



# USE ON REVIEW REPORT

▶ **FILE #:** 4-B-23-UR

**AGENDA ITEM #:** 44

**AGENDA DATE:** 4/13/2023

▶ **APPLICANT:** CLAY MCQUADE

OWNER(S): The Kroger Company

TAX ID NUMBER: 38 K D 011.01

[View map on KGIS](#)

JURISDICTION: County Commission District 7

STREET ADDRESS: 6945 MAYNARDVILLE PIKE

▶ **LOCATION:** West side of Maynardville Pike, south of Cunningham Rd

▶ **APPX. SIZE OF TRACT:** 4.79 acres

SECTOR PLAN: North County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Maynardville Pike, a major arterial with 4 travels and a median within a right-of-way of varying widths; via Neal Drive, a local street with 24 to 30-ft of pavement width within 40-ft of right-of-way; and via Cunningham Rd, a major collector with 24-ft of pavement width within 50 to 60-ft of right-of-way

UTILITIES: Water Source: Hallsdale-Powell Utility District

Sewer Source: Hallsdale-Powell Utility District

WATERSHED: Beaver Creek

▶ **ZONING:** CA (General Business)

▶ **EXISTING LAND USE:** Vacant land and parking lot

▶ **PROPOSED USE:** Indoor self-storage facility

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Commercial, Single family residential, Office -- CA (General Business)

South: Commercial, Restaurant -- CA (General Business) and PC (Planned Commercial)

East: Commercial, Restaurant -- CA (General Business)

West: Commercial -- CA (General Business)

NEIGHBORHOOD CONTEXT: This site is located in the Black Oak Plaza shopping center which includes a mix of small businesses, U-Haul indoor self-storage facility (former Kmart) and Kroger (demolished). There are residential houses to the north of the shopping center that are zoned CA (General Business) and to the west zoned PR (Planned Residential).

## STAFF RECOMMENDATION:

▶ **APPROVE** the request for a 45-ft tall, 1-story indoor self-storage facility with a building footprint of approximately 16,900 sqft, subject to 9 conditions.

- 1) Meeting all requirements of the supplemental regulations for indoor self-storage facilities (Section 4.93.03), including but not limited to the first floor street-facing façade of the building having a minimum transparency of ten percent (10%). For the purposes of this review, the first floor shall be the lower third of the building elevation (15 ft above the finished floor elevation). Revised building elevations must be submitted to Planning Commission staff for review and approval before building permits are issued.
- 2) Installing the landscaping shown on the landscape plan, and all other required landscaping, before the issuance of an occupancy permit or posting a bond with the Knox County Engineering and Public Works to guarantee its installation.
- 3) Providing full cut off light fixtures that are deflected, shaded, and focused away from all adjoining property, per section 4.93.03.D. of the Knox County Zoning Ordinance.
- 4) Revising the required rear setback to 24 ft. The proposed structure is one-story but is 45 ft tall, which is more in line with the maximum 3-story height in the CA zone.
- 5) If the structure is expanded in the future, a new Use on Review approval is required.
- 6) Outdoor storage of material or equipment is prohibited unless a new Use on Review application is approved, demonstrating compliance with the CA (General Business) zone and the supplemental regulations for self-storage facilities (Section 4.93).
- 7) The signage plan must comply with the CA (General Business) sign standards in Section 3.90.
- 8) Meeting all applicable requirements of the Tennessee Department of Transportation.
- 9) Meeting all applicable requirements of Knox County Engineering and Public Works.

With the conditions noted, this plan meets the CA zone standards, supplemental regulations for indoor self-storage facilities in the CA zone, and the criteria for approval of a use on review.

**COMMENTS:**

The applicant requests approval for an indoor self-storage facility that is 45 ft tall and has a building footprint of approximately 16,900 sqft. The facility is for the U-Box storage containers, which are stacked in an open warehouse-style building. This is why this structure is described as being 1-story. U-Box storage containers are usually filled off-site and returned to the facility for storage. If a customer needs to access the U-Box, it must be retrieved from the storage area and returned by employees.

The indoor self-storage facility supplemental regulations require the ground floor street-facing façade to have 10 percent transparency. This is intended to provide some glass area at the base of the building. The applicant describes this 45-ft tall structure as 1-story, but it is effectively a 3-story structure. To meet the intent of the 10% ground floor transparency standard, staff recommends that this apply to the first 15 ft above the finished floor elevation.

**DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10 – SECTION 2)**

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

- 1) THE PROPOSED USE IS CONSISTENT WITH THE ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND SECTOR PLAN.
  - A. The North County Sector Plan recommends a mix of retail, residential, and office uses, including vertical mixed-use (MU-NCO-6 – Halls Mixed Use District).
  - B. General Plan Policies:
 

Policy 8.10, Encourage redevelopment of obsolete commercial strip space by providing incentives for “infill” rather than greenfield development. – This proposal is located in the former location of a Kroger grocery store that was demolished between 2011 and 2013.
  
- 2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.
  - A. With the recommended conditions, the self-storage facility meets the supplemental regulations for indoor self-storage facilities, the CA (General Business) zoning standards, and all other requirements of the Zoning Ordinance.
  
- 3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.
  - A. The proposed 45-ft structure is significantly taller than the existing shopping center structure and surrounding residential and non-residential structures. However, the structure is setback significantly from adjacent uses, minimizing its impact.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY.

A. Self-storage uses have a lower daily traffic volume than most commercial uses and are secure facilities. The proposed use is not anticipated to injure adjacent properties' value significantly.

5) THE USE WILL NOT DRAW ADDITIONAL TRAFFIC THROUGH RESIDENTIAL AREAS.

A. This site is accessed directly from a major arterial street (Maynardville Pike).

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

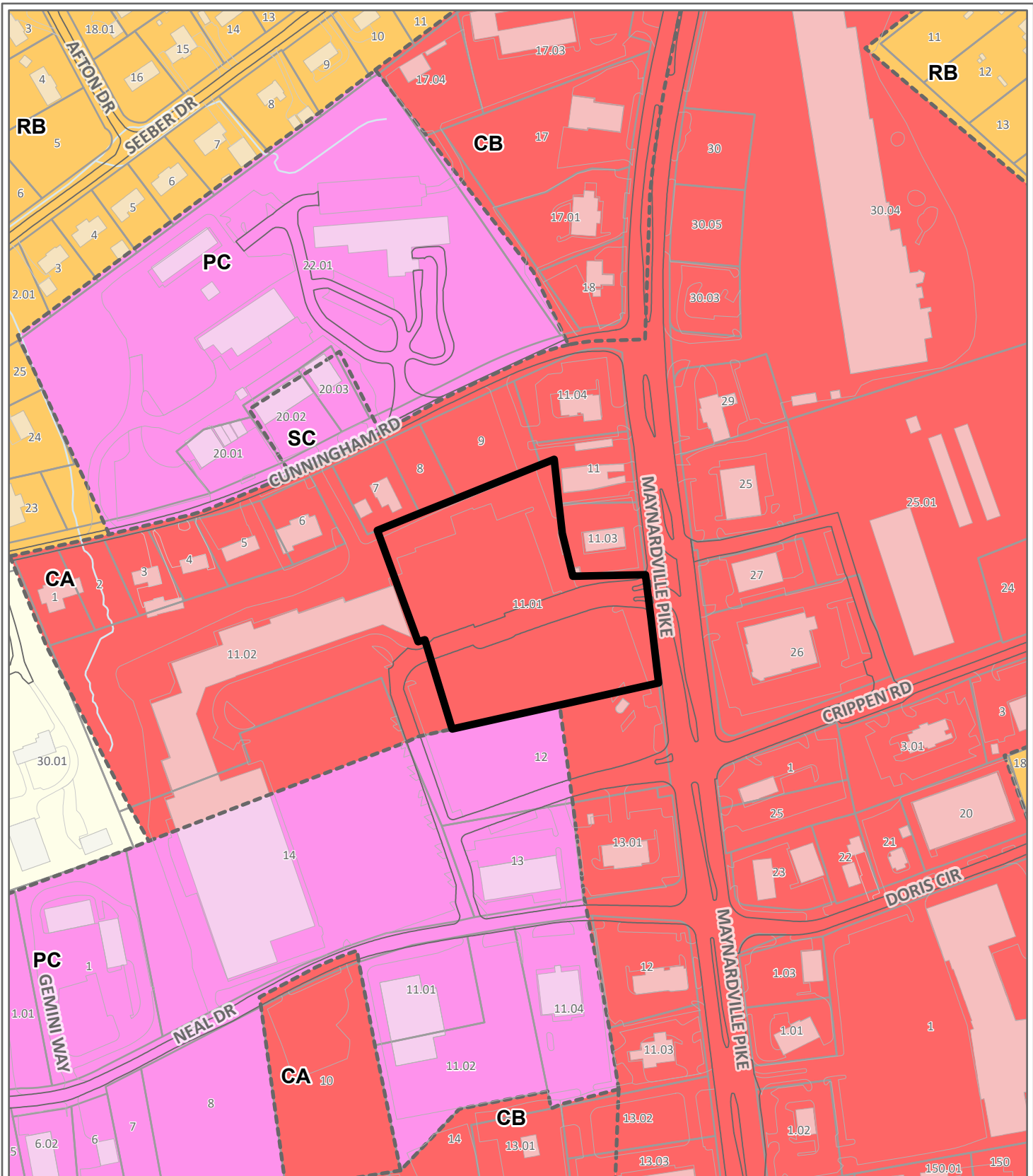
A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed uses within the development.

ESTIMATED TRAFFIC IMPACT: 25 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



**USE ON REVIEW**

**4-B-23-UR**

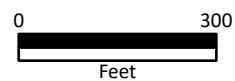
Petitioner: Clay McQuade

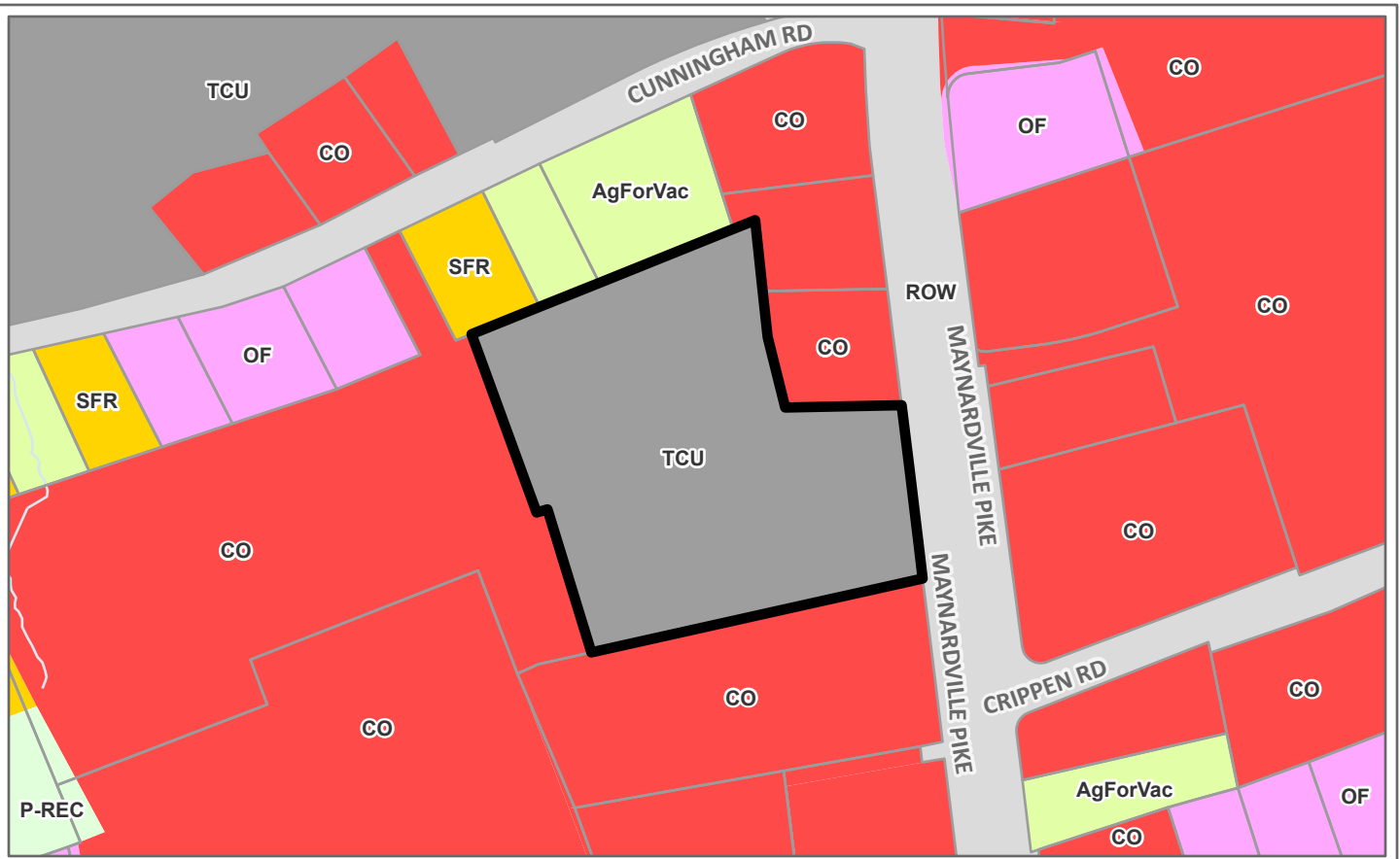


Indoor self-storage facility in CA (General Business)

Map No: 38  
Jurisdiction: County

Original Print Date: 4/4/2023  
Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902





**Existing Land Use and Aerial Maps**

**4-B-23-UR**



Case boundary



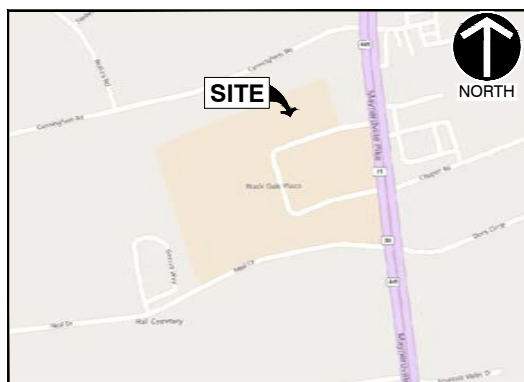
# U-HAUL OF HALLS

6945 MAYNARDVILLE PIKE  
KNOXVILLE, TN 37918

PREPARED FOR:  
**AMERCO REAL ESTATE COMPANY**  
FEBRUARY 2023

## LIST OF DRAWINGS

- C000 COVER SHEET
- C100 EXISTING CONDITIONS PLAN
- C200 SITE LAYOUT PLAN
- C201 SITE CIRCULATION PLAN
- C300 SITE GRADING PLAN
- C400 SITE DRAINAGE PLAN
- C700 LANDSCAPE PLAN



**VICINITY MAP**

IMAGE TAKEN FROM GOOGLE MAPS  
N.T.S.

