



# SPECIAL USE REPORT

▶ **FILE #:** 4-E-23-SU

**AGENDA ITEM #:** 23

**AGENDA DATE:** 4/13/2023

▶ **APPLICANT:** CARTER MILLER

OWNER(S): Carter Miller The Drop Inn

TAX ID NUMBER: 109 L D 006

[View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 4507 SEVIERVILLE PIKE

▶ **LOCATION:** South side of Sevierville Pike, east of E. Red Bud Rd

▶ **APPX. SIZE OF TRACT:** 15.67 acres

SECTOR PLAN: South City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Sevierville Pike, a major collector road with a pavement width of 20-ft within a right-of-way width of 44-ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Toll Creek

▶ **ZONING:** AG (General Agricultural), HP (Hillside Protection Overlay)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Campground

HISTORY OF ZONING: In 2021, this property was rezoned from RN-1 (Single-Family Residential Neighborhood) / HP (Hillside Protection Overlay) to AG (Agricultural) / HP (Hillside Protection Overlay).

SURROUNDING LAND USE AND ZONING: North: Single family residential, multi family residential, public parks - RN-1 (Single-Family Residential Neighborhood), NA (Natural Areas)  
South: Agricultural/forestry/vacant, multi family residential, public parks - RN-1 (Single-Family Residential Neighborhood), RN-3 (General Residential Neighborhood), NA (Natural Areas)  
East: Agricultural/forestry/vacant, public parks - RN-1 (Single-Family Residential Neighborhood), NA (Natural Areas)  
West: Agricultural/forestry/vacant, single family residential, rural residential - RN-1 (Single-Family Residential Neighborhood)

NEIGHBORHOOD CONTEXT: This property is apart of Knoxville's Urban Wilderness trail and park system and abuts parks to the east, north, and south sides of the property and single family residential uses along the northern and western boundaries.

**STAFF RECOMMENDATION:**

▶ **APPROVE the Special Use for a campground with a maximum of 11 campsites, 6 cabins, bath house**

**and pavilion structures in the locations depicted on the site plan, subject to 7 conditions.**

1. Meeting the requirements of the principal use standards for campgrounds (Article 9.3.C) of the City of Knoxville Zoning Ordinance.
2. Obtaining Alternative Landscape Design approval before permits are issued that shows the location and species of existing and proposed trees that will be used to meet the required Class B buffer yard per Section 12.8.
3. Motorhome RVs shall be not be permitted. (Cargo/sprinter vans are permissible.)
4. Meeting the requirements of Article 11 (Off-Street Parking) of the City of Knoxville Zoning Ordinance.
5. Meeting all applicable requirements of the City of Knoxville Department of Plans Review and Inspections.
6. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
7. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of the AG zone, the principal use standards for campgrounds, and the criteria for approval of a special use.

**COMMENTS:**

This is for a maximum of 11 campsites, 6 cabins, pavilion and bath house as shown in the site plan. This proposal is specific to providing the type of camping and cabin amenities presented in this application and not to other types of camping, such as motorhome RVs. Access to the site is via Sevierville Pike, which is a major collector road. The campground also has direct access to the Urban Wilderness with multi-use natural trails covering the southern portion of the property.

**PRINCIPAL USE STANARDS**

The principal use standards for campgrounds (Article 9.3.C) includes the following. (Staff notes in parenthesis.)

1. The minimum area for a campground is three acres. (The site is approximately 15.6 acres.)
2. Campgrounds must comply with all applicable state and city regulations including those governing the installation, construction, and/or operation of swimming pools, water supply, sewage disposal, food storage and services, plumbing, structures, electrical wiring, and fire prevention. (Proof of compliance is required during permitting. Bath house will have water, sewer, electric, and food storage. Cabins have electric.)
3. Management headquarters, recreational facilities, coin operated laundry facilities, cabins for counselors, overnight accommodations, living space, and other uses and structures customarily associated with the operation of a campground are permitted. (The existing house on the property is being used for storage and office space.)
4. Storage of equipment must be within enclosed structures. (The existing house on the site will be utilized for storage.)
5. Year-round residency is prohibited at any campground. Use of camping units or sites as a principal residence is prohibited. This excludes any structures erected specifically for a caretaker or campground ranger, which may be a year-round residency. (The existing house on the property will be used for office management and storage space. There are no other proposed structures for year round residency.)
6. A 25-foot perimeter setback from the lot line of the campground is required. No structures or campsites are allowed within this setback. The perimeter setback must be landscaped per the standards of a Class B buffer yard per Section 12.8. (Existing and new vegetation can be used to meet the buffer yard standard. The buffer is required between any campsite, common campground use area, and parking area, and adjacent property lines as depicted on the attached site plan.)

**STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)**

**1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.**

- A. The One Year Plan and South City Sector Plan designation for this site is LDR (Low Density Residential) and HP (Hillside Protection).
- B. AG zoning that the applicant is requesting to develop under can be considered under the LDR land use designation.
- C. The property is located within the HP (Hillside Protection). The proposed development will require 2.66 acres of land disturbance, which is in compliance with the recommended disturbance of 4 acres.

**2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.**

- A. The AG (General Agricultural) zoning district is intended to provide for agricultural uses that comprise an important part of the economy of Knoxville. The intent is to permit lands best suited for agriculture to be used for agriculture purposes, and prevent the encroachment of incompatible land uses on farm lands and protect the physical and economic well-being of agricultural operations.
- B. A campground is permitted as a special use in the AG zone and must meet the principal use standards of

(Article 9.3.C.) as outlined above and the standards for evaluating a special use (Article 16.2.F.2.) This proposal is in compliance, but must obtain Alternative Landscape Design approval to use the existing vegetation.

C. The property is within the HP (Hillside Protection) overlay district. The proposed development will require minimal land disturbance and is in compliance with the HP overlay standards.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The subject property is located on a major collector road within Knoxville's Urban Wilderness park/trail system to the east, north, and south and single family residential uses along the northern and western boundaries.

B. The campsite loop "B" is the location closest to the adjacent house at a distance of approximately 190-ft to the west and 375-ft from the closest house to the northwest.

C. The campground will be screened from view of nearby homes using the existing tree canopy.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. Lights should not impact the adjacent properties. The exterior light fixture that is closest to a property line is the cabin porch light, which is approximately 130-ft from the property line at the road, and approximately 138-ft from the west property line, which includes the 20-ft vegetated buffer. Additionally, building finishes are browns and black, which will not reflect the lights.

B. Vehicular traffic should be minimal on a daily basis as there are only 1.5 motor vehicle parking spaces per campsite/cabin.

C. There may be odors and noises from people grilling and being around campfires but this would not be uncommon in a residential setting.

D. Future Phase 2 Driveway is noted in this plan. Phase 2 development plans will have to approved by Planning Commission staff under a new Special Use application.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. Motor vehicular access to the site is via Sevierville Pike, a major collector street, so it will not draw substantial additional traffic through residential streets.

B. This site is within the School Parental Responsibility zone. The city will waive the sidewalk construction requirement, as this will not be a residential development. The driveway will be built to ADA sidewalk requirements, if in the future sidewalks are required along this property.

