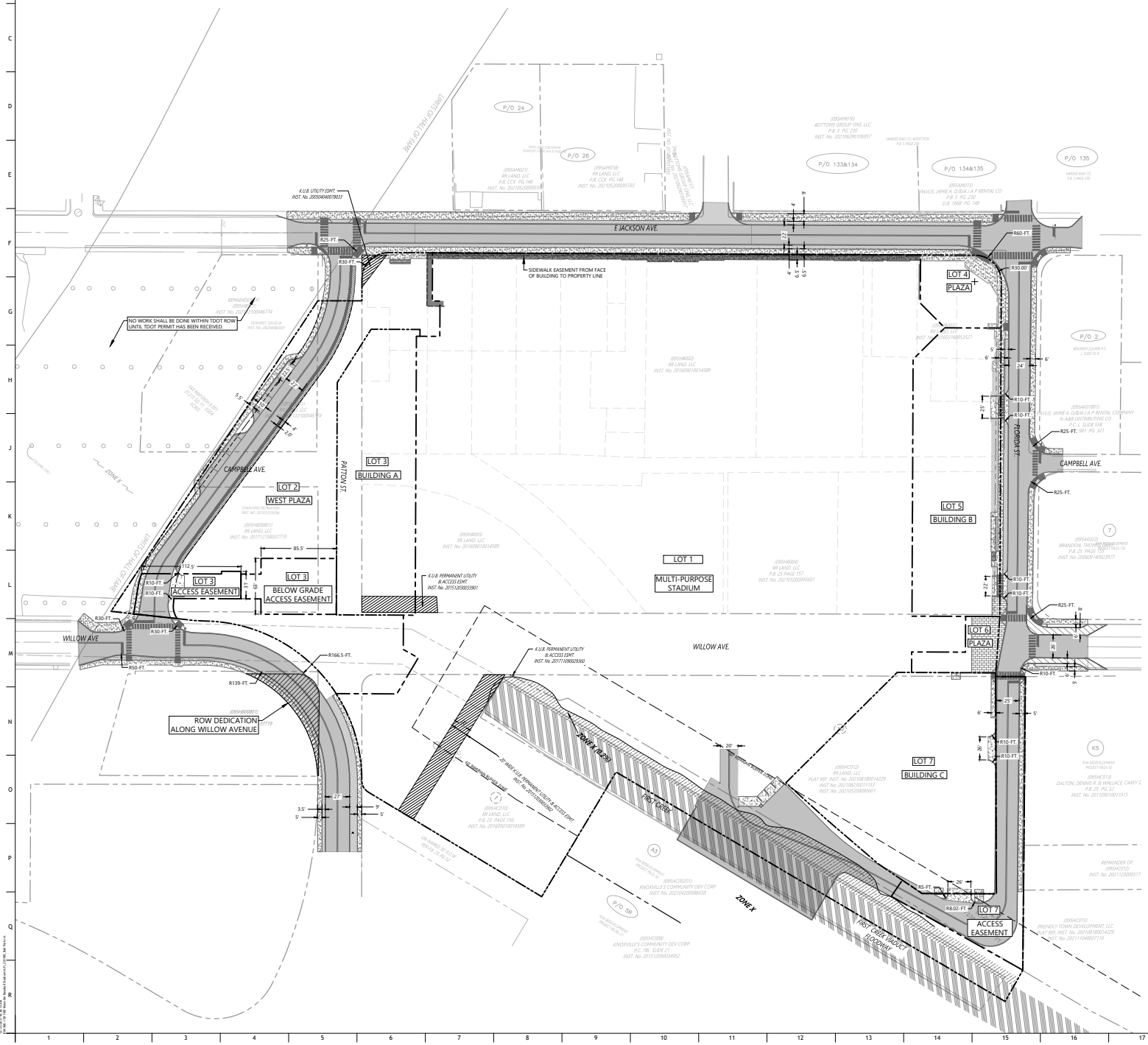
6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023





PROPOSED FEATURES LEGEND

BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	

SITE DATA

COUNCIL DISTRICT:	6
COUNCIL MEMBER:	GWEN MCKENZIE
PARCEL ID:	095AM021, 095AM018, 095HB001,095HB00B01, 095HC010, 095HC012, 095HB002, 095HB003, 095HB004, 095HB005
FILE NUMBER:	6-SE-22-C
SITE ADDRESS:	600 WILLOW AVENUE KNOXVILLE, TENNESSEE, 37902
SITE ACREAGE:	18 AC. (820,000 FT²)
PROPOSED USE:	KNOXVILLE MULTI-USE STADIUM
OWNER:	RR LAND, LLC
ADDRESS:	3540 LINE DRIVE KODAK, TENNESSEE 37764
PHONE NUMBER:	(865)368-5624
CONTACT NAME:	DOUG KIRCHHOFER
CONTACT E-MAIL ADDRESS:	doug@boydsportsllc.com
PROJECT REPRESENTATIVE:	S&ME, INC.
ADDRESS:	6515 NIGHTINGALE LANE KNOXVILLE, TENNESSEE 37909
PHONE NO.:	(865) 934-6023
CONTACT NAME:	BRAD SALSBURY
CONTACT E-MAIL ADDRESS:	bsalsbury@smeinc.com

RECORDED DOCUMENTS: DEED BOOK INST. NO. 20161214004662, INST. NO. 20161214003762, INST. NO. 20020408008397, INST. NO. 20171219003719, INST. NO. 20160901001458B, INST. NO. 20160316005321 PAGE PLAT BOOK 25 PAGE 52, PLAT BOOK 25 PAGE 157, PLAT BOOK 25 PAGE 156, PLAT BOOK 25 PAGE 154

FEMA PANEL:
THE SUBJECT PROPERTY DOES LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47093C0281G, 8/5/2013, COMMUNITY NAME: CITY OF KNOXVILLE.

LOT AREA TABLE

LOT	AREA (ACRES)
1	9.07
2	1.63
3	0.64
4	0.16
5	0.73
6	0.09
7	0.98
OVERALL TOTAL	13.30

6-SE-22-C
Rev 6.1.2022

GRAPHIC SCALE 1" = 40' (IN FEET)
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
POPULOUS
505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

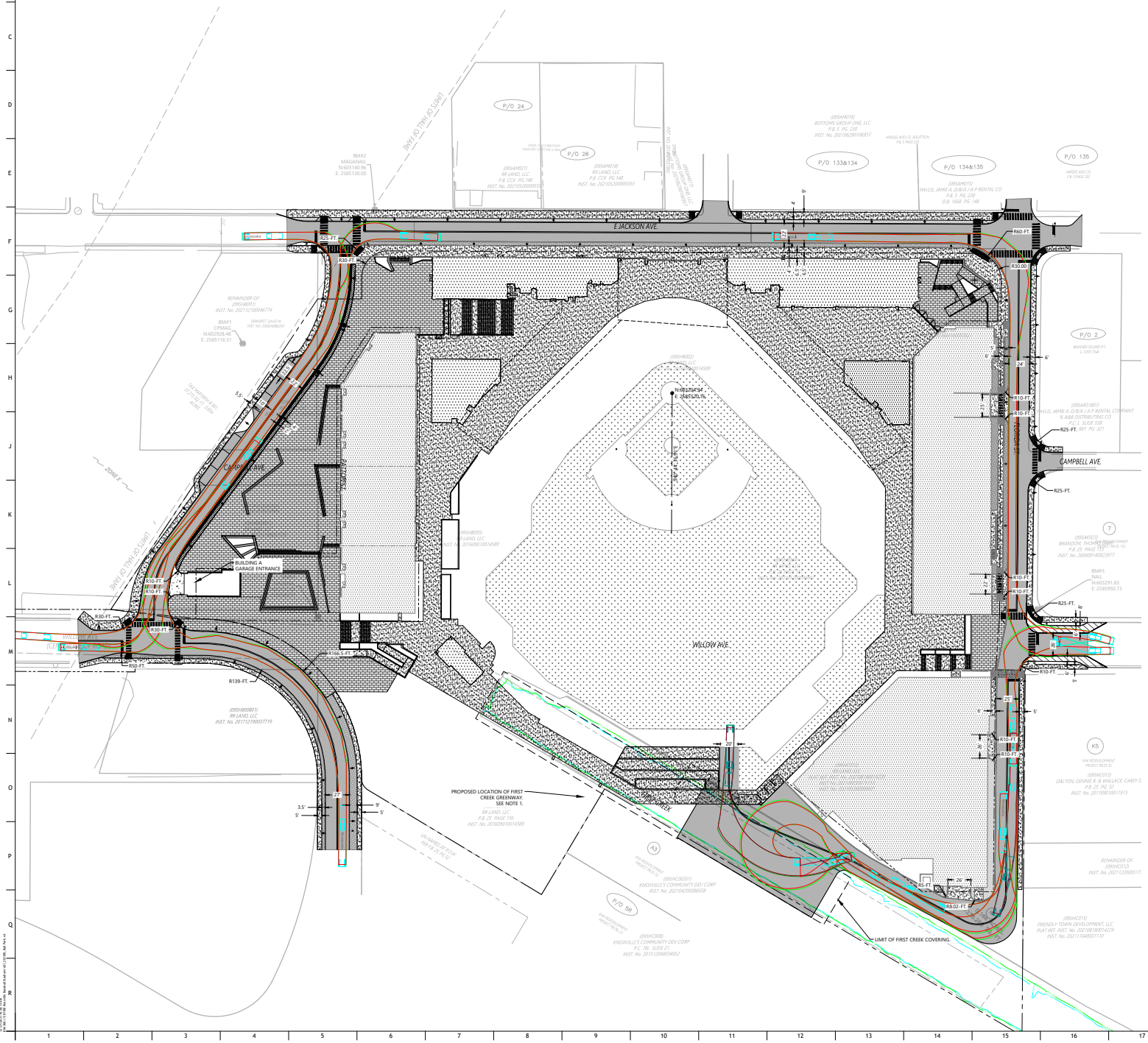
PROJECT NUMBER
201100
PROJECT NAME
KNOXVILLE MULTI-USE STADIUM
PROJECT SET
STADIUM
OWNER
GEM Community Development Group & Boyd Sports LLC.
UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN
PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

CONCEPT PLAN OF KNOXVILLE MULTI-USE STADIUM

2021 GEMAA



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KNOXVILLE MULTI-USE STADIUM

PROJECT SET
INFRASTRUCTURE

OWNER
GEM Community Development Group & Boyd Sports LLC.

UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN

PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

PROPOSED FEATURES LEGEND

- BUILDING
- CONCOURSE/CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY PAVEMENT
- PLAZA
- GRASS TURF
- CONCRETE CURB
- CENTERLINE
- PROPOSED PROPERTY LINE
- FEMA FLOODWAY
- FEMA 100-YEAR
- FEMA 500-YEAR

NOTE:

1. CITY OF KNOXVILLE PARKS AND RECREATION TO COORDINATE LOCATION OF GREENWAY.
2. POTENTIAL LOADING AREA NORTH OF EAST JACKSON AVENUE PENDING FURTHER AGREEMENT WITH TDOT AND CITY OF KNOXVILLE APPROVAL.

811
Know what's below.
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GRAPHIC SCALE (IN FEET) 0 40 80 120

PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
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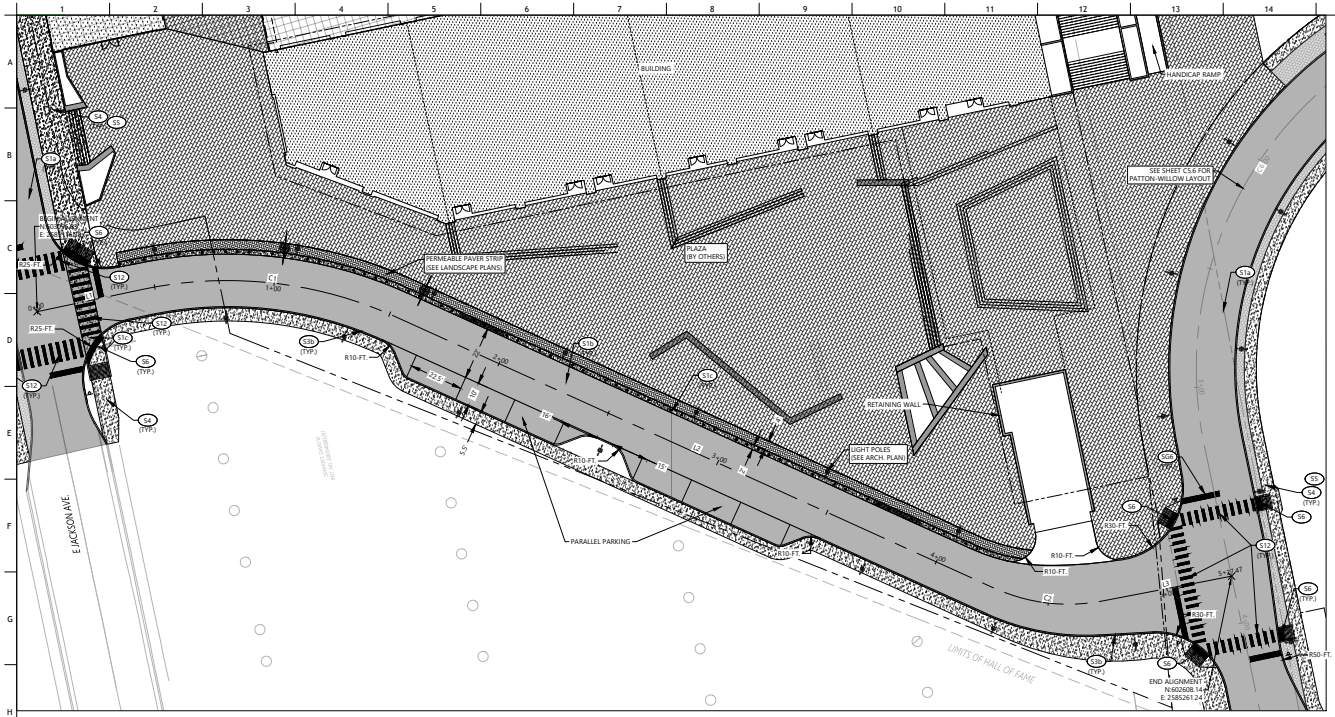
X5.0
TRUCK TURNING LAYOUT

