

USE ON REVIEW REPORT

► FILE #: 4-B-22-UR AGENDA ITEM #: 26

POSTPONEMENT(S): 4/14/2022 **AGENDA DATE: 5/12/2022**

► APPLICANT: BUDDY CRUZE (OWNER OF JOHN H. COLEMAN CO.)

OWNER(S): The 2018 Restatement of Lane S Hays 2003 Revocable Trust

TAX ID NUMBER: 118 17337 View map on KGIS

JURISDICTION: County Commission District 3

STREET ADDRESS: 805 Corridor Park Blvd.

► LOCATION: East end of Corridor Park Boulevard, northwest of Dutchtown Road

► APPX. SIZE OF TRACT: 2.31

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is off of Corridor Park Boulevard, a local road with a 26-ft pavement

width inside a 78-ft right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Turkey Creek

► ZONING: PC (Planned Commercial) / TO (Technology Overlay)

EXISTING LAND USE: Vacant land

► PROPOSED USE: Office warehouse facility

HISTORY OF ZONING: None noted

SURROUNDING LAND North: Warehouse facility (plans in progress) - PC (Planned Commercial) /

USE AND ZONING: TO (Technical Overlay)

South: Industrial - PC (Planned Commercial) / TO (Technical Overlay)

East: Pellissippi Parkway right-of-way

West: Office buildings - BP (Business and Technology Park) / TO

(Technology Overlay)

NEIGHBORHOOD CONTEXT: This area consists predominantly of office buildings and warehouses, though

much of the area is still undeveloped.

STAFF RECOMMENDATION:

► Approve the request for an office-warehouse development in the PC (Planned Commercial) zone, subject to five conditions.

- 1) Installation of all landscaping as shown on the development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
- 2) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 3) Meeting all applicable requirements of the Knox County Zoning Ordinance.

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- 4) Meeting all requirements and conditions of the TTCDA approval.
- 5) Obtaining approval of signage in a separate application if signage is desired in the future.

With the conditions noted, this plan meets the requirements for approval of a Concept Plan and a Use-on-Review.

COMMENTS:

The applicant is requesting approval of an office warehouse with an area of approximately 14,763 sq ft. Access would be off of Corridor Park Boulevard, a local road one block north of Dutchtown Road, a minor arterial. The building features loading dock doors on the right side of the front façade, which is located in the farthest corner of the building from the street. The building is angled in such a way that the loading dock door is not readily visible from the street.

The 2.31-acre site is zoned PC (Planned Commercial) / TO (Technology Overlay). Office warehouses are allowed in the PC zone, but per Section 5.33.13 of the Knox County Zoning Ordinance, applications in the PC zone require approval through the use on review process. Additionally, applications in the TO zone require approval by the TTCDA (Section 5.90.01). The request was approved by the TTCDA on April 11, 2022 (Case 5-A-22-TOB).

The proposed ground area coverage (GAC), Floor Area Ratio (FAR), and Impervious Area Ratio (IAR) are in compliance with the TTCDA Design Guidelines.

The TTCDA approved a waiver reducing the front parking lot setback to allow the maximum number of spaces allowed by the TTCDA Guidelines. TTCDA would require between 28 and 42 spaces, and the County Zoning Ordinance would require a minimum of 23 spaces with no maximum. The proposed 42 spaces meet both sets of requirements.

The landscape plan and lighting plan meet TTCDA Guideline requirements.

DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10 – SECTION 2) The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

- 1) THE PROPOSED USE IS CONSISTENT WITH THE ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND SECTOR PLAN.
- A. For this special use application to be approved in the TP land use classification, the Planning Commission must find that the proposed use is "consistent with, and not in conflict with" the sector plan.
- B. The property is designated TP (Technology Park) on the Northwest County Sector Plan. The TP land use has the following description: "This land use primarily includes offices and research and development facilities. The target area for such development has been the Pellissippi Technology Corridor."
- C. The TP land use classification allows the PC zone, which in turn allows light distribution centers.
- D. The proposed office-warehouse use is consistent with the sector plan and One Year Plan.
- 2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.

A. The Knox County Zoning Ordinance describes the PC (Planned Commercial) zone as, "intended to provide for a unified grouping of commercial buildings which do not require or desire a central business district location...It is not the intent of this zone to restrict potential development by limiting uses. In general, uses permitted shall include office, commercial services and light distribution centers."

- B. The proposed office-warehouse development is compatible with the above description of the PC zone.
- 3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.
- A. The proposed office-warehouse is compatible with the surrounding area. The surrounding area consists of mostly office buildings, research and development facilities, and office-warehouse uses.
- B. The building will be a one story structure of a similar square footage as some of the surrounding buildings in the vicinity, though there are some that are much larger structures than what is proposed. This building will have a similar aesthetic as other buildings in the vicinity.
- 4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY.
- A. The proposed office-warehouse is not expected to significantly injure the value of adjacent properties.

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Surrounding properties consist of office, light industrial, and commercial uses.

- 5) THE USE WILL NOT DRAW ADDITIONAL TRAFFIC THROUGH RESIDENTIAL AREAS.

 A. No traffic through residential subdivisions or side streets is required to access this property since Corridor
- A. No traffic through residential subdivisions or side streets is required to access this property since Corridor Park Boulevard is one block north of Dutchtown Road, which connects directly to Pellissippi Parkway.
- 6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed development.

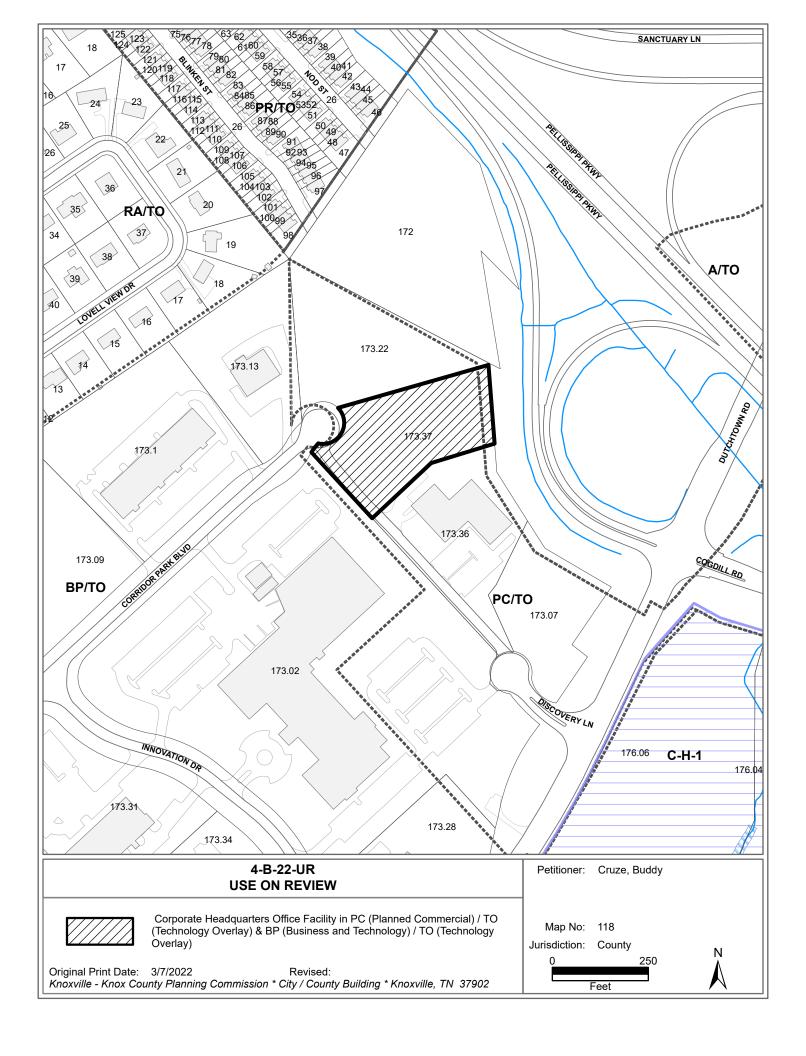
ESTIMATED TRAFFIC IMPACT: 203 (average daily vehicle trips)

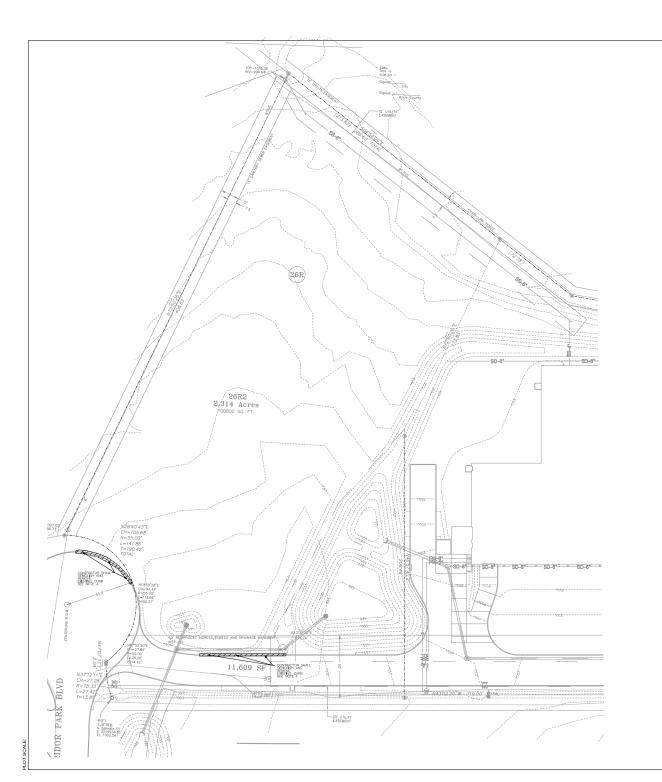
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

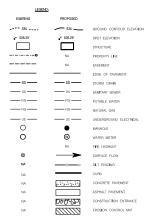
The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Chancery Court. The date of the Knox County Chancery Court hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.