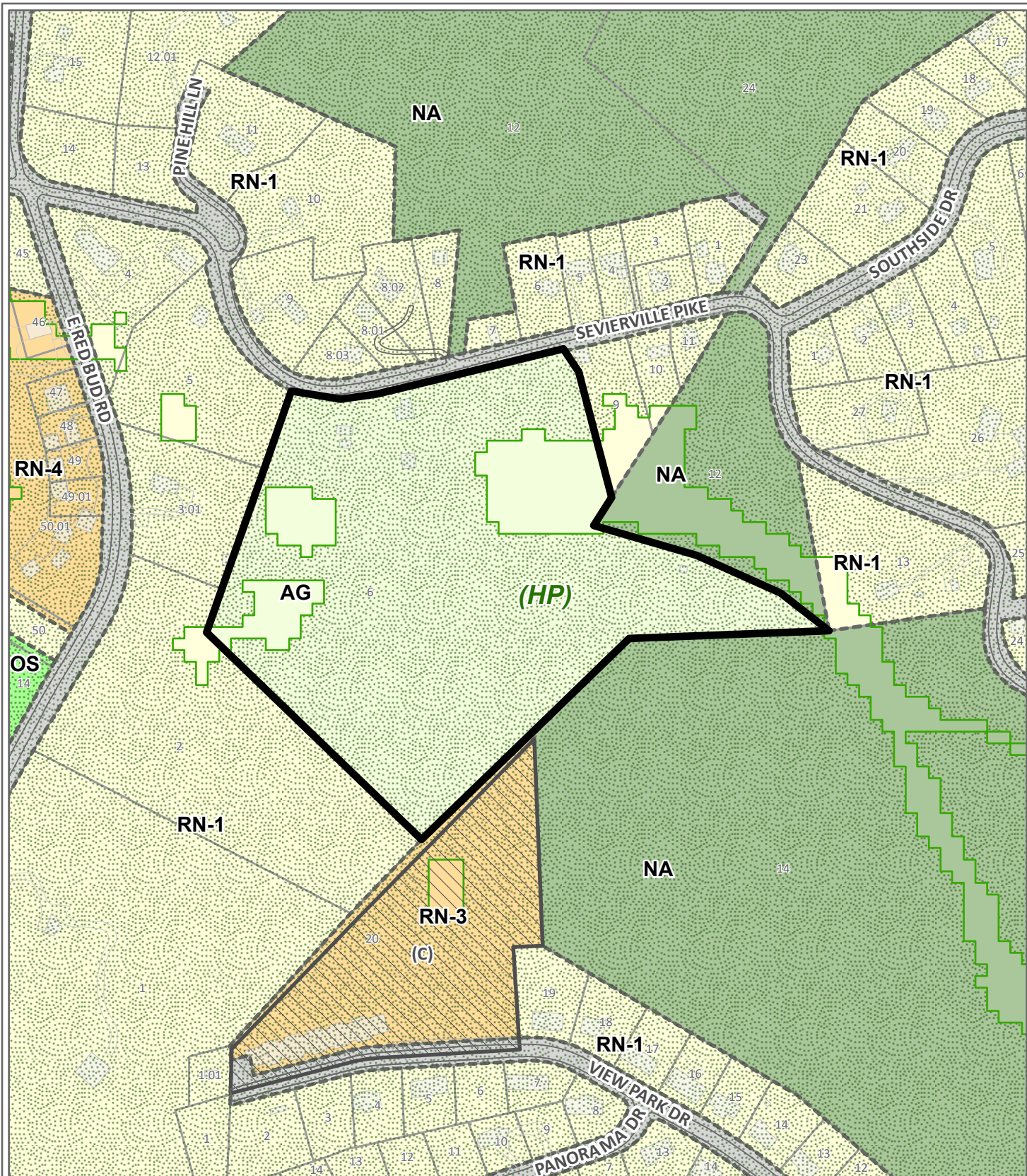
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for future uses on this site.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville Board of Zoning Appeals. The date of the Knoxville Board of Zoning Appeals hearing will depend on when the appeal application is filed.



**SPECIAL USE**

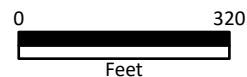
**4-E-23-SU**

**Petitioner:** Carter Miller



Campground in AG (General Agricultural), HP (Hillside Protection Overlay)