2021 GEMAA


BUILDING
LANDSCAPE RAMP
SEE SHEET C6.0 FOR PATTON-WILLOW LAYOUT
PLAZA BY OTHERS
PERMEABLE PAVER STRIP (SEE LANDSCAPE PLANS)
RETAINING WALL
LIGHT POLES (SEE ARCH. PLAN)
PARALLEL PARKING
E JACKSON AVE
LIMITS OF HALL OF FAME
END ALIGNMENT N:602608.14 E:2585261.24
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R10-FT.
R30-FT.
R50-FT.
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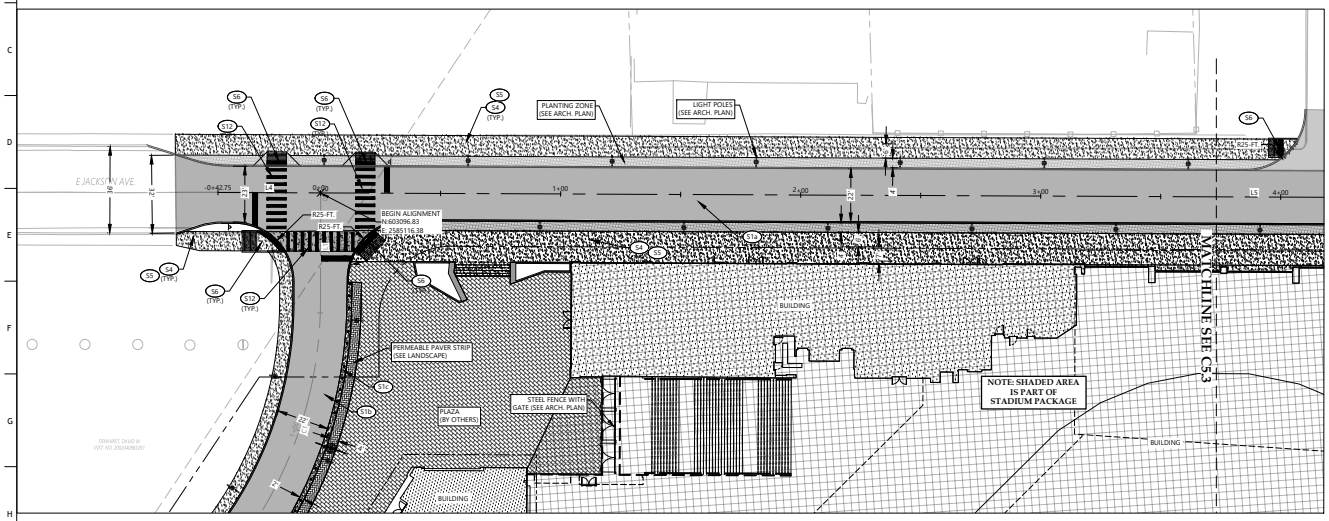
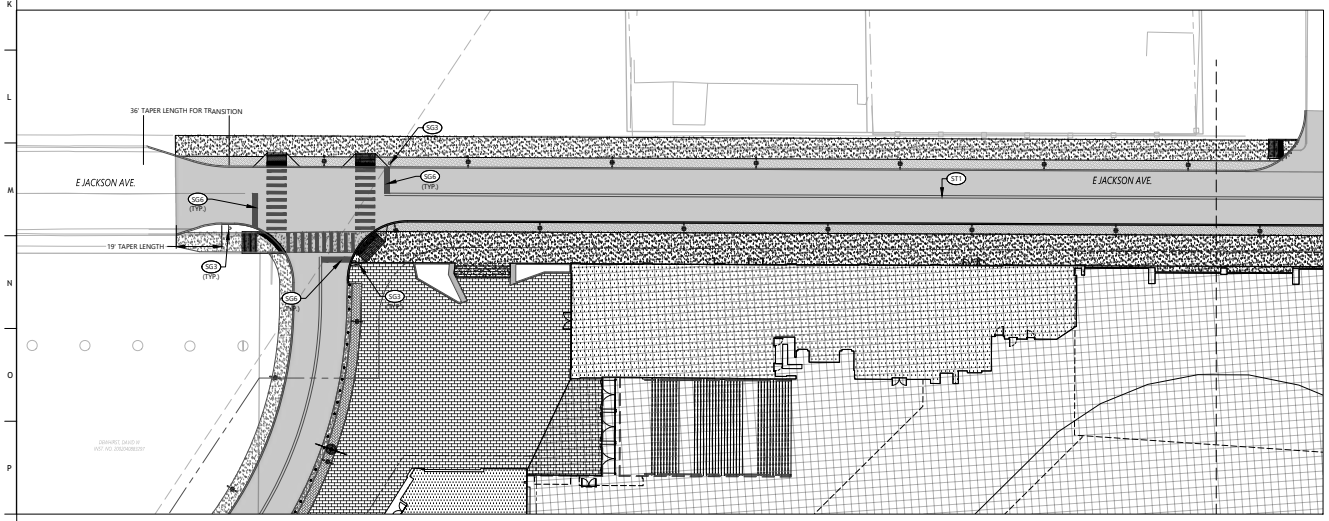
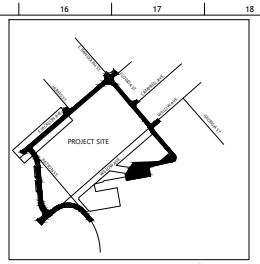


EAST JACKSON AVENUE LAYOUT
SCALE 1" = 20'



EAST JACKSON AVENUE STRIPING AND SIGNAGE LAYOUT
SCALE 1" = 20'



LAYOUT PLAN
NOT TO SCALE

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

PROPOSED LAYOUT FEATURES LEGEND

- BUILDING
- CONCOURSE/CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ARTERIAL STREET PAVEMENT
- COLLECTOR STREET PAVEMENT
- PLAZA
- PLANTING ZONE
- CONCRETE CURB
- CENTERLINE
- PROPOSED PROPERTY LINE

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SITE LAYOUT KEYNOTES

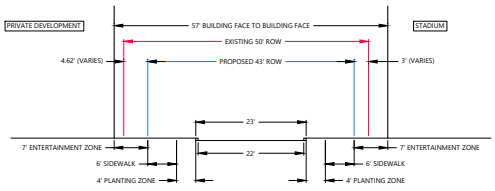
CODE	DESCRIPTION	DET #/SHT #
ST1a	ARTERIAL STREET ASPHALT PAVEMENT	1/C8.0
ST1b	COLLECTOR STREET ASPHALT PAVEMENT	1/C8.0
ST2a	CONCRETE PAVEMENT	3/C8.0
ST2b	CONCRETE CURB AND GUTTER	4/C8.0
S4	CONCRETE SIDEWALK	5/C8.0
S5	SIDEWALK JOINTS	6/C8.0
S6	ACCESSIBLE RAMP	1/C8.1
ST3	PEDESTRIAN CROSSWALK	7/C8.0

SITE SIGNAGE & STRIPING KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
SG3	"STOP" SIGN	2/C8.1
SG6	STOP BAR	
ST1	DOUBLE SOLID YELLOW LINE	
ST2	DOTTED WHITE LINE	
ST3	SINGLE BROKEN YELLOW LINE	
ST4	SINGLE SOLID WHITE LINE	
ST5	SINGLE SOLID YELLOW LINE	

CL-JACKSON

Number	Start Station	End Station	Length	Chord Length	Radius	Line/Chord Direction
L4	-0+42.75	0+00.00	42.75			N49° 15' 00.00"E
L5	0+00.00	7+78.10	778.10			N49° 15' 00.00"E



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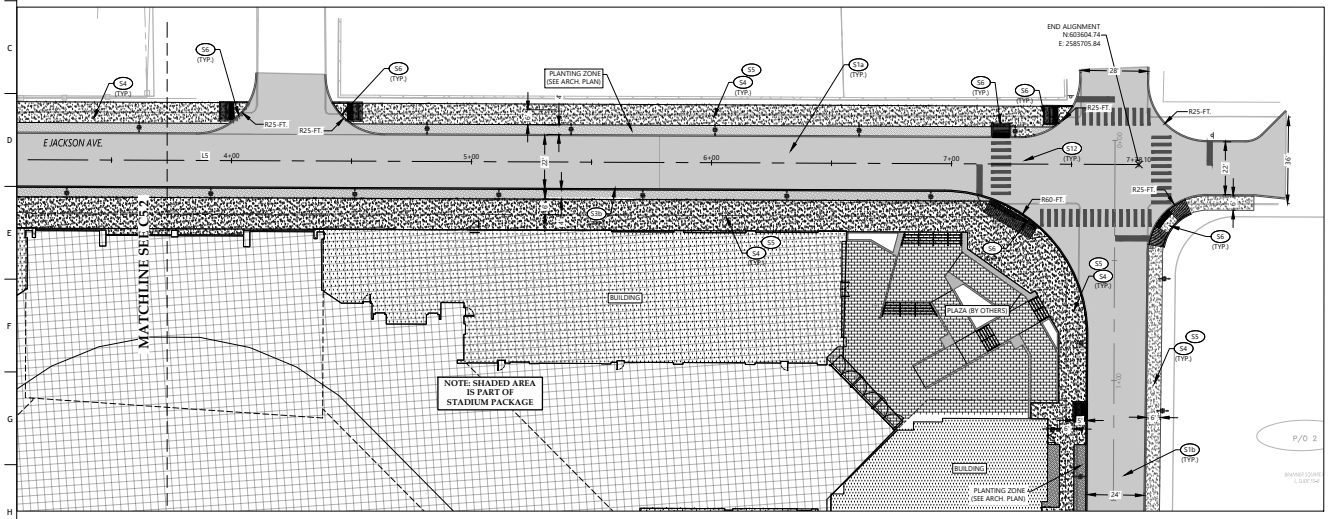
CONSULTANTS

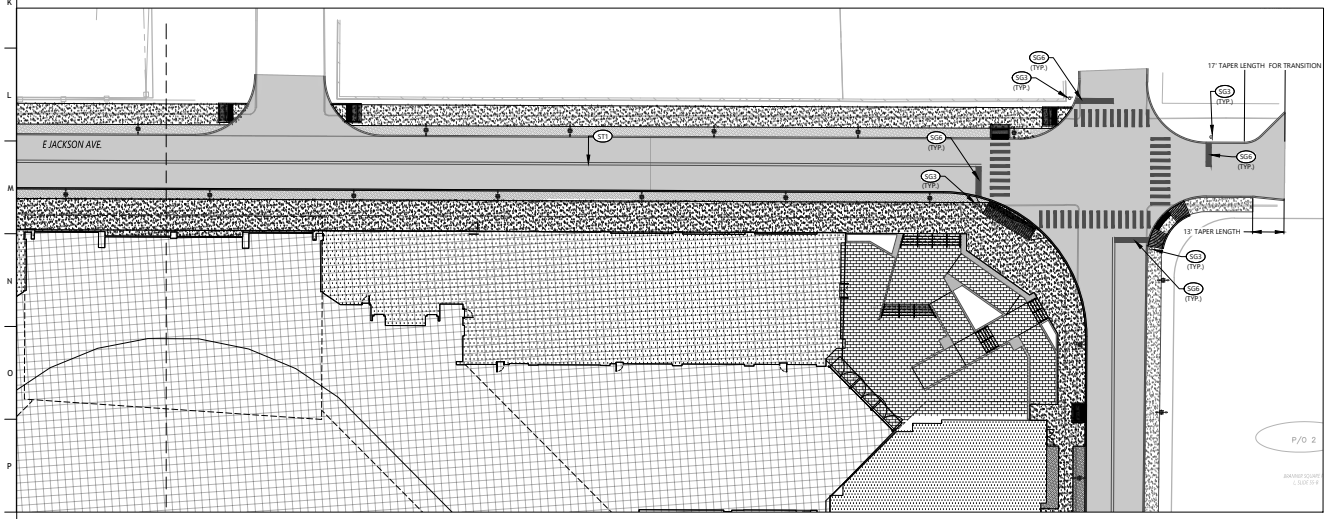
PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

C5.2
W JACKSON LAYOUT

2021 GEMAA



EAST JACKSON AVENUE LAYOUT
SCALE: 1" = 20'