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SITE DEMOLITION NOTES

- SITE BOUNDARY AND TOPOGRAPHC SURVEY IS FROM A SURVEY BY LYNCH SURVEYS SURVEYING DATED 1020/2021, THE CONTRACTOR SHALL MERFOY THE EXISTIN INFORMATION PROOF TO CONSTRUCTION. THE PROMACET DOES NOT ACCEPT ANY RESPONSELLITY FOR EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
- 2. CONTRACTOR SHALL CALL TN ONE CALL TO LOCATE STE UTILITIES PRIOR CONSTRUCTION CONTRACTOR SHALL LITTLIZE ONE CALL INFORMATION SITE RECORDS, AND ANY OTHER MEANS AT HIS DISPOSAL TO DETERMINE THE LOCATION OF EDISTING UTILITIES.
- DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER AL EROSION AND SECTIONATION CONTROL MEASURES HAVE BEEN INSTALLED ARE FUNCTIONAL.
- 4. CONTRACTOR SHALL REMOVE EASTING ASPHALT PARCHEST CLIES SIDENAUSE. ADDIG OTHER PELATED MATERIALS TO THE MINS INCIDATE ON THIS PLAN AND DISPOSE OF THE WASTE MATERIALS AS DIRECTED BY THE OWART AND IN ACCORDINGE WITH ALL LOCAL STATE, AND FEDERAL RULES AND REGULATIONS, COORDINATE DEMOLITION WITH THE OWARP, PROVIDE TEMPORARY MICES ROUTES ARE PROJUBED, PERFORM DESCRIPTION IN
- THE CONTRACTOR SHALL REMOVE DISTING THESE WITHIN THE AREA OF WORK DEPOTED THE FOLLOWING DAWNINGS AND AS REQUIRED IN THE FELL CONTRACTOR SHALL REMOVE ENTIRE TREE INCLUDING ROOTBALL INLESS DIRECTED OTHERWISE BY THE GEOTED CHANGE, CONTRACTOR SHALL DIRECTED OTHERWISE BY THE GEOTED CHANGE, CONTRACTOR SHALL DIRECTED OF WASTE CIPETER IN ACCORDANCE WITH ALL LOCAL STATE. AND FEDERAL UNIX, MALCHED BRANCHES MAY BE USED FOR RENSION.
- 6 PROVIDE NEAT AND STRAIGHT SAWDUTS OF EXISTING CONCRETE ANDOR PAVEMENT ALONG ALL LIMITS OF CONCRETE ANDOR PAVEMENT DEMOLITION.
- ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR LINLESS NOTED OTHERMISE DISPOSE OF DEMOLITION WASTE OFF THE DWINERS PROPERTY IN A LEGAL MANNER.
- OWNERS PROFESTION A LEGAL BROWNER AND OTHER SUITABLE RETECTOR SHALL USE WATER SERVIKING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DRAWIND WORK WATER USE SHALL NOT BE EXCESSION TO THE POINT OF SUISPENDING SOLDSSEDIMENT IN RUNOFF WATER
- CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS FENCES.
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A NEW CORPORATE HEADQUARTERS FACILITY FOR:
JOHN H. COLEMAN CO., LLC
TTCDA (5-A-22-T0B) PC (4-B-22-UR)
805 Corridor Park Blvd
Knoxville, Tennessee 37932

_SITE DEMOLITION PLAN

__ REVISIONS:

__ DATE: 14/13/2 __ FILE NAME:

ROJECT NO: 213

C1.1





FLOOR AREA RATIO: 14.7% 30% ALLOWABLE GROSS AREA COVERAGE: 14.7% 25% ALLOWABLE IMPERVIOUS AREA RATIO: 38.0% 70% ALLOWABLE

SPOT ELEVATION STRUCTURE EASEMENT EDGE OF PAVEMENT ----- sp ----SANITARY SEWER POTABLE WATER NATURAL GAS 0 MANHOLE 0 (0) WATER METER SURFACE FLOW CONCRETE PAVEMENT CONSTRUCTION ENTRANCE FROSION CONTROL MAT

SITE LAYOUT NOTES

- USE: OFFICEWAREHOUSE, ZONING: POTO, PARCEL 118 17337
 TOTAL BUILDING AREA: EXISTING 14,763 SF (1 STORY)
- 3. TOTAL SITE: 2.31 AC TOTAL DIST AREA: 1.72 AC IMPERMOUS AREA: 37.959 SF
- 4. DEED REFERENCE; 20181113-00300132
- THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAP 0242Q.
- SITE BENCHMARK CONFACT SKYREYOR FOR SITE BENCHMARK DATUM NAVO BK.
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- 10. SETBACKS: FRONT: TTCDA = 60', PC = NONE SIDE: TTCDA = 20', PC = NONE REAR: TTCDA = 20', PC = NONE PERIPHERAL TTCDA = NONE, PC = 50'
- II. THE CONTRACTOR SHALL OBTAIN ALL RECURRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK, ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, BULES AND REQUIATIONS.
- 2. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANALL, OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AG OF AMERICA INC. AND THE SAFETY WID HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR, ALL CONSTRUCT SHALL BE PERFORMED IN ACCORDANCE WITH THE TENESSEE DEPARTMENT OF EMBROWMENT AND CONSERVATION EXCESSION AND SECREMENT CONFIDE.
- FEATURES BEFORE STARTING WORK THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ADCORDANCE WITH THE MANUAL ON UNFORM TRAFFIC CONTROL DEVICES.
- COPRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, OPANAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
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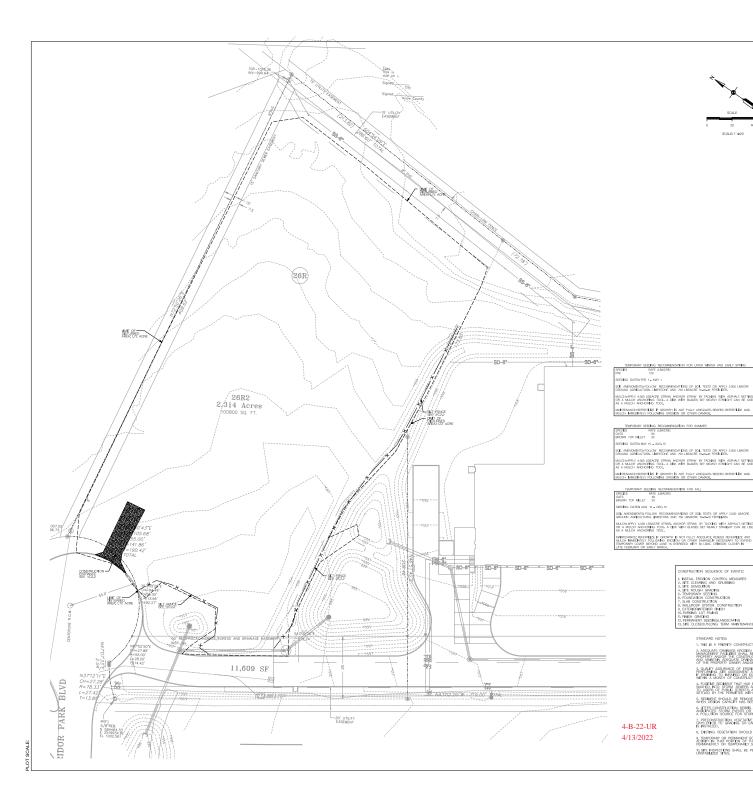
SITE LAYOUT PLAN

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- B. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL 1 VERTICAL
- APPLY TEMPORARY SEEDING WHENEVER GRUDING OPERATIONS ARE TEMPORARLY HAITED FOR OVER 14 DAYS AND FINAL GRADING OPERATIONS ARE TEMPORARLY HAITED FOR OVER 14 DAYS AND FINAL GRADING ON EXPOSED SURFACES IS TO BE COMPLIED WITHIN ONE YEAR APPLY TEMPORARY SEEDING TO SOLL STOCKPILE.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SECURITY CONTROL HANDBOOK LATEST EDITION.
- IR. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRACING IS COMPLETED AND TOPSOL HAS BEEN INSTALLED TO ENCOLPAGE LOCK IN OF EROSION MAT.
- 13. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.
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- 15. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBBLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINAN CAPABLE OF STORING THE CONTRINS OF THE TOTAL AMOUNT OF CHEMICAL STORED, SPILL CRAUM PARTERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PRODUMITY OF THE MATERIALS AS WELL.
- 16. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
- 17. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE 18. CONSTRUCTION MATERIUS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND DRY GAP PINE, FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTION WITH A LID MAINTAIN THE MATERIUS, STAGING AREA IN AN NEXT AND ORDERLY MANNER.
- CONTRACTOR SHALL INSTALL 4" THOK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THOK STAND OF GRASS ACCEPTABLE TO THE KNOX COUNTY SITE INSPECTOR.