### UTILITY COMPANIES

WATER SERVICE

HALLSDALE-POWELL UTILITY DISTRICT  
3745 CUNNINGHAM ROAD  
KNOXVILLE, TN 37918  
865-922-7547

ELECTRIC SERVICE

KNOXVILLE UTILITIES BOARD  
445 S GAY ST, STE 500  
KNOXVILLE, TN 37902  
865-558-2555

SANITARY SEWER

HALLSDALE-POWELL UTILITY DISTRICT  
3745 CUNNINGHAM ROAD  
KNOXVILLE, TN 37918  
865-922-7547

### PROPERTY OWNER

AMERCO REAL ESTATE CO  
2727 NORTH CENTRAL AVE.  
PHOENIX, ARIZONA 85004  
PH: 602-263-6502  
CONTACT: LORA LAKOV

### SITE DATA

PARCEL ID: 038KD01 101  
CIVIL DISTRICT: E6  
CLT MAP: 38TOTAL ACREAGE: 5.06 ACRES  
PROPERTY ADDRESS: 6945 MAYNARDVILLE PIKE, KNOXVILLE, TN 37918

### CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS  
2704 CHEROKEE FARM WAY, STE. 101  
KNOXVILLE, TN 37920  
PH: 865-977-9997  
CONTACT: JOHN GREER, PE

NO.	DATE	DESCRIPTION
1	12/20	PLANNING COMANTE

**Civil & Environmental Consultants, Inc.**  
2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920  
Ph: 865.977.9997 / Fax: 865.977.9919  
www.ceeinc.com

U-HAUL CO. OF KNOXVILLE  
U-HAUL OF HALLS  
FILE NUMBER # 4-B-23-UR  
6945 MAYNARDVILLE PIKE  
KNOXVILLE, TN.

DATE	FEBRUARY 2023	DRAWN BY	AWP
DATE SCALE		CHECKED BY	JMG
PROJECT NO.		DESIGNED BY	311-054
APPROVED BY			

4-B-23-UR  
Revised: 3/30/2023

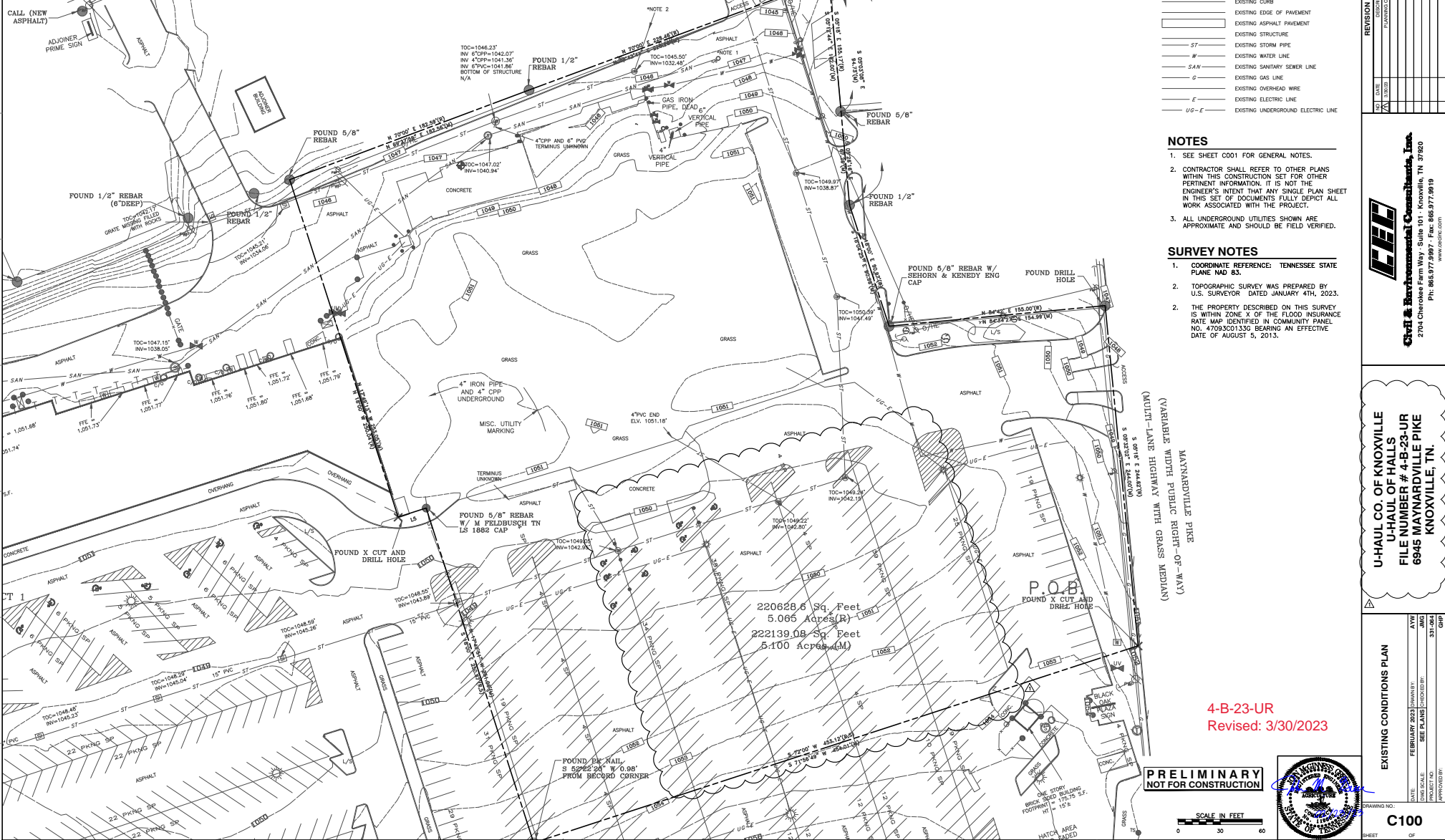
**PRELIMINARY**  
NOT FOR CONSTRUCTION



C000  
SHEET 01 OF 01



CALL (NEW ASPHALT)  
ADJOINER PRIME SIGN  
CUMMINGHAM ROAD  
PUBLIC RIGHT-OF-WAY  
ASPHALT  
UG-E  
FOUND 1/2" REBAR



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING RIGHT-OF-WAY
---	EXISTING INDEX (MAJOR) CONTOUR
---	EXISTING INTERMEDIATE (MINOR) CONTOUR
---	EXISTING FENCE LINE
---	EXISTING DRAINAGE DITCH
---	EXISTING ROADWAY CENTERLINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING ASPHALT PAVEMENT
---	EXISTING STRUCTURE
---	EXISTING STORM PIPE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING GAS LINE
---	EXISTING OVERHEAD WIRE
---	EXISTING ELECTRIC LINE
---	EXISTING UNDERGROUND ELECTRIC LINE

- NOTES
- SEE SHEET C001 FOR GENERAL NOTES.
  - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
  - ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.

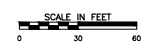
- SURVEY NOTES
- COORDINATE REFERENCE: TENNESSEE STATE PLANE 83.
  - TOPOGRAPHIC SURVEY WAS PREPARED BY U.S. SURVEYOR DATED JANUARY 4TH, 2023.
  - THE PROPERTY DESCRIBED ON THIS SURVEY IS WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED IN COMMUNITY PANEL NO. 47090201330 BEARING AN EFFECTIVE DATE OF AUGUST 5, 2013.

(VARIABLE WIDTH HIGHWAY WITH GRASS MEDIUM)  
MAYNARDVILLE PIKE

220628.6 Sq. Feet  
5.065 Acres (R)  
222139.08 Sq. Feet  
5.100 Acres (M)

4-B-23-UR  
Revised: 3/30/2023

PRELIMINARY  
NOT FOR CONSTRUCTION



REVISION RECORD

NO.	DATE	DESCRIPTION
1	3/30/23	PLANNING COMMENTS

**CEE**  
Civil & Environmental Consultants, Inc.  
2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920  
Ph: 865.977.9897 - Fax: 865.977.9919  
www.ceecivilians.com

U-HAUL CO. OF KNOXVILLE  
U-HAUL OF HALLS  
FILE NUMBER # 4-B-23-UR  
6945 MAYNARDVILLE PIKE  
KNOXVILLE, TN.

EXISTING CONDITIONS PLAN

DATE:	FEBRUARY 2023	DRAWN BY:	AWJ	AMC
DWG. SCALE:		CHECKED BY:	JAC	JAC
PROJECT NO.:		SEE PLANS:	UNIVERSITY	UNIVERSITY
PROJECTED BY:				
APPROVED BY:				

DRAWING NO. **C100**  
SHEET 01 OF 01



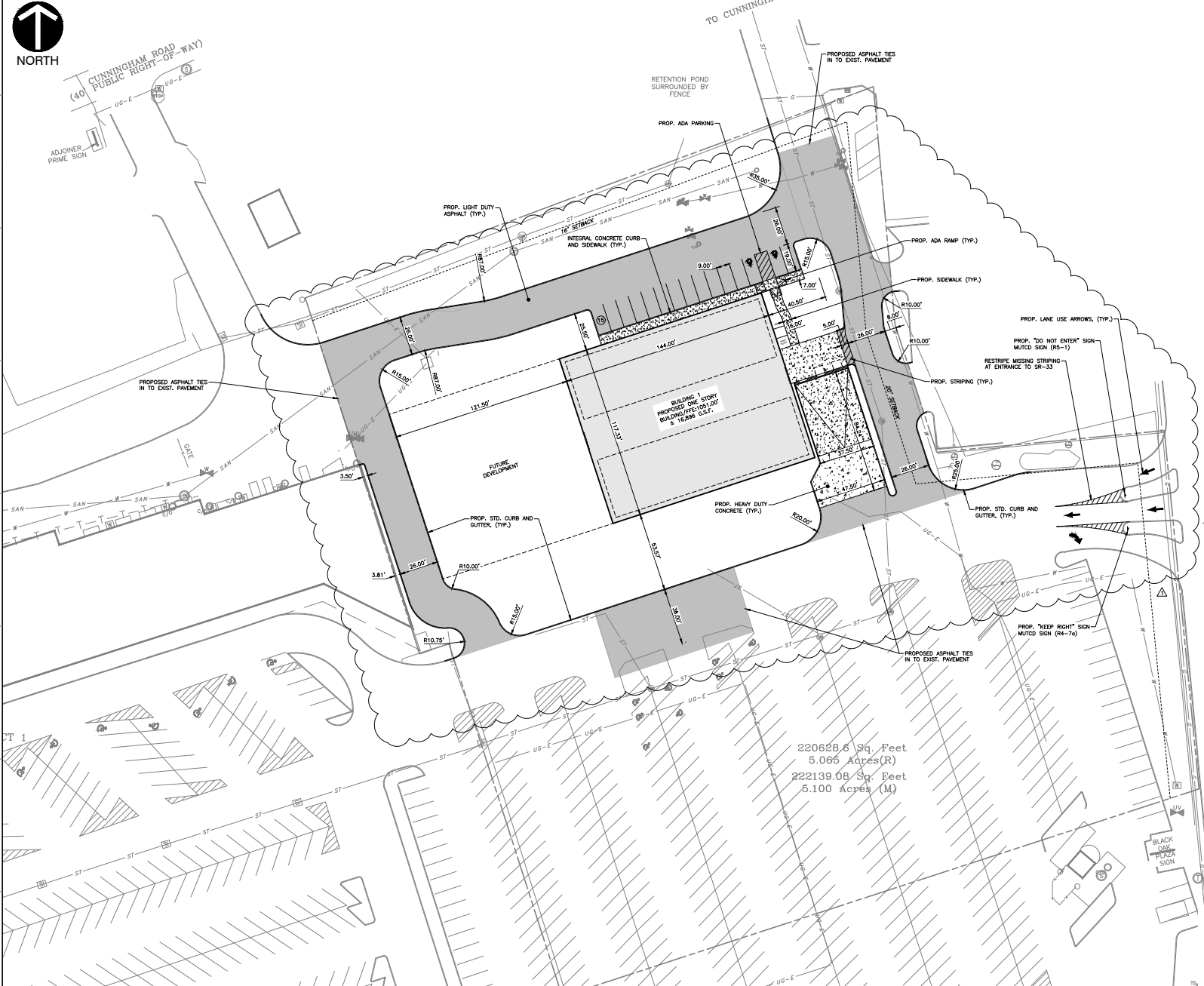
(40) CUMMINGHAM ROAD  
PUBLIC RIGHT-OF-WAY

TO CUNNINGHAM

LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING RIGHT-OF-WAY
x-x-x	EXISTING FENCE LINE
---	EXISTING ROADWAY CENTERLINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING ASPHALT PAVEMENT
---	EXISTING STRUCTURE
ST	EXISTING STORM PIPE
W	EXISTING WATER LINE
SAN	EXISTING SANITARY SEWER LINE
G	EXISTING GAS LINE
---	EXISTING OVERHEAD WIRE
E	EXISTING ELECTRIC LINE
UG-E	EXISTING UNDERGROUND ELECTRIC LINE
---	PROPOSED CURB
---	PROPOSED EDGE OF PAVED DRIVE
---	PROPOSED CONCRETE
---	PROPOSED STRIPING
---	PROPOSED SIDEWALK
---	PROPOSED BUILDING
---	PROPOSED ASPHALT

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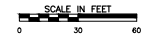


220628.6 Sq. Feet  
5.065 Acres (R)  
222139.08 Sq. Feet  
5.100 Acres (M)

(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)  
MAYNARDVILLE PIKE  
MULTI-LANE HIGHWAY WITH GRASS MEDIUM

4-B-23-UR  
Revised: 3/30/2023

**PRELIMINARY**  
NOT FOR CONSTRUCTION



NO. DATE	DESCRIPTION
1	PLANNING COMMENTS

**REVISION RECORD**

**CEE**  
Chris & Barry Environmental Consultants, Inc.  
2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920  
Ph: 865.977.9397 - Fax: 865.977.9819  
www.ceeinc.com

