



USE ON REVIEW REPORT

► **FILE #:** 4-B-22-UR **AGENDA ITEM #:** 26
POSTPONEMENT(S): 4/14/2022 **AGENDA DATE:** 5/12/2022
► **APPLICANT:** BUDDY CRUZE (OWNER OF JOHN H. COLEMAN CO.)
OWNER(S): The 2018 Restatement of Lane S Hays 2003 Revocable Trust

TAX ID NUMBER: 118 17337 [View map on KGIS](#)
JURISDICTION: County Commission District 3
STREET ADDRESS: 805 Corridor Park Blvd.
► **LOCATION:** East end of Corridor Park Boulevard, northwest of Dutchtown Road
► **APPX. SIZE OF TRACT:** 2.31
SECTOR PLAN: Northwest County
GROWTH POLICY PLAN: Planned Growth Area
ACCESSIBILITY: Access is off of Corridor Park Boulevard, a local road with a 26-ft pavement width inside a 78-ft right-of-way.
UTILITIES: Water Source: West Knox Utility District
Sewer Source: West Knox Utility District
WATERSHED: Turkey Creek

► **ZONING:** PC (Planned Commercial) / TO (Technology Overlay)
► **EXISTING LAND USE:** Vacant land
► **PROPOSED USE:** Office warehouse facility

HISTORY OF ZONING: None noted
SURROUNDING LAND USE AND ZONING: North: Warehouse facility (plans in progress) - PC (Planned Commercial) / TO (Technical Overlay)
South: Industrial - PC (Planned Commercial) / TO (Technical Overlay)
East: Pellissippi Parkway right-of-way
West: Office buildings - BP (Business and Technology Park) / TO (Technology Overlay)
NEIGHBORHOOD CONTEXT: This area consists predominantly of office buildings and warehouses, though much of the area is still undeveloped.

STAFF RECOMMENDATION:

- **Approve the request for an office-warehouse development in the PC (Planned Commercial) zone, subject to five conditions.**
- 1) Installation of all landscaping as shown on the development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
 - 2) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
 - 3) Meeting all applicable requirements of the Knox County Zoning Ordinance.

- 4) Meeting all requirements and conditions of the TTCDA approval.
- 5) Obtaining approval of signage in a separate application if signage is desired in the future.

With the conditions noted, this plan meets the requirements for approval of a Concept Plan and a Use-on-Review.

COMMENTS:

The applicant is requesting approval of an office warehouse with an area of approximately 14,763 sq ft. Access would be off of Corridor Park Boulevard, a local road one block north of Dutchtown Road, a minor arterial. The building features loading dock doors on the right side of the front façade, which is located in the farthest corner of the building from the street. The building is angled in such a way that the loading dock door is not readily visible from the street.

The 2.31-acre site is zoned PC (Planned Commercial) / TO (Technology Overlay). Office warehouses are allowed in the PC zone, but per Section 5.33.13 of the Knox County Zoning Ordinance, applications in the PC zone require approval through the use on review process. Additionally, applications in the TO zone require approval by the TTCDA (Section 5.90.01). The request was approved by the TTCDA on April 11, 2022 (Case 5-A-22-TOB).

The proposed ground area coverage (GAC), Floor Area Ratio (FAR), and Impervious Area Ratio (IAR) are in compliance with the TTCDA Design Guidelines.

The TTCDA approved a waiver reducing the front parking lot setback to allow the maximum number of spaces allowed by the TTCDA Guidelines. TTCDA would require between 28 and 42 spaces, and the County Zoning Ordinance would require a minimum of 23 spaces with no maximum. The proposed 42 spaces meet both sets of requirements.

The landscape plan and lighting plan meet TTCDA Guideline requirements.

DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10 – SECTION 2)

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

1) THE PROPOSED USE IS CONSISTENT WITH THE ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND SECTOR PLAN.

A. For this special use application to be approved in the TP land use classification, the Planning Commission must find that the proposed use is “consistent with, and not in conflict with” the sector plan.

B. The property is designated TP (Technology Park) on the Northwest County Sector Plan. The TP land use has the following description: “This land use primarily includes offices and research and development facilities. The target area for such development has been the Pellissippi Technology Corridor.”

C. The TP land use classification allows the PC zone, which in turn allows light distribution centers.

D. The proposed office-warehouse use is consistent with the sector plan and One Year Plan.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.

A. The Knox County Zoning Ordinance describes the PC (Planned Commercial) zone as, “intended to provide for a unified grouping of commercial buildings which do not require or desire a central business district location...It is not the intent of this zone to restrict potential development by limiting uses. In general, uses permitted shall include office, commercial services and light distribution centers.”

B. The proposed office-warehouse development is compatible with the above description of the PC zone.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The proposed office-warehouse is compatible with the surrounding area. The surrounding area consists of mostly office buildings, research and development facilities, and office-warehouse uses.

B. The building will be a one story structure of a similar square footage as some of the surrounding buildings in the vicinity, though there are some that are much larger structures than what is proposed. This building will have a similar aesthetic as other buildings in the vicinity.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY.

A. The proposed office-warehouse is not expected to significantly injure the value of adjacent properties.

Surrounding properties consist of office, light industrial, and commercial uses.

5) THE USE WILL NOT DRAW ADDITIONAL TRAFFIC THROUGH RESIDENTIAL AREAS.

A. No traffic through residential subdivisions or side streets is required to access this property since Corridor Park Boulevard is one block north of Dutchtown Road, which connects directly to Pellissippi Parkway.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

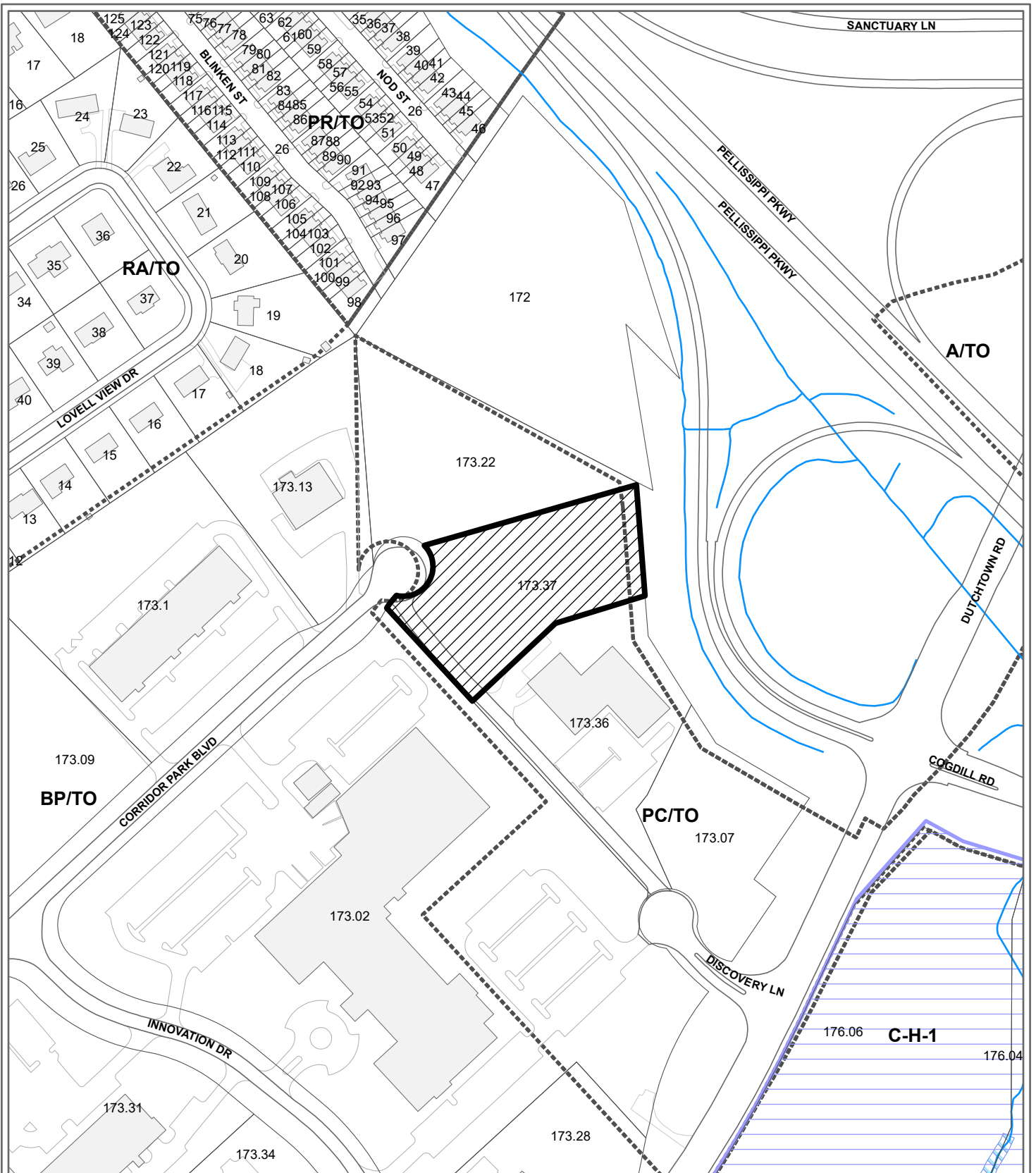
A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed development.