1. THIS IS A PRIORITY CONSTRUCTION ACTIVITY

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7. PRECONSTRUCTION VEGETATIVE CROUND COVER SHALL NOT BE DESTROYED REMOVED OR DISTURBED MORE THAN 15 DAYS PRIOR TO GAVORG OR EARTH MOVING UNLESS THE AREA IS SEEDED ANDOR MULCHED OR OTHER TEMPORARY COVER IS INSTITUTED. B. DISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.

9. TEMPORARY OR PERMANENT SOL STABILIZATION MUST BE COMPLETED NO LATER THAN 15 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARLY CEASED, STEEP SLOPES (> 35%) MUST BE PERMANENTLY OR TEMPORARIZY STABILIZED WITHIN 7 DAYS. 10. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.

Architecture 2240 Sutherland Ave., Suite 105 Know III, TN 37919 865.671.9060 jaths.com



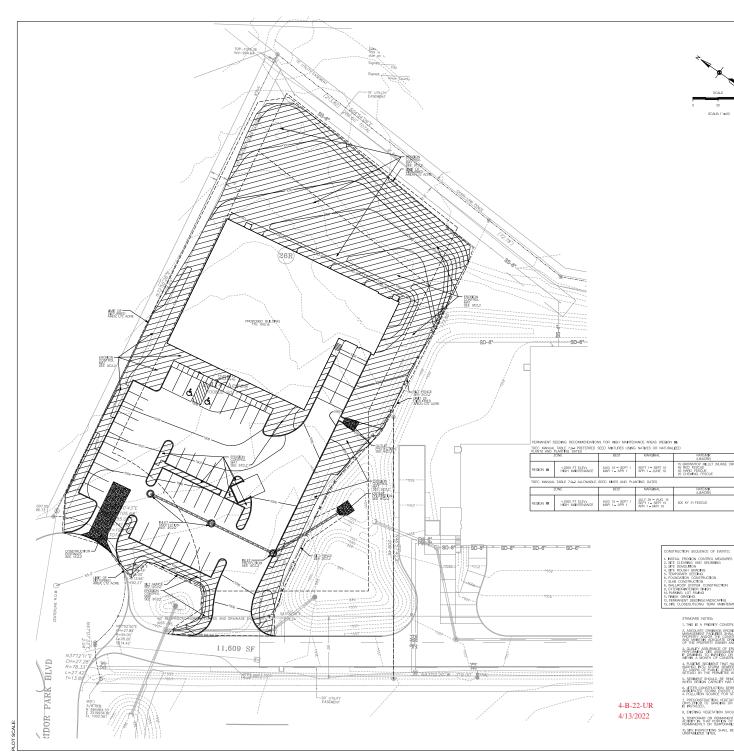
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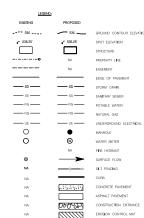
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- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LINGH SURVEYS DATED 0620TH; BERDAING CONTRACTOR SHALL VERFIY COMMINS, AND INFORM. THE ENGINEER OF ANY ID DECEMBRICS, THE APOLITECT AND THE ENGINEER ACCOST NO RESPONDED TO FOR THE ACCURACY ANDON COMMITTERS OF EDITING CONDITIONS REPORTANT PROTILED BY OTHERS.
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5. SEDIMENT SHOULD. BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY SOS. 6. LITTER CONSTRUCTION, DEBRIS AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANDICIPATED STORM EVENTS OR BEFORE BRING CARRED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLILLIEN SOLICE FOR STORMWATER DESCRIPTIONS.

7. PRECONSTRUCTION VEGETATIVE CROUND COVER SHALL NOT BE DESTROYED REMOVED OR DISTURBED MORE THAN 15 DAYS PRIOR TO GAVORG OR EARTH MOVING UNLESS THE AREA IS SEEDED ANDOR MULCHED OR OTHER TEMPORARY COVER IS INSTITUTED.

B. DISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE. 9. TEMPORARY OR PERMANENT SOL STABLIZATION MUST BE COMMETTED NO LATER THAN 15 DAYS AFTER THE CONSTRUCTION ARTIMITY IN THAT PORTING OF THE SITE MAS PERMANENTLY OR TEMPORARILY CHASES, STEEP SLOPES (> 35% MUST BE PERMANENTLY OF TEMPORARILY CHASES, STEEP SLOPES (> 35% MUST BE PERMANENTLY OF TEMPORARILY CHASES, STEEP SLOPES (> 35% MUST BE PERMANENTLY OF TEMPORARILY CHASES, STEEP SLOPES (> 35% MUST BE PERMANENTLY OF TEMPORARILY CHASES). 10. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.

Architecture 2240 Sutherland Ave., Suite 105 Know III., TN 37919 865.671.9060 jathc.com



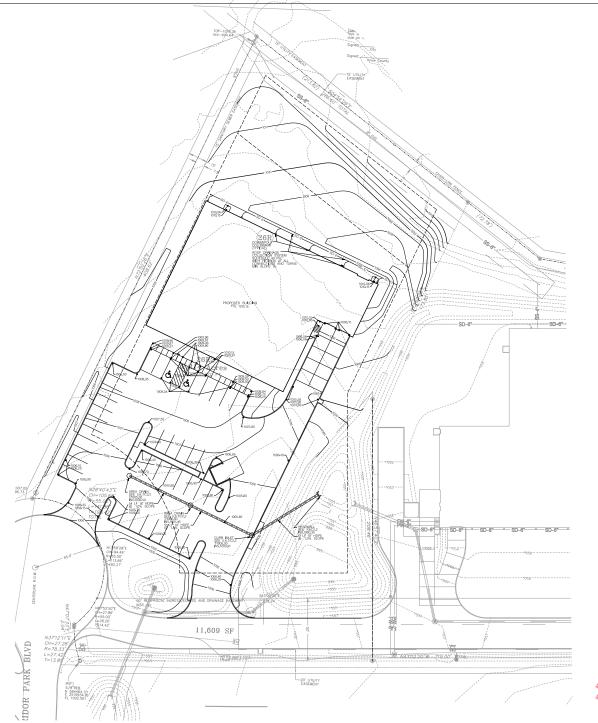
A NEW CORPORATE HEADQUARTERS FACILITY FOR: JOHN H. COLEMAN CO., LLC TTCDA (5-A-22-10B) PC (4-B-22-UR) 805 Corridor Park Blvd Knoxville, Tennessee 37932

_ EROSION CONTROL - 2

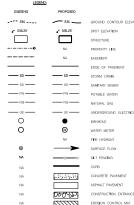
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SITE GRADING NOTES

1. SITE BENCHMARK CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASS NAVORS.

- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LINKH SURVEYS DATED 062015. THE GRADING CONTRACTOR SHALL WERFY CONDITIONS AND INFORM. THE ENGINEER OF ANY IDECEMBRISES. THE ARCHITECT AND THE BRIGHER ACCISET NO FREST/NEELTY FOR THE ACCURACY ANDOR COMPLETIENTS OF EDITING COORDITIONS FORWARDS OF PROTHES.

- OF THE PROMATION.

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- 6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FLL MATERIAL, THE CONTRACTOR SMALL REMEW THIS PLAN, THE SITE SURPEY, AND INSPECT THE SITE ISSUE. THE CONTRACTOR SHALL THEN PORMLATE HIS CONTROLL OF HIS PLAN. TO THE APPLICABILITY OF THIS PLAN. TO THE COOL OF AN ECONOMICALLY OFFINE, SITE CONTROL THE ENGINEER IF CHANGES TO HIS OFFICIAL PLAN PRE-PROJECT OF MEET THIS COUL.
- B. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.

- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT FRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SECURATION CONTROL HANDBOOK LENSET EDITION.
- SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRACING IS COMPLETED AND TOPSOL HAS BEEN INSTALLED TO ENCOUPAGE LOCK IN OF EROGION MAT.
- 13. THIS IS A PRICHTY CONSTRUCTION ACTIVITY.
- IN THE OF A PRIMATE CARRICLE AN AUTHOR OF THE ACTION AND AUTHOR OF THE ACTION AND AUTHOR OF THE ACTION AND AUTHOR OF THE STOPMANTER MANAGEMENT FACILITIES AND AUTHOR OF THE TOWNSTRUCTION AT CAUSE OF THE ACTION AND AUTHOR OF THE CONSTRUCTION AT CAUSE OF THE ACTION AND AUTHOR OF THE CONSTRUCTION AT CAUSE OF THE ACTION AND AUTHOR ACTION AND AUTHOR ACTION AND AUTHOR AUTHOR AUTHOR AUTHOR AUTHOR AUTHOR AUTHOR AUTHOR AUTHOR A
- 15. CONTRACTOR SHALL STORE CHEMICALS AND SOLLABLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTINUAN CAPABLE OF STORING THE CONTRINS OF THE TOTAL AMOUNT OF CHEMICALS STORED, SPLIL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROJUNTO'S THE MATERIALS AS WELL.
- 16. PLACEMENT OF PORTA-POTTES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
- 17. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL DOCUR ONSITE.
- 18. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND DRY GAP PIGE, FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A UD MAINTAIN THE MATERIAL STAGING AREA IN AN INEAT AND ORDERLY MANNER.
- CONTRACTOR SHALL NSTALL 4" THOK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THOK STAND OF GRASS ACCEPTABLE TO THE KNOK COUNTY SITE INSPECTOR.

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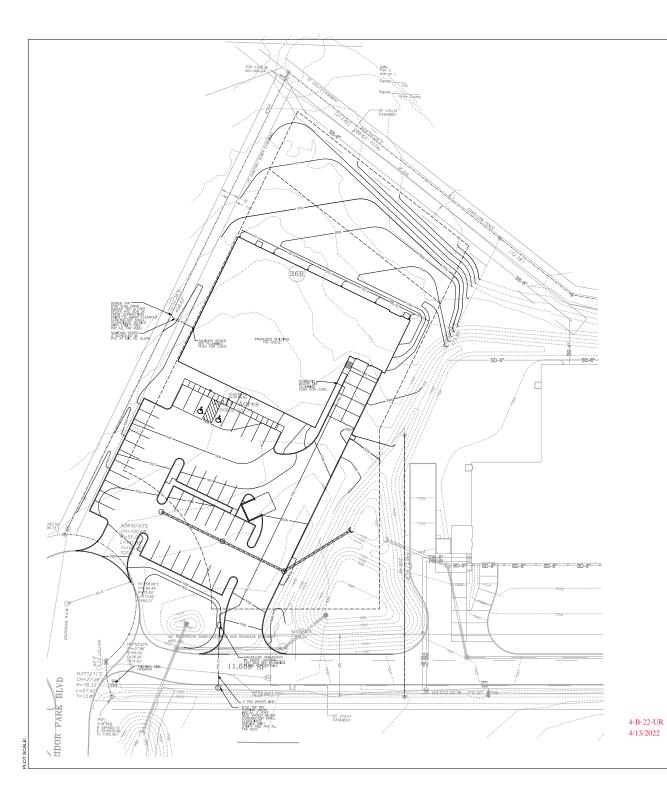
SITE GRADING PLAN

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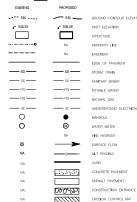
__ PROJECT NO: 213142

4-B-22-UR 4/13/2022





COORDINATE ALL INSPECTION WITH WKUD INSPECTOR: CONTACT SCOTT MASSENGILL IBBS 800_2521 FUT 221



SITE UTILITY NOTES

SITE BOUNDAY AND TUPPOSPAPE INFORMATION IS BASED ON A SURPLY OF HACH SURPLY SHATE MOVE. THE CONTRACTOR SHALL MERT CONTINUE AND INFORM THE APPOINTED CONTRACTOR SHALL MERT CONTINUE AND INFORM THE APPOINTED OF ANY DESCRIPTION OF THE ACCURACY ANDORS CONTRINESS OF DISTING CONDITION INFORMATION PROVIDED OF OTHERS.

- LINES LINDERGROUND SHALL BE INSTALLED INSPECTED, AND APPROVED BEFORE BACKFILLING, CONTRACTOR SHALL PAY ALL FEES.
- 4. ALL NECESSARY INSPECTIONS AND OR CERTIFICATIONS REQUIRED BY CODES AND OF LOCAL UTILITY PROVIDERS SHALL BE PERFORMED FROM OF SENVEL, AS BLAT DRAWNOS SHALL BE PERFORMED AND SHAPPED TO SERVEL, AS BLAT DRAWNOS SHALL BE PERFORMED AND SHAPPED TO DEMORBED FOR SERVEL SHAPPED AND SHAPPED AND COMES TO DEMORBED OF PECUPIED AFTER CONSTRUCTION AND COMES TO DEMORBED OF PECUPIED.
- CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 18" ON WATER LIVES AND 4 FEET ON SEWER LINES.

- 8. PRIMATE SANITARY SEWER PIPE SHALL BE AS FOLLOWS.
 PYC (SCHEDILE 40 PYC ASTM D_TRS, CONTINUALLY MARKED AS RECURED),
 FOR FIPE LESS THAN 12 FEET DEEP
 DUCTLE IRON PIPE (AWMA C15), FOR PIPES GREATER THAN 12 FEET DEEP.
- GAS LINES SHALL BE SIZED, LOCATED, AND INSTALLED BY LOCAL UTILITY PROVIDER, CONTRACTOR SHALL COORDINATE AND PAY ALL FEES.
- 11. REFER TO ARCHITECTURALMEP PLANS FOR TIE IN OF ALL UTILITIES.
- 12. REFER TO ARCHITECTURALMEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- FIRE PROTECTION SERVICE SHALL BE BY EXISTING FIRE HYDRANT AS DEPICTED ON THE PLAN.
- 14. CONTROCTOR SHALL TAKE SPECIAL CAPE TO BED, BADGHILL AND COMPACT FPE CHOCSINGS WHERE A WATER OR SWATARY SEWER MAY CROSSES WITH STORM SEWER CHOCSINGS SHALL BE CONSTRUCTED WITH A WELL COMPACTED FILL STORM EWELDER SUCH THAT STORM SEWER DOES MOT BEAR OFFICITY ON WATER OF SAMINARY SERVER MINES.
- SEWER LINES SHALL HAVE A MIMMUM 6 INCHES OF STONE BEDDING AND BACKFILL AROUND THE CIPCUMFREIENCE OF THE PIPE (TYPE 57). UNDER ALL ROADS MID PAYED AREAS, WATER AND SEVER MAINS MUST BE STONE BACKFILLED FULL DEPTH TO PAYEMENT SUBGRACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY CONNECTION TAP, USE, AND OTHER FEES REQUIRED TO CONNECT WATER SEWER AND GAS.
- ANY EXISTING UTILITY STRUCTURES SHALL BE BROUGHT INTO CONFORMANCE WITH FINSH GRADE IN ACCORDANCE WITH THE RULES, RATES, AND POLICES OF THE UTILITY OWNER.

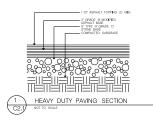
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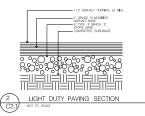
A NEW CORPORATE HEADQUARTERS FACILITY FOR:
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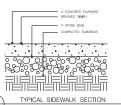
SITE UTILITY PLAN

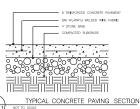
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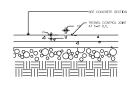






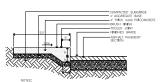


CONTINUOUS EXTRUDED CURB







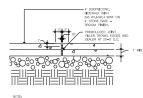


PREFORMED M2" EXPANSION JOINTS SHALL BE EQUALLY SPACED
AT 30" MAX CENTERS EQUALLY SPACE M1" CONTRACTION JOINTS
AT 10" MAX CENTERS BETWEEN EXPANSION JOINTS EACT CLIRE DIMENSIONS MAY BE ALTERED SUB-ITLY TO FIT STANDARD EXTRACTED CLIRE MACHINES BUT SUCH VARIANCES MUST DE APPROVED BY THE BENGARETH.

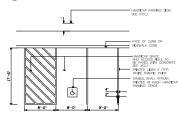
MAY SUPPE FOR RAMPS SHALL BE 12:1 IN ACCOPDANCE WITH AGA PECULIERMENTS.