EAST JACKSON AVENUE STRIPING AND SIGNAGE LAYOUT
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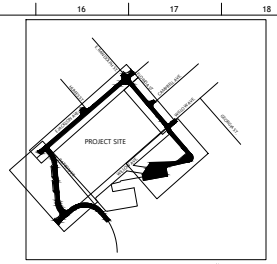

LAYOUT PLAN
NOT TO SCALE

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

PROPOSED LAYOUT FEATURES LEGEND

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- CONCRETE SIDEWALK
- ARTERIAL STREET PAVEMENT
- COLLECTOR STREET PAVEMENT
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- PLANTING ZONE
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S5	SIDEWALK JOINTS	6/C8.0
S6	ACCESSIBLE RAMP	1/C8.1
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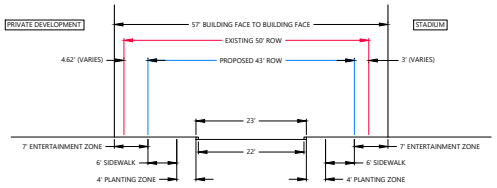
ST5	SINGLE SOLID YELLOW LINE	

CL-JACKSON

Number	Start Station	End Station	Length	Chord Length	Radius	Line/Chord Direction
L4	-0+42.75	0+00.00	42.75			N49° 15' 00.00"E
L5	0+00.00	7+78.10	778.10			N49° 15' 00.00"E



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GRAPHIC SCALE (IN FEET) 0 20 40 60
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
POPULOUS
505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

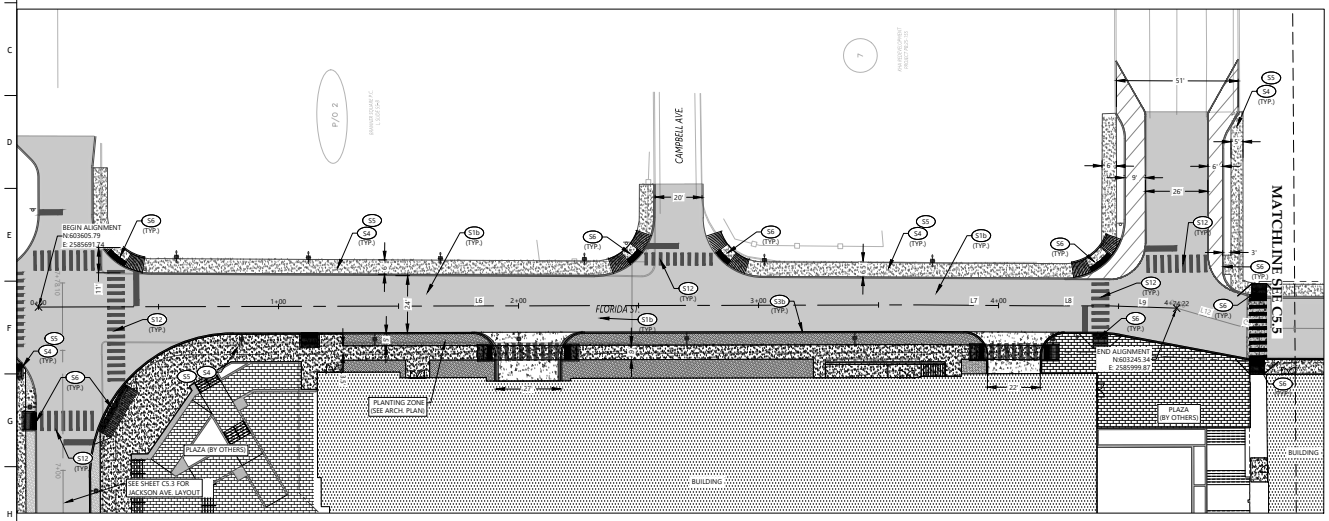
PROJECT NUMBER
201100
PROJECT NAME
KNOXVILLE MULTI-USE STADIUM
PROJECT SET
INFRASTRUCTURE
OWNER
GEM Community Development Group & Boyd Sports LLC.
UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN
PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

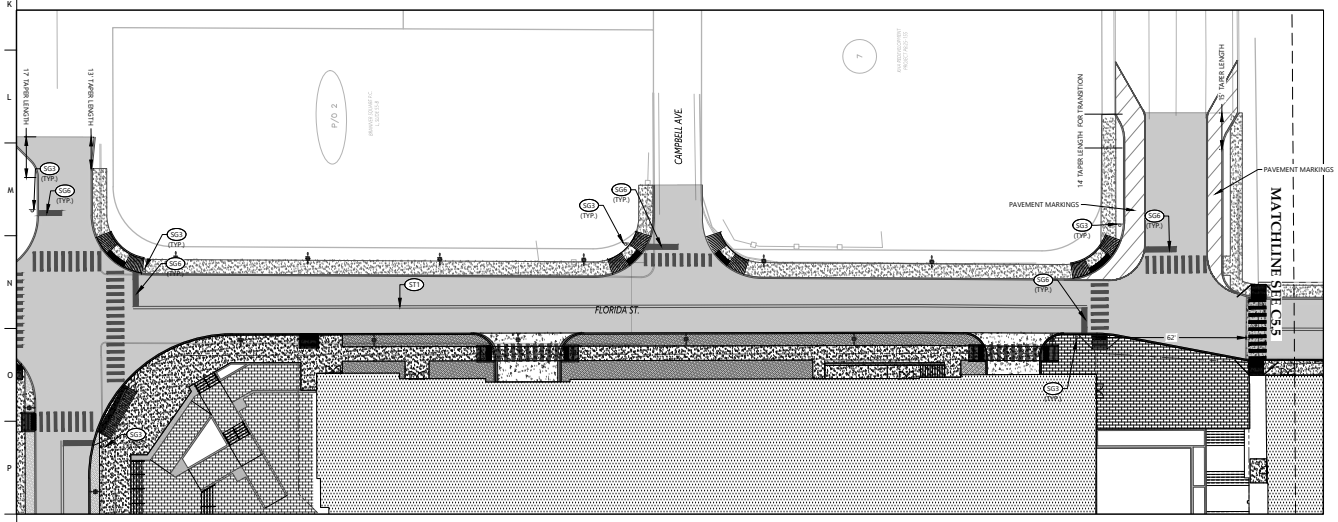
PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

C5.3
E JACKSON LAYOUT

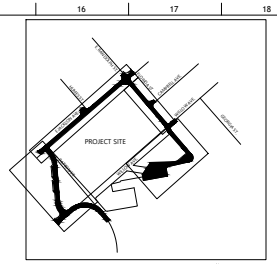
2021 GEMAA



FLORIDA STREET LAYOUT
SCALE: 1" = 20'



FLORIDA STREET STRIPING AND SIGNAGE LAYOUT
SCALE: 1" = 20'



LAYOUT PLAN
NOT TO SCALE

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

PROPOSED LAYOUT FEATURES LEGEND

- BUILDING
- CONCOURSE/CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ARTERIAL STREET PAVEMENT
- COLLECTOR STREET PAVEMENT
- PLAZA
- PLANTING ZONE
- CONCRETE CURB
- CENTERLINE
- PROPOSED PROPERTY LINE

NOTE:
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SITE LAYOUT KEYNOTES

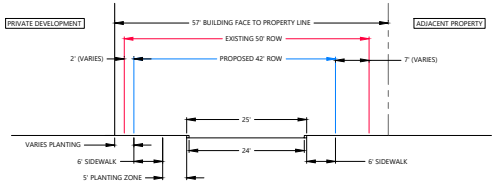
CODE	DESCRIPTION	DET #/SHT #
S1a	ARTERIAL STREET ASPHALT PAVEMENT	1/C8.0
S1b	COLLECTOR STREET ASPHALT PAVEMENT	1/C8.0
S1c	CONCRETE PAVEMENT	3/C8.0
S1d	CONCRETE CURB AND GUTTER	4/C8.0
S4	CONCRETE SIDEWALK	5/C8.0
S5	SIDEWALK JOINTS	6/C8.0
S6	ACCESSIBLE RAMP	1/C8.1
S12	PEDESTRIAN CROSSWALK	7/C8.0

SITE SIGNAGE & STRIPING KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
SG3	"STOP" SIGN	2/C8.1
SG6	STOP BAR	
ST1	DOUBLE SOLID YELLOW LINE	
ST2	DOTTED WHITE LINE	
ST3	SINGLE BROKEN YELLOW LINE	
ST4	SINGLE SOLID WHITE LINE	
ST5	SINGLE SOLID YELLOW LINE	

CL-FLORIDA

Number	Start Station	End Station	Length	Chord Length	Radius	Line/Chord Direction
L6	0+00.00	3+67.24	367.24			S40° 43' 32.43"E
L7	3+67.24	4+12.36	45.13			S40° 06' 24.41"E
L8	4+12.36	4+46.08	33.72			S40° 29' 51.02"E
L9	4+46.08	4+74.22	28.14			S38° 37' 41.61"E



Know what's below.
Call before you dig.

GRAPHIC SCALE (IN FEET)
0 20 40 60

VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
POPULOUS
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t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

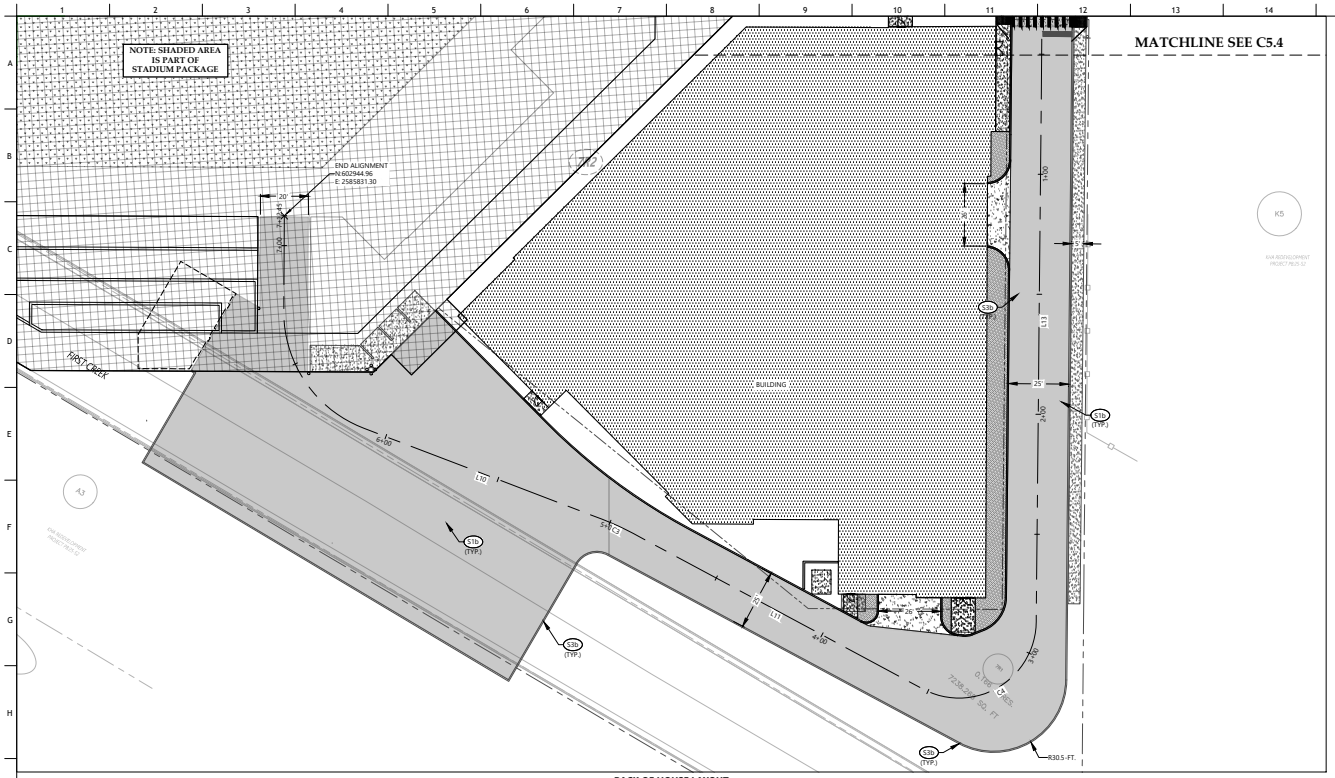
PROJECT NUMBER
201100
PROJECT NAME
KNOXVILLE MULTI-USE STADIUM
PROJECT SET
INFRASTRUCTURE
OWNER
GEM Community Development Group & Boyd Sports LLC.
UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN
PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