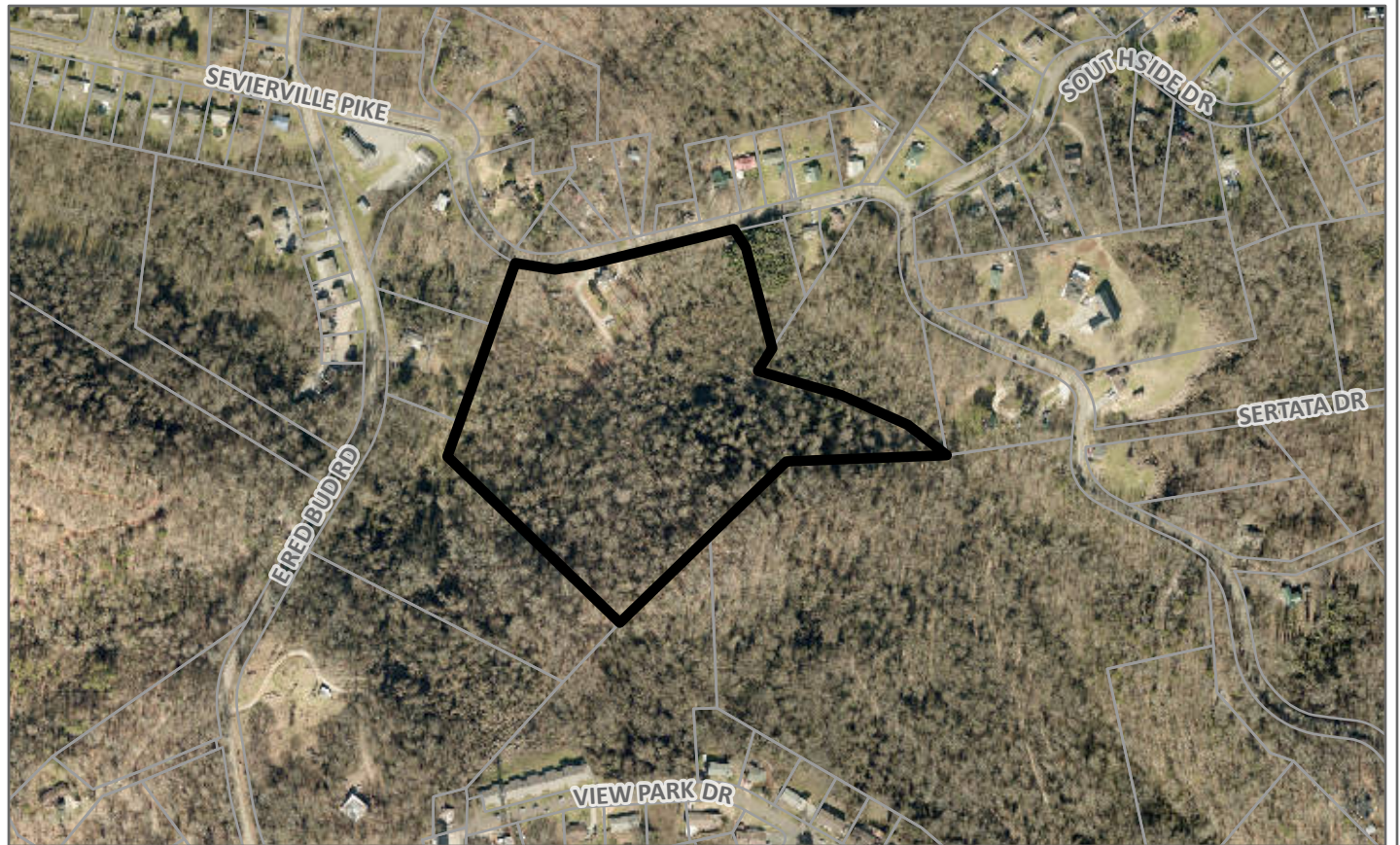
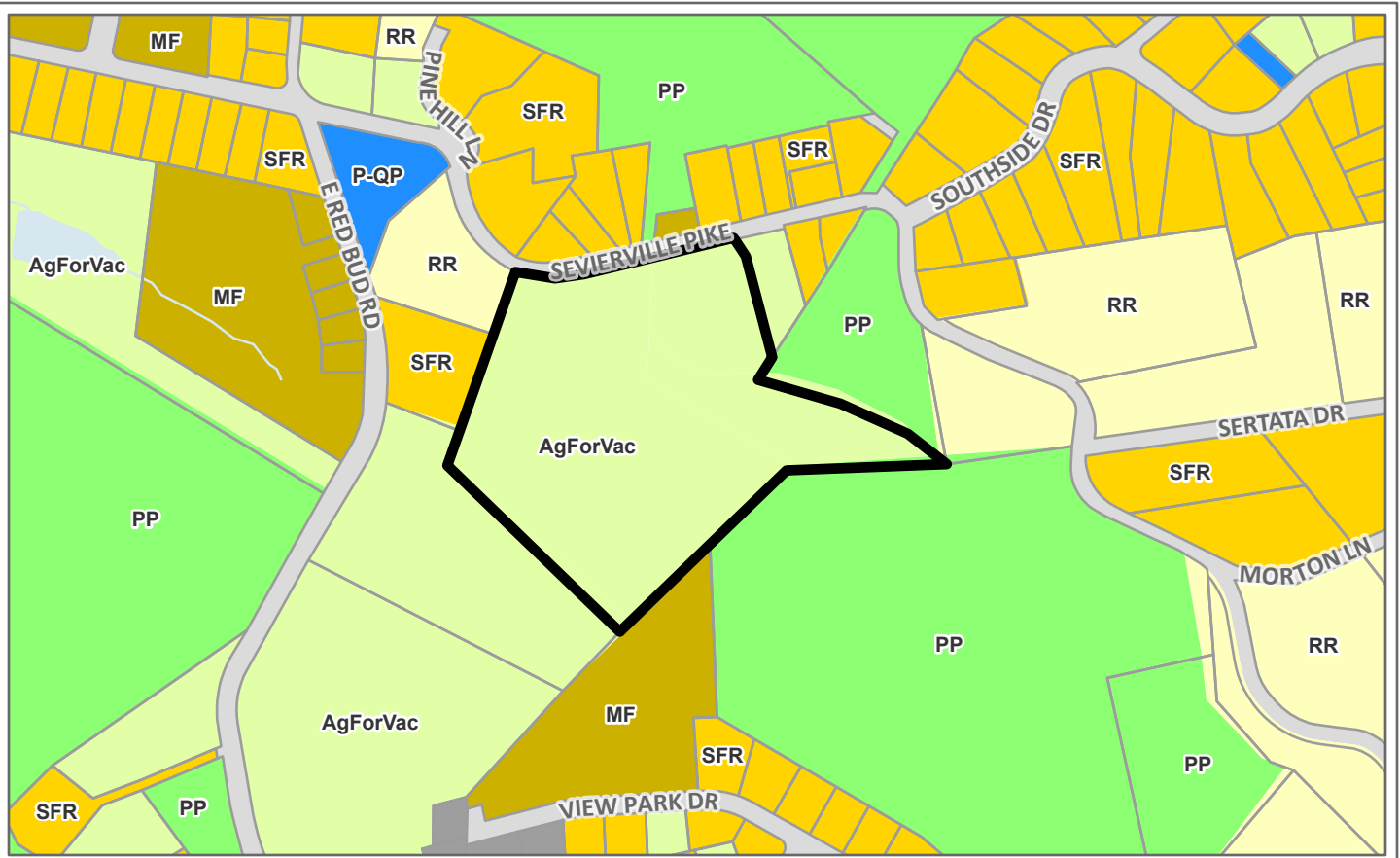
**Map No:** 109  
**Jurisdiction:** City