CURB CUT DETAIL

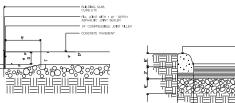








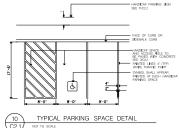


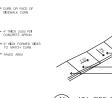






TYPICAL CURB

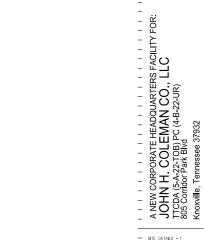






← SIDEWALK

ADA SIDE RAMP DETAIL

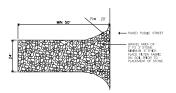


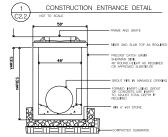
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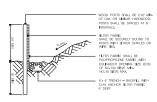
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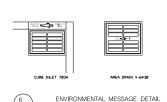


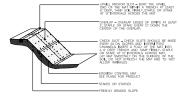
48" ROUND CATCH BASIN DETAIL

NOT TO SCALE



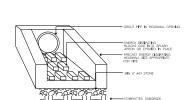
NOTE: FILTER FABRIC PENCE TO BE PLACED PRIOR TO START OF ROUGH GRADING SILT FENCE DETAIL



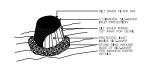


NOTES: FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS IN THE EVENT OF CONFLICT IN REQUIREMENTS, USE THE MORE RESTRICTIVE REQUIREMENT.

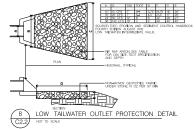














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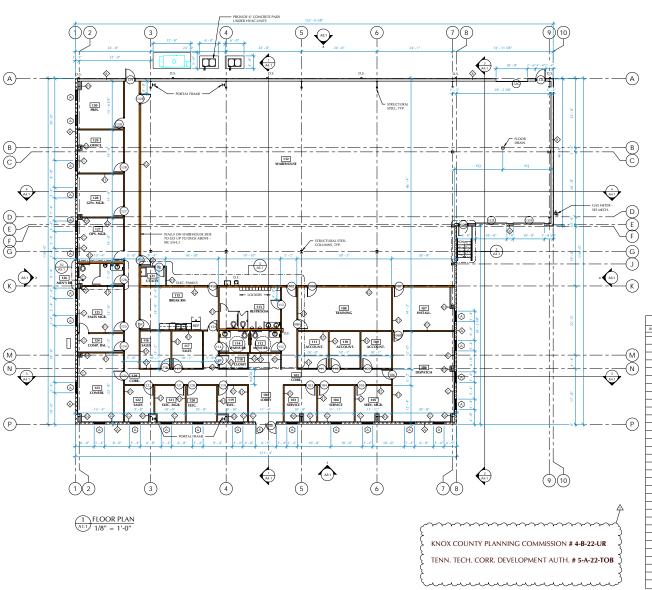


A NEW CORPORATE HEADQUARTERS FACILITY FOR:
JOHN H. COLEMAN CO., LLC
TTCDA (5-A-22-T0B) PC (4-B-22-UR)
805 Corridor Park Blvd
Knoxville, Tennessee 37932

- SITE DETAILS - 2

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FLOOR PLAN NOTES

- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
- SEE SHEET A0.1 FOR ABBREVIATIONS, SYMBOLS, GENERAL NOTES AND TYPICAL ACCESSIBLE MOUNTING HEIGHTS
- FURNISH AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY A.H.J. MINIMUM REQUIRED PER 75"-0" TRAVEL OR 1 PER 6,000 SF OF BUILDING AREA
- PROVIDE BLOCKING, ROUGH HARDWARE, ETC. AS REQUIRED TO MOUNT EQUIPMEN
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS
- PROVIDE GYPSLIM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE LOCATIONS WITH INTERIOR ELEVATIONS. WHERE JOINTS ARE NOT SHOWN, CENTER SPACING WITHIN ROOM, EDGE OF WALL OPENINGS
- ALL EXPOSED STEEL TO BE PAINTED W/ ENAMEL LATEX PAINT PER SPEC (PRIMER + 2 COATS MIN.)

WALL LEGEND

₩₩	EXTERIOR WALL PARTITION "AT & "A2". 8" CMU UP TO 8"-8" A.F.F. TO UNDERSIDE OF PEMB WALL PANEL SYSTEM
	EXTERIOR WALL PARTITION 'B' PEMB WALL PANEL SYSTEM
 	INTERIOR WALL PARTITION '8' 1-5/8' 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" GYPSUM BOARD ON EACH SIDE. EXTEND STUDS 10"-0" A.F.F.
	INTERIOR WALL PARTITION "OF 4 D2" 3-50" (B) OR 6" (D2) 20CA, METAL STUD FRANKIN @ 16" O.C. MAX W/ 50" CHYSLAN BOARD ON FACH SIDE, EXTEND STUDS 10" A" A F.F.
	NTEROR WALL PARTITION TO 8 TY 3-50° 88 0 06 ° 82 DECA, METAL STUD FRANCE 8 10° O.C. MAX W 50° 80 DEC 81 DECA, METAL STUD FRANCE 8 10° O.C. MAX W PROVIDE SOLND BALL INSIA ATION.

OTE: SC-1 = SEALED CONCRETE FLOOR

4-B-22-UR 4/13/2022 NOTE: CT-1 = CERAMIC TILE UP TO 4'-0" AFF, TYP. ON WET WALLS IN RESTROOMS

NOTE: CPT-1 = 2° x 2° CARPET TILE - COLOR BY OWNER: SHAW NATIVE OR EQUAL NOTE: VB-1 = 4° VINYL BASE: COLOR BY OWNER: JOHNSONITE OR EQUAL

NOTE: ACT = ACT TO BE ARMSTRONG TEGULAR DUNE - WHITE

E: ACT = ACT TO BE ARMSTRONG TEGULAR DUNE - WHI

		FIN	NISH SCHED	ULE	
ROOM NO.	CEILING	FLOOR	WALL	BASE	NOTES
101	ACT (2x2)/ GYP	SC-1	PAINT	VB-1	
102	ACT (2x2)	SC-1	PAINT	VB-1	
103	ACT (2x2)	CPT-1	PAINT	VB-1	
104	ACT (2x2)	CPT-1	PAINT	VB-1	
105	ACT (2x2)	CPT-1	PAINT	VB-1	
106	ACT (2x2)	CPT-1	PAINT	VB-1	
107	ACT (2x2)	SC-1	PAINT	VB-1	
108	ACT (2x2)	SC-1	PAINT	VB-1	
109	ACT (2x2)	CPT-1	PAINT	VB-1	
110	ACT (2x2)	CPT-1	PAINT	VB-1	
111	ACT (2x2)	CPT-1	PAINT	VB-1	
112	ACT (2x2)	SC-1	CT-1/ PAINT	CT-1 / VB-1	
113	ACT (2x2)	SC-1	CT-1/ PAINT	CT-1 / VB-1	
114	ACT (2x2)	SC-1	CT-1/ PAINT	CT-1 / VB-1	
115	ACT (2x2)	SC-1	PAINT	VB-1	
116	ACT (2x2)	CPT-1	PAINT	VB-1	
117	ACT (2x2)	CPT-1	PAINT	VB-1	
118	ACT (2x2)	SC-1	PAINT	VB-1	
119	ACT (2x2)	CPT-1	PAINT	VB-1	
120	ACT (2x2)	CPT-1	PAINT	VB-1	
121	ACT (2x2)	CPT-1	PAINT	VB-1	
122	ACT (2x2)	CPT-1	PAINT	VB-1	
123	ACT (2x2)/ GYP	CPT-1	PAINT	VB-1	
124	ACT (2x2)	CPT-1	PAINT	VB-1	
125	ACT (2x2)	CPT-1	PAINT	VB-1	
126	ACT (2x2)	SC-1	CT-1/ PAINT	CT-1 / VB-1	
127	ACT (2x2)	CPT-1	PAINT	VB-1	
128	ACT (2x2)	CPT-1	PAINT	VB-1	
129	ACT (2x2)	SC-1	PAINT	VB-1	
130	ACT (2x2)	CPT-1	PAINT	VB-1	
131	GYP	SC-1	PAINT	VB-1	
132	OPEN	SC-1	PAINT / *NF	VB-1	CEILING OPEN TO STRUCTURE