**U-HAUL CO. OF KNOXVILLE**  
U-HAUL OF HALLS  
FILE NUMBER # 4-B-23-UR  
6945 MAYNARDVILLE PIKE  
KNOXVILLE, TN.

**SITE LAYOUT PLAN**

DATE	DRAWN BY	AWP
FEBRUARY 2023	AWP	JMC
DWG SCALE	CHECKED BY	311.054
SEE PLANS		
PROJECT NO.		
PROPOSED BY		

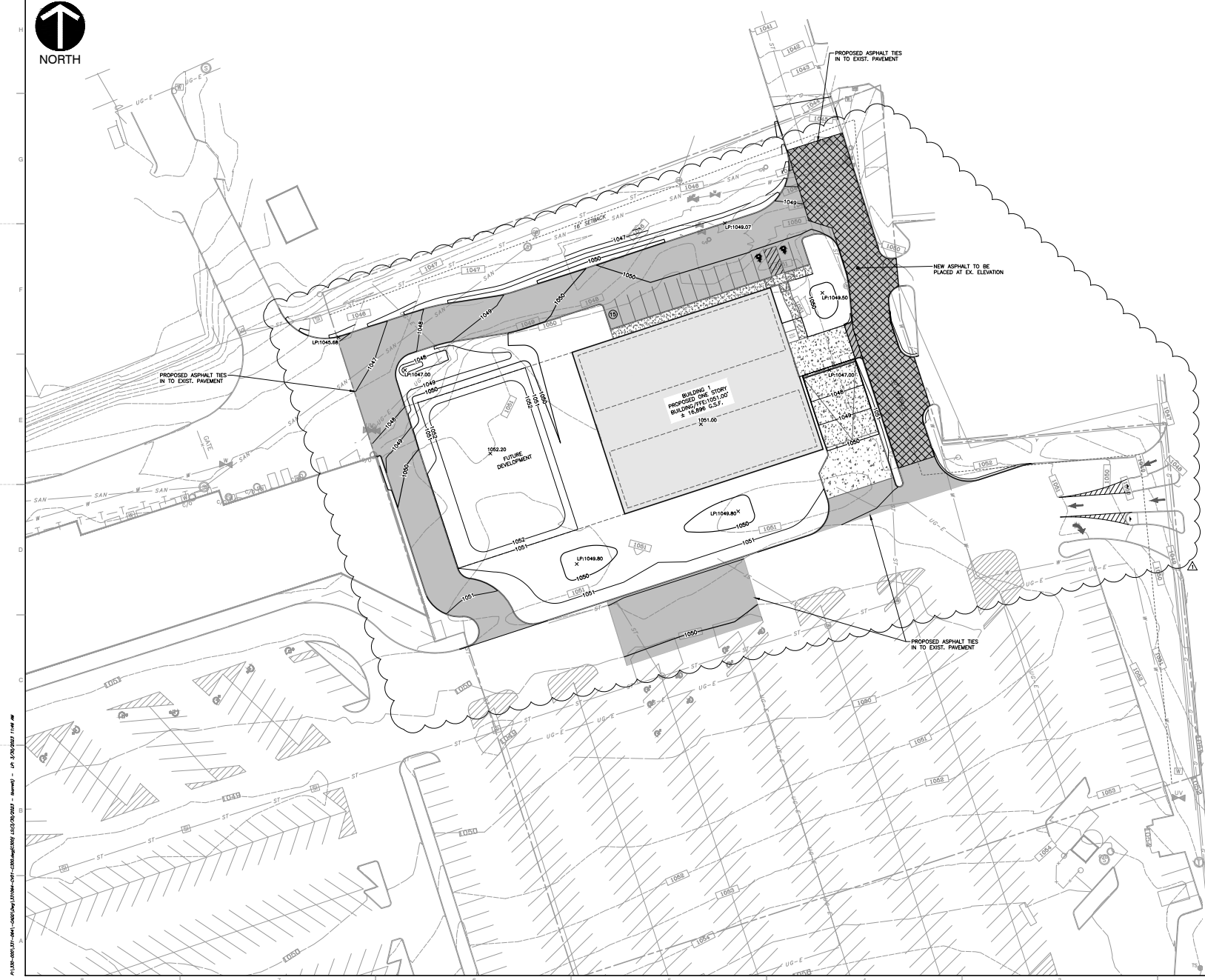
DRAWING NO. **C200**

SHEET OF





NORTH



**LEGEND**

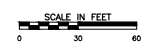
---	EXISTING PROPERTY LINE
- - -	EXISTING EASEMENT
---	EXISTING RIGHT-OF-WAY
---	EXISTING INDEX (MAJOR) CONTOUR
---	EXISTING INTERMEDIATE (MINOR) CONTOUR
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---	EXISTING OVERHEAD WIRE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	PROPOSED CURB
---	PROPOSED EDGE OF PAVED DRIVE
---	PROPOSED CONCRETE
---	PROPOSED STRIPING
---	PROPOSED SIDEWALK
---	PROPOSED BUILDING
---	PROPOSED INDEX (MAJOR) CONTOUR
---	PROPOSED INTERMEDIATE (MINOR) CONTOUR

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4-B-23-UR  
Revised: 3/30/2023

**PRELIMINARY  
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REVISION RECORD	
NO.	DATE
1	3/30/23

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 Ph: 865.977.9397 - Fax: 865.977.9819  
 www.ceeinc.com

**U-HAUL CO. OF KNOXVILLE  
 U-HAUL OF HALLS  
 FILE NUMBER # 4-B-23-UR  
 6945 MAYNARDVILLE PIKE  
 KNOXVILLE, TN.**

**SITE GRADING PLAN**  
 DATE: FEBRUARY 2023  
 DRAWN BY: AVW  
 DWG SCALE: 1"=40'-0"  
 PROJECT NO.: SEE PLANS  
 CHECKED BY: JMC  
 PROJECTED BY: 311.054  
 APPROVED BY: GPT

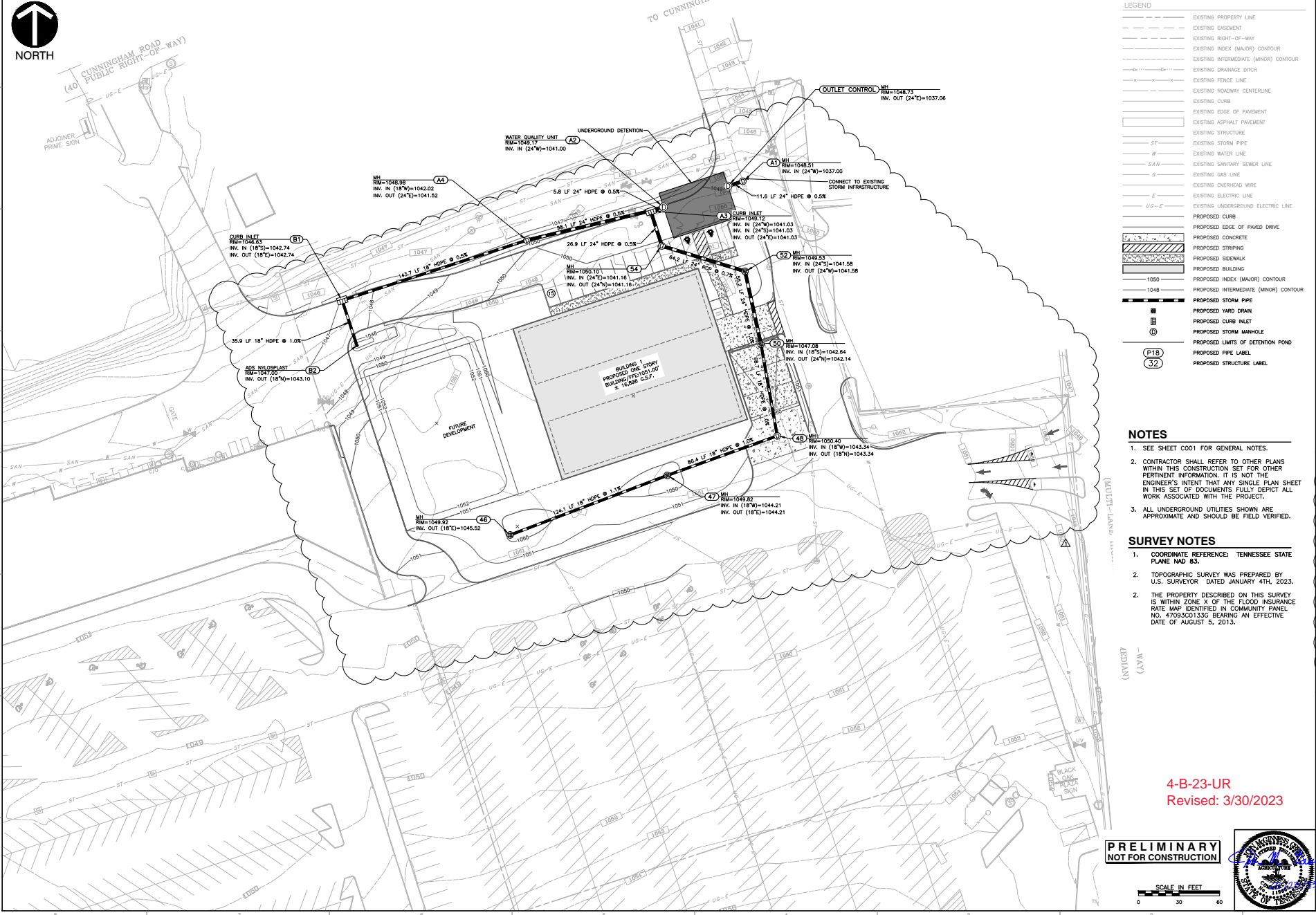
**C300**  
 SHEET 01 OF 01

P:\130-001\27-041\2001\Map\310004-0101-020\4-B-23-UR\2023-01-18.dwg - 1/18/2023 1:44 PM



CUMMINGHAM ROAD  
PUBLIC RIGHT-OF-WAY  
40'

TO CUNNINGHAM



**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX (MAJOR) CONTOUR
	EXISTING INTERMEDIATE (MINOR) CONTOUR
	EXISTING DRAINAGE DITCH
	EXISTING FENCE LINE
	EXISTING ROADWAY CENTERLINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING STRUCTURE
	EXISTING STORM PIPE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRE
	EXISTING ELECTRIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	PROPOSED CURB
	PROPOSED CURB INLET
	PROPOSED CONCRETE
	PROPOSED STRIPING
	PROPOSED SIDEWALK
	PROPOSED BUILDING
	PROPOSED INDEX (MAJOR) CONTOUR
	PROPOSED INTERMEDIATE (MINOR) CONTOUR
	PROPOSED STORM PIPE
	PROPOSED YARD DRAIN
	PROPOSED CURB INLET
	PROPOSED STORM MANHOLE
	PROPOSED LIMITS OF DETENTION POND
	PROPOSED PIPE LABEL
	PROPOSED STRUCTURE LABEL

- NOTES**
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4-B-23-UR  
Revised: 3/30/2023

**PRELIMINARY  
NOT FOR CONSTRUCTION**

SCALE IN FEET  
0 30 60



**REVISION RECORD**

NO.	DATE	DESCRIPTION	PLANNING COMMENTS
1	1/30/23		

**CEC**  
**Carl & Bartlett Environmental Consultants, Inc.**  
 2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920  
 Ph: 865.977.9397 / Fax: 865.977.9919  
 www.cecinc.com

**U-HAUL CO. OF KNOXVILLE**  
**U-HAUL OF HALLS**  
**FILE NUMBER # 4-B-23-UR**  
**6945 MAYNARDVILLE PIKE**  
**KNOXVILLE, TN.**

**SITE DRAINAGE PLAN**

DATE	FEBRUARY 2023	DRAWN BY	AWP
DWG SCALE	AS SHOWN	CHECKED BY	JMC
PROJECT NO.	SEE PLANS	APPROVED BY	311.054
DRAWING NO.			
SHEET			

**C400**



N/F  
HOWERTON, C.T. & BERTHA  
804/351  
PARCEL#0380008  
3732 CUNNINGHAM ROAD

20180121-1008989  
PARCEL#0380009  
3740 CUNNINGHAM ROAD

N/F  
SPIRIT MASTER FURNISH X LLC  
2020624-008305  
PARCEL#0380011  
6949 MAYNARDVILLE PIKE

ALL DISTURBED AREAS NOT DESIGNATED FOR  
PLANTING OR OTHER GROUNDCOVER TO BE DROUGHT  
TOLERANT FESCUE BLEND SOD

FOUND 1/2" REBAR  
FOUND 5/8" REBAR  
FOUND DRILL HOLE

RETENTION POND  
SURROUNDED BY  
FENCE

\*NOTE 2

FOUND 1/2" REBAR

PLANTING BEDS AND TREE RINGS  
TO HAVE VERTICALLY CUT BED EDGE (TYP.)

FOUND 5/8" REBAR

FOUND 1/2" REBAR

FOUND 5/8" REBAR W/  
SEHORN & KENEDY ENG  
CUT

FOUND DRILL HOLE

BUILDING 1  
PROPOSED ONE STORY  
BLUING  
14,899 G.S.F.

HATCHED AREAS TO BE DROUGHT TOLERANT  
FESCUE SOD (TYP.)

220628.6 Sq. Feet  
5.065 Acres (R)  
222139.08 Sq. Feet  
5.100 Acres (M)

FOUND BK NAIL  
S 32°22'24" W 0.98'  
FROM NE CORNER

N/F  
TRUONG SON G & LE  
PHUONG S  
20030303-0077012  
PARCEL#0380011003  
6947 MAYNARDVILLE PIKE

P.O.B.  
FOUND X CUT AND  
DRILL HOLE

MAYNARDVILLE PIKE  
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)  
(MULTI-LANE HIGHWAY WITH GRASS MEDIAN)

**NOTES**

1. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE DESIGNER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.

**GENERAL LANDSCAPE NOTES**

1. ALL LANDSCAPE BEDS AND TREE RINGS TO BE 3" PINE BARK MULCH.
2. DISTURBED AREAS NOT RECEIVING MULCH TO BE FESCUE SOD. SEE L101.
3. CONTRACTOR TO PROVIDE FESCUE SOD.
4. CONTRACTOR TO PROVIDE PINE BARK MULCH.
5. CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION UNTIL JOB ACCEPTED BY LANDSCAPE ARCHITECT.
6. IT IS RECOMMENDED BY LANDSCAPE ARCHITECT TO ESTABLISH PERMANENT IRRIGATION FOR PLANT MATERIAL.
7. SEE SHEET L101 FOR LANDSCAPE NOTES AND DETAILS.