ESTIMATED TRAFFIC IMPACT: 203 (average daily vehicle trips)

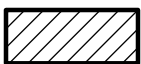
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Chancery Court. The date of the Knox County Chancery Court hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



**4-B-22-UR
USE ON REVIEW**



Corporate Headquarters Office Facility in PC (Planned Commercial) / TO (Technology Overlay) & BP (Business and Technology) / TO (Technology Overlay)

Original Print Date: 3/7/2022

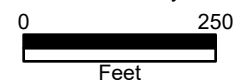
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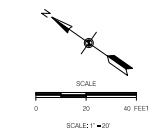
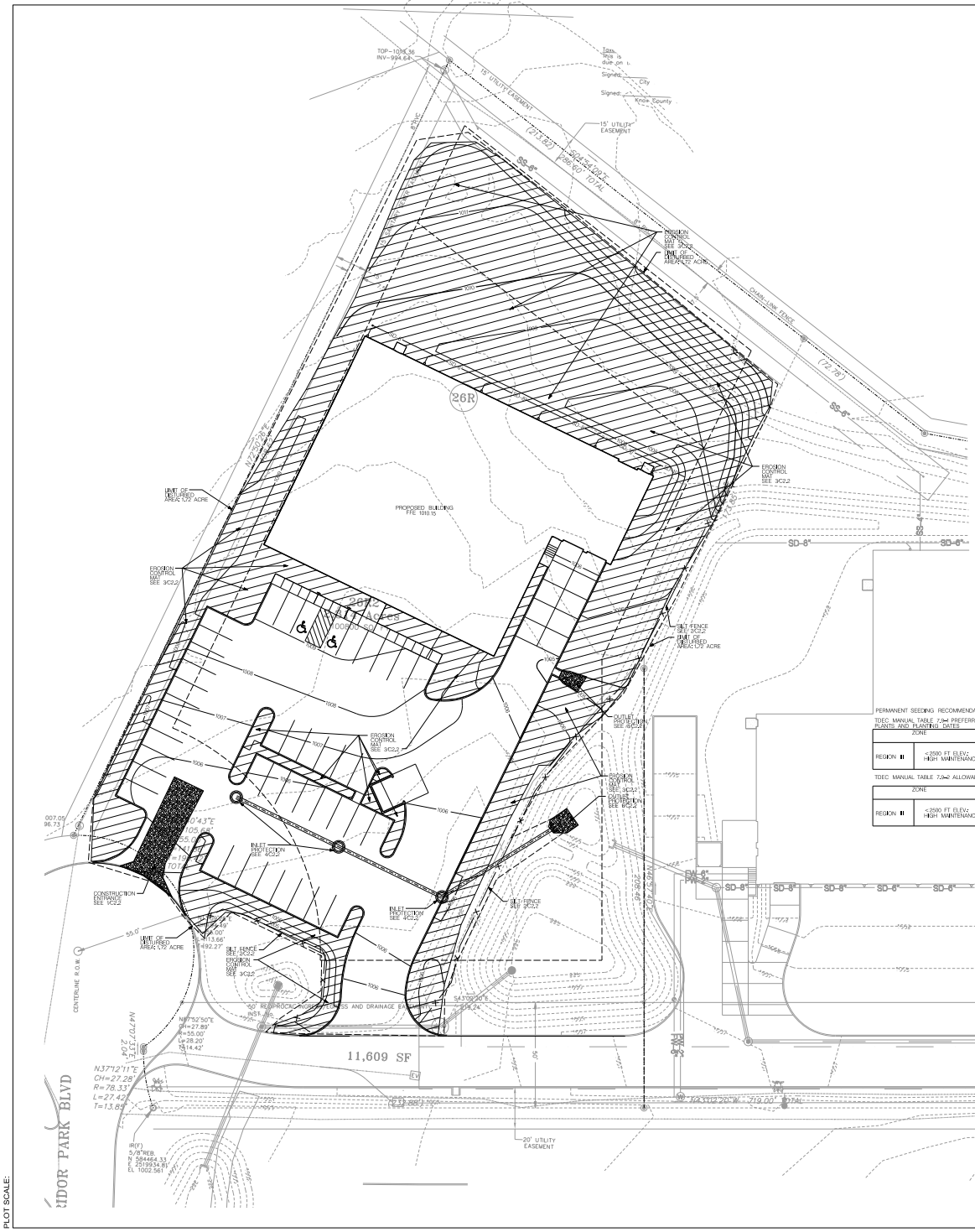
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Cruze, Buddy

Map No: 118

Jurisdiction: County





EXISTING	PROPOSED	GROUND CONTOUR ELEVATION
SS	SS	SPOT ELEVATION
SD	SD	STRUCTURE
SS	SS	PROPERTY LINE
SS	SS	EASEMENT
SS	SS	EDGE OF PAVEMENT
SS	SS	STORM DRAIN
SS	SS	SANITARY SEWER
SS	SS	POTABLE WATER
SS	SS	NATURAL GAS
SS	SS	UNDERGROUND ELECTRICAL
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SS	SS	WATER METER
SS	SS	FIRE HYDRANT
SS	SS	SURFACE FLOW
SS	SS	SILT FENCING
SS	SS	CURB
SS	SS	CONCRETE PAVEMENT
SS	SS	ASPHALT PAVEMENT
SS	SS	CONSTRUCTION ENTRANCE
SS	SS	EROSION CONTROL MAT

SITE GRADING NOTES

1. SITE BENCHMARK CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BRIDGE MARKERS.
2. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LINDA SUTHERLAND, L.S., REGISTERED PROFESSIONAL SURVEYOR, KNOX COUNTY, TENNESSEE. THE ENGINEER OF ANY DISCREPANCIES, THE ARCHITECT AND THE ENGINEER SHALL ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THE INFORMATION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, EROSION CONTROL MAT, AND EROSION CONTROL FABRIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
5. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL. COMPARISON IN ACCORDANCE WITH THE TESTING SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN $\pm 2\%$ OF OPTIMUM.
6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIALS. THE CONTRACTOR SHALL SUBMIT A PLAN TO THE SITE SURVEY AND INSPECT THE SITE PRIOR TO THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THE PLAN TO THE GOALS OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THE GRADING PLAN ARE REQUIRED TO MEET THE GOAL.
7. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-1 EROSION CONTROL FABRIC, INSTALL FABRIC, PER MANUFACTURER'S RECOMMENDATIONS.
8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL:1 VERTICAL.
9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 15 DAYS AND FINAL SEEDING OR IMPROVED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL EROSION.
10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT AFFECT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EROSION.
11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN. DETAILS, IF DETAILS ARE NOT SHOWN, REFER TO THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TORQUE HAS BEEN INSTALLED TO ENCOURAGE LOCK IN OF EROSION MAT.
13. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.
14. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES PRIOR TO ANY STORMWATER MANAGEMENT MEASURES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY OR OTHER STORMWATER DAMAGE CAUSED BY THE CONTRACTORS OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
15. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CANALS OF EROSION. THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED, SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE MAXIMUM PROXIMITY OF THE MATERIALS AS WELL.
16. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
17. NO VEHICLE MAINTENANCE OR CONSTRUCTION VEHICLES WILL OCCUR ON-SITE.
18. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND DRY GAP PILE FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A 15-MINUTE THE MATERIAL STAGING AREA IN A NEAT AND ORDERLY MANNER.
19. CONTRACTOR SHALL INSTALL A THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCORDABLE TO THE KNOX COUNTY SITE INSPECTOR.

ZONE	BEST	VARIOUS	VARIOUS (BRANCH)
REGION II	<200 FT ELEV HIGH MAINTENANCE	AUG 15 - SEPT 15 MAY 1 - JUNE 1	SEPT 15 - SEPT 15 APR 1 - JUNE 1
REGION II	<200 FT ELEV HIGH MAINTENANCE	AUG 15 - SEPT 15 MAY 1 - JUNE 1	SEPT 15 - SEPT 15 APR 1 - JUNE 1

- STANDARD NOTES:**
1. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.
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 3. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL.
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 19. EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL.
 20. EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL.

4-B-22-UR
4/13/2022

Johnson Architecture
2240 Sutherland Ave., Suite 105
Knoxville, TN 37919
865.471.1660
jha.com

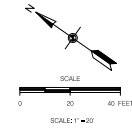
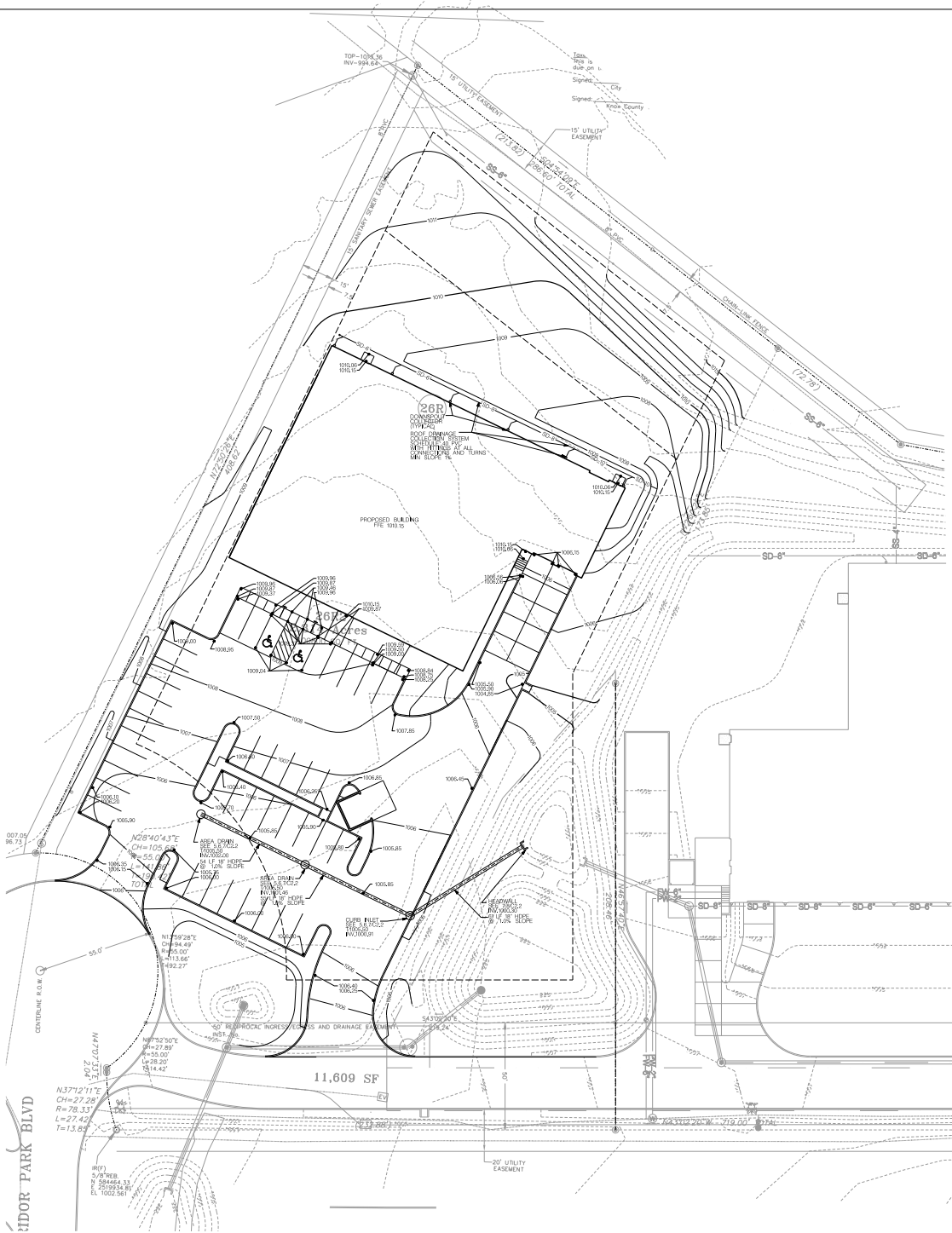
JOHN H. COLEMAN CO., LLC
TTCA (S-4-22-T0B) PC (4-B-22-UR)
805 Condit Park Blvd
Knoxville, Tennessee 37932