*NF = NOT FINISHED

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COLEMAN CO., LLC

A New Col

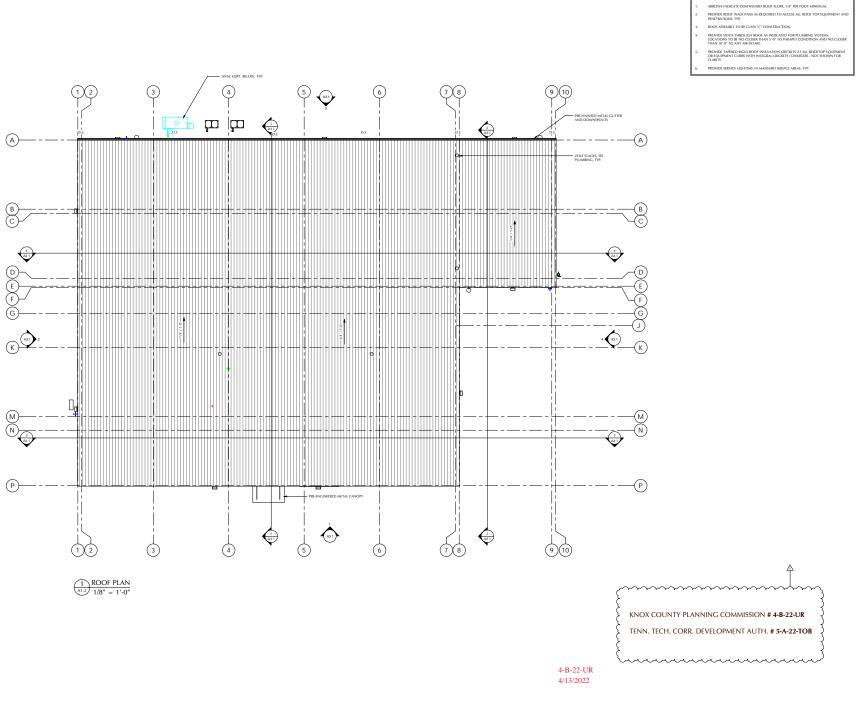
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ROOF PLAN NOTES

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ROOF PLAN

REVISIONS

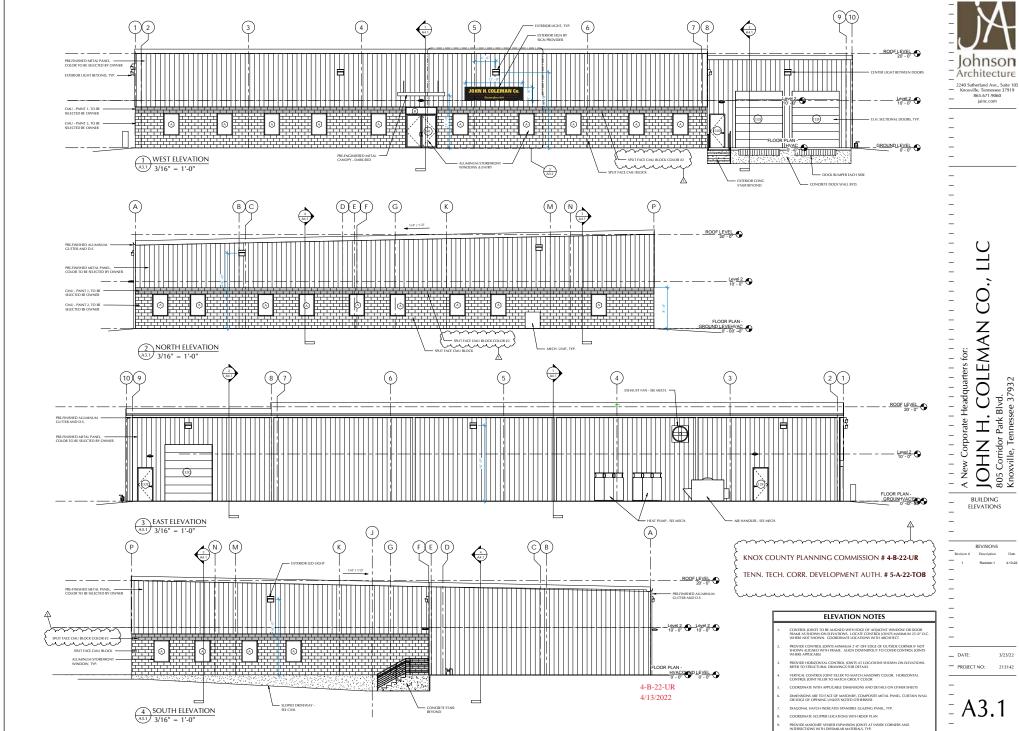
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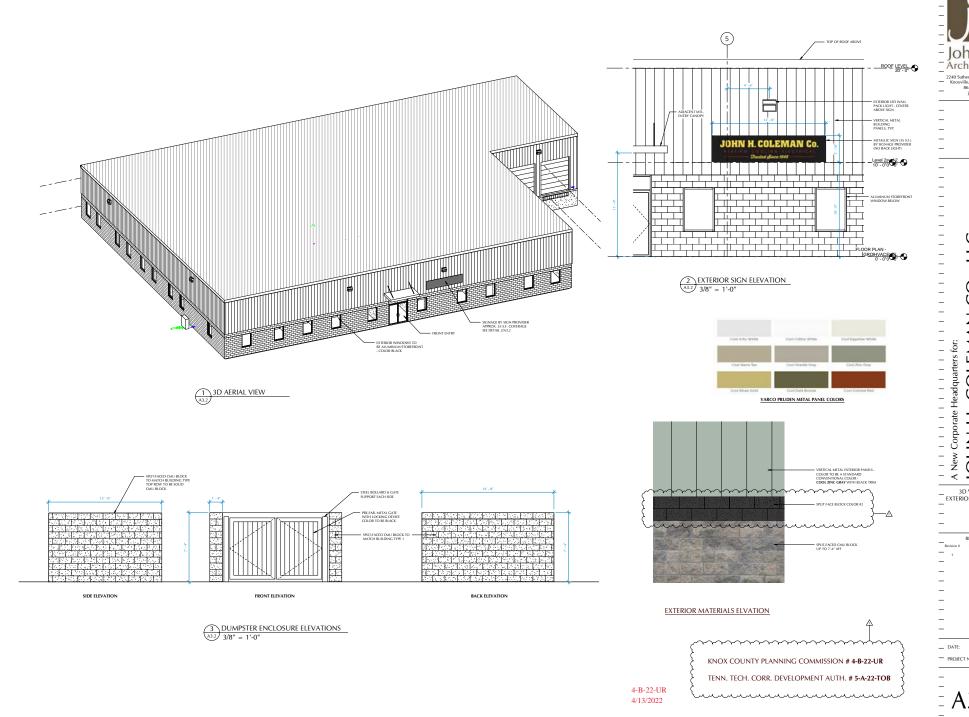
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PROJECT NO: 213142

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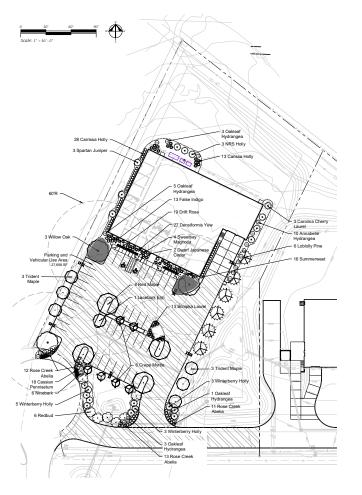
COLEMAN CO., LLC

3D VIEWS &

REVISIONS

3/23/22

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PLANTING NOTES

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12.

14.

20. A 21. A

22. 23. I

TTCDA - LANDSCAPE REQUIREMENT NOTES:

- 3.1.4 in order to provide year-round greenery, at least 25% of newly planted or conserved trees should be evergreen
- 45 trees proposed 19 evergreen = 42%
- 3.1.5 When planting trees on a development site, a roughly equal combination of large, medium and small trees (see Appendix B) should be planted, with at least 10 large maturing trees per acre of yard space.
 2.23 acres 1.04 acres (parking and building) = 1.26 * 10 = 13 trees
 1.71 large frees proposed
 1.3 medium rees proposed
 1.3 medium reproposed

- 3.1.8 The required front yard for a 1-, 2- or 3-story building with no parking in front shall be landscaped. A minimum 20-foot landscaped yard shall be placed between the right-of-way and a parking area in front of a building.
- 3.2.1 The arrival areas should be landscaped to make an introductory statement about each site.
 landscape provided at driveway entrance and front of building
- 3.2.2 Landscaping should be used to accentuate entryways to the site and the building(s) and to provide areas of shade all entry areas landscaped, shade provided where adequate room for tree growth is available

3.3.2 Entrances into buildings should be accented by plantings.

- all entry areas landscaped

- 3.3.3 Areas around buildings equal to 59% of the sea of each front and side elevation shall be planted with ornamental trees, shrubbery and bedding plants (see Appendix B).
 Front Elevation > 2,638 Side Elevation > 2,143 Side Elevation > 2,143 Side Elevation > 2,143 Required Square Footage of Landscape > 3,775 Total Proposed Primater Landscape > 4,205 aquare feet

- 3.3.4 Minimize shading of south-facing facades in winter; maximize shading of south-facing facades in summer.

 trees proposed near south facade
- 3.3.5 Landscaping should buffer the building from the microclimate of the parking area.

 trees proposed around parking and drive aisles
- 3.3.6 Landscaping should be used to screen mechanical equipment or other unsightly exterior building elements.

 evergreen shrubs proposed
- 3.4.1 Parking areas should be screened from public rights-of-way by landscaped berms, low level shrubbery or a combination of the two.
 landscape proposed between parking and cul-de-sac
- 3.4.2 If surface parking is necessary, existing trees both upslope and downslope should be conserved for environmental and aesthetic purposes. In cases where existing vegetation cannot be saved, or does not exist, medium and large maturing canopy trees should be
- 3.4.3 Trees shall be required at the rate of one (1) medium or large maturing canopy tree for every ten parking spaces provided 42 parking space proposed, 5 trees required, 17 large trees proposed
- 3.4.4 In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.
- Total Parking Lot and Vehicular Use Area = 27,658 square fee
 Total Landscape Bed Area = 9,341 square feet

llex verticillata 'Southern Gentlema

llex verticillata 'Winter Red

Physocarpus opulifolius

- 3.4.5 Medium and large maturing canopy and ornamental trees may be chosen from the recommended species list in Appendix B.
- 3.3.6 Mature trees that are preserved within eight feet of the parking area may be used to satisfy up to 50% of the required number of canopy trees, as described in (a) above. In all other respects, however, the number of trees and other plantings required for parking are shall be in addition to those required under Section 3.1.