**PLANT MATERIAL NOTES**

1. PLANT MATERIAL TO BE FULL SHAPE
2. PLANT MATERIAL TO BE SINGLE LEADER
3. DECIDUOUS TREE
4. EVERGREEN TREE

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	DETAIL	REMARKS
00	06	4	CHAMAECYPARIS ORBUTA 'ORACULI' / SLENDER HINOKI FALSE CYPRESS	B&B	3" CAL.	(L101)	1, 2, 4
00	08	3	CORNUS X 'RUTGAN' / STELLAR PINKI DOORWOOD	B&B	3" CAL.	(L101)	1, 2, 3
20	3	3	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE JAPANESE ZELKOVA	B&B	3" CAL.	(L101)	1, 2, 3

NO.	DATE	DESCRIPTION

**CEC**  
Chris & Bartlett Construction, Inc.  
2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920  
Ph: 865.977.9397 - Fax: 865.977.9919  
www.cecinc.com

U-HAUL CO. OF KNOXVILLE  
U-HAUL OF HALLS  
6945 MAYNARDVILLE PIKE  
KNOXVILLE, TN

LANDSCAPE PLAN	
DATE	MARCH 2023
DRAWN BY	AS SHOWN
CHECKED BY	
PROJECT NO.	311-064
PROJECT	U-HAUL

4-B-23-UR  
Revised: 3/30/2023

SCALE IN FEET  
0 30 60



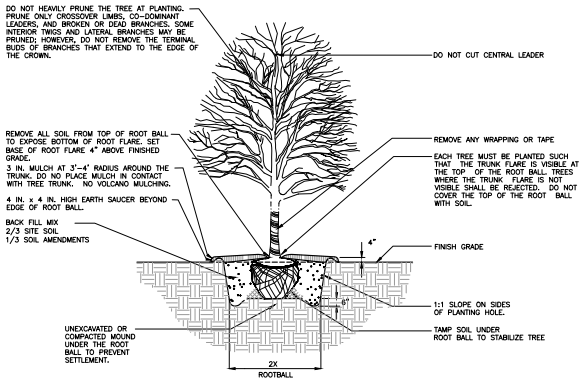
DRAWING NO. **L100**  
SHEET 01

**PLANTING NOTES**

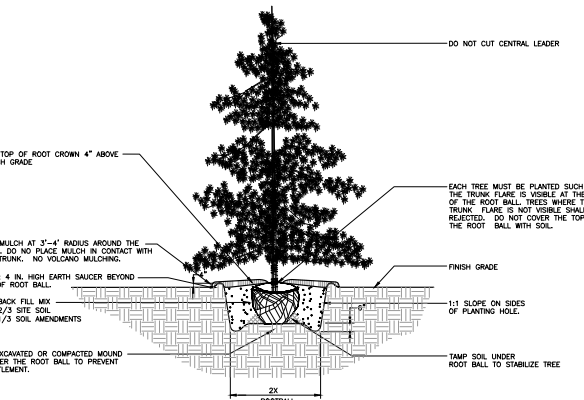
- THE QUANTITIES INDICATED ON THE PLANT MATERIALS SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. IN THE EVENT OF A DISCREPANCY, THE DRAWINGS SHALL GOVERN.
- NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF PLANT MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. CHANGES IN PLANT MATERIAL MAY REQUIRE RE-APPROVAL BY LOCAL AUTHORITIES. CONTRACTOR IS NOT TO SEEK RE-APPROVAL WITHOUT EXPRESS WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- ALL PLANTS MUST BE NURSERY GROWN, HEALTHY, VIGOROUS, AND FREE FROM ALL PESTS AND DISEASE. BURL AND BURRLAP (BAG) OR CONTAINER GROWN AS SPECIFIED IN THE AMERICAN STANDARD FOR THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z-60, LATEST EDITION FOR SIZE AND QUALITY.
- ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED, WITH A SINGLE DOMINANT LEADER, AND MEET THE MINIMUM REQUIREMENTS. TREES WITH A Y SHAVE ARE NOT ACCEPTABLE.
- ALL PLANTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE AT ANY TIME PRIOR TO FINAL PLACEMENT.
- THE DIMENSIONS FOR HEIGHT, SPREAD, AND CALIPER AS SPECIFIED IN THE PLANT MATERIALS SCHEDULE ARE THE MINIMUM DESIRED FOR EACH PLANT. EACH PLANT MUST BE UNIFORM AND CONSISTENT WITH THE INDIVIDUAL SPECIFICATIONS AND THE INDIVIDUAL SPECIFICATIONS AND THE INDIVIDUAL SPECIFICATIONS. THESE SPECIFICATIONS WILL BE REJECTED. AS IT CONTRACTOR SHALL PROVIDE ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. CALIPER MEASUREMENTS SHALL BE MADE BY THE CONTRACTOR AT NO ADDITIONAL COST. CALIPER MEASUREMENTS SHALL BE MADE IN ACCORDANCE WITH ANSI STANDARDS.
- PROTECT ALL UTILITIES PRIOR TO INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER. NO TREES SHALL BE PLANTED WITHIN 10' OF SITE UTILITY LINES OR EASEMENTS. FIELD ADJUSTMENTS AS NECESSARY AFTER LANDSCAPE ARCHITECT'S APPROVAL.
- THE LANDSCAPE CONTRACTOR SHALL FIELD STAKE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT SHALL APPROVE ALL STAKED LOCATIONS PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO APPROVAL BY THE LANDSCAPE ARCHITECT ARE SUBJECT TO REJECTION AND/OR REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
- PRE-EMERGENT HERBICIDES, PRELAWN, SHALL BE APPLIED TO ALL PLANTING BEDS. APPLY AT MANUFACTURER'S RECOMMENDATIONS. HERBICIDES SHALL BE INCORPORATED INTO THE SOIL MIXES.
- APPLY ROOT STIMULATOR CONTAINING MYCORRHIZAZA TO ALL PLANTS PRIOR TO BACK FILLING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SAMPLES OF ROOT STIMULATOR TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO USE.
- ALL DISTURBED AREAS NOT RECEIVING MULCH OR OTHER SPECIFIED IMPROVEMENTS ARE TO BE GRADDED TO TRANSITION SMOOTHLY INTO ADJACENT GRADES AND RECEIVE FESCUE SOIL. SEE FESCUE SOIL NOTES BELOW.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANTINGS FOR A PERIOD OF ONE (1) YEAR BEGINNING UPON THE WRITTEN DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT. ANY PLANTS SUBJECT TO REPLACEMENT SHALL BE MADE AT THE END OF THE WARRANTY PERIOD OR AT TIME AS DETERMINED BY THE OWNERS REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE FROM THE CONTRACTOR. ALL IMPORTED TOPSOIL SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLACEMENT.
- EXISTING GRASS TO BE REMOVED, IF PRESENT, AND TOPSOIL TO BE SPREAD SMOOTH AND HAND-RAKED TO REMOVE ALL ROCKS AND DEBRIS Larger than 1 inch in diameter. TOPSOIL TO BE LAYED SOIL OR MULCH WITH A MINIMUM OF 3 INCHES OF AGED, PEAK MULCH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED.
- THE TYPICAL PLANTING SOIL BACKFILL MIX FOR BEDS AND PLANT BACKFILL SHALL CONSIST OF THE FOLLOWING:
  - 2/3 SITE SOIL
  - 1/3 SOIL AMENDMENTS (BY VOLUME AS FOLLOWS)
    - 2 PART HUMUS AND OR PEAT
    - 1 PART COARSE RIVER SAND
    - 1 PART STERILIZED COMPOSTED COW MANURE
    - COMPLETELY FERTILIZER AND LIME AS RECOMMENDED BY THE TESTS REPORT.
    - COMPLETELY BLENDING SOIL MIX PRIOR TO PLACEMENT.
- MULCH SHALL BE BLENDED WITH FESCUE SEEDING ORGANISMS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT IN WRITING REQUESTING ALL INSPECTIONS.
- NEAT AND ORDERLY DURING CONSTRUCTION. TRASH SHOULD BE DISPOSED OF IN APPROPRIATE CONTAINERS ON SITE AND DISPOSED OF AT THEIR COST. NO CONSTRUCTION DEBRIS SHOULD BE ALLOWED TO REMAIN ON SITE. ROADWAYS SHOULD BE CLEANED OF RUBBLE AND DEBRIS ON A DAILY BASIS, IF NEEDED, NO MATERIAL SHALL BE STORED IN DRUMS OF EXISTING TREES. ALL NEW LANDSCAPE MATERIAL SHALL BE PROTECTED DURING CONSTRUCTION. MAINTAIN LAWNS AS NEEDED, INCLUDING MOWING AND RESEEDING, UNTIL ACCEPTED BY THE LANDSCAPE ARCHITECT.

**FESCUE SODDING NOTES**

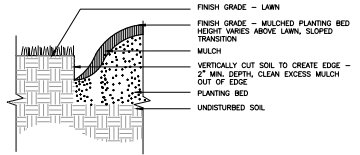
- GENERAL
  - THIS WORK SHALL INCLUDE ALL SOIL PREPARATION AND THE STORAGE, TRANSPORTATION, PLACING, AND MAINTENANCE OF SOD AT ALL LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
  - TEMPORARY STORAGE OF SOD IS PERMITTED, HOWEVER, TAKE CARE TO MAINTAIN THE SOD IN A LIVE, GROWING CONDITION. SOD SHALL BE REJECTED IF IT IS PERMITTED TO DRY OUT TO THE EXTENT THAT, IN THE JUDGMENT OF THE LANDSCAPE ARCHITECT, ITS SURVIVAL IS DOUBTFUL. DISPOSE OF REJECTED SOD AS DIRECTED BY THE LANDSCAPE ARCHITECT AT HIS OWN EXPENSE TO THE OWNER.
  - SET SOIL BETWEEN MARCH AND OCTOBER 15 AND WHEN THE SOIL IS IN A LIVE AND WRITING PERMISSION IS OBTAINED FROM THE LANDSCAPE ARCHITECT.
  - DO NOT SET SOD OUT OF SEASON UNLESS SOIL CONDITIONS ARE FAVORABLE TO THE FESCUE.
  - CONTRACTOR SHALL COMPLETELY GUARANTEE INSTALLATION OF SOD WITH COMPLETE OR IRRIGATION SYSTEM. THE WILL REQUIRE WATERING OF NEW MATERIAL.
  - CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE SCHEDULING, ORDERING, SETTING, STORING, AND INSTALLING OF ALL SODDING MATERIALS.
  - THE CONTRACTOR SHALL ENSURE NEWLY SODDED AREAS ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC. AREAS THAT ARE SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- PRODUCTS
  - SOD: DROUGHT TOLERANT FESCUE BLEND SOD, NEW SOD CONSISTING OF LIVE, DENSE, WELL ROOTED GROWTH WELL SUITED FOR THE INTENDED PURPOSE AND SOIL CONDITIONS. COMPLETELY FREE OF NOXIOUS WEEDS AND GRASSES (QUACK GRASS, JOHNSON GRASS, BANANA HERB); AND CONTAINING LESS THAN 5 PLANTS OF OBJECTIONABLE WEEDS PER 100 SQUARE FEET IF NURSERY GROWN OR 10 SUCH PLANTS IF FIELD GROWN.
  - FERTILIZER: COMMERCIALLY MANUFACTURED, GRADE 10-10-10 FURNISHED IN STANDARD CONTAINERS THAT ARE CLEARLY MARKED WITH THE NAME, WEIGHT, AND GUARANTEED ANALYSIS OF THE CONTENTS AND THAT ENSURE PROPER PROTECTION IN TRANSPORTATION AND HANDLING; AND IN COMPLIANCE WITH ALL LOCAL STATE AND FEDERAL FERTILIZER LAWS.
  - AGRICULTURAL LIMESTONE: CONTAINING A MINIMUM OF 85 PERCENT CALCIUM CARBONATE AND MAGNESIUM CARBONATE COMBINED, 85 PERCENT OF WHICH PASSES A NO. 10 MESH SIEVE.
- EXECUTION
  - BEFORE BEGINNING SODDING OPERATIONS IN ANY AREA, COMPLETE THE PLACING OF TOPSOIL, FINAL GRADING, AND REMOVAL OF ANY DEBRIS. HAVE THE WORK APPROVED BY THE LANDSCAPE ARCHITECT.
  - A MINIMUM OF 4 INCHES OF GOOD, CLEAN TOPSOIL SHALL BE SPREAD OVER THE CONSTRUCTION AREA.
  - SCAFFRY EACH AREA TO BE SODDED A MINIMUM OF 2 INCHES.
  - APPLY FERTILIZER AND AGRICULTURAL LIMESTONE UNIFORMLY OVER THE SOD BED AT THE RATES SHOWN BELOW, IMMEDIATELY PRIOR TO PLACING SOD. WATER THE SOD BED UNTIL IT IS SATURATED TO A DEPTH OF 1 INCH, AND KEEP IT MOIST UNTIL THE SOD IS PLACED.
    - FERTILIZER: 15 POUNDS PER 1,000 SQUARE FEET OR 10-15-10
    - AGRICULTURAL LIMESTONE: 40 POUNDS PER 1,000 SQUARE FEET
  - PLACE SOD AS SOON AS PRACTICAL AFTER ITS REMOVAL FROM POINT OF ORIGIN. KEEP IT MOIST WHILE DISPLACED.
  - PLACE SOD BY HAND SO THAT THE EDGES ARE IN CLOSE CONTACT AND IN A POSITION TO BREAK JOINTS WITH THE LONG DIMENSION PERPENDICULAR TO THE SLOPE. FIT AND FOUND THE SOD INTO PLACE WITH A 1/4 INCHES X 10 INCHES WOOD TAMM OR OTHER SIMILAR IMPLEMENTS.
  - IMMEDIATELY AFTER PLACING THE SOD, THOROUGHLY WET AND ROLL IT.
  - TWO WEEKS AFTER THE SOD IS INSTALLED, TOP DRESS AND THOROUGHLY WATER IT. TOP DRESSING SHALL CONSIST OF THE FOLLOWING:
    - 1/2 TO 1 POUND: 38 PERCENT UREA FORMALDEHYDE PER 1,000 SQUARE FEET
    - 20 POUNDS: 6-12-12 PER 1,000 SQUARE FEET
  - NO EQUIPMENT, MATERIAL, STORAGE, CONSTRUCTION TRAFFIC, ETC., WILL BE PERMITTED ON NEWLY SODDED AREAS.
  - DISPOSE OF ALL SURPLUS MATERIAL AS DIRECTED BY THE OWNER.
  - THE OWNER AND LANDSCAPE ARCHITECT WILL REVIEW THE SOD FOR ACCEPTANCE 30 DAYS AFTER INSTALLATION, AT WHICH TIME THE MAINTENANCE PERIOD WILL BEGIN.
  - INSPECTIONS
    - THE LANDSCAPE ARCHITECT SHALL INSPECT THE SOD WITHIN 30 DAYS AFTER INSTALLATION AND DETERMINE IF IT IS ACCEPTABLE.
    - AREAS OF SOD THAT ARE FOUND DEFICIENT SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
  - GUARANTEES
    - ESTABLISH AN ACCEPTABLE GROWTH OF THE SPECIFIED SOD ON ALL AREAS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. AN AREA IS CONSIDERED ACCEPTABLE IF THE MAJORITY OF EACH PIECE OF SOD IS ALIVE AND HEALTHY AND GENERALLY FREE FROM WEEDS, INSECT, AND DISEASE.



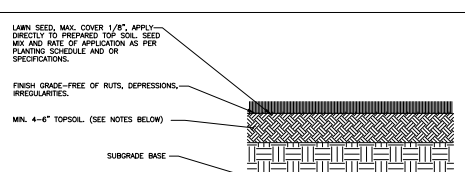
**DETAIL 1 : DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.