EROSION CONTROL - 2

REVISIONS:

DATE:	14/13/2022
FILE NAME:	
PROJECT NO:	213142

C1.4



EXISTING	PROPOSED	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
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2. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LINDY SURFACES DATED 08/07/2019. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
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4-B-22-UR
4/13/2022



A NEW CORPORATE HEADQUARTERS FACILITY FOR:
JOHN H. COLEMAN CO., LLC
TTCCA (S-4-22-10B) PC (4-B-22-UR)
805 Corridor Park Blvd
Knoxville, Tennessee 37932

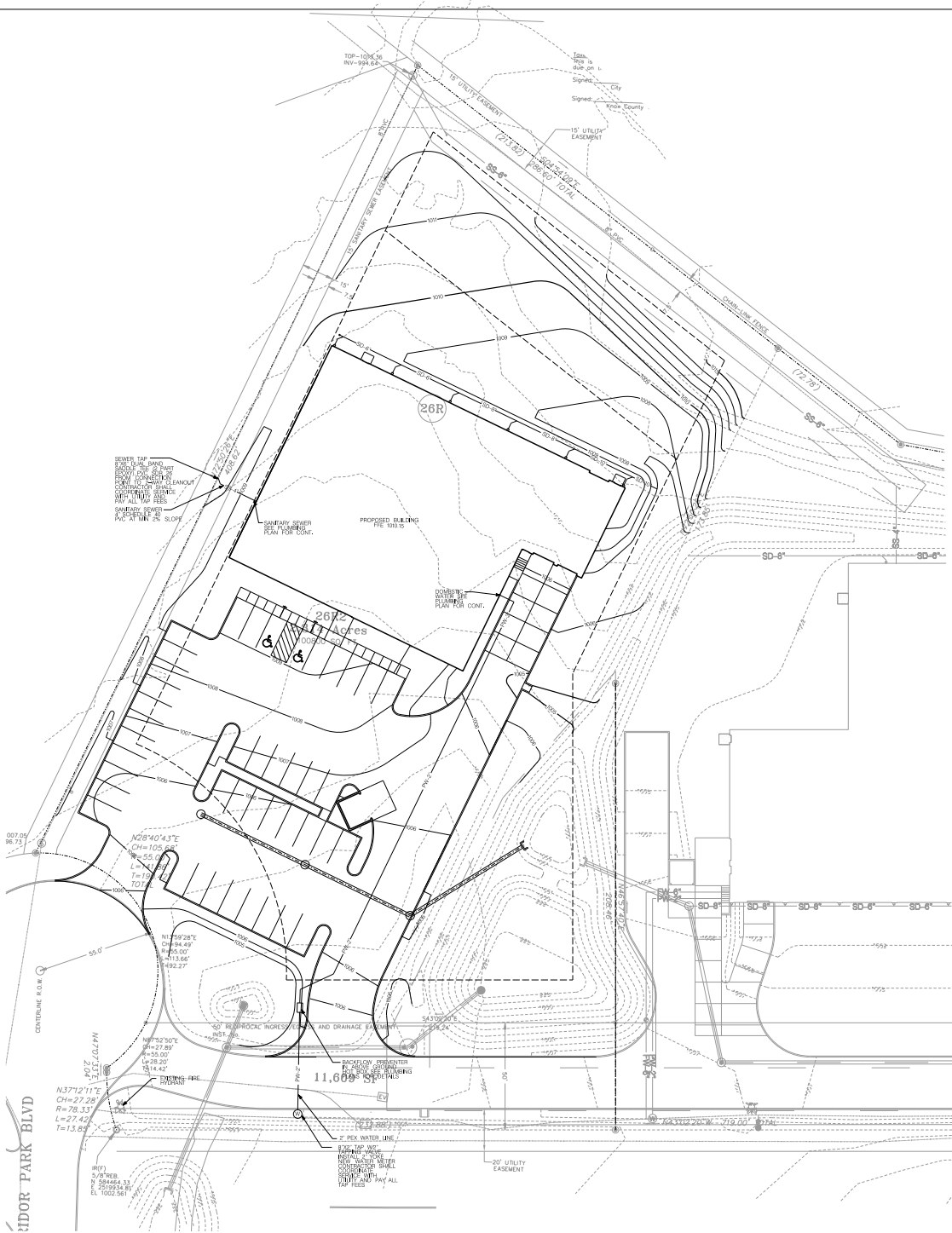
SITE GRADING PLAN

REVISIONS:

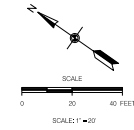
DATE: 4/13/2022
FILE NAME:
PROJECT NO: 21342

C1.5

PLOT SCALE:



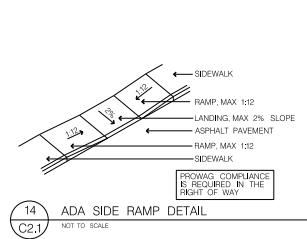
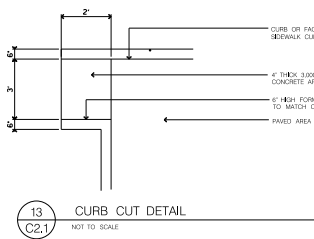
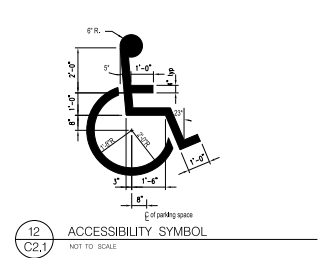
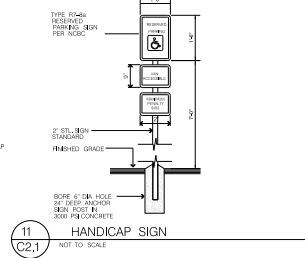
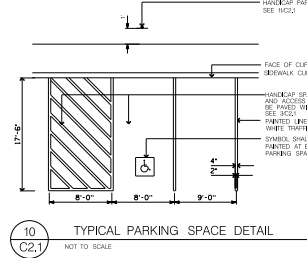
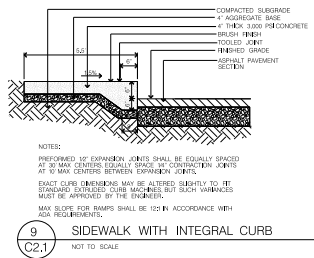
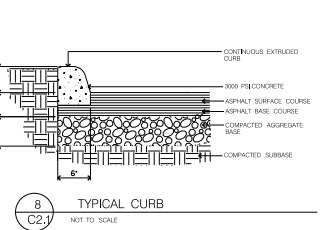
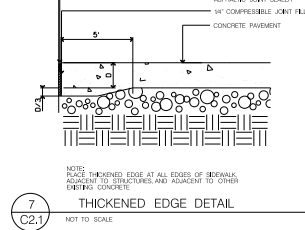
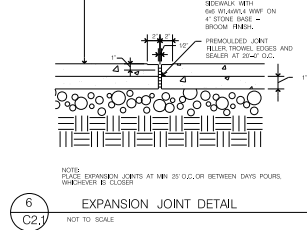
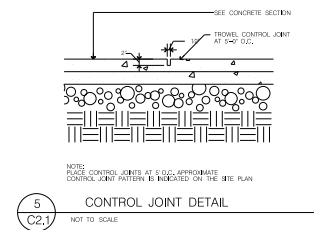
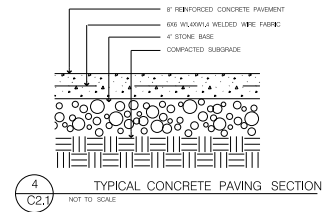
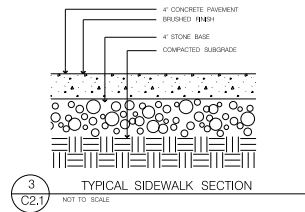
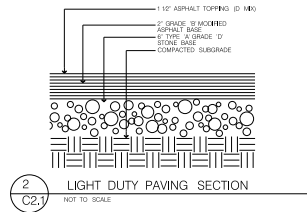
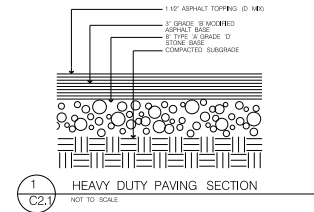
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4/13/2022

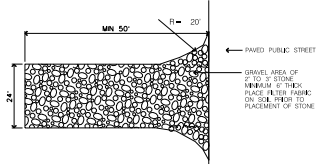


EXISTING	PROPOSED	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	UNDERGROUND ELECTRICAL
---	---	MANHOLE
---	---	WATER METER
---	---	FIRE HYDRANT
---	---	SURFACE FLOW
---	---	BILT FENCING
---	---	CURB
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT
---	---	CONSTRUCTION ENTRANCE
---	---	EROSION CONTROL MAT