**Original Print Date:** 4/4/2023

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902



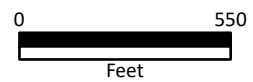


**Existing Land Use and Aerial Maps**

**4-E-23-SU**



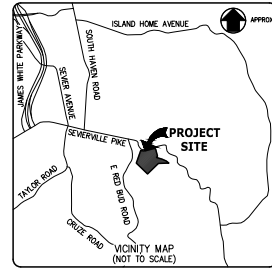
Case boundary



# THE DROP INN

## 4507 SEVIERVILLE PIKE

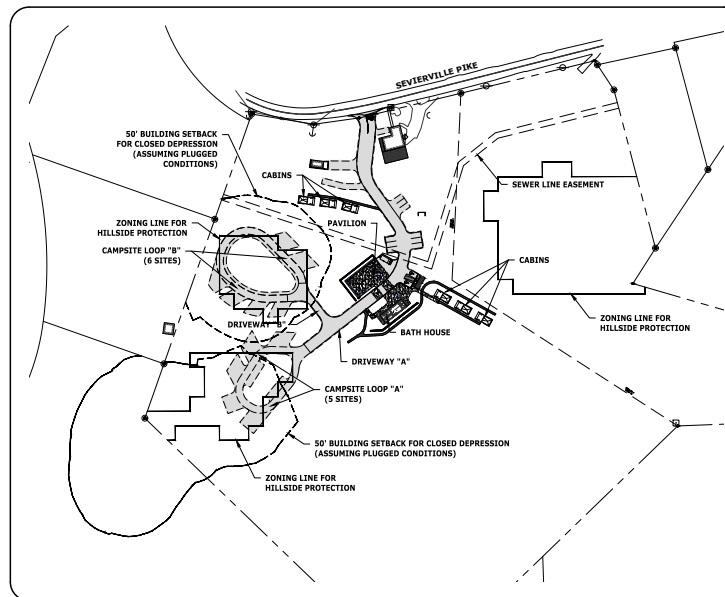
### KNOXVILLE, TENNESSEE 37920



#### DRAWING INDEX

- C0.01 COVER SHEET
- C0.02 GENERAL NOTES AND LEGENDS
- C0.02 SITE DEMOLITION PLAN
- C1.01 SITE LAYOUT PLAN (OVERALL)
- C1.02 ENLARGED SITE LAYOUT BATH HOUSE AND PAVILION
- C1.03 ENLARGED SITE LAYOUT CAMPSITE LOOP 'A'
- C1.04 ENLARGED SITE LAYOUT CAMPSITE LOOP 'B'
- C1.05 COORDINATE TABLES
- C2.01 SITE GRADING AND DRAINAGE PLAN (OVERALL)
- C2.02 ENLARGED SITE GRADING BATH HOUSE AND PAVILION
- C2.03 ENLARGED SITE GRADING CAMPSITE LOOP 'A'
- C2.04 ENLARGED SITE GRADING CAMPSITE LOOP 'B'
- C2.03 DRIVEWAY PROFILES
- C4.01 SITE DETAILS
- C4.02 SITE DETAILS

\* EROSION CONTROL AND SITE UTILITIES NOT INCLUDED AS PART OF SPECIAL USE SUBMITTAL



LOCATION MAP  
N.T.S.

PROPERTY DATA	
PROPERTY OWNER	THE DROP INN KNOX, LLC 408 E RED BUD ROAD KNOXVILLE, TN 37920
KNOXVILLE CLT. MAP NO.	109
PARCEL NUMBER	6.00
JURISDICTION	KNOX COUNTY, CITY OF KNOXVILLE, CITY BLOCK #29220
ZONING	AG, "AGRICULTURAL ZONING"
AREA	15.6± AC. TOTAL (2.66 AC. DISTURBED)

REVISED PER SPECIAL USE REVIEW COMMENTS	03/24/2023
REVISIONS	DATE
CLIENT:	<b>CARTER MILLER</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753
PROJECT:	<b>THE DROP INN</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TN 37920
<b>COVER SHEET</b>	
C01 PROJECT NO. 01650-0000	
DRAWING DATE FEBRUARY 27, 2023	
PN	RGL RJC HED
DRAWN	JRH CHECKED JRH
<b>SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU</b>	
<b>C0.01</b>	

**SITE DEMOLITION NOTES:**

- ABOVE GROUND AND UNDERGROUND UTILITIES AS SHOWN WERE LOCATED FROM VISIBLE FIELD EVIDENCE, UTILITY MARKINGS AND/OR MAPPING PROVIDED BY OTHERS DURING JULY OF 2017. VERIFICATION AS TO EXISTENCE, LOCATION, SIZE, MATERIAL AND DEPTH SHOULD BE PURSUED PRIOR TO ANY DECISIONS BEING MADE RELATIVE TO UTILITIES. TO AVOID CONFLICTS AND/OR HAZARDS, NOTIFY TENNESSEE ONE CALL AT 1-800-351-1111 PRIOR TO ANY EXCAVATION OR GRADING ACTIVITIES.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS REQUIRED TO PERFORM DEMOLITION WORK.
- CONTRACTOR SHALL PROPERLY DISPOSE OF DEMOLITION MATERIAL OFF-SITE.
- EXCAVATIONS FROM DEMOLITION ARE TO BE BACKFILLED WITH SOIL OR ENGINEERED FILL.
- CONTRACTOR SHALL CONTACT THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING, 215-2148, PRIOR TO REMOVAL OR ABANDONING ANY STORMWATER PIPES, SEWES AND STRUCTURES MUST BE EITHER COMPLETELY REMOVED OR ABANDONED IN PLACE.
- IF REMOVED, ANY REMAINING STRUCTURES THAT WERE TIED TO THE PIPE MUST BE REPAIRED PER CITY OR TDDI STANDARDS. A FORMAL INSPECTION BY CITY ENGINEERING STAFF (OR 3RD PARTY PE) OF THE REPAIR IS REQUIRED BEFORE COVERING UP.
- IF THE PIPE WILL BE ABANDONED IN PLACE, THE ENDS OF THE PIPE MUST BE BLOCKED OFF PER CITY OR TDDI STANDARDS. THE ENTIRE VOLUME OF THE PIPE MUST THEN BE FILLED WITH FLOWABLE FILL OR CONCRETE. A CITY ENGINEERING INSPECTOR (OR 3RD PARTY PE) MUST BE PRESENT FOR THIS WORK.