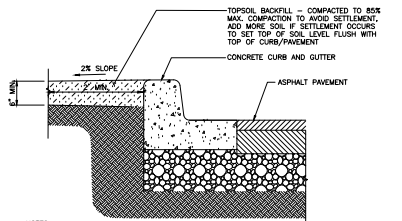
**DETAIL 2 : EVERGREEN TREE PLANTING DETAIL**  
N.T.S.



**DETAIL 3 : PLANTING BED EDGE DETAIL**  
N.T.S.



**DETAIL 4 : LAWN PLANTING DETAIL**  
N.T.S.



**DETAIL 5 : TOPSOIL BACKFILL DETAIL**  
N.T.S.

4-B-23-UR  
Revised: 3/30/2023



NO.	DATE	REVISION

**Criff & Barthelemy Construction, Inc.**  
2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920  
Ph: 865.977.9397 - Fax: 865.977.9819  
www.criffandbarthelemy.com

**U-HAUL CO. OF KNOXVILLE**  
U-HAUL OF HALLS  
6945 MAYNARDVILLE PIKE  
KNOXVILLE, TN

LANDSCAPE NOTES AND DETAILS			
DATE	ISSUED BY	CHK'D BY	APP'D BY
MARCH 2023	JHW	JHW	JHW
DATE SCALE	PROJECT NO.	CHECKED BY	PROJECT NO.
AS SHOWN			

DRAWING NO. **L101**  
SHEET 06



**A&M ASSOCIATES, INC.**  
2727 N. CENTRAL AVENUE  
PHOENIX, ARIZONA 85004  
P: 602.263.6841

4-B-23-UR  
Revised: 3/30/2023

**U-HAUL**  
of Halls  
Knoxville, TN  
(774076)

Preliminary Proposal

**SHEET 01**

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IMP EXCEEDS SUSTAINABLE LEED STANDARDS BY PROVIDING SUPERIOR R-VALUE INSULATION FOR GREATER THERMAL EFFICIENCY

ARTISTIC USE OF MATERIAL CREATES AN EXTRUDED LYRICAL ARTICULATED DESIGN ELEMENT

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA

**a&m**  
 A&M ASSOCIATES, INC.  
 2727 N. CENTRAL AVENUE  
 PHOENIX, ARIZONA 85004  
 P: 602.263.6841

4-B-23-UR  
 Revised: 3/30/2023

**U-HAUL**  
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 Knoxville, TN  
 (774076)

**Southeast Elevation**  
 Composite Rendering

**SHEET 02**

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CHANGE IN MATERIALS TO PROVIDE VISUAL SEPARATION TO THE ELEVATION

9"H x 3"D EYEBROW TRIMS CREATE AN ARCHITECTURAL DESIGN ELEMENT, PROVIDING INTEREST AT THE SKYLINE

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA



**a&m**  
A&M ASSOCIATES, INC.  
2727 N. CENTRAL AVENUE  
PHOENIX, ARIZONA 85004  
P: 602.263.6841

4-B-23-UR  
Revised: 3/30/2023

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(774076)

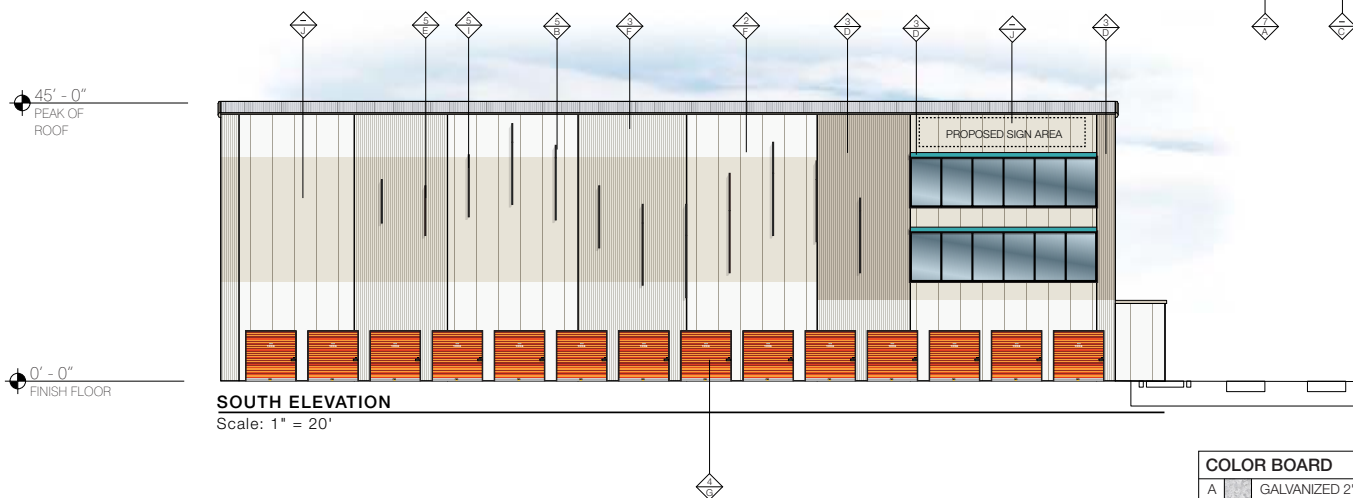
Northeast Elevation  
Composite Rendering

**SHEET 03**

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**EAST ELEVATION**  
Scale: 1" = 20'



**SOUTH ELEVATION**  
Scale: 1" = 20'

4-B-23-UR  
Revised: 3/30/2023

COLOR BOARD		MATERIAL BOARD	
A	GALVANIZED 2" TRIM	1	HORIZONTAL FAUX WOOD LAP PANELS
B	SW 6767 AQUARIUM	2	42"W KS AZTECO STUCCO EMBOSSED VERTICAL IMP
C	SW EGGHELL BLACK	3	42"W KS SHADOWLINE STUCCO EMBOSSED VERTICAL IMP
D	SANDSTONE	4	ARCHITECTURAL DETAILS
E	SW 6884 OBSTINATE ORANGE	5	9"D LYRICAL ARTICULATED DESIGN ELEMENT
F	IMPERIAL WHITE	6	9"H x 3"D ARCHITECTURAL DETAILS
G	SIERRA SUNSET	7	2" GALVANIZED TRIM ON SIDES OF FAUX WOOD LAP PANELS TYP.
H	WALNUT	8	12"H TRIM TYP.
I	SW 6451 NURTURE GREEN	9	FAUX CROSS WINDOW DECALS PROVIDE FENESTRATION
J	SW 7011 NATURAL CHOICE		

**GENERAL NOTES:** THE PROPOSED IMP USES FULL-WIDTH PANELS.  
DO NOT CUT PANELS DUE TO PAINT VARIATIONS.  
CONSULT WITH UHI CONSTRUCTION DEPT. OR A&M ASSOCIATES  
BEFORE CUTTING IMP.

**a&m**  
A&M ASSOCIATES, INC.  
2727 N. CENTRAL AVENUE  
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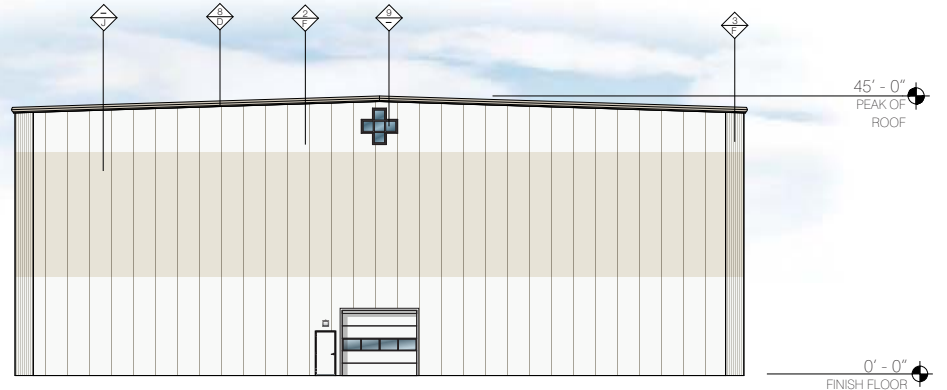
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Knoxville, TN  
(774076)

Color & Material Board

**SHEET 04**

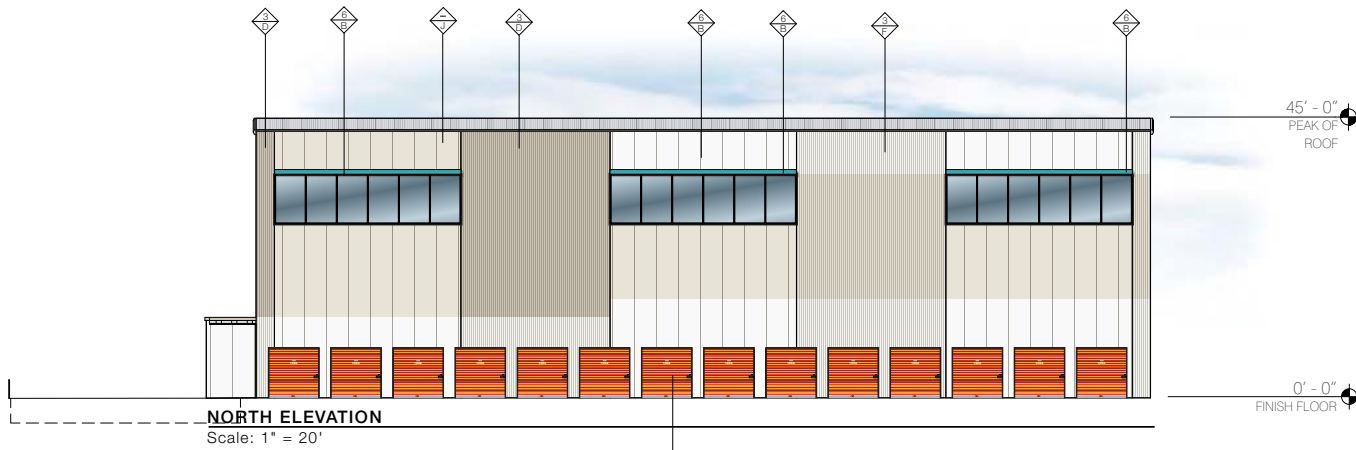
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**WEST ELEVATION**

Scale: 1" = 20'



**NORTH ELEVATION**

Scale: 1" = 20'

4-B-23-UR  
Revised: 3/30/2023

COLOR BOARD		MATERIAL BOARD	
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**U-HAUL**  
of Halls  
Knoxville, TN  
(774076)

Color & Material Board

**SHEET 05**

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## KS Azteco (or Equivalent IMP)



**Product Specification**

Profile:	Exterior: Flat Interior: Shadowline
Embossing:	Exterior: Azteco® Interior: Stucco or non-embossed
Gauge:	Exterior: 26, 24, 22 ga Interior: 26, 24, 22 ga
Width:	24", 30", 36", 42"
Thickness:	2", 2.5", 3", 4", 5", 6"
Length:	8' - 55'
Reveal option:	Vertical: 1/8" Horizontal: 1/8" or 1/4"
Orientation:	Vertical or horizontal
Post fabrication (optional):	Trimless ends (Manufacturing limitations apply. Please contact us for detailed information)
R-value:	= 7.2 per inch per ASTM C518 @ 75°F mean temperature = 8.25 per inch per ASTM C518 @ 35°F mean temperature

**Kingspan's single component systems can increase speed of build by up to 50%**




IMP  
STUCCO EMBOSSED  
EXAMPLE



Horizontal Faux  
Wood Lap Panel  
EXAMPLE

## KS Shadowline (or Equivalent IMP)



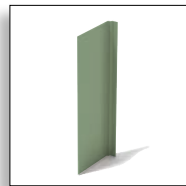
**Product Specification**

Profile:	Exterior: Shadowline Interior: Shadowline
Embossing:	Exterior: Stucco or non-embossed Interior: Stucco or non-embossed
Gauge:	Exterior: 26, 24, 22 ga Interior: 26, 24, 22 ga
Width:	24", 30", 36", 42"
Thickness:	2", 2.5", 3", 4", 5", 6"
Length:	8' - 55'
Reveal option:	Vertical: 1/8" Horizontal: 1/8" or 1/4"
Orientation:	Vertical or horizontal
Post fabrication (optional):	Trimless ends (Manufacturing limitations apply. Please contact us for detailed information)
R-value:	= 7.2 per inch per ASTM C518 @ 75°F mean temperature = 8.25 per inch per ASTM C518 @ 35°F mean temperature

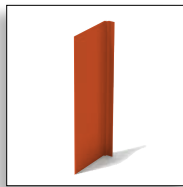
**Kingspan's single component systems can increase speed of build by up to 50%**



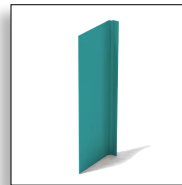
## 9"D Lyrical Articulated Design Element



SW 6451  
Nurture Green



SW 6884  
Obstant  
Orange



SW 6767  
Aquarium

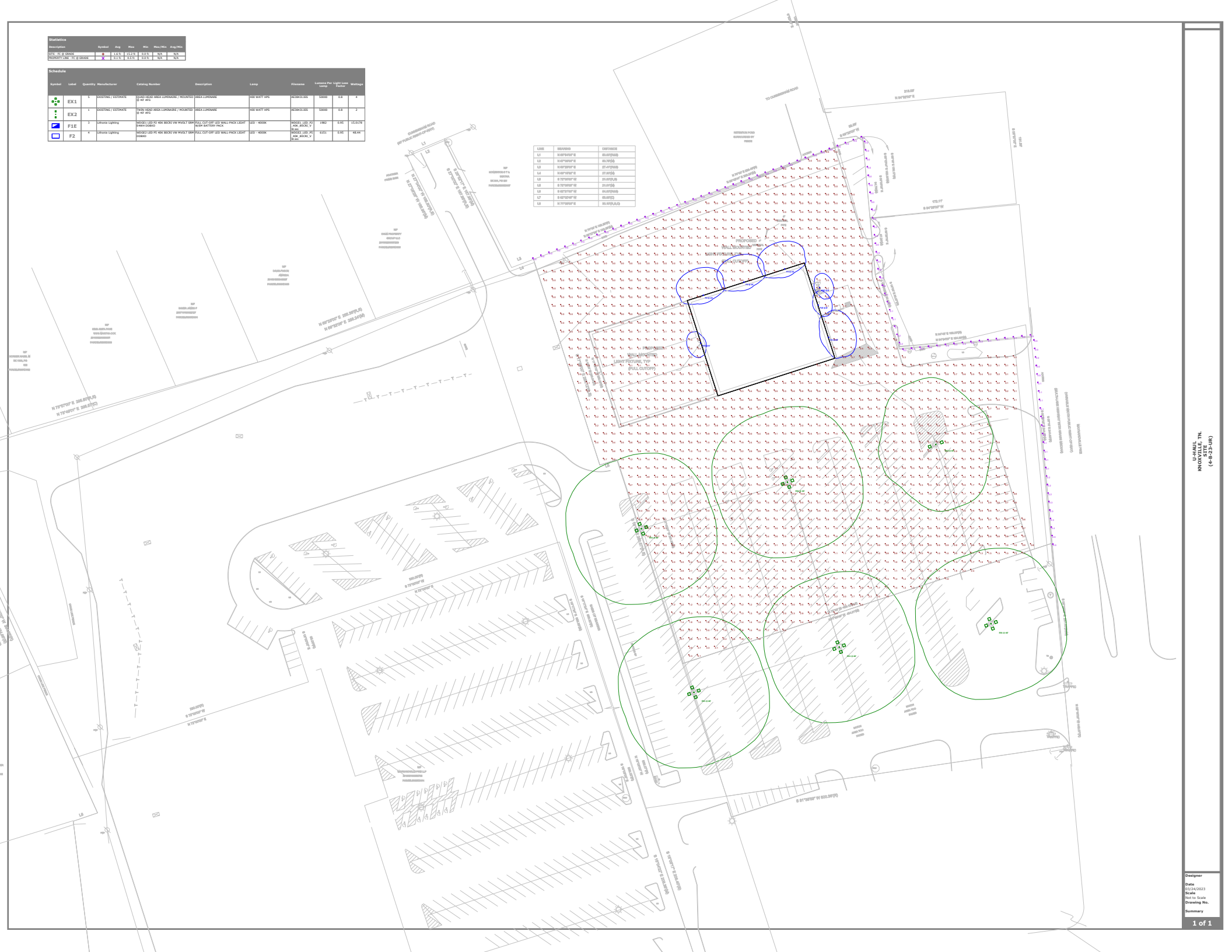


4-B-23-UR  
Revised: 3/30/2023

Symbol	Qty	Manufacturer	Quantity	Description	Notes	Notes	Notes	Notes	Notes
EX1	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
EX2	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
F1E	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
F2	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM