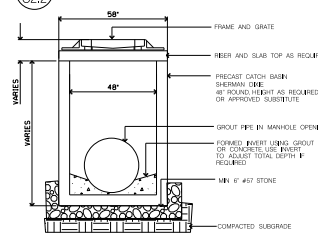
SITE UTILITY NOTES

1. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LINDSEY SURVEYING, L.L.C. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
2. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THE INFORMATION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. DESIGN PLANS FOR THE DEVELOPMENT AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL LOCAL UTILITY PROVIDERS AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO RELOCATE EXISTING FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. CONTRACTOR SHALL PAY ALL FEES.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR LOCAL UTILITY PROVIDERS SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE AS BUILT DRAWINGS SHALL BE PREPARED AND SUBMITTED TO UTILITY PROVIDERS AS REQUIRED AFTER CONSTRUCTION AND LOANED TO ENGINEER OF RECORD.
5. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 18" ON WATER LINES AND 4 FEET ON SEWER LINES.
6. WATER SEWER AND STORM LINES SHALL BE KEPT 18 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE UNLESS NOTED OTHERWISE.
7. PRIVATE WATER LINES SHALL BE AS FOLLOWS:
a. WATER LINES: PEX, ASTM FIBER AND JAWA CDSH
b. PIPE: 8 INCHES AND LARGER: CDSH
c. 4 INCHES = 2 INCHES
8. PRIVATE SANITARY SEWER SHALL BE AS FOLLOWS:
a. SCHEDULE 40 PEX-ASTM D4578 CONTINUALLY MARKED AS REQUIRED FOR PIPE LESS THAN 12 FEET DEEP
b. DUCTILE IRON PIPE (JAWA CDSH) FOR PIPES GREATER THAN 12 FEET DEEP
9. TOPS OF EXISTING UTILITY STRUCTURES SHALL BE RAISED OR LOWERED AS NECESSARY TO BE FLUSH WITH THE PROPOSED PAVEMENT GRIDE AND 8 INCHES ABOVE FINISHED GRADE IN UNPAVED AREAS.
10. GAS LINES SHALL BE SIZED, LOCATED AND INSTALLED BY LOCAL UTILITY PROVIDER. CONTRACTOR SHALL COORDINATE AND PAY ALL FEES.
11. REFER TO ARCHITECTURAL/MEP PLANS FOR THE IN OF ALL UTILITIES.
12. REFER TO ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
13. FIRE PROTECTION SERVICE SHALL BE BY EXISTING FIRE HYDRANT AS SHOWN ON THE PLAN.
14. CONTRACTOR SHALL TAKE SPECIAL CARE TO BEED BACKFILL AND COMPACT PIPE CROSSINGS WHERE A WATER OR SANITARY SEWER MAIN CROSSES WITH STORM SEWERS. CROSSINGS SHALL BE CONSTRUCTED WITH A WELL COMPACTED FULL STONE ENVELOPE SUCH THAT STORM SEWER DOES NOT SEAR DIRECTLY ON WATER OR SANITARY SEWER MAINS.
15. SEWER LINES SHALL HAVE A MINIMUM 8 INCHES OF STONE BEDDING AND BACKFILL AROUND THE CIRCUMFERENCE OF THE PIPE (TYPE 30). UNDER ALL ROADS AND PAVED AREAS, WATER AND SEWER MAINS MUST BE STONE BACKFILLED FULL DEPTH TO PAVEMENT SUBGRADE.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY CONNECTION TAP USE AND OTHER FEES REQUIRED TO CONNECT WATER, SEWER AND GAS.
17. ANY EXISTING UTILITY STRUCTURES SHALL BE BROUGHT INTO CONFORMANCE WITH RULES, ORDINANCES AND POLICIES OF THE UTILITY OWNERS.

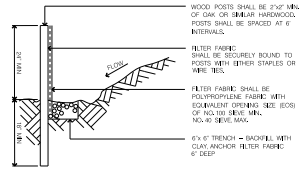




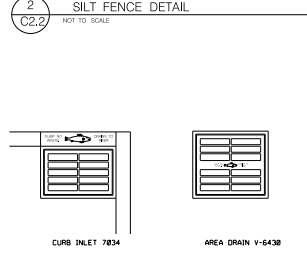
1 CONSTRUCTION ENTRANCE DETAIL
C2.2 NOT TO SCALE



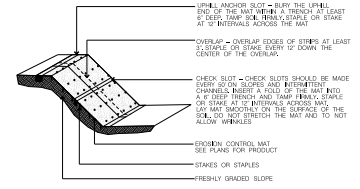
5 48" ROUND CATCH BASIN DETAIL
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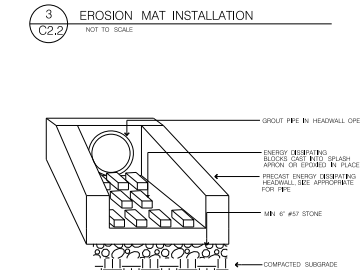
2 SILT FENCE DETAIL
C2.2 NOT TO SCALE



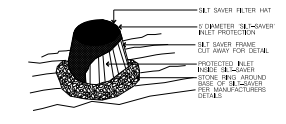
6 ENVIRONMENTAL MESSAGE DETAIL
C2.2 NOT TO SCALE



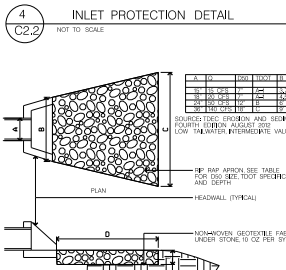
3 EROSION MAT INSTALLATION
C2.2 NOT TO SCALE



7 ENERGY DISSIPATING HEADWALL DETAIL
C2.2 NOT TO SCALE



4 INLET PROTECTION DETAIL
C2.2 NOT TO SCALE



8 LOW TAILWATER OUTLET PROTECTION DETAIL
C2.2 NOT TO SCALE



A NEW CORPORATE HEADQUARTERS FACILITY FOR:
JOHN H. COLEMAN CO., LLC
TTCDA (S-A-22-TOB) PC (4-B-22-UR)
805 Corridor Park Blvd
Knoxville, Tennessee 37932

SITE DETAILS - 2

REVISIONS:

DATE: 14/13/2022
FILE NAME:
PROJECT NO: 213142

C2.2



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A New Corporate Headquarters for:
JOHN H. COLEMAN CO., LLC
805 Corridor Park Blvd.
Knoxville, Tennessee 37932

FLOOR PLAN &
FINISH SCHEDULE

REVISIONS
Revision # Description Date
1 Revision 1 4-13-22

DATE: 3/23/22

PROJECT NO: 213142

A1.1

FLOOR PLAN NOTES

- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
- SEE SHEET A0.1 FOR ABBREVIATIONS, SYMBOLS, GENERAL NOTES AND TYPICAL ACCESSIBLE MOUNTING HEIGHTS
- FURNISH AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY A.H.J. MINIMUM REQUIRED PER 75' OF TRAVEL OR 1 PER 600 SF OF BUILDING AREA
- PROVIDE BLOCKING, ROUGH HARDWARE, ETC. AS REQUIRED TO MOUNT EQUIPMENT
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAIN
- PROVIDE CYPRESS BOARD CENTER JOINTS AT 30" O.C. MAX. COORDINATE LOCATIONS WITH INTERIOR ELEVATIONS. WHERE JOINTS ARE NOT SHOWN, CENTER SPACING WITHIN ROOM, EDGE OF WALL OPENINGS
- ALL EXPOSED STEEL TO BE PAINTED W/ENAMEL LATEX PAINT PER SPEC (PRIMER + 2 COATS MIN.)

WALL LEGEND

	EXTERIOR WALL PARTITION 'A' & 'A' 8" CMU UP TO 8'-0" A.F.F. TO UNDERSIDE OF PEMB WALL PANEL SYSTEM
	EXTERIOR WALL PARTITION 'B' PEMB WALL PANEL SYSTEM
	INTERIOR WALL PARTITION 'B' 1-5/8" 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" CYPRESS BOARD ON EACH SIDE. EXTEND STUDS 10'-0" A.F.F.
	INTERIOR WALL PARTITION 'D' & 'D' 3-5/8" @ 8" OR 4" @ 8" 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" CYPRESS BOARD ON EACH SIDE. EXTEND STUDS 10'-0" A.F.F.
	INTERIOR WALL PARTITION 'E' & 'E' 3-5/8" @ 8" OR 4" @ 8" 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" CYPRESS BOARD ON EACH SIDE. EXTEND STUDS 10'-0" A.F.F. AND PROVIDE SOUND BATT INSULATION.