**SITE LAYOUT NOTES:**

- THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & GANNON, INC. DATED NOVEMBER 1, 2021.
- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
- THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE STANDARDS SPECIFICATIONS.
- PROPERTY CONCERNED REFLECTS THE FOLLOWING PARCEL: PARCEL 008.00 THE DROP INN KNOX, LLC (065)455-6753 408 E RED BUD ROAD KNOXVILLE, TENNESSEE 37920
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- JOINING FOR THE PROPERTY IS AG (AGRICULTURAL ZONING DISTRICT) AFTER REZONING APPROVAL ON 4/14/2022.
- TOTAL AREA IS 15.674 ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 2.864 ACRES. CITY BLOCK NUMBER IS 29220.
- ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE ZONING ORDINANCE.
- DEVELOPER: THE DROP INN KNOX LLC 4507 SEVERVILLE PIKE KNOXVILLE, TN 37920 CONTACT: CARTER MILLER TEL NO. (865) 455-6753
- PERMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROVIDED BY A GEOTECHNICAL ENGINEER.
- PROPOSED LANDSCAPE WILL COMPLY WITH THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.
- CERTIFICATE OF APPROPRIATENESS REQUIRED BY KNOXVILLE KNOX COUNTY PLANNING FOR HILLSIDE PROTECTION.
- PROPOSED FOOTPATHS TO BE FIELD LOCATED WITH OWNER. CONTRACTOR TO FINE GRADE PATH AS REQUIRED.
- CABINS TO BE FIELD LOCATED WITH OWNER. CONTRACTOR TO ESTABLISH FINISHED FLOOR ELEVATION AS NEEDED TO WORK WITH EXISTING TERRAIN. ADA ACCESSIBLE UNIT TO CONFORM WITH SIDEWALK ELEVATIONS.
- CABINS, PAVILION, AND BATH HOUSE ARE LOCATED OUTSIDE OF THE STORAGE ZONE FOR THE EXISTING SIDEWALKS.
- STORMWATER RETENTION AND WATER QUALITY IS REQUIRED FOR THIS PROJECT SINCE THE SITE DISTURBANCE EXCEEDS 1 ACRE. THE EXISTING SINKHOLES WILL BE USED TO STORE THE FIRST FLUSH RAINFALL. A SINKHOLE STUDY HAS BEEN PERFORMED AND THE 100-YR WATER SURFACE ELEVATIONS ARE NOTED ON THE ATTACHED DRAWINGS. APPROVAL FROM THE ADJOINING PROPERTY OWNER IS REQUIRED FOR THE INCREASE IN WATER SURFACE ON THE NEIGHBORING PROPERTY. A SINKHOLE STUDY WILL BE PROVIDED AS PART OF THE PERMIT REVIEW PLANS.

**SITE GRADING AND EROSION CONTROL NOTES:**

- THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY GANNON & GANNON, INC. DATED NOVEMBER 1, 2021.
- THE DISTURBED AREA IS APPROXIMATELY 2.864 ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 15.674 ACRES.
- UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISH GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 1 FT. INTERVALS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
- THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING OFF-SITE OR ON-SITE AT A LOCATION DETERMINED BY THE OWNER.
- ALL TREE STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT. BELOW THE SURFACE. ROCK SHALL BE SCATTERED TO A DEPTH OF 1 FT. BELOW SUBGRADE.
- STRIP TOPSOIL TO A MINIMUM DEPTH OF 8-IN. AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
- PROOF ROLL AREAS TO RECEIVE FILL AND PLACE FILL IN ACCORDANCE WITH THE SITE SPECIFIC REPORT OF GEOTECHNICAL EXPERTS.
- A 4 IN. (MIN) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
- ALL NEWLY GRADED EARTHEN AREAS THAT ARE NOT TO BE PAVED, STABILIZED, OR SODDED SHALL BE SEEDED, FERTILIZED, AND MULCHED WITHIN 30 DAYS OF ATTAINMENT OF FINAL GRADE.