Symbol	Qty	Manufacturer	Quantity	Description	Notes	Notes	Notes	Notes	Notes
EX1	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
EX2	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
F1E	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
F2	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM

Symbol	Qty	Manufacturer	Quantity	Description	Notes	Notes	Notes	Notes	Notes
L1	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
L2	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
L3	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
L4	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
L5	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
L6	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
L7	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM
L8	1	OSRAM	1	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM	OSRAM



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Designer  
Date: 01/24/2023  
Scale: Not to Scale  
Drawing No.  
Summary



# WDGE2 LED

## Architectural Wall Sconce

### Precision Refractive Optic



Catalog Number

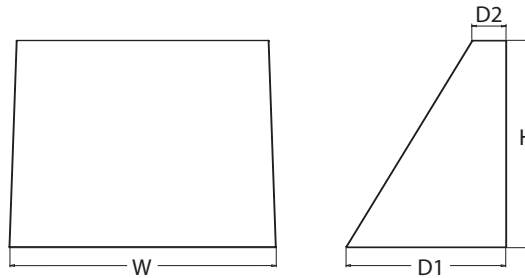
Notes

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### Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs  
(without options)



### Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

### WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

### Ordering Information

**EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD**

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	
WDGE2 LED	P0 <sup>1</sup>	27K 2700K	70CRI <sup>4</sup>	T1S Type I Short	MVOLT	<b>Shipped included</b> SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) <sup>6</sup>	
	P1 <sup>2</sup>	30K 3000K	80CRI	T2M Type II Medium	347 <sup>5</sup>		<b>Shipped separately</b> AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.
	P2 <sup>2</sup>	40K 4000K	LW <sup>3</sup> Limited Wavelength	T3M Type III Medium	480 <sup>5</sup>		
	P3 <sup>2</sup>	50K 5000K		T4M Type IV Medium			
	P4 <sup>2</sup>	AMB <sup>3</sup> Amber		TFTM Forward Throw Medium			

Options	Finish
<b>E10WH</b> Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min) <b>E20WC</b> Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min) <b>PE<sup>7</sup></b> Photocell, Button Type <b>DMG<sup>8</sup></b> 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) <b>BCE</b> Bottom conduit entry for back box (PBBW). Total of 4 entry points. <b>BAA</b> Buy America(n) Act Compliant	<b>DDBXD</b> Dark bronze <b>DBLXD</b> Black <b>DNAXD</b> Natural aluminum <b>DWHXD</b> White <b>DSSXD</b> Sandstone <b>DBBTXD</b> Textured dark bronze <b>DBL BXD</b> Textured black <b>DNATXD</b> Textured natural aluminum <b>DWHGXD</b> Textured white <b>DSSTXD</b> Textured sandstone
<b>Standalone Sensors/Controls</b> <b>PIR</b> Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. <b>PIRH</b> Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching <b>PIR1FC3V</b> Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. <b>PIRH1FC3V</b> Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. <b>Networked Sensors/Controls</b> <b>NLTAIR2 PIR</b> nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. <b>NLTAIR2 PIRH</b> nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	



COMMERCIAL OUTDOOR

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WDGE2 LED  
 Rev. 11/21/22

## Accessories

Ordered and shipped separately.

WDGEAWS DDBXD W DGE 3/8inch Architectural Wall Spacer (specify finish)  
 WDGE2P8BW DDBXD U W DGE2 surface-mounted back box (specify finish)

### NOTES

- 1 PO option not available with sensors/controls.
- 2 P1-P4 not available with AMB and LW.
- 3 AMB and LW always go together.
- 4 70CRI only available with T3M and T4M.
- 5 347V and 480V not available with E10WH or E20WC.
- 6 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- 7 PE not available in 480V or with sensors/controls.
- 8 DMG option not available with sensors/controls.

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)					Amber (Limited Wavelength)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	T1S	636	92	0	0	0	666	97	0	0	0	699	101	0	0	1	691	100	0	0	1	712	47	0	0	1
		T2M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T3M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T4M	648	94	0	0	0	679	98	0	0	0	712	103	0	0	0	704	102	0	0	0	726	47	0	0	0
		TFTM	652	95	0	0	0	683	99	0	0	0	717	104	0	0	0	708	103	0	0	0	730	48	0	0	1
P1	11W	T1S	1,105	99	0	0	1	1,157	104	0	0	1	1,215	109	0	0	1	1,200	107	0	0	1					
		T2M	1,150	103	0	0	1	1,204	108	0	0	1	1,264	113	0	0	1	1,249	112	0	0	1					
		T3M	1,150	103	0	0	1	1,205	108	0	0	1	1,265	113	0	0	1	1,250	112	0	0	1					
		T4M	1,126	101	0	0	1	1,179	106	0	0	1	1,238	111	0	0	1	1,223	110	0	0	1					
		TFTM	1,133	101	0	0	1	1,186	106	0	0	1	1,245	112	0	0	1	1,230	110	0	0	1					
P2	19W	T1S	1,801	95	1	0	1	1,886	99	1	0	1	1,981	104	1	0	1	1,957	103	1	0	1					
		T2M	1,875	99	1	0	1	1,963	103	1	0	1	2,061	109	1	0	1	2,037	107	1	0	1					
		T3M	1,876	99	1	0	1	1,964	103	1	0	1	2,062	109	1	0	1	2,038	107	1	0	1					
		T4M	1,836	97	1	0	1	1,922	101	1	0	1	2,018	106	1	0	1	1,994	105	1	0	1					
		TFTM	1,847	97	1	0	1	1,934	102	1	0	1	2,030	107	1	0	1	2,006	106	1	0	1					
P3	32W	T1S	2,809	87	1	0	1	2,942	92	1	0	1	3,089	96	1	0	1	3,052	95	1	0	1					
		T2M	2,924	91	1	0	1	3,062	95	1	0	1	3,215	100	1	0	1	3,176	99	1	0	1					
		T3M	2,925	91	1	0	1	3,063	95	1	0	1	3,216	100	1	0	1	3,177	99	1	0	1					
		T4M	2,862	89	1	0	1	2,997	93	1	0	1	3,147	98	1	0	1	3,110	97	1	0	1					
		TFTM	2,880	90	1	0	1	3,015	94	1	0	1	3,166	99	1	0	1	3,128	97	1	0	1					
P4	47W	T1S	3,729	80	1	0	1	3,904	84	1	0	1	4,099	88	1	0	1	4,051	87	1	0	1					
		T2M	3,881	83	1	0	1	4,063	87	1	0	1	4,267	91	1	0	1	4,216	90	1	0	1					
		T3M	3,882	83	1	0	1	4,065	87	1	0	1	4,268	91	1	0	1	4,217	90	1	0	1					
		T4M	3,799	81	1	0	1	3,978	85	1	0	1	4,177	90	1	0	1	4,127	88	1	0	1					
		TFTM	3,822	82	1	0	1	4,002	86	1	0	1	4,202	90	1	0	1	4,152	89	1	0	1					

Performance Package	System Watts	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)									
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G					
P0	7W	T3M	737	107	0	0	0	763	111	0	0	0	822	119	0	0	0	832	121	0	0	1					
		T4M	721	105	0	0	0	746	108	0	0	0	804	117	0	0	1	814	118	0	0	1					
P1	11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,427	128	1	0	1	1,445	129	1	0	1					
		T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1					
P2	19W	T3M	2,087	110	1	0	1	2,160	114	1	0	1	2,327	123	1	0	1	2,357	124	1	0	1					
		T4M	2,042	108	1	0	1	2,114	111	1	0	1	2,278	120	1	0	1	2,306	121	1	0	1					
P3	32W	T3M	3,254	101	1	0	1	3,369	105	1	0	1	3,629	113	1	0	1	3,675	114	1	0	1					
		T4M	3,185	99	1	0	1	3,297	103	1	0	1	3,552	111	1	0	1	3,597	112	1	0	1					
P4	47W	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2					
		T4M	4,227	91	1	0	1	4,376	94	1	0	2	4,714	101	1	0	2	4,774	102	1	0	2					



## Electrical Load

Performance Package	System Watts	Current (A)					
		120Vac	208Vac	240Vac	277Vac	347Vac	480Vac
P0	7.0	0.061	0.042	0.04	0.039	--	--
	9.0	--	--	--	--	0.031	0.021
P1	11.0	0.100	0.064	0.059	0.054	--	--
	14.1	--	--	--	--	0.046	0.031
P2	19.0	0.168	0.106	0.095	0.083	--	--
	22.8	--	--	--	--	0.067	0.050
P3	32.0	0.284	0.163	0.144	0.131	--	--
	37.1	--	--	--	--	0.107	0.079
P4	47.0	0.412	0.234	0.207	0.185	--	--
	53.5	--	--	--	--	0.153	0.112

## Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)

Option	Lumens
E10WH	1,358
E20WC	2,230

## Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

## Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.87

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDG2 LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

### LEGEND

<span style="color: yellow;">■</span>	0.25 fc
<span style="color: orange;">■</span>	0.5 fc
<span style="color: red;">■</span>	1.0 fc
<span style="color: darkred;">■</span>	3.0 fc

MH = 10ft  
Grid = 10ft x 10ft



## Emergency Egress Options

### Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

## Control / Sensor Options

### Motion/Ambient Sensor (PIR\_, PIRH\_)

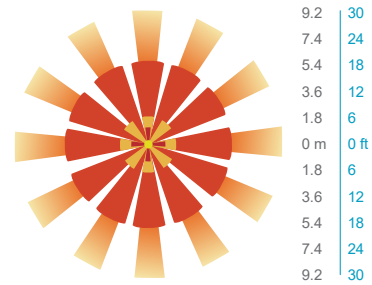
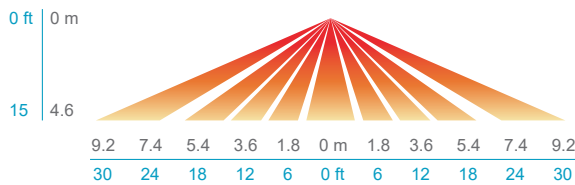
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

### Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

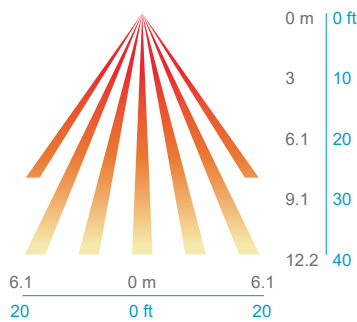
#### PIR

##### HIGH VIEW

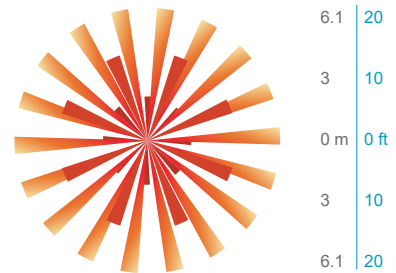


#### PIRH

##### SIDE VIEW



##### TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



### Motion/Ambient Sensor

D = 7"

H = 9" (Standalone controls)

11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor)

W = 11.5"



### PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 9"

W = 11.5"



### AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

## FEATURES & SPECIFICATIONS

### INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

### BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





# WEDGE1 LED

## Architectural Wall Sconce



Catalog Number

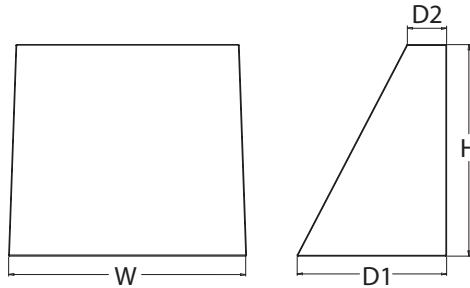
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### Specifications

- Depth (D1):** 5.5"
- Depth (D2):** 1.5"
- Height:** 8"
- Width:** 9"
- Weight:** 9 lbs  
(without options)



### Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

### WEDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WEDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WEDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

### Ordering Information

**EXAMPLE:** WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE1 LED	P1 P2	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT 347 <sup>2</sup>	<b>Shipped included</b> SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) <sup>5</sup>  <b>Shipped separately</b> AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.
		30K 3000K	90CRI	VW Visual comfort wide		
		35K 3500K				
		40K 4000K				
		50K <sup>1</sup> 5000K				

Options	Finish
E4WH <sup>3</sup> Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD Dark bronze
PE <sup>4</sup> Photocell, Button Type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
BAA Buy America(n) Act Compliant	DDBTXD Textured dark bronze
	DBLTXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone

### Accessories

Ordered and shipped separately.