NOTE: SC-1 = SEALED CONCRETE FLOOR

NOTE: CT-1 = CERAMIC TILE UP TO 4'-0" AFF. TYP. ON WET WALLS IN RESTROOMS

NOTE: CPT-1 = 2' x 2' CABRET TILE - COLOR BY OWNER. SHAW NATIVE OR EQUAL

NOTE: VB-1 = 4" VINYL BASE. COLOR BY OWNER. JOHNSONITE OR EQUAL

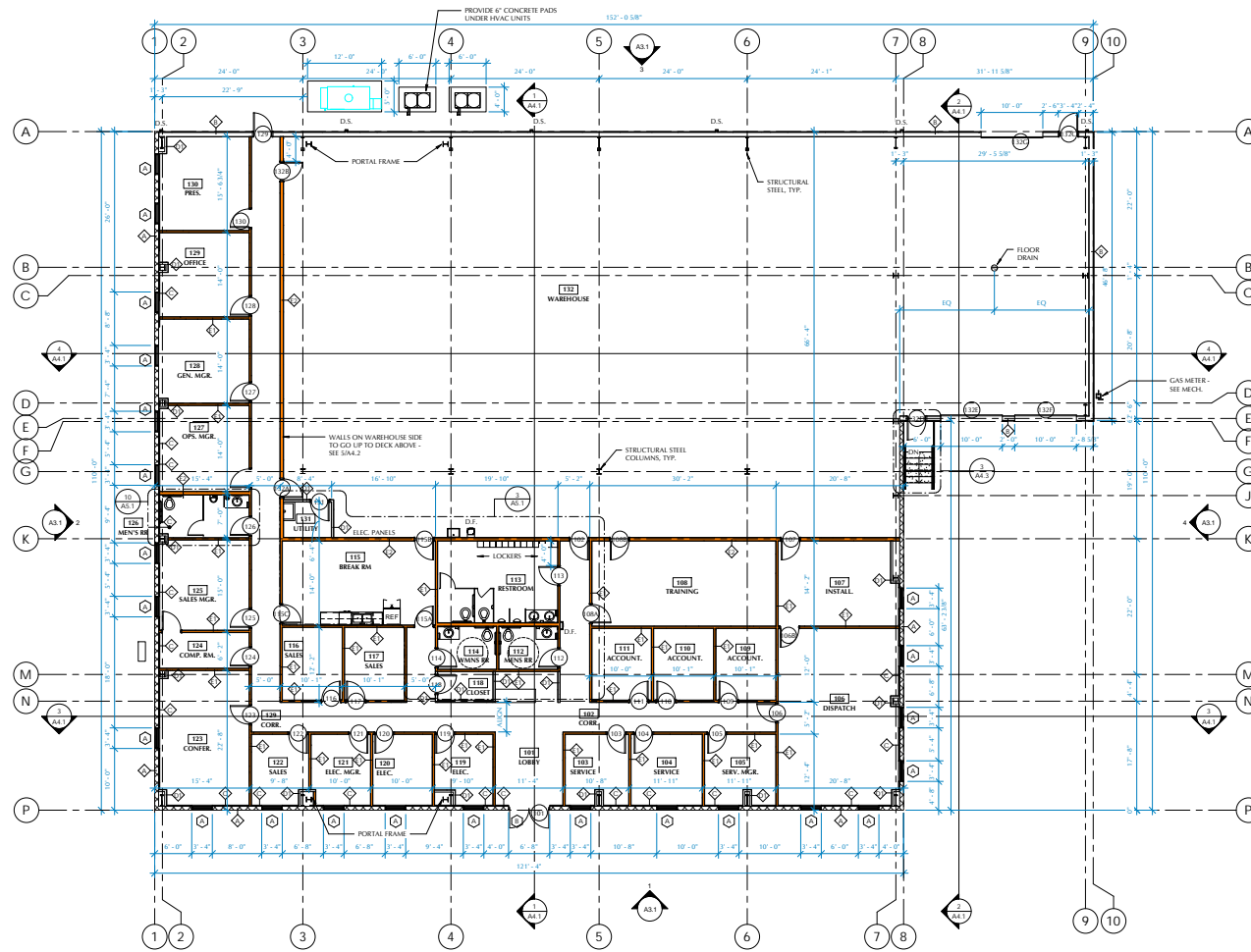
NOTE: ACT = ACT TO BE ARMSTRONG REGULAR DUNE - WHITE

NOTE: COORDINATE FINISH COLORS WITH OWNER

FINISH SCHEDULE

ROOM NO.	CEILING	FLOOR	WALL	BASE	NOTES
101	ACT (2x2) GYP	SC-1	PAINT	VB-1	
102	ACT (2x2)	SC-1	PAINT	VB-1	
103	ACT (2x2)	CPT-1	PAINT	VB-1	
104	ACT (2x2)	CPT-1	PAINT	VB-1	
105	ACT (2x2)	CPT-1	PAINT	VB-1	
106	ACT (2x2)	CPT-1	PAINT	VB-1	
107	ACT (2x2)	SC-1	PAINT	VB-1	
108	ACT (2x2)	SC-1	PAINT	VB-1	
109	ACT (2x2)	CPT-1	PAINT	VB-1	
110	ACT (2x2)	CPT-1	PAINT	VB-1	
111	ACT (2x2)	CPT-1	PAINT	VB-1	
112	ACT (2x2)	SC-1	CT-1/PAINT	CT-1/VB-1	
113	ACT (2x2)	SC-1	CT-1/PAINT	CT-1/VB-1	
114	ACT (2x2)	SC-1	CT-1/PAINT	CT-1/VB-1	
115	ACT (2x2)	SC-1	PAINT	VB-1	
116	ACT (2x2)	CPT-1	PAINT	VB-1	
117	ACT (2x2)	CPT-1	PAINT	VB-1	
118	ACT (2x2)	SC-1	PAINT	VB-1	
119	ACT (2x2)	CPT-1	PAINT	VB-1	
120	ACT (2x2)	CPT-1	PAINT	VB-1	
121	ACT (2x2)	CPT-1	PAINT	VB-1	
122	ACT (2x2)	CPT-1	PAINT	VB-1	
123	ACT (2x2) GYP	CPT-1	PAINT	VB-1	
124	ACT (2x2)	CPT-1	PAINT	VB-1	
125	ACT (2x2)	CPT-1	PAINT	VB-1	
126	ACT (2x2)	SC-1	CT-1/PAINT	CT-1/VB-1	
127	ACT (2x2)	CPT-1	PAINT	VB-1	
128	ACT (2x2)	CPT-1	PAINT	VB-1	
129	ACT (2x2)	SC-1	PAINT	VB-1	
130	ACT (2x2)	CPT-1	PAINT	VB-1	
131	GYP	SC-1	PAINT	VB-1	
132	OPEN	SC-1	PAINT / NF	VB-1	CEILING OPEN TO STRUCTURE

*NF = NOT FINISHED



1 FLOOR PLAN
A1.1
1/8" = 1'-0"

KNOX COUNTY PLANNING COMMISSION # 4-B-22-UR
TENN. TECH. CORR. DEVELOPMENT AUTH. # 5-A-22-T0B

4-B-22-UR
4/13/2022

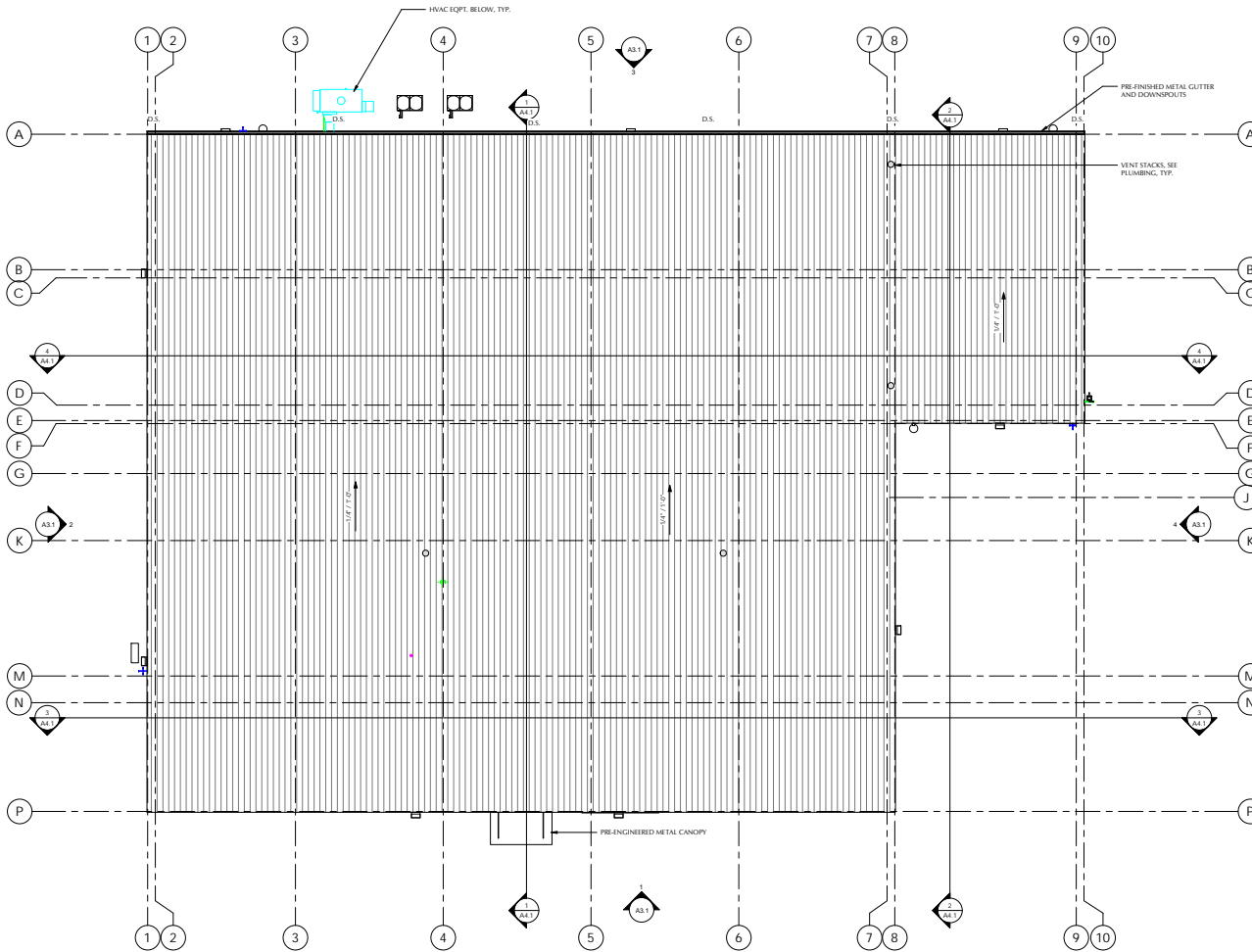
REVISIONS		
Revision #	Description	Date
1	Revision 1	4-13-22

DATE: 3/23/22
PROJECT NO: 213142

A1.2

ROOF PLAN NOTES

1. ARROWS INDICATE DOWNWARD ROOF SLOPE, 1/4" PER FOOT MINIMUM.
2. PROVIDE ROOF WALK PADS AS REQUIRED TO ACCESS ALL ROOF TOP EQUIPMENT AND PENETRATIONS, TYP.
3. ROOF ASSEMBLY TO BE CLASS "C" CONSTRUCTION.
4. PROVIDE VENTS THROUGH ROOF AS INDICATED FOR PLUMBING SYSTEMS. LOCATIONS TO BE NO CLOSER THAN 5'-0" TO PARAPET CONDITION AND NO CLOSER THAN 10'-0" TO ANY AIR INTAKE.
5. PROVIDE TAPERED RIGID ROOF INSULATION CRICKETS AT ALL ROOF TOP EQUIPMENT OR EQUIPMENT CURBS WITH INTEGRAL CRICKETS / DIVERTERS - NOT SHOWN FOR CLARITY.
6. PROVIDE SERVICE LIGHTING IN MANSARD SERVICE AREAS, TYP.