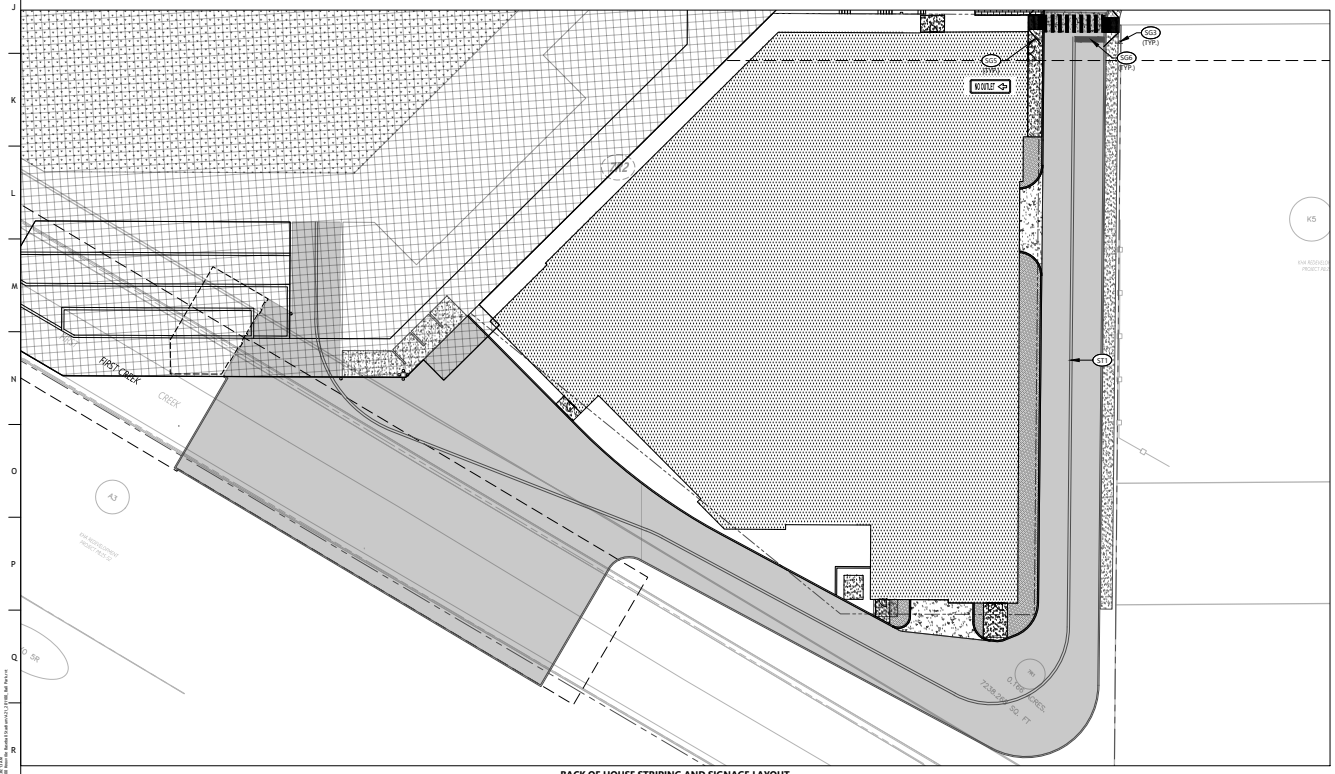
PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

C5.4
FLORIDA LAYOUT

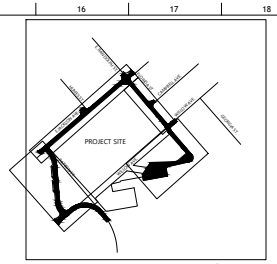
2021 GEMAA



BACK OF HOUSE LAYOUT
SCALE: 1" = 20'



BACK OF HOUSE STRIPING AND SIGNAGE LAYOUT
SCALE: 1" = 20'



LAYOUT PLAN
NOT TO SCALE

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

PROPOSED LAYOUT FEATURES LEGEND

- BUILDING
- CONCOURSE/CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ARTERIAL STREET PAVEMENT
- COLLECTOR STREET PAVEMENT
- PLAZA
- PLANTING ZONE
- CONCRETE CURB
- CENTERLINE
- PROPOSED PROPERTY LINE

NOTE:
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SITE LAYOUT KEYNOTES

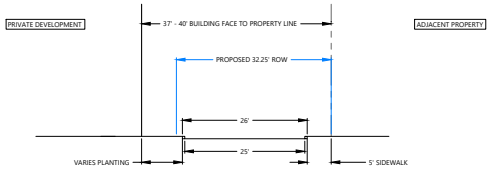
CODE	DESCRIPTION	DET #/SHT #
S1a	ARTERIAL STREET ASPHALT PAVEMENT	1/C8.0
S1b	COLLECTOR STREET ASPHALT PAVEMENT	1/C8.0
S1c	CONCRETE PAVEMENT	3/C8.0
S1d	CONCRETE CURB AND GUTTER	4/C8.0
S4	CONCRETE SIDEWALK	5/C8.0
S5	SIDEWALK JOINTS	6/C8.0
S6	ACCESSIBLE RAMP	1/C8.1
S12	PEDESTRIAN CROSSWALK	7/C8.0

SITE SIGNAGE & STRIPING KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
SG3	"STOP" SIGN	2/C8.1
SG3	NO OUTLET SIGN	
SG6	STOP BAR	
S11	DOUBLE SOLID YELLOW LINE	
S12	DOTTED WHITE LINE	
S13	SINGLE BROKEN YELLOW LINE	
S14	SINGLE SOLID WHITE LINE	
S15	SINGLE SOLID YELLOW LINE	

CL-DW-BLDC-REV1

Number	Start Station	End Station	Length	Chord Length	Radius	Line/Chord Direction
L12	0+00.00	0+24.47	24.47			S24° 34' 35.43"E
C5	0+24.47	0+36.11	11.64	11.60	42.00	S32° 30' 48.06"E
L13	0+36.11	2+86.42	250.31			S40° 27' 00.70"E
C4	2+86.42	3+52.42	66.00	54.99	32.13	S18° 23' 45.19"W
L11	3+52.42	4+89.28	136.86			S77° 14' 31.08"W
C3	4+89.28	5+03.46	14.18	14.17	110.51	S73° 33' 59.58"W
L10	5+03.46	6+09.73	106.28			S69° 53' 28.09"W



Know what's below.
Call before you dig.

GRAPHIC SCALE (IN FEET)
0 30 60 90
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
POPULOUS

505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

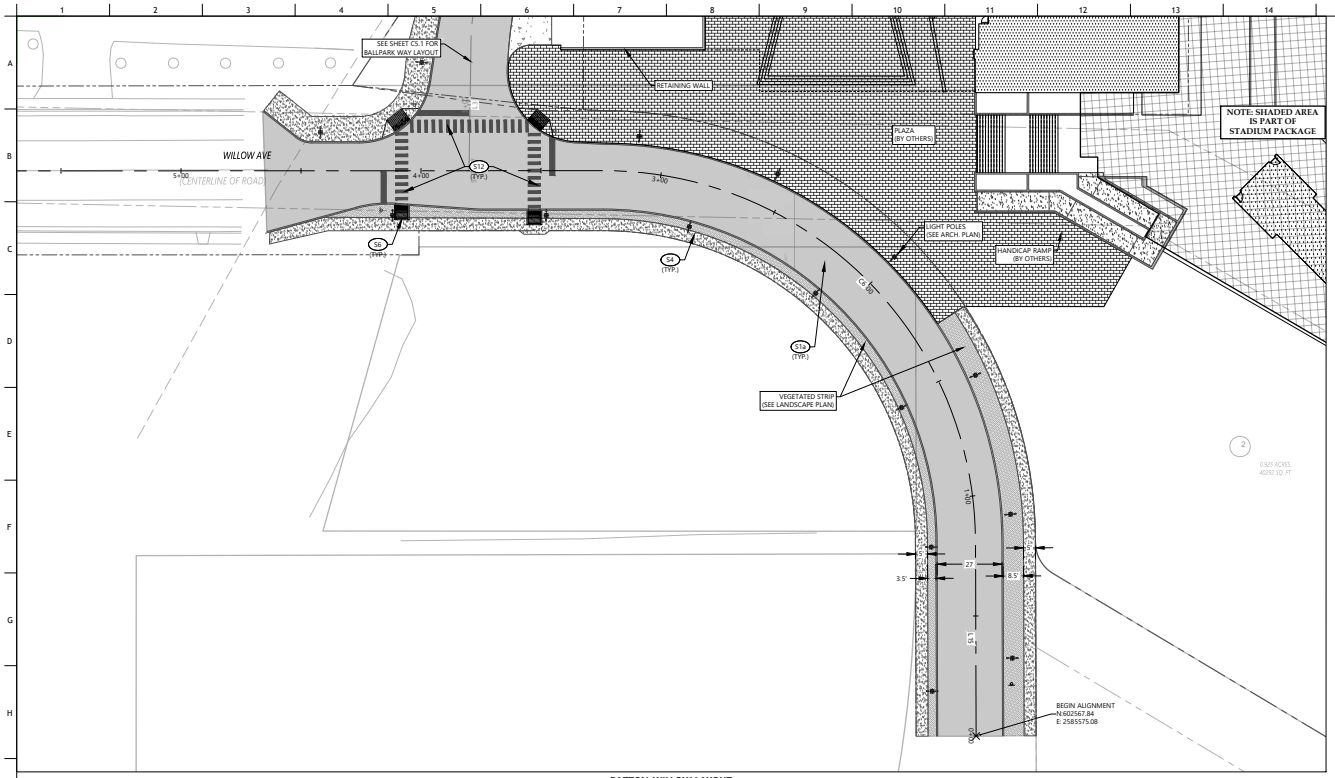
NOT FOR CONSTRUCTION

PROJECT NUMBER
201100
PROJECT NAME
KNOXVILLE MULTI-USE STADIUM
PROJECT SET
INFRASTRUCTURE
OWNER
GEM Community Development Group & Boyd Sports LLC.
UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN
PROJECT ADDRESS
KNOXVILLE, TN 37915
CONSULTANTS

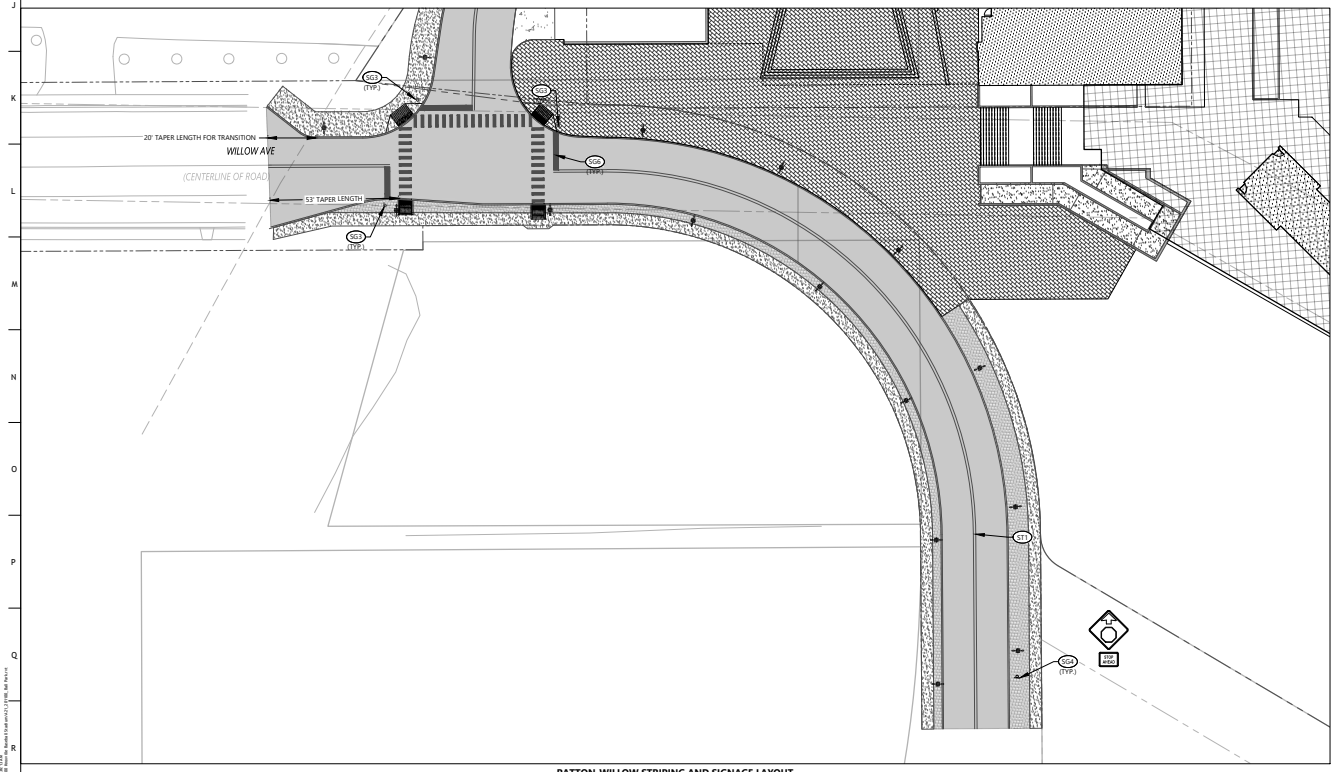
PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

C5.5
BOH LAYOUT

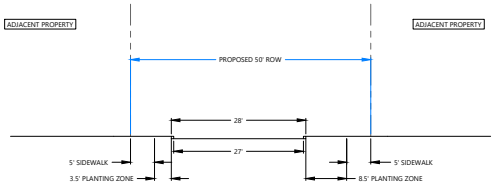
2021 GEMAA



PATTON-WILLOW LAYOUT
SCALE: 1" = 20'



PATTON-WILLOW STRIPING AND SIGNAGE LAYOUT
SCALE: 1" = 20'



6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

GEMAA
POPULOUS

505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

PROPOSED LAYOUT FEATURES LEGEND

- BUILDING
- CONCOURSE/CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ARTERIAL STREET PAVEMENT
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SITE LAYOUT KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
S1a	ARTERIAL STREET ASPHALT PAVEMENT	1/C8.0
S1b	COLLECTOR STREET ASPHALT PAVEMENT	1/C8.0
S1c	CONCRETE PAVEMENT	3/C8.0
S3b	CONCRETE CURB AND GUTTER	4/C8.0
S4	CONCRETE SIDEWALK	5/C8.0
S5	SIDEWALK JOINTS	6/C8.0
S6	ACCESSIBLE RAMP	1/C8.1
S12	PEDESTRIAN CROSSWALK	7/C8.0

SITE SIGNAGE & STRIPING KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
SG3	"STOP" SIGN	2/C8.1
SG4	SPEED LIMIT SIGN	
SG5	STOP SIGN AHEAD	
SG6	STOP BAR	
ST1	DOUBLE SOLID YELLOW LINE	
ST2	DOTTED WHITE LINE	
ST3	SINGLE BROKEN YELLOW LINE	
ST4	SINGLE SOLID WHITE LINE	
ST5	SINGLE SOLID YELLOW LINE	

CL-WILLOW PATTON

Number	Start Station	End Station	Length	Chord Length	Radius	Line/Chord Direction
L15	0+00.00	0+81.05	81.05			N40° 58' 33.27"W
C6	0+81.05	3+24.06	243.01	218.88	155.00	N85° 53' 25.97"W
L14	3+24.06	8+33.82	509.75			S49° 11' 41.33"W

Know what's below.
Call before you dig.