- WDGEAWS DDBXD WEDGE 3/8inch Architectural Wall Spacer (specify finish)
- WDGE1PBBW DDBXD U WEDGE1 surface-mounted back box (specify finish)

### NOTES

- 1 50K not available in 90CRI.
- 2 347V not available with E4WH, DS or PE.
- 3 E4WH not available with PE or DS.
- 4 PE not available with DS.
- 5 Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
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WEDGE1 LED  
Rev. 11/21/22

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

### Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

### Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

### Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.98

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

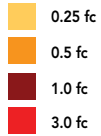
To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

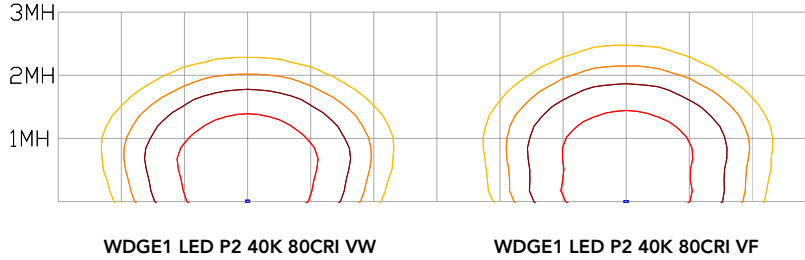
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

### LEGEND



MH = 8ft  
Grid = 8ft x 8ft



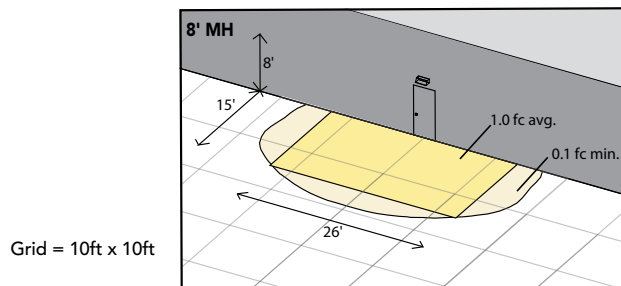
## Emergency Egress Options

### Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

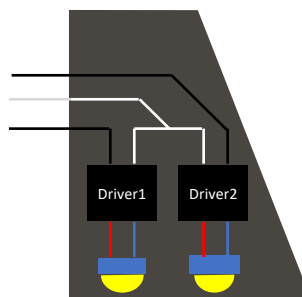


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

### Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9





### E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



### PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"



### AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

## FEATURES & SPECIFICATIONS

### INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

### BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



### Cabinet side view

- 2" X 2" X 1/2" Aluminum Angle (Brake Cabinet)
- 10-118R Filler
- RT 200 Retainer
- 2" X 2" Service Door
- Formed Face
- 4" x 4" x .250" Clip Top Of Cabinet
- Electrical Raceway

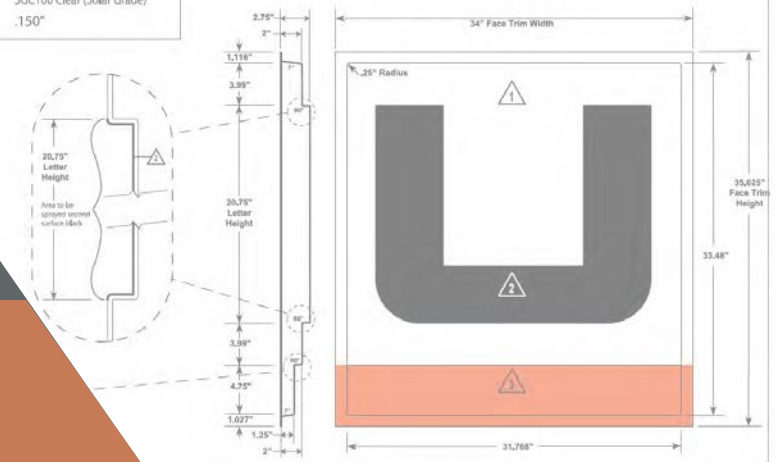
### Face Detail n.t.s.

<p><b>1</b> "Background"</p> <p>Color: Spray second surface L-403 White Lacryl, by Spraylat.</p> <p><b>Translucent White</b></p>	<p><b>2</b> "Letter"</p> <p>Color: Spray second surface L-480 Black Lacryl by Spraylat.</p> <p><b>Black</b></p>	<p><b>3</b> "Orange Bar"</p> <p>Color: Spray second surface L-422 Poppy Orange Lacryl by Spraylat.</p> <p><b>Translucent Orange</b></p>
--	---	---

**Material(s) Specifications - Sign Face**

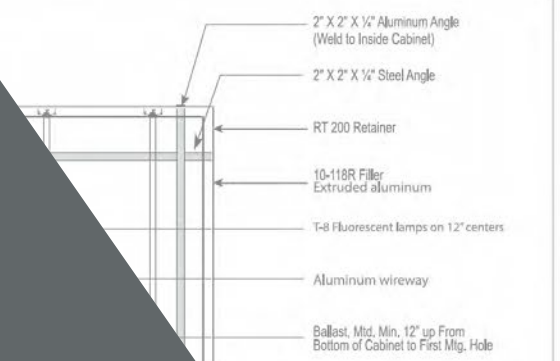
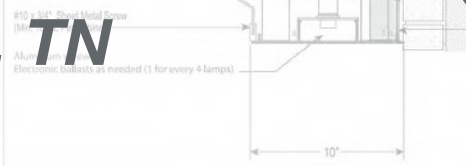
Material: G.E. Lexan® SGC100 Clear (Solar Grade)

Typ. Trade: .150"

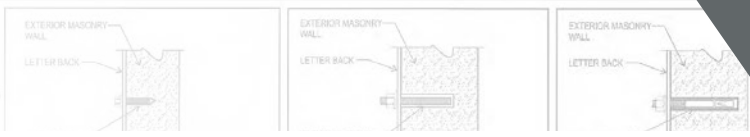


# SIGNAGE PROPOSAL

## KNOXVILLE, TN



### Connection Details n.t.s.



**A&M ASSOCIATES, INC.**  
 2727 N. CENTRAL AVENUE  
 PHOENIX, ARIZONA 85004  
 P: 602.263.6841

**U-HAUL**  
 of Halls  
 Knoxville, TN  
 (774076)

Signage Proposal  
**SHEET 01**

**4-B-23-UR**  
 Revised: 3/30/2023

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**A&M ASSOCIATES, INC.**  
 2727 N. CENTRAL AVENUE  
 PHOENIX, ARIZONA 85004  
 P: 602.263.6841

**U-HAUL**  
 of Halls  
 Knoxville, TN  
 (774076)

**Southeast Elevation**  
 Composite Rendering

**SHEET 02**

**4-B-23-UR**  
 Revised: 3/30/2023

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**A&M ASSOCIATES, INC.**  
2727 N. CENTRAL AVENUE  
PHOENIX, ARIZONA 85004  
P: 602.263.6841

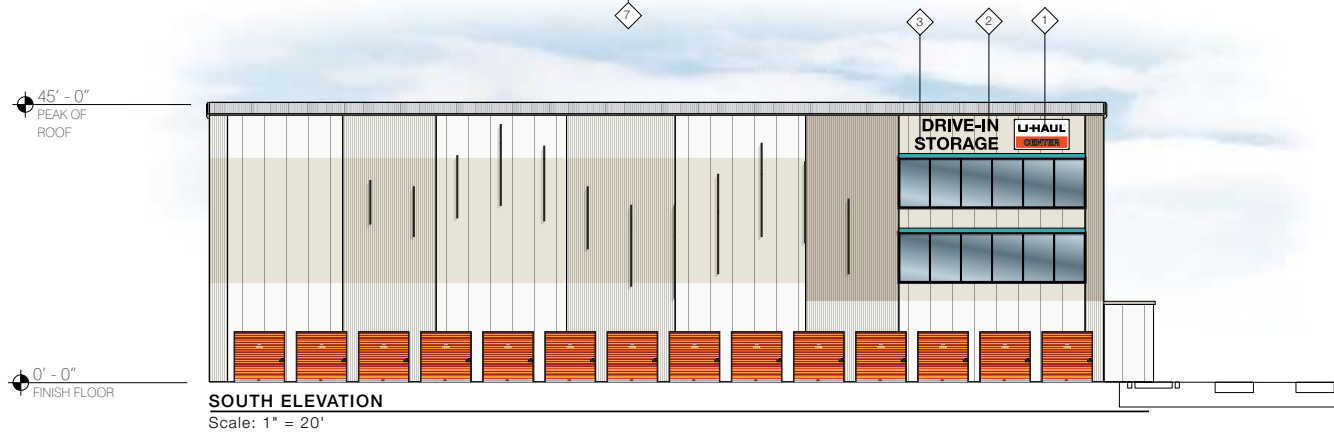
**U-HAUL**  
of Halls  
Knoxville, TN  
(774076)

**Northeast Elevation**  
Composite Rendering

**SHEET 03**

**4-B-23-UR**  
Revised: 3/30/2023

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SIGN DETAIL	
1	LIT CABINET SIGN 9'W X 5'H (45 SQFT)
2	LIT PAN-FACE/CHANNEL LETTERS (OR) DIMENSIONAL LETTERS 12.15'W X 2'H (24.30 SQFT)
3	LIT PAN-FACE/CHANNEL LETTERS (OR) DIMENSIONAL LETTERS 13.41'W X 2'H (26.82 SQFT)
4	LIT CABINET SIGN 9.66'W X 3.8'H (36.71 SQFT)
5	LIT CABINET SIGN 11.95'W X 9.19'H (109.82 SQFT)
6	LIT CHANNEL LETTERS 11.23'W X 2'H (22.46 SQFT)
7	LIT CHANNEL LETTERS 18.26'W X 2'H (36.52 SQFT)



# AMERCO<sup>®</sup>

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## REAL ESTATE COMPANY

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2727 North Central Avenue, 5-N • Phoenix, Arizona 85004  
Phone: 602.263.6555 • Fax: 602.277.5824 • Email: lora\_lakov@uhaul.com

### Use on Review Narrative Report

**DATE:** March 23 ,2022

**PROPERTY OWNER:** The Kroger Co- attn. Maxwell Harmon

**APPRICANT:** U-Haul Company of Knoxville – Clay McQuade

**PROJECT NAME:** **U- Haul of Halls ( Knoxville TN) - abutting**

**CASE NUMBER:** \_\_\_\_\_

**REQUEST:** Use on review for Storage is with Use on review; Truck and trailer share (rental) use is permitted in CA (General Business ) district .

**PROJECT ADDRESS:** 6945 Maynardville Pike, Knoxville TN

## **DESCRIPTION OF THE REQUEST**

AMERCO Real Estate Company (AREC) has prepared this application package for the opportunity to receive the Knox County participation and counseling in regard to a redevelopment for the 5.06 acre property located at 6745 Maynardville Pike, Knoxville TN. Parcel is identified as: 038KD01101. AREC is the wholly owned real estate subsidiary of the U-Haul System.

### **PROPOSED STORAGE FACILITY DESCRIPTION:**

U-Haul is proposing to expand its operation by adding a U-Box storage building to an exiting the U-Haul center site within the Black Oak Plaza shopping center. The subject property is located within the Black Oak Plaza shopping center Previously the site was occupied by a Kroger store, which had been demolished and vacant for the last decade.

The proposed one-story U-Box storage building 'A' 15,721 SF storage and future phase building 'B' of 15,661 SF is proposed. The proposed height of the building is 45 FT. Access will be through the two existing curb cuts on Maynardville Pike . The property is zoned CA (General Business). The proposed storage use is with Use on review Permit and truck rental is a permitted use.

Our uses are complementary with permitted uses of the property, and with surrounding uses. We feel strongly that our proposal is compatible in nature. Custom site design for every U-Haul store assures that the facility complements the community it serves. Adherence to community objectives is key in order to ensure each U-Haul store is both a neighborhood asset and an economic success.

U-Haul's uses serve residential communities within a 3-5-mile radius. We feel the U-Haul would be an appropriate use for the property and there are proven benefits for allowing self-storage facilities in communities:

- Self-storage facilities are quiet
- They provide an excellent buffer between zones
- They create very little traffic
- They have little impact on utilities
- They have no impact on schools
- They provide a good tax revenue
- They provide a community service

U-Haul Moving and Storage is a convenience business. Our philosophy is to place U-Haul stores in proximity to high growth residential areas, where we fill a need for our products and services. Customers are made aware of the U-Haul store, primarily via drive-by awareness, much like that of a convenience store, restaurant or hardware store. Attractive imaging and brand name recognition bring in area residents — by our measures, those who live within a four-mile radius of the center.

**The U-Haul Storage:**

U-Haul storage characteristically serves the do-it-yourself household customer. The U-Haul Store will be staffed with 10-15 employees, both full-time and part-time. Families will generally arrive in their own automobiles, enter the showroom and may choose from a variety of products and services offered there.

- Families typically use U-Haul Self-Storage rooms to store furniture, household goods, sporting equipment, or holiday decorations. During transition periods between moves, moving to a smaller home, combining households, or clearing away clutter to prepare a home for sale, storage customers will typically rent a room for a period of two months to one year.
- U-Haul stores also provide truck and trailer sharing for household moving, either in-town or across country.
- Families who tow U-Haul trailers, boats, or recreational trailers can select, and have installed, the hitch and towing packages that best meet their needs.
- Moving and storage are synergistic businesses. Over half of our storage customers tell us they used U-Haul storage because of a household move. Customers will typically use U-Haul equipment or their personal vehicle to approach the loading area and enter the building through the singular customer access. All new U-Haul stores are designed with interior storage room access, giving the customer the added value of increased security, and the community the benefit of a more aesthetically pleasing exterior.
- U-Haul strives to make moving and storage convenient and easy for our customers. We achieve this by offering a wide range of self-storage options to choose from, one of which is our U-Box program. Customers are able to pick-up their U-Box from a U-Haul self-storage location or have the U-Box delivered to their doorstep where it can be filled with household items at their leisure. When the U-Box is packed and ready, customers can return the U-Box to a U-Haul self-storage location or have it picked up and delivered to any of our self-storage locations throughout the US and Canada. U-Boxes are temporarily stored until the customer decides they are ready to pick up their items or have them returned to them. In the interim, customers are able to access their items as needed from our location.

- **Hours of Operation:**

Mon. - Thurs.	7:00 a.m. to 7:00 p.m.
Fri.	7:00 a.m. to 8:00 p.m.
Sat.	7:00 a.m. to 7:00 p.m.
Sun.	9:00 a.m. to 5:00 p.m.

- U-Haul facility also provides truck and trailer sharing for household moving, either in-town or across country.

- Items that may not be stored include -chemicals, flammables, and paints.
- U-Haul self-storage are protected by video surveillance.
- U-Haul stores are non-smoking facilities.
- U-Haul will provide added services and assistance to our customers with disabilities.

**USE ON REVIEW CRITERIA JUSTIFICATION:**

- Be compatible with the character of the neighborhood including the size and location of buildings in the vicinity
- Be consistent with the General Plan, the One Year Plan, Sector Plans, and other adopted plans
- Not significantly injure the value of adjacent properties
- Not substantially increase the level of traffic into the neighborhood when the project is complete

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The current land use of the subject property is commercial. The property is zoned CA ( General Business ). The future land use of the property is MU-SD NCO-06 (Mixed use special district). Property is part of the North County Sector Plan.