1 ROOF PLAN
A1.2
1/8" = 1'-0"

KNOX COUNTY PLANNING COMMISSION # **4-B-22-UR**
TENN. TECH. CORR. DEVELOPMENT AUTH. # **5-A-22-TOB**

4-B-22-UR
4/13/2022



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A New Corporate Headquarters for:
JOHN H. COLEMAN CO., LLC
805 Corridor Park Blvd.
Knoxville, Tennessee 37932

BUILDING
ELEVATIONS

REVISIONS		
Revision #	Description	Date
1	Revision 1	4-13-22

DATE: 3/23/22
PROJECT NO: 213142

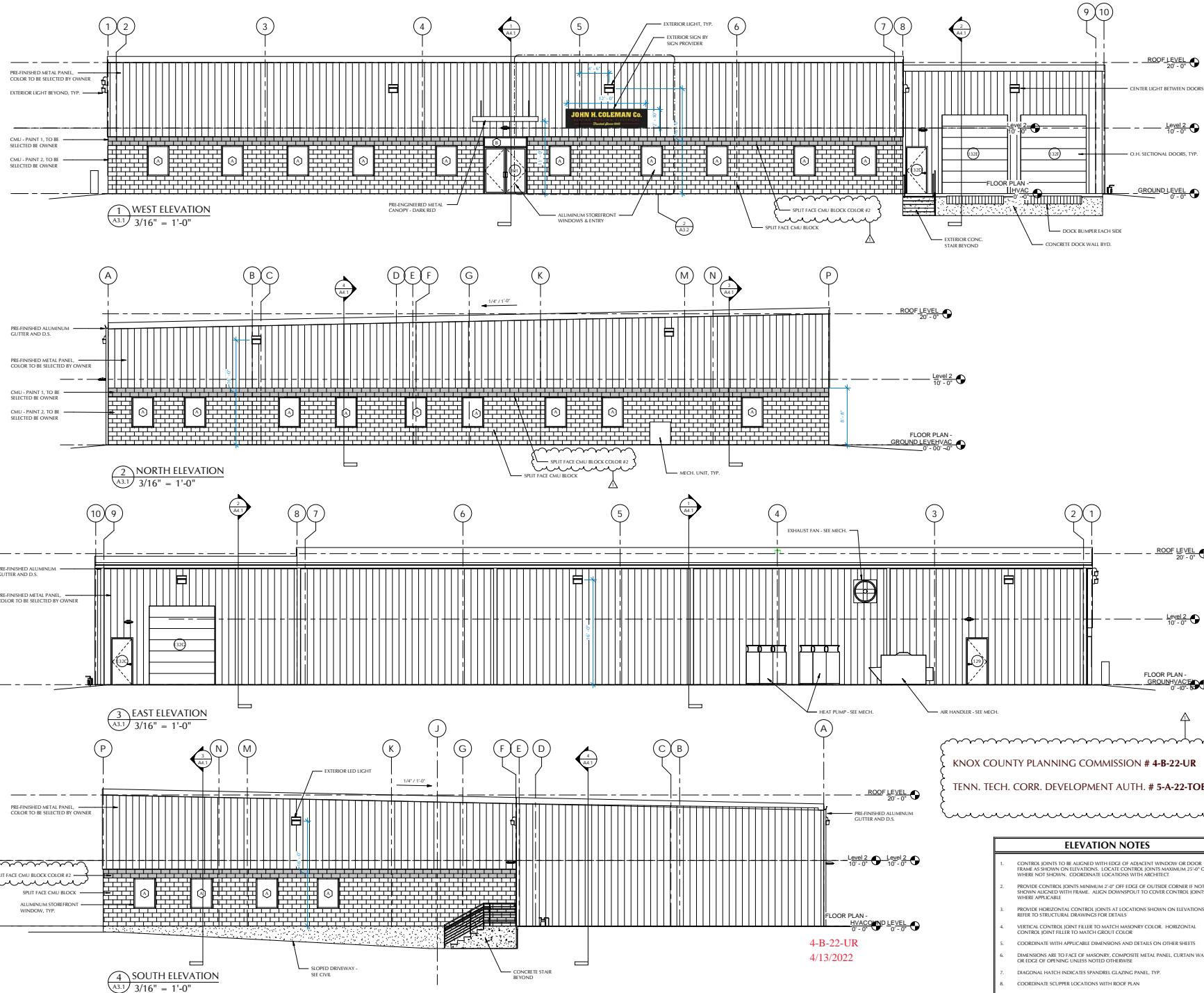
A3.1

KNOX COUNTY PLANNING COMMISSION # 4-B-22-UR
TENN. TECH. CORR. DEVELOPMENT AUTH. # 5-A-22-TOB

ELEVATION NOTES

- CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 24" O.C. WHERE NOT SHOWN, COORDINATE LOCATIONS WITH ARCHITECT.
- PROVIDE CONTROL JOINTS MINIMUM 2" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE.
- PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR.
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
- DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE.
- DIAGONAL HATCH INDICATES SPANDREL GLAZING PANEL, TYP.
- COORDINATE SCUPPER LOCATIONS WITH ROOF PLAN.
- PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISMISABLE MATERIALS, TYP.

4-B-22-UR
4/13/2022





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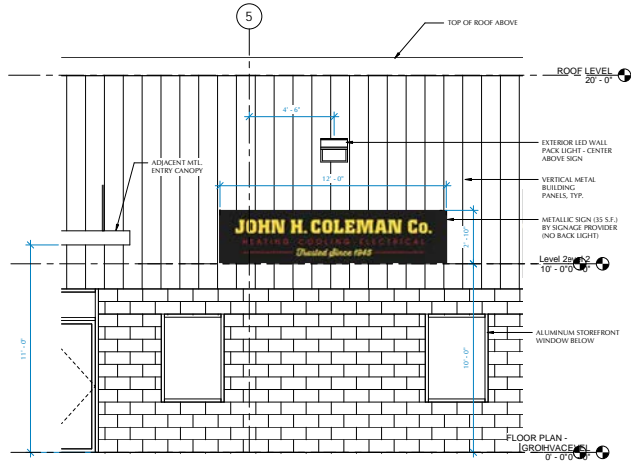
3D VIEWS &
EXTERIOR MATERIALS