GRAPHIC SCALE 0 30 60 90 (IN FEET)
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

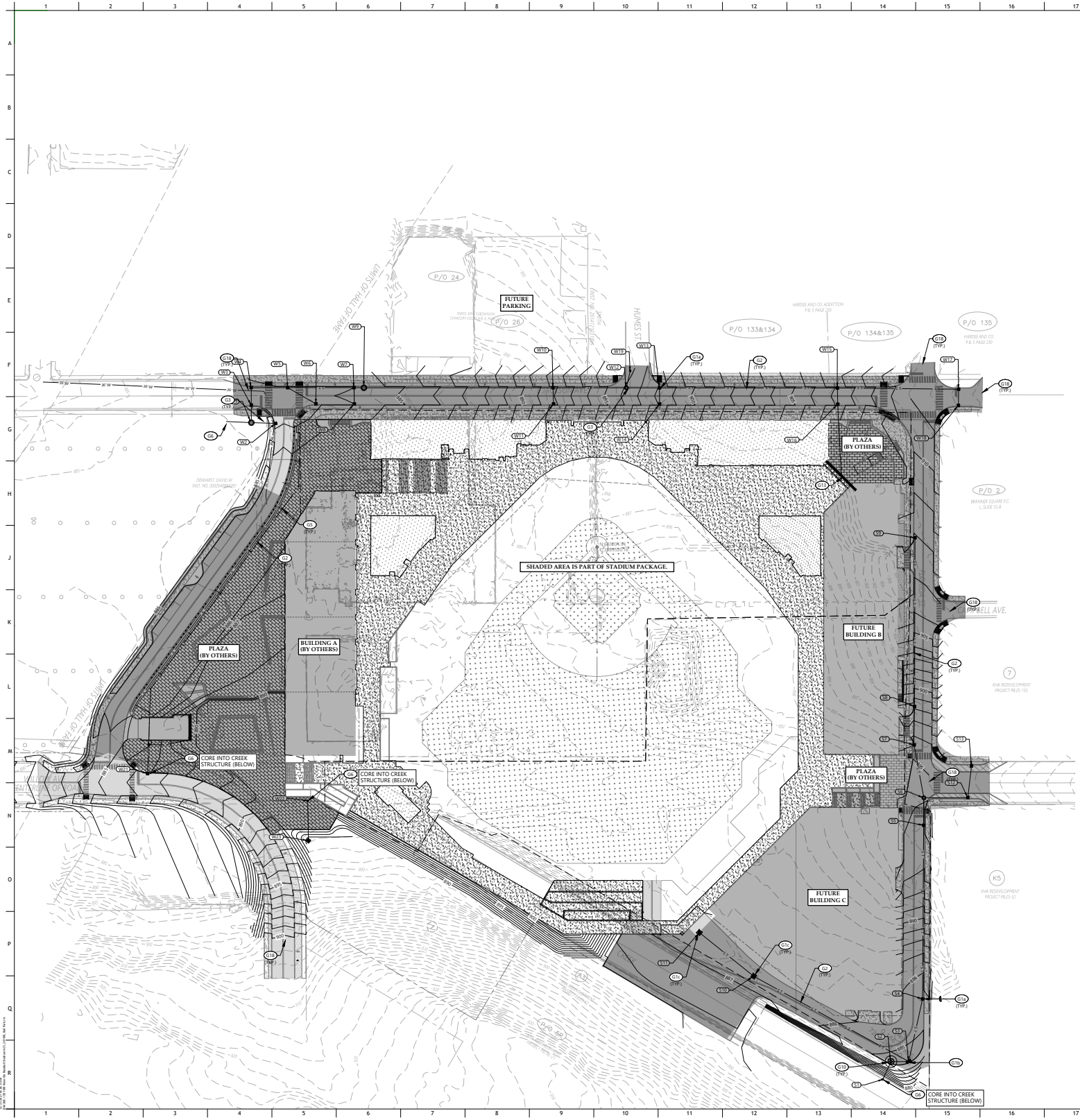
PROJECT NUMBER
201100
PROJECT NAME
KNOXVILLE MULTI-USE STADIUM
PROJECT SET
INFRASTRUCTURE
OWNER
GEM Community Development Group & Boyd Sports LLC.
UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN
PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

C5.6
PATTON-WILLOW LAYOUT

2021 GEMAA



6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	1/C8.3
G1b	DOUBLE CURB INLET	6/C8.2
G1c	CATCH BASIN	1/C8.4
G2	STORM PIPE	3,4/C8.3
G3	JUNCTION MANHOLE	7/C8.2
G5	CLEANOUT	1/C8.2
G6	CORE INTO EXISTING STRUCTURE	9/C8.2
G10	WATER QUALITY STRUCTURE	3/C8.4
G13	TRENCH DRAIN	SEE ARCH.
G18	MATCH EXISTING GRADE	-

NOTES:
1. SEE SHEET C2.0 FOR GENERAL AND GRADING NOTES.

PROPOSED FEATURES LEGEND

- STORM PIPE & INLET
- SPOT ELEVATION — 9.05
- PROPOSED MAJOR CONTOUR — 90
- PROPOSED MINOR CONTOUR — 92
- DRAINAGE STRUCTURE

NOTE:
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GRAPHIC SCALE 0 40 80 120 (IN FEET)
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
GEM Associated Architects: A Joint Venture
Fisher/Nikolaus Architects • Design Innovation Architects

POPULOUS
As Design Architect

505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

PROJECT NUMBER
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PROJECT NAME
KNOXVILLE MULTI-USE STADIUM

PROJECT SET
INFRASTRUCTURE

OWNER
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UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN

PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	DJR
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

C6.0
GRADING & DRAINAGE PLAN

2021 GEMAA

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

STRUCTURE TABLE

CODE	DESCRIPTION	TOPGRATE	NORTHING	EASTING
S1	WALL OUTLET	882.58	602944.87	2586197.83
S2	WATER QUALITY UNIT	884.77	602967.46	2586191.33
S3	DOUBLE CURB INLET	884.63	602981.51	2586207.32
S4	SINGLE CURB INLET	885.42	603049.28	2586170.92
S5	SINGLE CURB INLET	893.61	603208.14	2586035.50
S6	48" Concentric Manhole	894.14	603233.29	2586014.07
S7	SINGLE CURB INLET	895.55	603273.87	2585963.78
S8	36"x36" Single Curb Inlet	898.20	603309.06	2585933.98
S9	SINGLE CURB INLET	907.91	603462.97	2585801.89
S10	CATCH BASIN	886.84	602937.41	2585999.41
S11	CATCH BASIN	887.15	602934.50	2585915.72
S12	36"x36" Single Curb Inlet	896.22	603268.05	2586053.88
S13	36"x36" Single Curb Inlet	0.00	603299.69	2586032.38

PIPE TABLE

FROM CODE	FROM INV.	TO CODE	TO INV.	LENGTH (L.F.)	GRADE (%)	SIZE (INCHES)	TYPE
S2	880.89	S1	880.78	24	0.50%	18"	RCP
S3	881.00	S2	880.89	21	0.50%	18"	RCP
S4	881.90	S3	881.10	77	1.04%	18"	RCP
S5	889.93	S4	882.00	209	3.80%	18"	RCP
S6	889.93	S5	889.80	33	0.40%	18"	RCP
S7	892.23	S6	890.03	66	3.33%	18"	RCP
S8	894.32	S7	892.33	45	4.43%	18"	RCP
S9	903.75	S8	894.32	203	4.65%	18"	RCP
S10	882.48	S3	881.42	213	0.50%	18"	RCP
S11	883.00	S10	882.58	84	0.50%	18"	RCP
S12	891.81	S6	891.54	53	0.50%	15"	RCP
S13	892.10	S12	891.91	38	0.50%	15"	RCP

STRUCTURE TABLE

CODE	DESCRIPTION	TOPGRATE	NORTHING	EASTING
W1	MANHOLE	883.46	603046.82	2585107.93
W2	SINGLE CURB INLET	883.15	603065.20	2585130.56
W3	SINGLE CURB INLET	883.39	603062.82	2585094.00
W4	SINGLE CURB INLET	883.42	603078.58	2585080.26
W5	SINGLE CURB INLET	883.25	603107.21	2585113.54
W6	SINGLE CURB INLET	883.71	603114.58	2585151.92
W7	SINGLE CURB INLET	884.00	603159.17	2585173.79
W8	SINGLE CURB INLET	884.00	603144.65	2585186.87
W9	MANHOLE	884.14	603166.84	2585182.94
W10	SINGLE CURB INLET	891.74	603315.30	2585354.97
W11	SINGLE CURB INLET	891.77	603301.00	2585368.14
W12	MANHOLE	896.14	603372.78	2585421.69
W13	SINGLE CURB INLET	898.08	603398.74	2585451.83
W14	SINGLE CURB INLET	898.09	603384.09	2585464.71
W15	SINGLE CURB INLET	907.12	603538.25	2585613.74
W16	SINGLE CURB INLET	907.14	603523.82	2585626.86
W17	SINGLE CURB INLET	913.19	603632.32	2585725.00
W18	SINGLE CURB INLET	913.10	603617.37	2585737.52
W19	EXISTING CURB INLET	894.28	603391.10	2585412.01
W21	SINGLE CURB INLET	886.41	602646.19	2585289.00
W22	OUTLET	884.54	602747.04	2585456.15
W23	CATCH BASIN	886.50	602711.26	2585487.90

PIPE TABLE

FROM CODE	FROM INV.	TO CODE	TO INV.	LENGTH (L.F.)	GRADE (%)	SIZE (INCHES)	TYPE
W1	875.10		874.87	30	0.78%	60"	RCP
W2	875.35	W1	875.20	29	0.50%	15"	RCP
W3	875.91	W1	875.81	21	0.50%	48"	RCP
W4	876.02	W3	875.91	21	0.53%	48"	RCP
W5	876.41	W4	876.12	44	0.66%	48"	RCP
W6	880.71	W5	880.51	39	0.50%	15"	RCP
W7	877.17	W5	876.51	80	0.82%	48"	RCP
W8	881.00	W7	880.91	20	0.50%	15"	RCP
W9	877.33	W7	877.27	12	0.50%	48"	RCP
W10	885.27	W9	877.43	227	3.45%	24"	RCP
W11	888.67	W10	888.57	19	0.50%	15"	RCP
W12	888.50	W10	885.37	88	3.55%	18"	RCP
W13	894.16	W12	892.37	40	4.50%	18"	RCP
W14	895.09	W13	894.51	20	3.00%	15"	RCP
W15	903.25	W13	894.26	214	4.21%	18"	RCP
W16	904.14	W15	903.35	20	4.08%	15"	RCP
W17	909.40	W15	903.35	146	4.15%	18"	RCP
W18	909.60	W17	909.50	20	0.50%	15"	RCP
W19	891.10	W12	890.89	21	1.00%	18"	RCP
W23	883.50	W22	883.02	48	1.00%	15"	RCP

NOTE:
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GEMAA
GEM Associated Architects, A Joint Venture
Fischer/Mottlau Architects • Design Innovation Architects
POPULOUS
As Design Architect

505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

PROJECT NUMBER
201100

PROJECT NAME
KNOXVILLE MULTI-USE STADIUM

PROJECT SET
INFRASTRUCTURE

OWNER
GEM Community Development Group & Boyd Sports LLC.

UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN

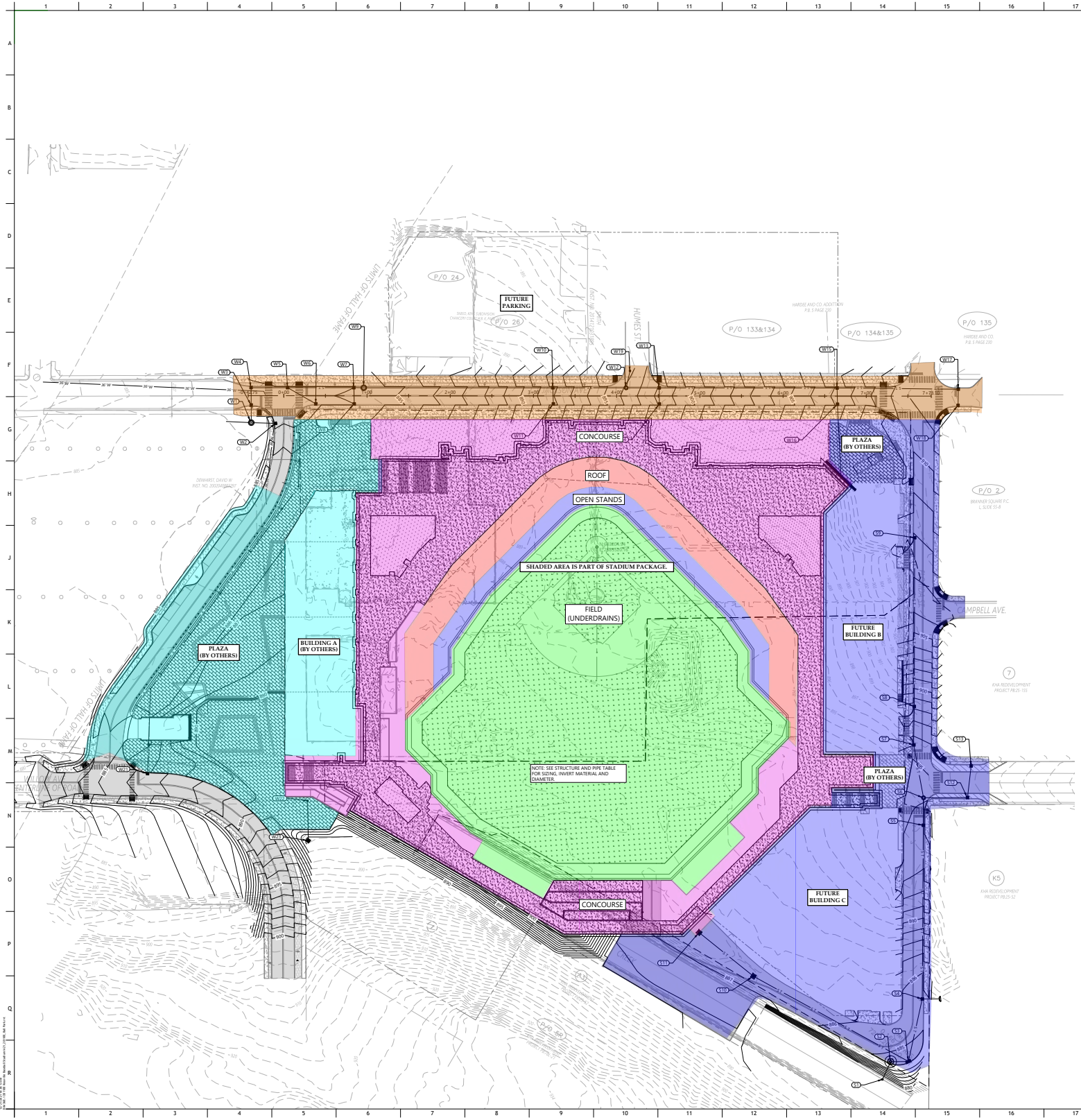
PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

C6.0A
PIPE AND STRUCTURE TABLES

2021 GEMAA



6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

GRADING & DRAINAGE KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
G12	CURB INLET	1/C8.3
G13	DOUBLE CURB INLET	6/C8.2
G14	CATCH BASIN	1/C8.4
G2	STORM PIPE	3.4/C8.3
G3	JUNCTION MANHOLE	7/C8.2
G5	CLEANOUT	1/C8.2
G6	CORE INTO EXISTING STRUCTURE	9/C8.2
G16	WATER QUALITY STRUCTURE	3/C8.4
G17	TRENCH DRAIN	SEE ARCH.
G18	MATCH EXISTING GRADE	-

PROPOSED FEATURES LEGEND

- STORM PIPE & INLET
- SPOT ELEVATION (9.05)
- PROPOSED MAJOR CONTOUR (90)
- PROPOSED MINOR CONTOUR (92)
- DRAINAGE STRUCTURE
- FIELD (UNDERDRAINS)
- OPEN STANDS
- ROOF
- CONCOURSE

NOTES:
1. SEE SHEET C2.0 FOR GENERAL AND GRADING NOTES.

NOTE:
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Know what's below.
Call before you dig.

GRAPHIC SCALE 0 40 80 120 (IN FEET)
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
GEM Associated Architects A Joint Venture
Fisher/Nickboy/Architects + Design Innovation Architects
POPULOUS
As Design Architect
505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

PROJECT NUMBER
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INFRASTRUCTURE

OWNER
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PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

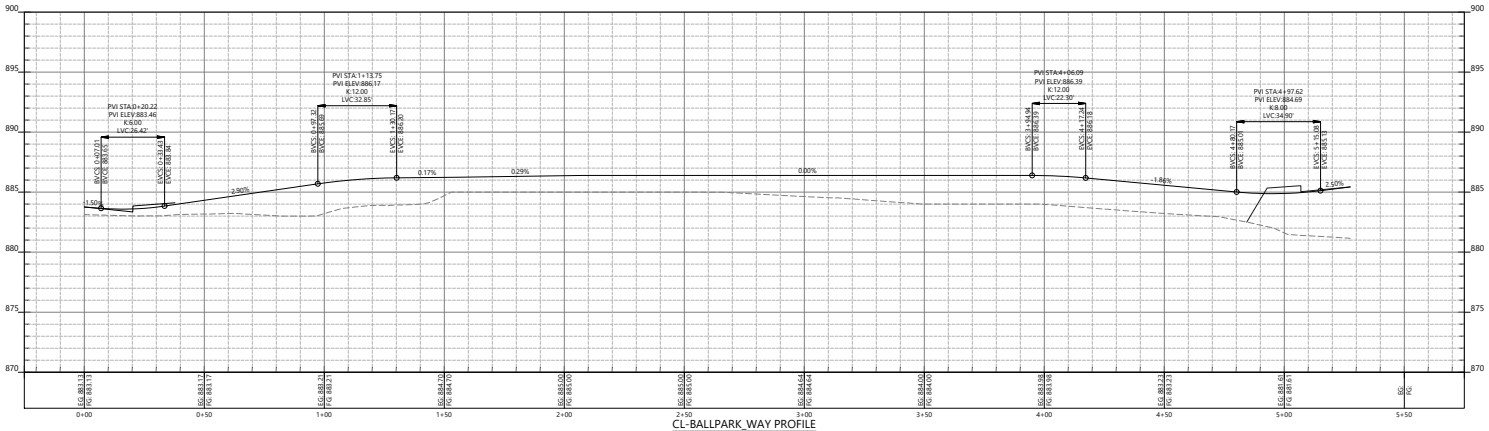
PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	6.1.2022
REVISIONS	

C6.1
OVERALL STORMWATER PLAN

2021 GEMAA

BALLPARK WAY GRADING PLAN

SCALE: 1" = 20'



CL-BALLPARK_WAY PROFILE

SCALE H:1"=20', V:1"=4'

BALLPARK WAY GRADING PROFILE

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 4'

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

GEMAA
POPULOUS

505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

PROPOSED FEATURES LEGEND

SPOT ELEVATION	9.05
PROPOSED MAJOR CONTOUR	90
PROPOSED MINOR CONTOUR	92

GRADING & DRAINAGE KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	1/C8.3
G2	STORM PIPE	3,4/C8.3
G3	JUNCTION MANHOLE	7/C8.2
G5	CLEANOUT	1/C8.2
G6	CORE INTO EXISTING STRUCTURE	9/C8.2
G1B	MATCH EXISTING GRADE	

NOTES:
1. SEE SHEET C6.0A FOR STORM PIPE AND STRUCTURE TABLE.

NOTE:
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N

811
Know what's below.
Call before you dig.

0 20 40 60
GRAPHIC SCALE (IN FEET)
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

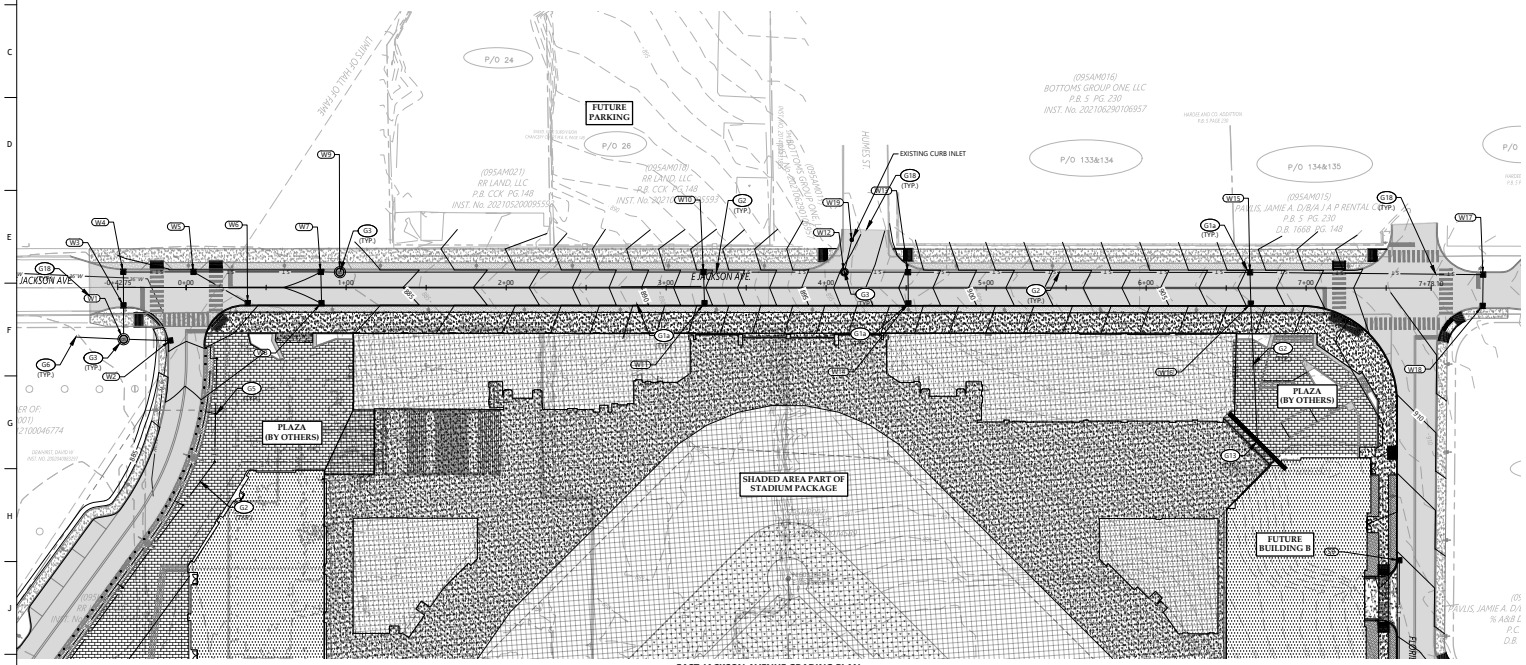
PROJECT NUMBER
201100
PROJECT NAME
KNOXVILLE MULTI-USE STADIUM
PROJECT SET
INFRASTRUCTURE
OWNER
GEM Community Development Group & Boyd Sports LLC.
UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN
PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

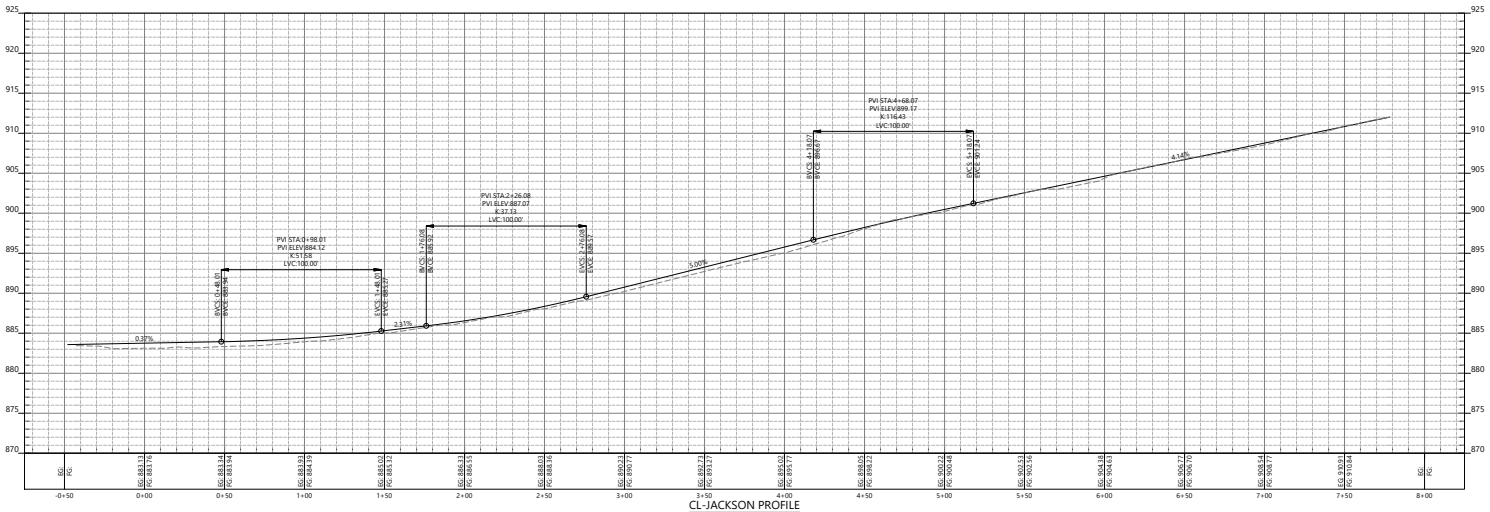
PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	5.10.2022
REVISIONS	

C6.2
BPW GRADING PLAN & PROFILE

2021 GEMAA



EAST JACKSON AVENUE GRADING PLAN
SCALE: 1" = 30'



EAST JACKSON AVENUE GRADING PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 6'

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

NOTES:
1. SEE SHEET C2.0 FOR GENERAL AND GRADING NOTES.