 -// M./ DIEES preserved
- 3.3.7 Required canopy trees shall be located within the parking areas as terminal islands, interior islands, interior wells, medians, traffic delineators, between rows of parking spaces, or in planting areas adjacent to buildings in a manner such that no parking space is located more than sixty (60) leef from the trunk of a large canopy tree.

 -

5° oc, full and dense, plant one male pollinator for each grouping 5° oc, full and dense full and dense full and dense

3.3.8 Interior islands at the rate of one for every 200 feet of parking shall be installed to break up long rows of parking stalls

PLANTING LEGEND:

Qnty	Botanical Name	Common Name	Size	Notes	Size
Deciduous	s Trees				
6	Acer buergerianum	Trident Maple	2" cal.	central leader, full and dense	M
4	Acer rubrum 'October Glory'	October Glory Red Maple	2" cal.	central leader, full and dense	L
6	Cercis canadensis	Redbud	2" cal.	central leader, full and dense	S
6	Lagerstromia indica 'Muskogee'	Muskogee Crape Myrtle	2" cal	MT, 5 cane min, full and well branched	S
4	Liriodendron tulipifera	Tulip Poplar	2" cal.	central leader, full and dense	L
3	Quercus phellos	Willow Oak	2" cal.	central leader, full and dense	L
1	Ulmus parvifolia	Lacebark Elm	2" cal.	central leader, full and dense	M
Evergreer	Trees				
3	Juniperus chinensis	Spartan Juniper	6' hgt.	central leader, full and dense	M
4	Magnolia x soulangeana	Sweetbay Magnolia	6' hgt.	central leader, full and dense	M
6	Pinus taeda	Lobiolly	12' hgt.	central leader, full and well branched	L
3	Prunus caroliniana	Carolina Cherry Laurel	6' hgt.	central leader, full and dense	S
3	llex x	Nellie R Stevens Holly	6' hgt.	central leader, full and dense	M
Deciduous	s Shrubs				
16	Clethra alnifolia	Sweet Pepperbush	3 gallon	full and dense	
10	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gallon	full and dense	
11	Hydrangea quercifolia	Oakleaf Hydrangea	3 gallon	full and dense	

7 gal, 36" 7 gal, 36"

3 gallon

full and dense full and dense full and dense

This tandscape plan is designed to meet minimum TTCDA landscape requirements only.
 All HVAC units shall be screened with vegetation as per TTCDA landscaping ordinance. Location and screening material TBD.

4-B-22-UR

4/13/2022

- Planning Commission File #4-B-22-UR - TTCDA Case #5-A-22-TOB

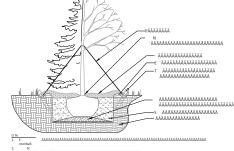
Evergreen Shrubs 36 Abeli

3 gallon 3 gallon 3 gallon 3 gallon 3 gallon Cryptomeria japonica 'Nana Glubosa' Ilex cornuta 'Carissa' Dwarf Japanese Cedar Carissa Holly Ilex glabra Inkberry Holly

full and dense 1 gallon full and dense

Winterberry Holly Winterberry Holly

Gro-Low Sumac



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Architecture





LEMAN $\overline{\mathbb{O}}$ Blvd. Park

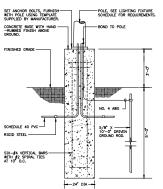
 $\overline{\subseteq}$ 802 LANDSCAPE PLAN

⋖

Corridor I Ne∝

- TTCDA Case #5-A-22-TOB

- DATE 3/28/22 - PROJECT NO: 213142



	SITE LIGHTING FIXTURE SCHEDULE												
ILLUMINATION POLE DESCRIPTION: MATERIAL, SHAPE,		DESCRIPTION:											
WATTE	9		COLOR TEMPERATURE	ALUMINUM	STEEL	GNUOS	SQUARE	HEIGHT ABOVE FINISHED GRADE	"SHIELDING," TYPE MATERIALS, FINISH, MOUNTING	PRODUCT ITEM PRODUCT ITEM COMPANY POLE LUMINAIRE COMPANY CATALOG NO. CATALOG NO.			REMARKS
8	_	433 40	-		•	Ī	•	28 FT.	POLE MOUNTED AREA LIGHT, FULL CUTOFF, FORWARD THROW OPTICS, FULL BASE COVER, BLACK FINISH)	LITHONIA	RTS-25-5- 9B-DM19AS- FBC	DSX0-LED-P5 40K-T4M-MVOLT RPA-DBLXD	
8	9 88	73 40	000		٠		•	28 FT. (POLE MOUNTED AREA LIGHT, FULL CUTOFF, FORWARD THROW OPTICS, FULL BASE COVER, BLACK FINISH	LITHONIA	RTS-25-5- 9B-DM19AS- FBC	DSXO-LED-P5 40K-T4M-MVOLT RPA-HS-DBLXD	HOUSE SIDE SHIELD



2240 Sutherland Ave., Suite 10: Knoxville, Tennessee 37919 865.671.9060 jainc.com



COLEMAN CO., LLC

JOHN H. COLI Discovery Lane Knoxville, Tennessee 37932

SITE PLAN - ILLUMINATION

REVISIONS

Revision # Description Date

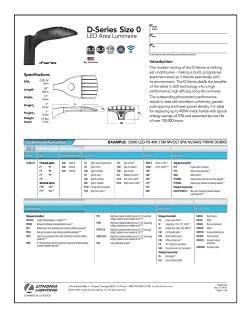
TTCDA COMM. 4-13-22

2/28/22

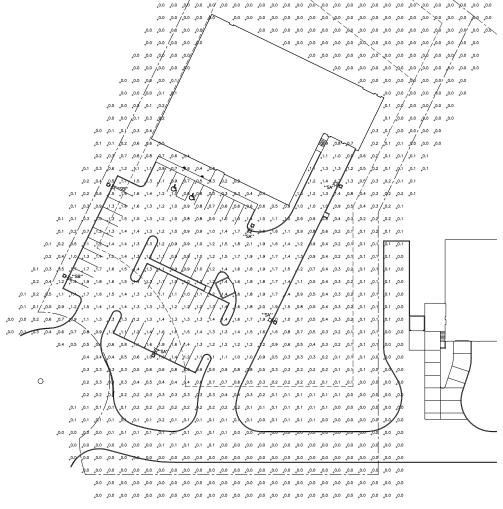
213142

A NEW CORPORATE HEADQUARTERS FACILITY FOR:

POLE BASE DETAIL



SITE LIGHTING TYPE SA & SB DETAIL



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NOTES:

1. VALUES INDICATE COMPUTER CALCULATED MAINTAINED ILLUMINATION LEVELS IN FOOTCHODLES; USING A TOTAL MAINTAINENCE FACTOR UTILIZED OF 0.80.

2. FOOTCHADLE LEVELS SHOWN INDICATE CONTRIBUTIONS FROM MERI LUMINAIRES ILLUSTRATED ON THIS BRAWING



4-B-22-UR 4/13/2022

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- DATE:

- PROJECT NO:



File Number: 4-B-22-UR
Site: John H Coleman
Correspondent: Josh E Biden
Reviewed By: A Kupfer
Review Date: 3/14/22

Addressing Staff Review Comments

All subdivision and street names must conform to the Knoxville/Knox County Street Uniform Naming and Addressing Ordinance, Subdivision Regulations and the Administrative Rules of the Planning Commission.

Visit our website: http://www.knoxplanning.org/addressing for a list of existing and available street names.

Proposed or Existing Subdivision or Street Name	Review Comments (Corrections, Reserved/Approved Date, Notes)
	Address for proposed use has already been assigned.
	Unresolved addressing issues may delay permitting.
Note:	All the site plans have Discovery Lane in the Title Block

Comments may be modified based on new information from updated plans, field reviews or other agencies.