REVISIONS		
Revision #	Description	Date
1	Revision 1	4-13-22

DATE: 3/23/22

PROJECT NO: 213142

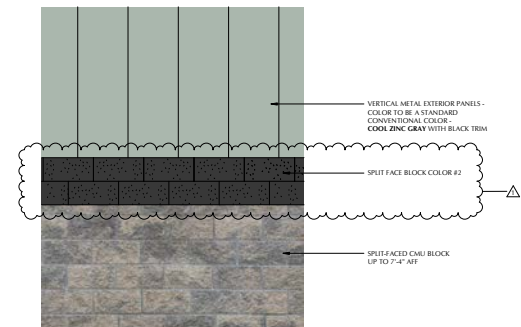
A3.2



2 EXTERIOR SIGN ELEVATION
A3.2
3/8" = 1'-0"



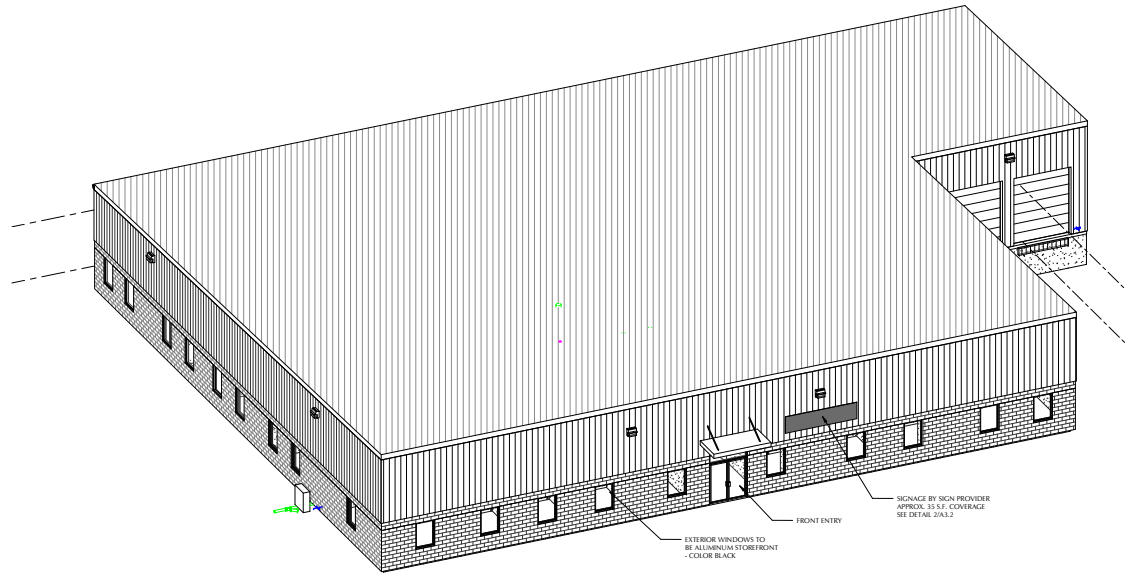
VARCO PRUDEN METAL PANEL COLORS



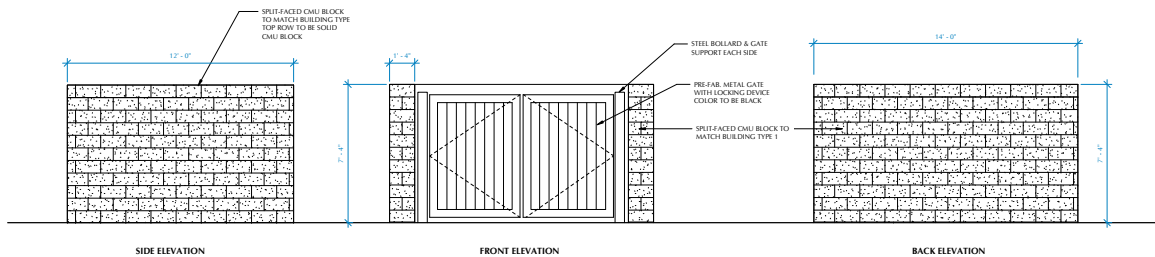
EXTERIOR MATERIALS ELEVATION

KNOX COUNTY PLANNING COMMISSION # 4-B-22-UR
TENN. TECH. CORR. DEVELOPMENT AUTH. # 5-A-22-TOB

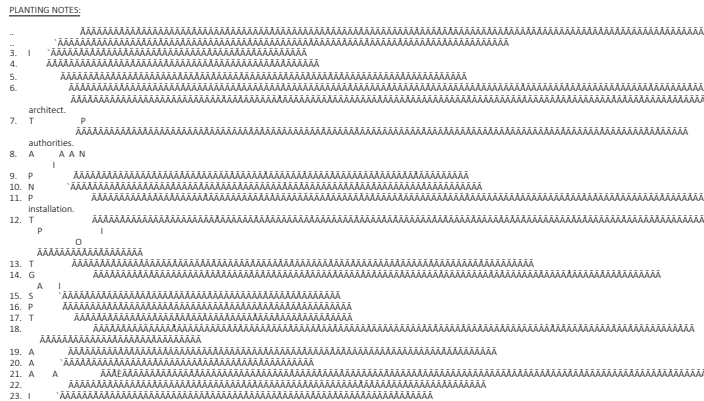
4-B-22-UR
4/13/2022



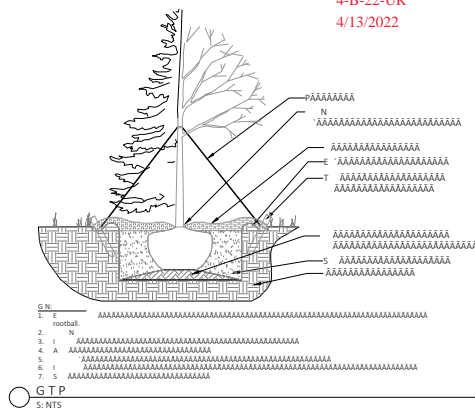
1 3D AERIAL VIEW
A3.2

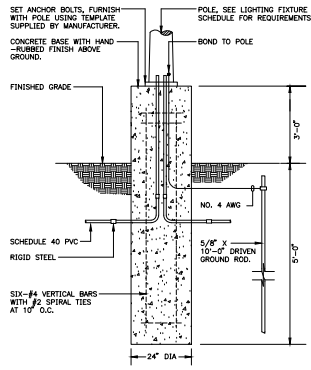


3 DUMPSTER ENCLOSURE ELEVATIONS
A3.2
3/8" = 1'-0"



Evergreen Shrubs				
36	Abelia	Rose Creek Abelia	3 gallon	full and dense
41	Cryptomeria japonica 'Nana Glubosa'	Dwarf Japanese Cedar	3 gallon	full and dense
0	Illex cornuta 'Carissa'	Carissa Holly	3 gallon	full and dense
0	Illex glabra	Imberby Holly	3 gallon	full and dense
13	Prunus laurocerasus 'Schipkaensis'	Shipka Laurel	3 gallon	full and dense
19	Rosa hybrida	Pink Drift Rose	3 gallon	full and dense
Deciduous				
AA	Penisetum alopecuroides	Cassian Penisetum	1 gallon	full and dense





POLE BASE DETAIL
NO SCALE

SITE LIGHTING FIXTURE SCHEDULE									
DESIGNATION	WATTS	DELIVERED LUMENS	COLOR TEMPERATURE	POLE DESCRIPTION: MATERIAL, SHAPE, FINISH			MANUFACTURER'S PRODUCT ITEM		REMARKS
				ALUMINUM	STEEL	ROUND SQUARE	COMPANY	POLE CATALOG NO.	
A-89	89	11433	4000	•	•	28 FT.	LITHONIA	RTS-25-S-88-1M19AS-FIC	DSX0-LED-PS-40K-TM-MOULY RPA-DBLXD
B-89	89	8873	4000	•	•	28 FT.	LITHONIA	RTS-25-S-88-1M19AS-FIC	DSX0-LED-PS-40K-TM-MOULY RPA-HS-DBLXD

D-Series Size 0 LED Area Luminaire

Specifications

EMC: Class II

Length: 26" (660mm)

Width: 13" (330mm)

Height: 3" (76mm)

Weight: 10 lbs (4.5kg)

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NTAIR2 PIRIN DOBXD

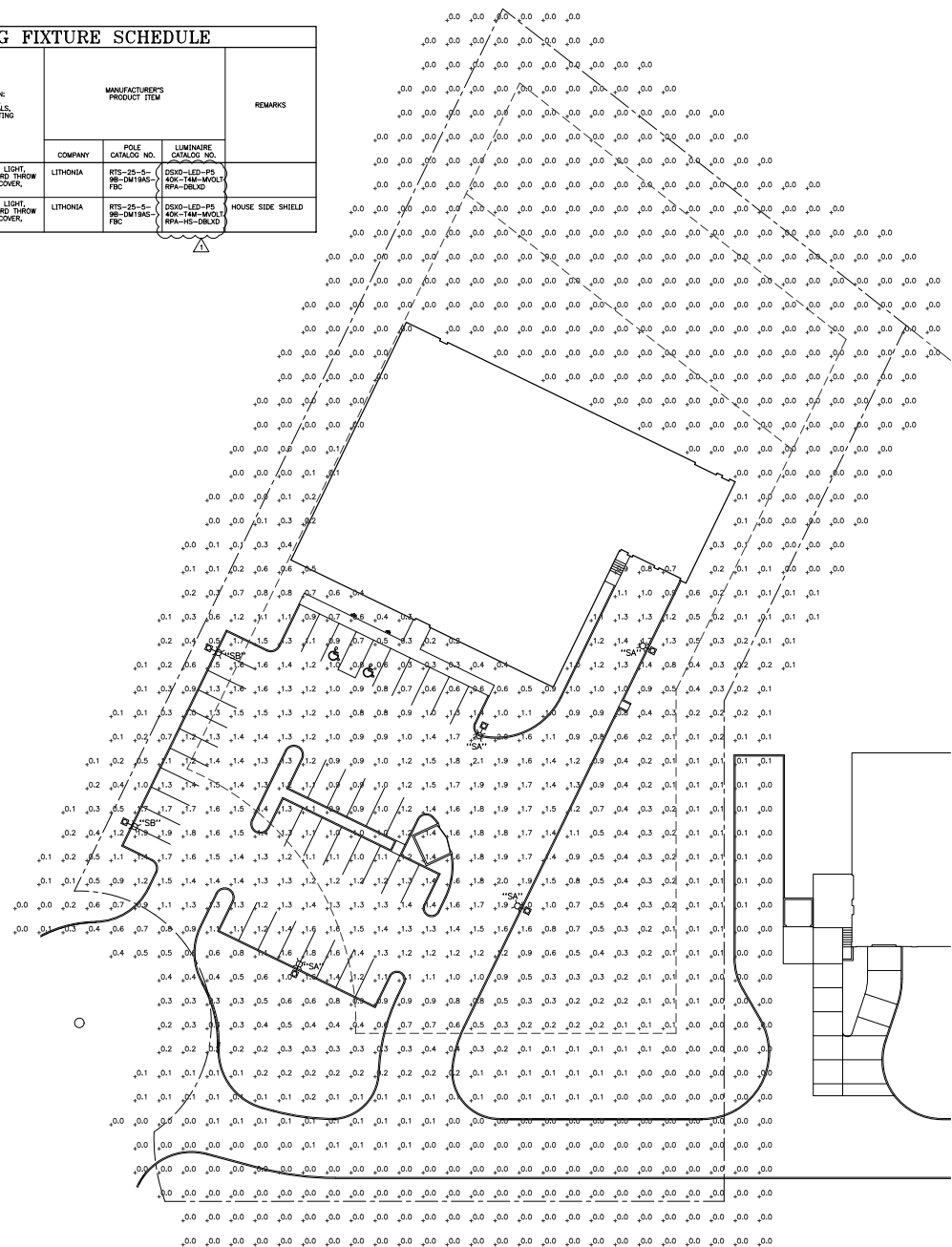
Option	Description	Option	Description	Option	Description
DSX0	DSX0 LED P6 40K T3M MVOLT SPA NTAIR2 PIRIN DOBXD	DSX0	DSX0 LED P6 40K T3M MVOLT SPA NTAIR2 PIRIN DOBXD	DSX0	DSX0 LED P6 40K T3M MVOLT SPA NTAIR2 PIRIN DOBXD
DSX0	DSX0 LED P6 40K T3M MVOLT SPA NTAIR2 PIRIN DOBXD	DSX0	DSX0 LED P6 40K T3M MVOLT SPA NTAIR2 PIRIN DOBXD	DSX0	DSX0 LED P6 40K T3M MVOLT SPA NTAIR2 PIRIN DOBXD

Notes:

1. Values indicate computer calculated maintained illumination levels in footcandles, using a total maintenance factor utilized of 0.80.

2. Footcandle levels shown indicate contributions from new luminaires illustrated on this drawing only.

SITE LIGHTING TYPE SA & SB DETAIL
NO SCALE

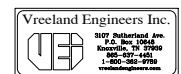


NOTES:

- VALUES INDICATE COMPUTER CALCULATED MAINTAINED ILLUMINATION LEVELS IN FOOTCANDLES, USING A TOTAL MAINTENANCE FACTOR UTILIZED OF 0.80.
- FOOTCANDLE LEVELS SHOWN INDICATE CONTRIBUTIONS FROM NEW LUMINAIRES ILLUSTRATED ON THIS DRAWING ONLY.

SITE PLAN - ILLUMINATION
SCALE: 1"=20'-0"

4-B-22-UR
4/13/2022



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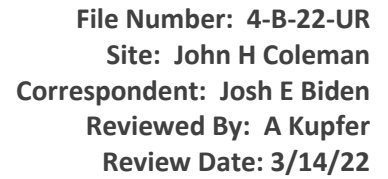
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JOHN H. COLEMAN CO., LLC
Discovery Lane
Knoxville, Tennessee 37932

SITE PLAN - ILLUMINATION

REVISIONS
Revision # Description Date
1 TPCA COMM. 4-13-22

DATE: 2/28/22
PROJECT NO: 213142

SE1.1



All subdivision and street names must conform to the Knoxville/Knox County Street Uniform Naming and Addressing Ordinance, Subdivision Regulations and the Administrative Rules of the Planning Commission.