The redevelopment is meeting the Sector Plan and Comprehensive Plan goals for redevelopment of older shopping centers by introducing compatible land use types and bringing new business to the County. The proposal is revitalizing a currently vacant property in the commercial district and activating an underutilized site, with a quality development which will bring additional services to the area, provide new jobs and increase tax revenues and property values.

The proposed development will provide convenient services to residents, with efficient use of public facilities and with minimal impact on the adjacent properties. It will meet the County goals of preserving the community character by meeting the County's code and design guidelines for the site design, landscaping screening and building design, and it will promote efficient and safe movement of traffic within the community.

Currently the uses surrounding the subject property are as follows. The property is fronting Maynardville Pike on the east side with various businesses directly across, including fast food restaurants, Walgreens, Urgent care, O' Reilly Auto parts, . To the west it is abutting U-Haul existing storage center, and Mc Donald's to the south . To the northwest the property is

abutting a few residential parcels, and couple of vacant / wooded residential parcels directly to the north. Refer to **Exhibit 1**- Existing conditions.

The proposed Storage use is permitted with Use on Review. Our uses are compatible and consistent with permitted uses of the property, and with surrounding uses. The proposed uses are complimentary to the surrounding uses and will add additional storage options and services to the area.

The proposed development will be designed per the development standards of the County, with respect to building design and materials, and appropriate landscaping. U-Haul's architectural philosophy has always strived to provide compatible designs and attractive landscaping to enhance and complement the neighboring areas and will not change the intended character of the general vicinity.

The proposed Use on Review storage use will not adversely impact the health and safety of the persons in the neighborhood. Our proposed development shall not be detrimental or have hazardous effect to existing or future neighboring uses. The redevelopment will not have hours of operation, lighting, odor, noise levels, glare, dust, vibrations, fumes, pollution, or site activities that would affect the public health, safety, or general welfare that would be detrimental to area properties. Lighting will be shielded. No exterior loud speaker for purpose of paging will be at the location. The required landscape buffers and planning will be provided per the zoning code. The landscape will be mechanically irrigated and maintained.

AMERCO/U-Haul strive to provide developments with compatible architectural design and attractive landscaping to enhance and complement the neighboring areas. In doing this U-Haul avoids building the typical industry facility and instead welcomes your community's choice of more environmentally appealing structures that emphasize the look and feel of your surrounding neighborhood.

U-Haul is a very secure and safe facility. We achieve safety by providing customers with a swipe identification card which must be used to gain access to each facility and storage unit. Other security measures include individually alarmed storage rooms with customer lock and electronically controlled access areas provided for after-hours business. Strategically installed video surveillance cameras and DVR equipment are also provided for twenty-four-hour site and building monitoring.

The project will be accessible from Maynardville Pike. The vehicle approaches to the property are existing. The proposed development will promote efficient movement of traffic and safe movement of traffic within the community. Historically traffic studies have demonstrated that self-storage businesses generate very little vehicle traffic volume. This reduced traffic from a U-Haul facility will generate little if any impact to city roads and streets.

Based on ITE standards, self-storage does not introduce more volume, daily traffic activity, trip generation or commercial activity to the surrounding neighborhoods.

U-Haul self-storage uses generate less traffic than most other commercial uses. See use comparison **Table 1** below.

<b>USE COMPARISON</b>					
Use	Square Feet	Traffic Volume		Typical Hours	Days
		Weekday	Weekend		
Fast Food Restaurant	3,000 sq ft	3,161 trips	3,430 trips	18 hours - 24 hours	7
Gas Station w/ Convenience Store	2,200 sq ft	1,200 trips	2,200 trips	18 hours - 24 hours	7
Hotel	50,000 sq ft	905 trips	901 trips	24 hours	7
Casual Dining	5,000 sq ft	1,075 trips	1,258 trips	11 am - 11 pm 12 hours	7
<b>U-Haul Center</b>	<b>80,000 sq ft</b>	<b>31 trips</b>	<b>53 trips</b>	<b>7 am - 7 pm 12 hours</b>	<b>7</b>

**Table 1**

**CONCLUSION**

Every year U-Haul develops many properties across the United States and Canada – from ground-up projects, existing building remodels and building additions. All projects utilize sustainable building techniques; from site selection in high-growth areas, to using recyclable building materials where possible. We have made much headway into introducing sustainable building practices in the building and remodeling of our projects and more innovative design techniques available for our site planning. The development of this site is a prime example.

In closing, we would like to request the approval of the requested Use on Review from Knox County as you consider this application.

Sincerely,

Lora Lakov  
AMERCO Real Estate – Planner

**EXHIBIT 1- EXISTING CONDITION MAP**





# Development Request

### DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

### SUBDIVISION

- Concept Plan
- Final Plat

### ZONING

- Plan Amendment
  - Sector Plan
  - One Year Plan
- Rezoning

**Clay McQuade**

Applicant Name

Affiliation

**2/27/2023**

Date Filed

**4/13/2023**

Meeting Date (if applicable)

**4-B-23-UR**

File Number(s)

## CORRESPONDENCE

*All correspondence related to this application should be directed to the approved contact listed below.*

**Clay McQuade AMERCO Real Estate Company**

Name / Company

**2727 N Central Ave Ste 500 Phoenix AZ 85004**

Address

**602-263-6555 / clay\_mcquade@uhaul.com**

Phone / Email

## CURRENT PROPERTY INFO

**The Kroger Company**

Owner Name (if different)

**1014 Vine St Cincinnati OH 45202**

Owner Address

Owner Phone / Email

**6945 MAYNARDVILLE PIKE**

Property Address

**38 K D 011.01**

Parcel ID

**4.79 acres**

Tract Size

Part of Parcel (Y/N)?

**Hallsdale-Powell Utility District**

Sewer Provider

**Hallsdale-Powell Utility District**

Water Provider

Septic (Y/N)

## STAFF USE ONLY

**West side of Maynardville Pike, south of Cunningham Rd**

General Location

City **Commission District 7 CA (General Business)**

**Vacant land and parking lot**

County District

Zoning District

Existing Land Use

**North County**

Planning Sector

**MU-SD (Mixed Use Special District), NCO-6**

Sector Plan Land Use Classification

**Planned Growth Area**

Growth Policy Plan Designation



## DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) <b>Indoor self-storage facility</b>	

## SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information _____	
<input type="checkbox"/> Attachments / Additional Requirements	

## ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre)    Previous Zoning Requests		
Additional Information _____		

## STAFF USE ONLY

### PLAT TYPE

- Staff Review     Planning Commission

### ATTACHMENTS

- Property Owners / Option Holders     Variance Request

### ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)  
 Design Plan Certification (Final Plat)  
 Site Plan (Development Request)  
 Traffic Impact Study  
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
<b>\$1,600.00</b>	
Fee 2	
Fee 3	

## AUTHORIZATION

Applicant Signature: **Clay McQuade**    Please Print    **2/27/2023**    Date

Phone / Email

Property Owner Signature: **The Kroger Company**    Please Print    **2/27/2023**    Date

I declare under penalty of perjury the foregoing (i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent) is true and correct.



# Development Request

## DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

## SUBDIVISION

- Concept Plan
- Final Plat

## ZONING

- Plan Amendment
  - SP
  - OYP
- Rezoning

Clay McQuade

U-Haul

Applicant Name

Affiliation

2/24/2023

4/13/2023

File Number(s)

Date Filed

Meeting Date (if applicable)

### CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Lora Lakov/Clay McQuade

AMERCO Real Estate Company

Name

Company

2727 N Central Ave Ste. 500

Phoenix

AZ

85004

Address

City

State

ZIP

(602) 263- 6555

lora\_lakov@uhaul.com / clay\_mcquade@uhaul.com

Phone

Email

### CURRENT PROPERTY INFO

The Kroger Co

1014 Vine Street, Cincinnati, OH 45202

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

6945 Maynardville Pike, Knoxville Tn

038KD01101

Property Address

Parcel ID

Hallsdale Powell U.D.

Hallsdale Powell U.D.

N

Sewer Provider

Water Provider

Septic (Y/N)

### STAFF USE ONLY

West side of Maynardville Pike, south of Cunningham Rd

5 acres

General Location

Tract Size

City  County

7th

CA

Vacant and Parking lot

District

Zoning District

Existing Land Use

North County

MU-SD, NCO-6

Planned Growth

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

August 29, 2022

**DEVELOPMENT REQUEST**

- Development Plan   
  Use on Review / Special Use   
  Hillside Protection COA  
 Residential   
  Non-Residential

Related City Permit Number(s)

Home Occupation (specify)

Other (specify) **Proposed use is storage (indoor self-storage facility)**

**SUBDIVISION REQUEST**

Related Rezoning File Number

Proposed Subdivision Name

- Combine Parcels   
  Divide Parcel

Unit / Phase Number

Total Number of Lots Created

Other (specify)

Attachments / Additional Requirements

**ZONING REQUEST**

Pending Plat File Number

Zoning Change

Proposed Zoning

Plan Amendment Change

Proposed Plan Designation(s)

Proposed Density (units/acre)

Previous Rezoning Requests

Other (specify)

**STAFF USE ONLY**

**PLAT TYPE**

- Staff Review   
  Planning Commission

**ATTACHMENTS**

- Property Owners / Option Holders   
  Variance Request

**ADDITIONAL REQUIREMENTS**

- Design Plan Certification (Final Plat)  
 Use on Review / Special Use (Concept Plan)  
 Traffic Impact Study  
 COA Checklist (Hillside Protection)

Fee 1		Total
0405	UOR - nonresidential	
Fee 2		\$1,600
Fee 3		

MR

**AUTHORIZATION**

*Clay McQuade*  
Applicant Signature

Clay McQuade  
Please Print

01-28-2023  
Date

865-207-7800  
Phone Number

CLAY.MCQUADE@LEHAUL.COM  
Email

*Robert T. Lancaster*  
Property Owner Signature

ROBERT T. LANCASTON  
Please Print

2/14/2023  
Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.

**Owner Authorization**

Owner's Name The Kroger Co.

I, Robert T. Lancaster

Being duly sworn, as the owner of the property involved, I hereby authorize

Clay McQuade/ U-Haul, to make city submittals on my behalf for below specified property.

Assessor Parcel Number (s), Parcel ID/ Property Address:

038KD01101

6945 Maynardville Pike, Knoxville Tn

Printed Name: Robert T. Lancaster

Signed: 

Address: 1014 Vine Street, Cincinnati, OH 45202

STATE OF TENNESSEE

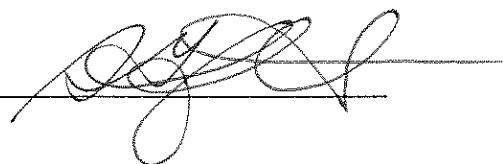
KNOX COUNTY

Subscribed and sworn to before me this

14<sup>th</sup> day of Feb, 2023

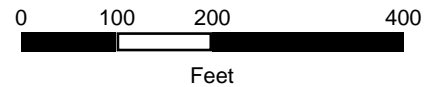
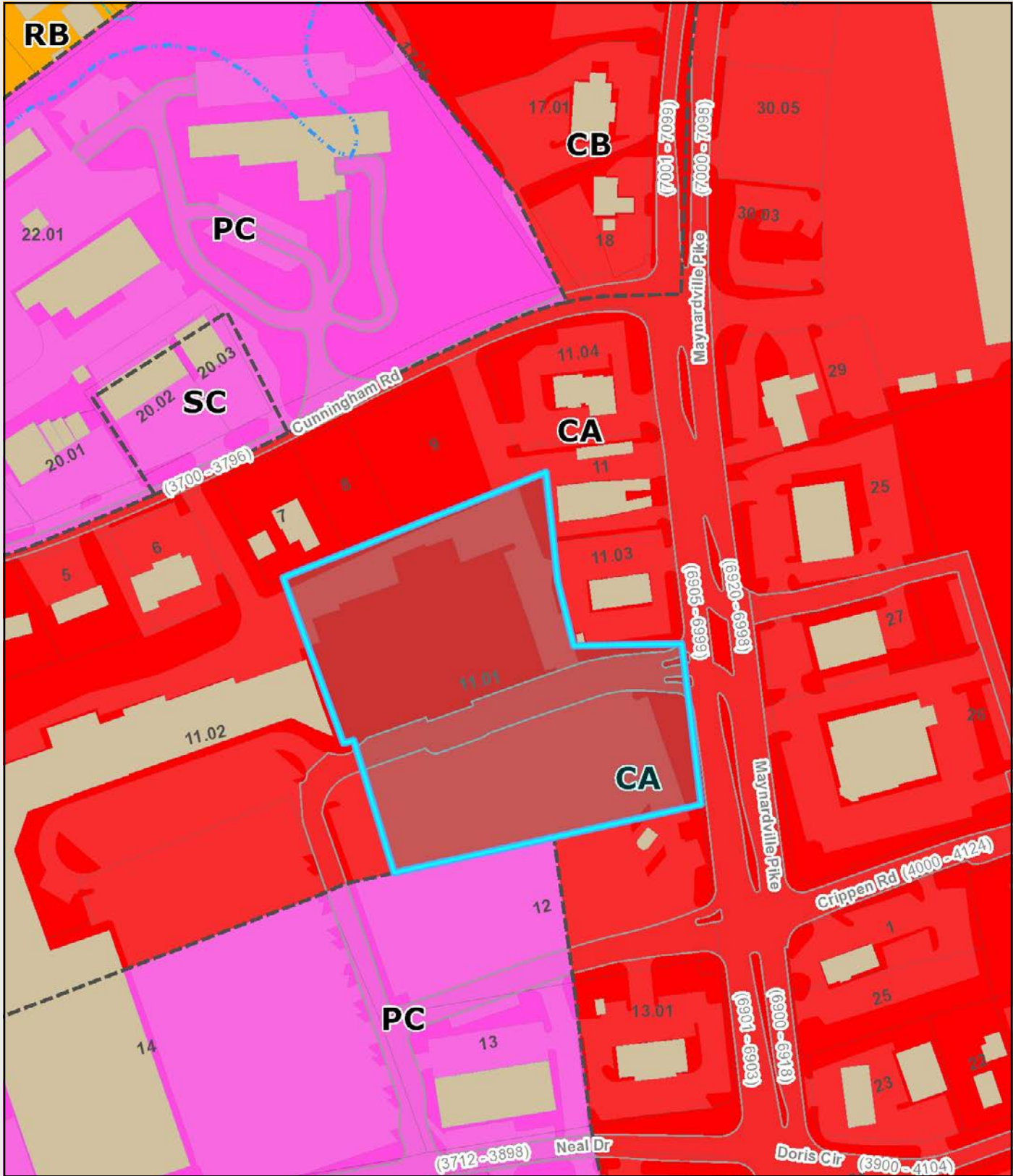
Notary Public in and for said County and State

My Commission expires: 7/23/24





**SHERRY GOFORTH**  
Notary Public, State of Ohio  
My Commission Expires  
July 23, 2024



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