Addressing Staff Contacts:

Donna Hill Andrea Kupfer Both staff donna.hill@knoxplanning.org andrea.kupfer@knoxplanning.org addressing@knoxplanning.org 865.215.3872 865.215.3797

865.215.2507



Request toPostpone • Table • Withdraw

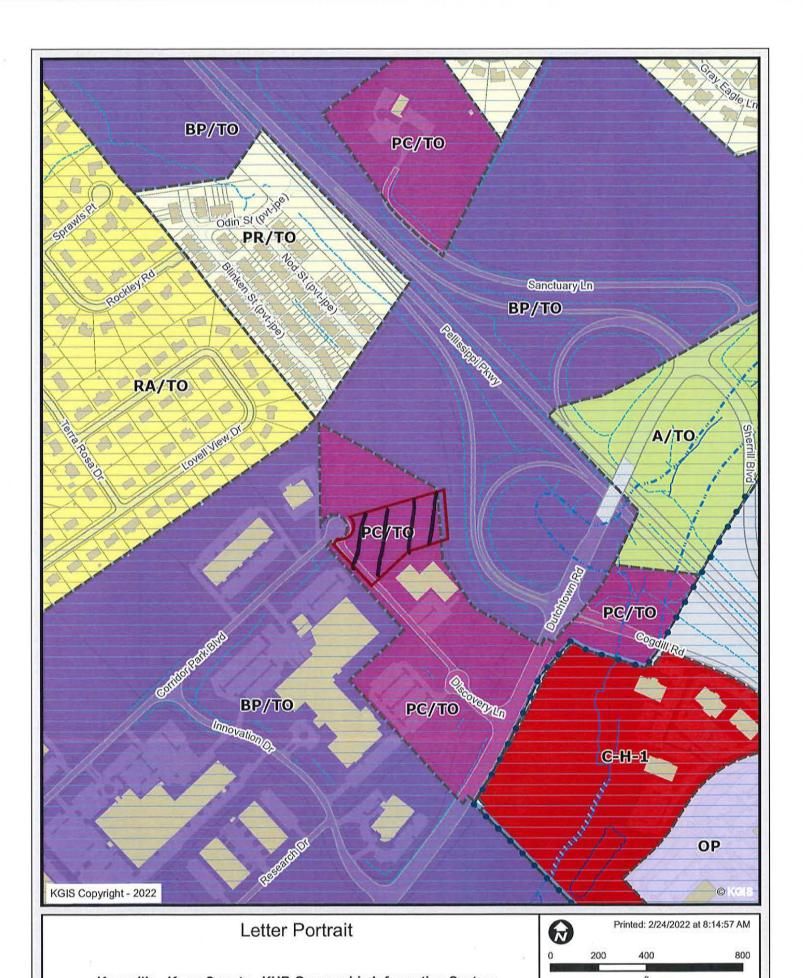
carring	Josh Biden - Johnson Arci	hitecture	3-10-22	
KNOXVILLE KNOX COUNTY	Applicant Name (as it appears on	the current Planning Commission agenda)	Date of Request	
April 14, 2022			File Number(s)	
Scheduled Meeting Date		4-B-22-UR		
POSTPONE				
the week prior to the Plann	ning Commission meeting. All request	request is received in writing and paid for is must be acted upon by the Planning Com nement. If payment is not received by the	nmission, except new	
SELECT ONE: 30 days	☐ 60 days ☐ 90 days			
Postpone the above applicatio	NA- 2022	Planning Commis	sion Meeting.	
WITHDRAW				
WITTIDIKAW				
approved by the Executive	Director or Planning Services Manage	vithdrawal is received prior to public notice er. *The refund check will be mailed to the er. *The refund check will be	original payee.	
no fee to table or untable a		e riaming commission before it can be or	ncially tabled. There is	
AUTHORIZATION	By signing below, I certify I am the pro	perty owner, and/or the owners authorized	representative.	
	Josh	E. Biden		
Applicant Signature	Please	e Print		
Josh E. Biden	jbide	en@jainc.com		
Phone Number	Email			
STAFF ONLY				
Mas	Michelle Porti	er		
Staff Signature	Please Print	Date Paid		
Eligible for Fee Refund? 🔲 Y	es 🛮 No Amount: \$50.00	Receipt # 38995		
Michelle Portier		3/10/2022		
Approved by:		Date:		
Heather Overton	865-671-9060	2240 Sutherland Ave #105,	Knoxville TN 27910	
Payee Name	Payee Phone	Payee Address	CHORVING, TIV 37313	



Development Request
DEVELOPMENT SUBDIVISION ZO ZONING

Planning KNOXVILLE I KNOX COUNTY	☑ Development Plan☐ Planned Development☐ Use on Review / Special Use☐ Hillside Protection COA	☐ Concept ☐ Final Plat		☐ Plan Amendment ☐ SP ☐ OYP ☐ Rezoning
Buddy Cruze		Owne	er of Joh	n H. Coleman Co.
Applicant Name			Affiliatio	on
2-23-22	April 2022 (4/14/2022)			File Number(s)
Date Filed	Meeting Date (if applicable)		4-B	3-22-UR
CORRESPONDENCE All	correspondence related to this application	should be directed	d to the app	proved contact listed below.
□ Applicant □ Property Owner	☐ Option Holder ☐ Project Surveyo	or 🗌 Engineer	☐ Archit	ect/Landscape Architect
Josh E. Biden	Johnson	Architecture 1	Inc.	
Name	Comp	any		
2240 Sutherland Avenue	Suite #105 Knoxvill	e	TN	37919
Address	City		State	ZIP
865-671-9060 Ext. 4314	jbiden@jainc.com			
Phone	Email			
CURRENT PROPERTY INFO				
Nott Ronald & The James Kel	ly			0/ F 111 120=
Mam Trust et. all. Property Owner Name (if different)	774 S. North shore Vi		9	865 - 441 - 4387 Property Owner Phone
Property Owner Name (in differency	Property Owner Address	3		Troperty Owner Phone
805 Corridor Park Blue	4, Knoxville, TN 37932		1181	73.22
Property Address		Parcel ID		
West Knox Utility Distric	t West Knox Utility D	istrict		NO
Sewer Provider	Water Provider			Septic (Y/N
STAFF USE ONLY				
		n I	2.21	
General Location	k Blvd., northwest of Dutchtown	n Ka.,	Tract Siz	acres
	DO/ITO 0 77777			31
☐ City ☐ County ☐ 6th	PC/TO & BP/TO		ForVac	
District	Zoning District	Existing Land	Use	
Northwest County	TP (Technology Park)		Plar	nned Growth
Planning Sector	Sector Plan Land Use Classification	Sector Plan Land Use Classification		

DEVELOPMENT REQUEST					
☐ Residential ☐ Use on Review ☐ Residential ☐ Non-Residential Home Occupation (specify)		ion COA		Related Ci	ty Permit Number(s)
	quarters Office Facility				
SUBDIVISION REQUEST					
				Related Re	ezoning File Number
Proposed Subdivision Name					
Si Marine Co. According	raala				
Unit / Phase Number	rcels Divide Parcel Total Nu	mber of Lots	Created		
☐ Other (specify)					
Attachments / Additional Requirement	5				
ZONING REQUEST					
THE PERSON NEW TO A				Pending	g Plat File Number
☐ Zoning Change					
Proposed Zoning					
Plan Amendment Change	Plan Designation(s)				
rioposeur	Turi Designation(s)				
Proposed Density (units/acre)	Previous Rezoning Requests				
Other (specify)					
STAFF USE ONLY					
PLAT TYPE		Fee 1			Total
☐ Staff Review ☐ Planning Commiss	sion	0401	1500.	00	
ATTACHMENTS	enson or a district	Fee 2	1300.	UU	
	Variance Request				
ADDITIONAL REQUIREMENTS					
☐ Design Plan Certification (Final Plat)☐ Use on Review / Special Use (Concept F	Plan)	Fee 3			
☐ Traffic Impact Study	Turry			5	
☐ COA Checklist (Hillside Protection)					\$1500.00
3.0					
AUTHORIZATION				11	
JEB	Josh E. Biden			2-20)-22
Applicant Signature	Please Print			Date	
865-603-5355	jbiden@jainc.com				
Phone Number	Email				
41 000 10	Mist - 100 144	Marian	Portnow	2	20/2022
Michal Crabtee Property Owner Signature	Michael C. Crabtree, Please Print	. Livery inc	per side y	Date	
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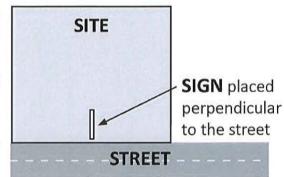




Sign Posting & Removal Requirement

Revised April 2021

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

March 30, 2022 and_	april 15, 2022
(applicant or staff to post sign)	(applicant to remove sign)
Applicant Name: Buddey Cruye Date: 2/24/2022 File Number: 4-B-22-UR	Sign posted by Staff Sign posted by Applicant