[illegible]

Addressing Staff Contacts:	Donna Hill	donna.hill@knoxplanning.org	865.215.3872
	Andrea Kupfer	andrea.kupfer@knoxplanning.org	865.215.3797
	Both staff	addressing@knoxplanning.org	865.215.2507



Request to Postpone • Table • Withdraw

Josh Biden - Johnson Architecture

3-10-22

Applicant Name (as it appears on the current Planning Commission agenda)

Date of Request

April 14, 2022

Scheduled Meeting Date

4-B-22-UR

File Number(s)

POSTPONE

- ☒ **POSTPONE:** All applications are eligible for postponement if the request is received in writing and paid for by noon on Thursday the week prior to the Planning Commission meeting. All requests must be acted upon by the Planning Commission, except new applications which are eligible for one 30-day automatic postponement. If payment is not received by the deadline, the item will be tabled.

SELECT ONE: ☒ 30 days ☐ 60 days ☐ 90 days

Postpone the above application(s) until the May 2022 Planning Commission Meeting.

WITHDRAW

- ☐ **WITHDRAW:** Applications may be withdrawn automatically if the request is received in writing no later than noon on Thursday the week prior to the Planning Commission meeting. Requests made after this deadline must be acted on by the Planning Commission. Applicants are eligible for a refund only if a written request for withdrawal is received prior to public notice and the request is approved by the Executive Director or Planning Services Manager. **The refund check will be mailed to the original payee.*

TABLE

- ☐ **TABLE:** Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled. There is no fee to table or untable an item.

AUTHORIZATION

By signing below, I certify I am the property owner, and/or the owners authorized representative.

Josh E. Biden

Applicant Signature

Please Print

Josh E. Biden

jbiden@jainc.com

Phone Number

Email

STAFF ONLY


Staff Signature

Michelle Portier

Please Print

Date Paid

☐ No Fee

Eligible for Fee Refund? ☐ Yes ☒ No

Amount: \$50.00

Receipt # 38995

Michelle Portier
Approved by:

3/10/2022
Date:

Heather Overton
Payee Name

865-671-9060
Payee Phone

2240 Sutherland Ave #105, Knoxville, TN 37919
Payee Address



Development Request

DEVELOPMENT

- ☒ Development Plan
☐ Planned Development
☐ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ SP ☐ OYP
☐ Rezoning

Buddy Cruze
Applicant Name

Owner of John H. Coleman Co.

Affiliation

2-23-22
Date Filed

April 2022 (4/14/2022)
Meeting Date (if applicable)

File Number(s)

4-B-22-UR

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☒ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☐ Architect/Landscape Architect

Josh E. Biden

Johnson Architecture Inc.

Name

Company

2240 Sutherland Avenue Suite #105 Knoxville TN 37919
Address City State ZIP

865-671-9060 Ext. 4314 jbiden@jainc.com

Phone

Email

CURRENT PROPERTY INFO

Not Ronald & The James Kelly
Milam Trust et. al.

Property Owner Name (if different)

7741 S. Northshore Drive, Suite 103
Property Owner Address
Knoxville, TN 37919

865-441-4387

Property Owner Phone

805 Corridor Park Blvd, Knoxville, TN 37932

Property Address

Parcel ID

118 173.22

West Knox Utility District

West Knox Utility District

NO

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

East end of Corridor Park Blvd., northwest of Dutchtown Rd.,

General Location

2.31 acres

Tract Size

☐ City ☒ County

6th

District

PC/TO & BP/TO

Zoning District

AgForVac

Existing Land Use

Northwest County

Planning Sector

TP (Technology Park)

Sector Plan Land Use Classification

Planned Growth

Growth Policy Plan Designation

November 22, 2021

DEVELOPMENT REQUEST☒ Development Plan ☐ Use on Review / Special Use ☐ Hillside Protection COA☐ Residential ☒ Non-Residential

Home Occupation (specify) _____

Other (specify) **Corporate Headquarters Office Facility**

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name _____

☐ Combine Parcels ☐ Divide Parcel

Unit / Phase Number _____

Total Number of Lots Created _____

☐ Other (specify) _____☐ Attachments / Additional Requirements

Related Rezoning File Number

ZONING REQUEST☐ Zoning Change

Proposed Zoning _____

☐ Plan Amendment Change

Proposed Plan Designation(s) _____

Pending Plat File Number

Proposed Density (units/acre) _____

Previous Rezoning Requests _____

☐ Other (specify) _____**STAFF USE ONLY****PLAT TYPE**☐ Staff Review ☐ Planning Commission**ATTACHMENTS**☐ Property Owners / Option Holders ☐ Variance Request**ADDITIONAL REQUIREMENTS**☐ Design Plan Certification (*Final Plat*)☐ Use on Review / Special Use (*Concept Plan*)☐ Traffic Impact Study☐ COA Checklist (*Hillside Protection*)

Fee 1

0401

1500.00

Fee 2

Fee 3

Total

\$1500.00**AUTHORIZATION**

JEB

Josh E. Biden

2-20-22

Applicant Signature

Please Print

Date

865-603-5355

jbiden@jainc.com

Phone Number

Email



Michael C. Crabtree, Managing Partner

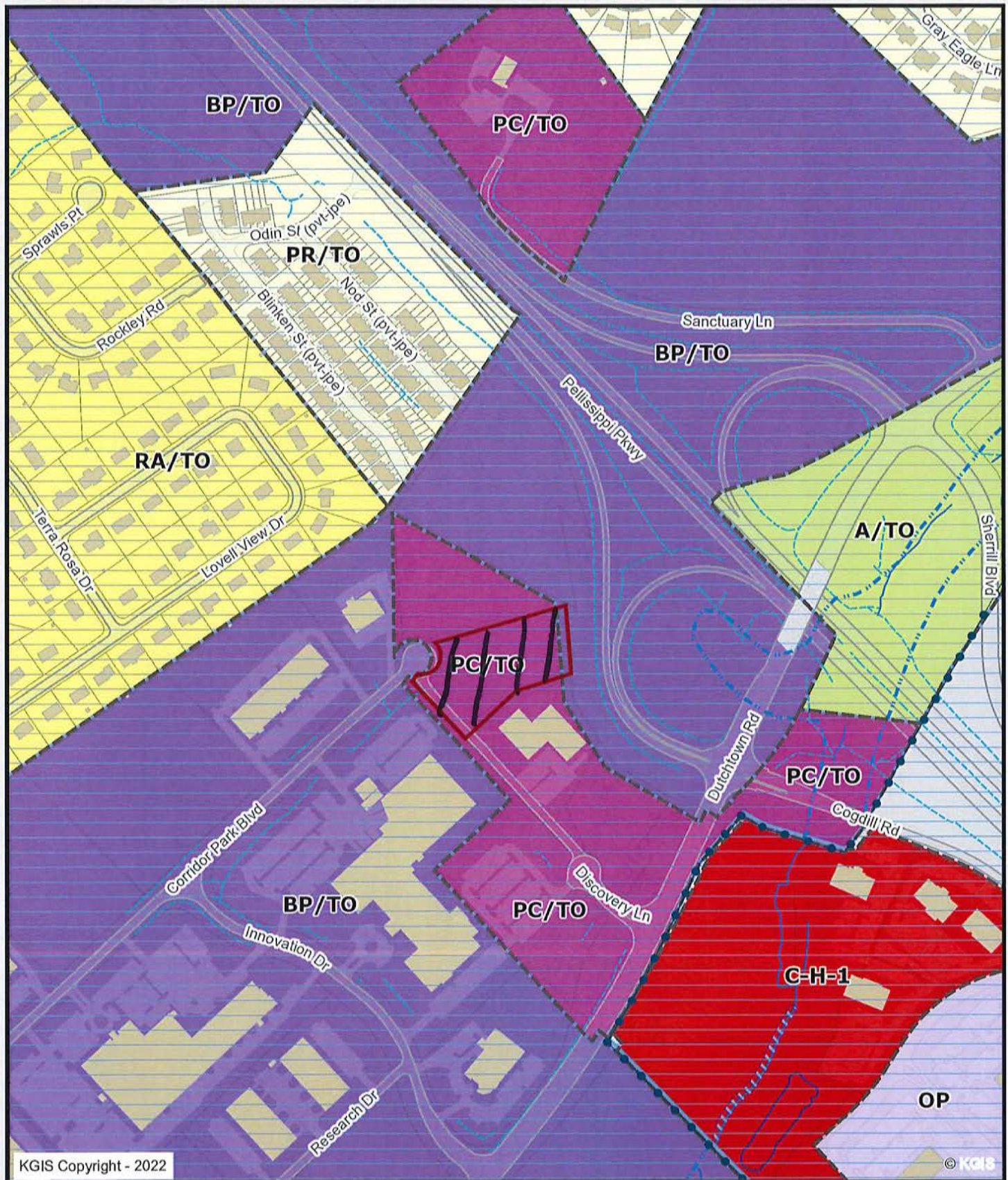
2/20/2022

Property Owner Signature

Please Print

Date

Sherry Michienzi 2/24/2022

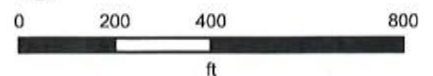


Letter Portrait

Knoxville - Knox County - KUB Geographic Information System

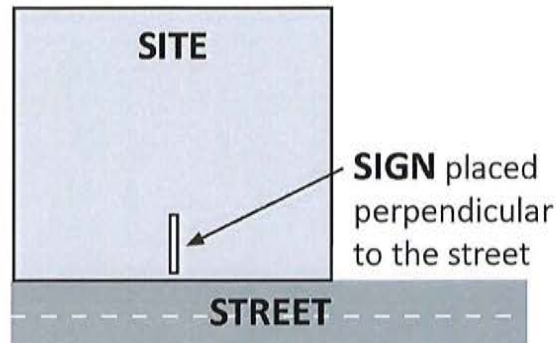


Printed: 2/24/2022 at 8:14:57 AM



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The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

March 30, 2022 and April 15, 2022
(applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Buddy Cruze
Date: 2/24/2022
File Number: 4-B-22-WR

☒ Sign posted by Staff
☐ Sign posted by Applicant