PROPOSED FEATURES LEGEND

SPOT ELEVATION	9.05
PROPOSED MAJOR CONTOUR	90
PROPOSED MINOR CONTOUR	92

GRADING & DRAINAGE KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	1/C8.3
G2	STORM PIPE	3.4/C8.3
G3	JUNCTION MANHOLE	7/C8.2
G5	CLEANOUT	1/C8.2
G6	CORE INTO EXISTING STRUCTURE	9/C8.2
G10	WATER QUALITY STRUCTURE	3/C8.4
G13	TRENCH DRAIN	SEE ARCH.
G18	MATCH EXISTING GRADE	

NOTES:
1. SEE SHEET C6.0A FOR STORM PIPE AND STRUCTURE TABLE.

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N

811
Know what's below.
Call before you dig.

0 30 60 90
GRAPHIC SCALE (IN FEET)
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
POPULOUS
505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

PROJECT NUMBER
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KNOXVILLE MULTI-USE STADIUM
PROJECT SET
INFRASTRUCTURE
OWNER
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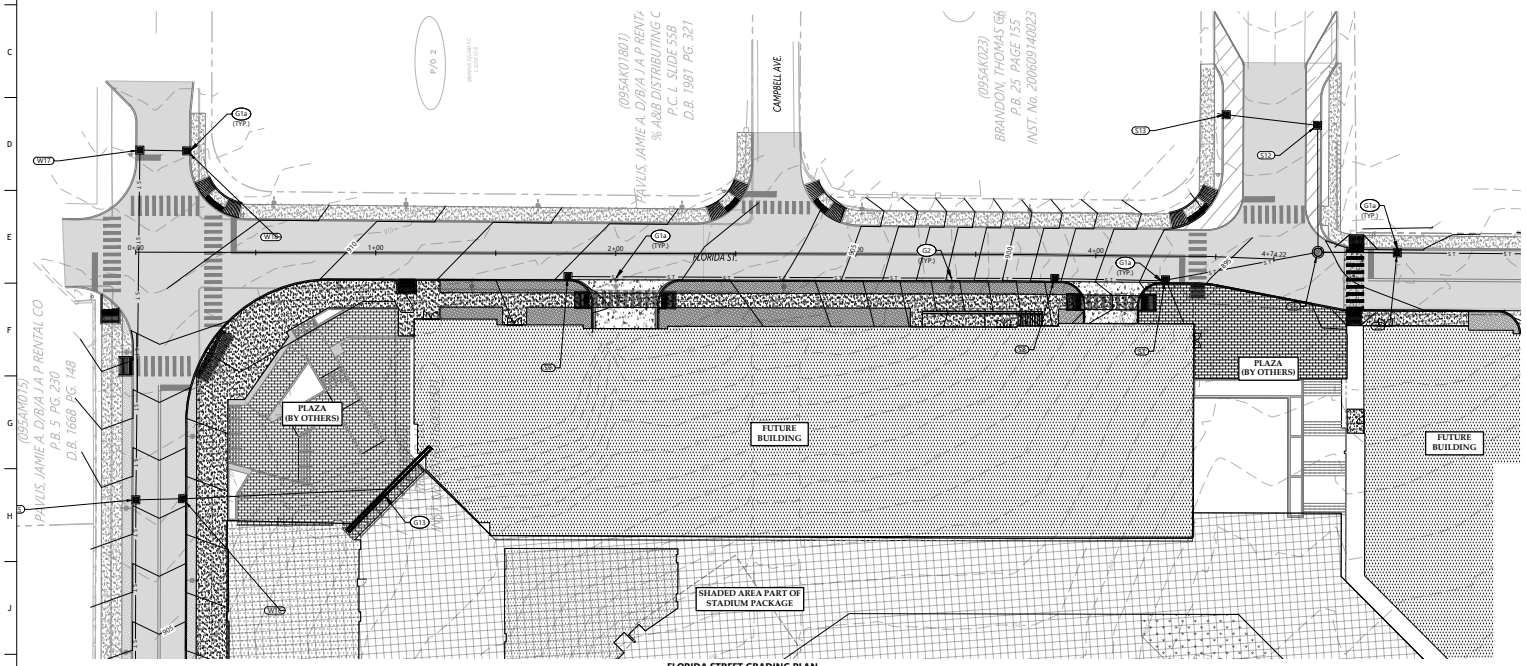
KNOXVILLE, TN 37915

CONSULTANTS

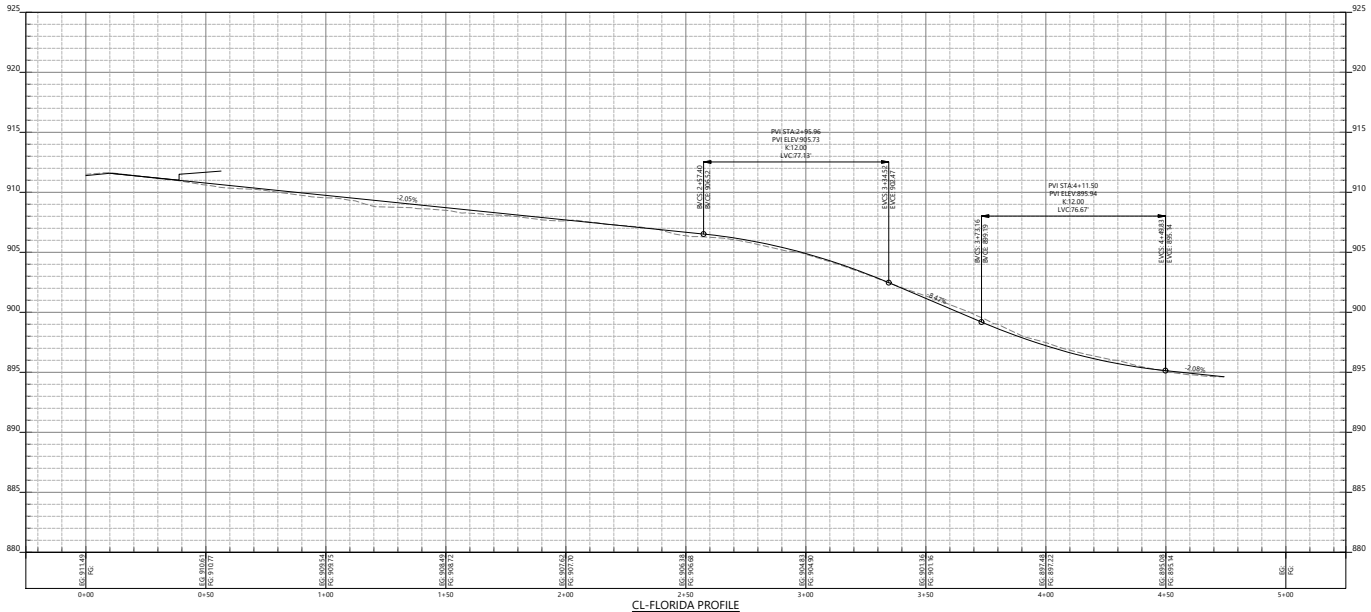
PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	5.10.2022
REVISIONS	

C6.3
JACKSON GRADING PLAN & PROFILE

2021 GEMAA



FLORIDA STREET GRADING PLAN
SCALE 1" = 20'



CL-FLORIDA PROFILE
SCALE H:1"=20'; V:1"=4'

FLORIDA STREET PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 4'

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

NOTES:
1. SEE SHEET C2.0 FOR GENERAL AND GRADING NOTES.

PROPOSED FEATURES LEGEND

SPOT ELEVATION	9.05
PROPOSED MAJOR CONTOUR	90
PROPOSED MINOR CONTOUR	92

GRADING & DRAINAGE KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	1/C8.3
G2	STORM PIPE	3.4/C8.3
G13	TRENCH DRAIN	SEE ARCH.
G18	MATCH EXISTING GRADE	

NOTES:
1. SEE SHEET C6.0A FOR STORM PIPE AND STRUCTURE TABLE.

NOTE:
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GRAPHIC SCALE (IN FEET)
0 20 40 80

VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
GEM Associated Architects: A Joint Venture
Rachel Whitney Architects + Design Innovation Architects
POPULOUS
An Design Architect
505 Market St Suite 300 Knoxville, TN 37902
t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

PROJECT NUMBER
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PROJECT NAME
KNOXVILLE MULTI-USE STADIUM
PROJECT SET
INFRASTRUCTURE
OWNER
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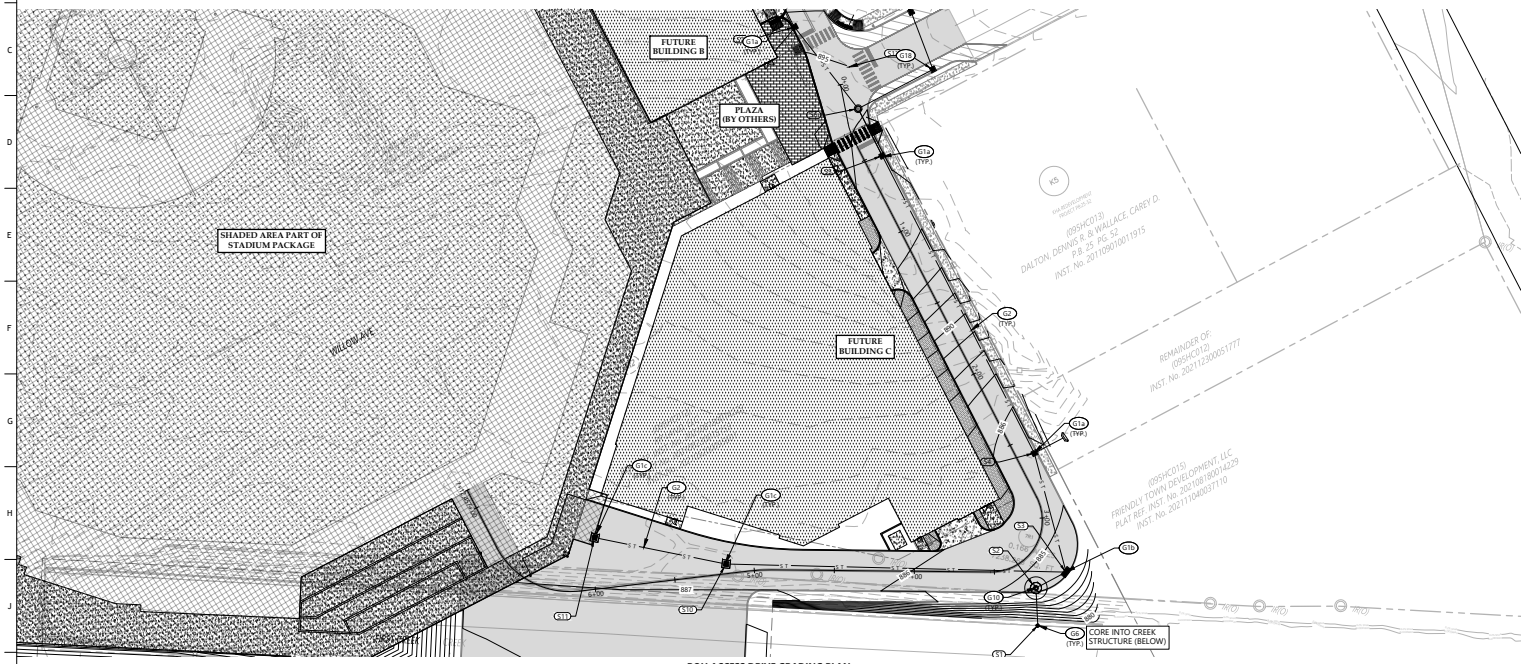
UNDER AGREEMENT WITH CITY OF KNOXVILLE AND KNOX COUNTY, TN
PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

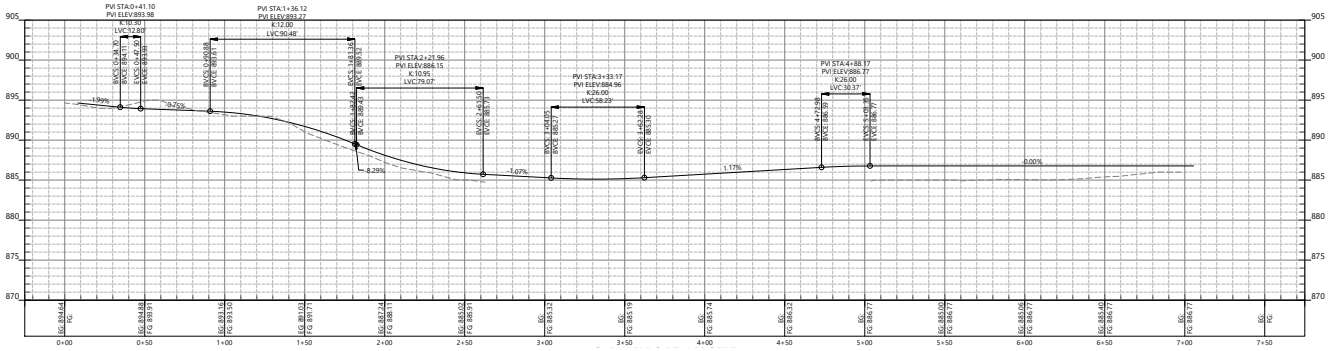
PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	5.10.2022
REVISIONS	

C6.4
FLORIDA GRADING PLAN & PROFILE

2021 GEMAA



BOH ACCESS DRIVE GRADING PLAN
SCALE: 1" = 30'



BOH ACCESS DRIVE PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 6'

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

NOTES:
1. SEE SHEET C2.0 FOR GENERAL AND GRADING NOTES.

PROPOSED FEATURES LEGEND

SPOT ELEVATION	9.05
PROPOSED MAJOR CONTOUR	90
PROPOSED MINOR CONTOUR	92

GRADING & DRAINAGE KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	
G1b	DOUBLE CURB INLET	
G1c	CATCH BASIN	
G2	STORM PIPE	
G6	CORE INTO EXISTING STRUCTURE	
G10	WATER QUALITY STRUCTURE	
G18	MATCH EXISTING GRADE	

NOTES:
1. SEE SHEET C6.0A FOR STORM PIPE AND STRUCTURE TABLE.

NOTE:
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VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
POPULOUS
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t 865.934.1915 f 865.546.0242

NOT FOR CONSTRUCTION

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OWNER
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CONSULTANTS

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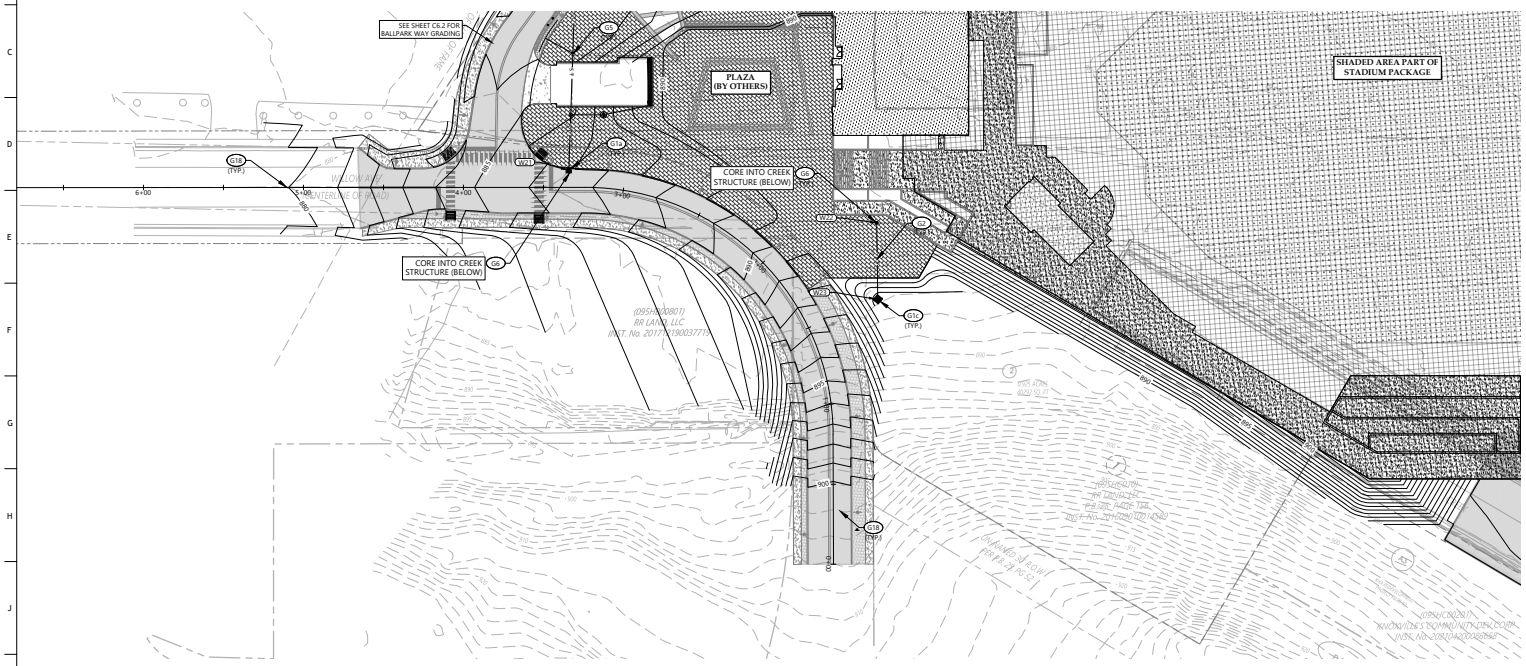
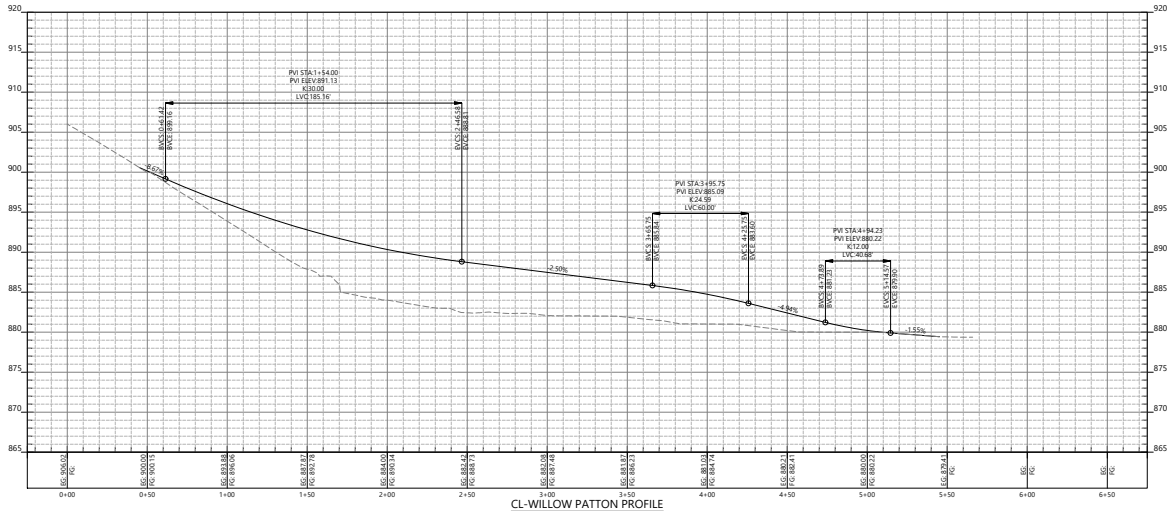
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	5.10.2022
REVISIONS	

C6.5
BOH GRADING PLAN & PROFILE

2021 GEMAA



PATTON STREET GRADING PLAN
SCALE: 1" = 30'



CL-WILLOW PATTON PROFILE
SCALE H:1"=20', V:1"=4'

PATTON STREET GRADING PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 6'

6515 NIGHTINGALE LANE
KNOXVILLE, TN 37909
(865) 934-6023

NOTES:
1. SEE SHEET C2.0 FOR GENERAL AND GRADING NOTES.

PROPOSED FEATURES LEGEND

SPOT ELEVATION	9.05
PROPOSED MAJOR CONTOUR	90
PROPOSED MINOR CONTOUR	92

GRADING & DRAINAGE KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
G1A	CURB INLET	1/C8.3
G1B	CATCH BASIN	1/C8.4
G2	STORM PIPE	3.4/C8.3
G5	CLEANOUT	1/C8.2
G6	CORE INTO EXISTING STRUCTURE	9/C8.2
G18	MATCH EXISTING GRADE	

NOTES:
1. SEE SHEET C6.1 FOR STORM PIPE AND STRUCTURE TABLE.

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N

Know what's below.
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0 30 60 90
GRAPHIC SCALE (IN FEET)
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

GEMAA
GEM Associated Architects, A Joint Venture
Fisher/Nickboy Architects + Design Innovation Architects
POPULOUS
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PROJECT ADDRESS
KNOXVILLE, TN 37915

CONSULTANTS

PARTNER-IN-CHARGE	KH/FE
PROJECT MANAGER	BRS
DRAWN BY	JRB
REVIEWED BY	BRS
ISSUE DATE	5.10.2022
REVISIONS	

C6.6
PATTON GRADING PLAN & PROFILE

2021 GEMAA

Development Request

Planning
KNOXVILLE | KNOX COUNTY

DEVELOPMENT
- ☐ Development Plan
- ☐ Planned Development
- ☐ Use on Review / Special Use
- ☐ Hillside Protection COA

SUBDIVISION
- ■ Concept Plan
- ☐ Final Plat

ZONING
- ☐ Plan Amendment
  - ☐ SP ☐ OYP
- ☐ Rezoning

RR Land, LLC

Applicant Name | Affiliation

4/25/22 | 6/9/2022 | File Number(s): 6-SE-22-C

Date Filed | Meeting Date (if applicable)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ■ Engineer ☐ Architect/Landscape Architect

Brad Salsbury | S&ME, Inc

Name | Company

6515 Nightingale Lane | Knoxville | TN | 37909

Address | City | State | ZIP

8659700003 | bsalsbury@smeinc.com

Phone | Email

CURRENT PROPERTY INFO

RR Land, LLC | PO Box 51887, Knoxville, 37950

Property Owner Name (if different) | Property Owner Address | Property Owner Phone

400 E Jackson (Multiple) | 095HB001,095HB00801, 095HC010, ~~095HC011,~~ 095HC012, ~~095HC015~~, 095HB002, 095HB003, 095HB004, 095HB005 and part of 095HC00201

Property Address | Parcel ID

KUB | KUB | N

Sewer Provider | Water Provider | Septic (Y/N)

STAFF USE ONLY

Generally bounded to the north by E. Jackson Avenue, to the east by Florida Street, on the west by Hall of Fame Drive and to the south of First Creek | 18 ac.

General Location | Tract Size

■ City ☐ County | 6th | I-MU | Vacant land

District | Zoning District | Existing Land Use

Central City | MU-SD, CC3 | N/A (within City limits)

Planning Sector | Sector Plan Land Use Classification | Growth Policy Plan Designation

DEVELOPMENT REQUEST

☐ Development Plan ☐ Use on Review / Special Use ☐ Hillside Protection COA

☐ Residential ☐ Non-Residential

Home Occupation (specify)

Other (specify) Concept plan showing proposed subdivision of lots prior to plat submittal

Related City Permit Number(s)

SUBDIVISION REQUEST

Knoxville Multi-Use Stadium

Proposed Subdivision Name

Related Rezoning File Number

Unit / Phase Number

☐ Combine Parcels ■ Divide Parcel

7

Total Number of Lots Created

☐ Other (specify) Re-subdivision of Multi-use stadium project in general accordance with previously approved Planned Development.

☐ Attachments / Additional Requirements

ZONING REQUEST

☐ Zoning Change

Proposed Zoning

Pending Plat File Number

☐ Plan Amendment Change

Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests

☐ Other (specify)

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

☐ Design Plan Certification *(Final Plat)*

☐ Use on Review / Special Use *(Concept Plan)*

☐ Traffic Impact Study

☐ COA Checklist *(Hillside Protection)*

Fee 1		Total
108	$710.00	$710.00
Fee 2		
Fee 3		

AUTHORIZATION

Applicant Signature

RR Land, LLC

Please Print

April 25, 2022

Date

(865) 286-2310

Phone Number

dougc@boydsportsllc.com

Email

Property Owner Signature

RR Land, LLC

Please Print

Douglas E. Kirchhofer

April 25, 2022

Date

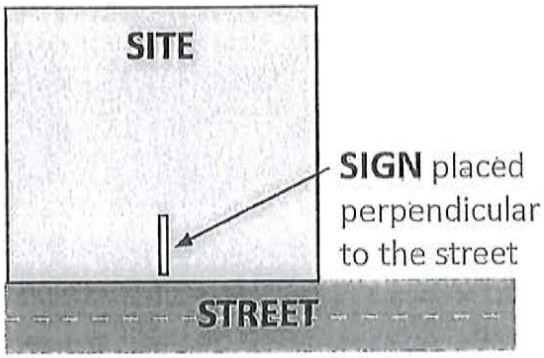
payment taken by: MMP

Planning
KNOXVILLE | KNOX COUNTY

Sign Posting & Removal Requirement

Revised April 2021

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged $10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

May 25th (applicant or staff to post sign) and June 10th (applicant to remove sign)

Applicant Name: RR Land LLC

Date: 4/26/22

File Number: 6-SE-22-C

☒ Sign posted by Staff

☐ Sign posted by Applicant