11. TEMPORARY SEEDING MIXTURES SHALL BE AS FOLLOWS:

SEEDING DATES	GRASS SEED	PERCENTAGES
1/7 TO 3/7	ITALIAN RYE	33%
	KOREAN LESPEDEZA	13%
	SUMMER OATS	34%
5/7 TO 7/7	SUDAN - SORGHUM	100%
7/7 TO 7/7	STAR WHEAT	100%
7/7 TO 1/7	BALDPA RYE	67%
	ITALIAN RYE	33%

12. PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:

SEEDING DATES	GRASS SEED	PERCENTAGES
2/7 TO 7/7	KENTUCKY 31 FESCUE	80%
	KOREAN LESPEDEZA	15%
	ENGLISH RYE	5%
6/7 TO 8/7	KENTUCKY 31 FESCUE	50%
	ENGLISH RYE	20%
	KOREAN LESPEDEZA	15%
	GERMAN WHEAT	15%
4/7 TO 8/7	BERMUDAGRASS (TRILLED)	70%
	ANNUAL LESPEDEZA	30%
8/7 TO 12/7	KENTUCKY 31 FESCUE	70%
	ENGLISH RYE	20%
	WHITE CLOVER	10%
2/7 TO 12/7	KENTUCKY 31 FESCUE	70%
	CROWN VETCH	25%
	ENGLISH RYE	5%

- MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEEDED AREAS.
- DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
- NO SLOPE SHALL EXCEED 2:1 (H:V). ALL SLOPES STEEPER THAN 3:1 TO RECEIVE EXTENDED TERM EROSION CONTROL BLANKET.
- TO PREVENT EROSION, ALL SLOPES 2:1 OR GREATER ARE TO BE TRACKED WITH A DOZER TO FORM CLEAT MARKS PARALLEL TO THE SLOPE.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACE IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO ALL SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA.
- APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- LIMITS OF DISTURBANCE SHALL BE CLEARLY MARKED IN THE FIELD.
- WHEN USING FERTILIZER, CONTRACTOR SHALL FIRST PERFORM A SOIL TEST AND KEEP THE REPORT WITH THE SWPPP DOCUMENTATION.

**STORM PIPE INSTALLATION NOTES:**

- INSTALL STORM SEWER PIPING AND APPURTENANCES TO MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF TDDI AND THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
- TRUCK DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
- STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE IN ACCORDANCE WITH AASHTO M170 OR EQUAL UNLESS NOTED OTHERWISE.
- PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING & COMPACTION ARE COMPLETE & PRIOR TO PILING THE BASE. TEST DEFLECTION WITH A MANHOLE OR OTHER APPROVED METHOD.
- PIPE WITH DEFLECTION 5% OR GREATER OR WITH UNDUKE MISALIGNMENT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

**SPECIAL EROSION CONTROL NOTES:**

- THE CONTRACTOR IS TO INSTALL ALL INITIAL DEVICES (SILT FENCE, CONSTRUCTION ENTRANCE AND INLET PROTECTION) SHOWN ON THESE PLANS ONCE AUTHORIZATION FROM THE CITY OF KNOXVILLE IS RECEIVED. ONCE THE DEVICES ARE INSTALLED THE ENGINEER WILL INSPECT THE INSTALLATION AND SEND CERTIFICATION TO CITY OF KNOXVILLE PRIOR TO OBTAINING THE GRADING PERMIT.
- LIMITS OF DISTURBANCE SHALL BE CLEARLY MARKED IN THE FIELD.
- EROSION PREVENTION AND SEDIMENT CONTROL METHODS AND DEVICES USED ARE DESIGNED TO CONTROL STORM RUNOFF GENERATED BY A 5-IN, 24-HR. STORM EVENT.

**HILLSIDE PROTECTION AREA:**

WITHIN HP OVERLAY:  
 DISTURBED AREA = 1.93 AC.  
 UNDISTURBED AREA = 11.67 AC.  
 OUTSIDE OF HP OVERLAY:  
 DISTURBED AREA = 0.72 AC.  
 UNDISTURBED AREA = 1.35 AC.

TOTAL SITE:  
 DISTURBED AREA = 2.66 AC.  
 UNDISTURBED AREA = 13.01 AC.

**SPECIAL GRAVEL CONSTRUCTION NOTES:**

- ALL GRAVEL SHALL BE CLEAN STONE.
- GRAVEL PARKING AREAS SHALL BE CLEARLY DELINEATED.
- ALL GRAVEL AREAS REQUIRE PERIMETER CONTAINMENT.
- GRAVEL PARKING LOTS SHALL INCLUDE GRD INSTALLATION, CONCRETE FLUSH CURB, OR FLUSH LANDSCAPE TIMBERS TO PREVENT RUTTING.

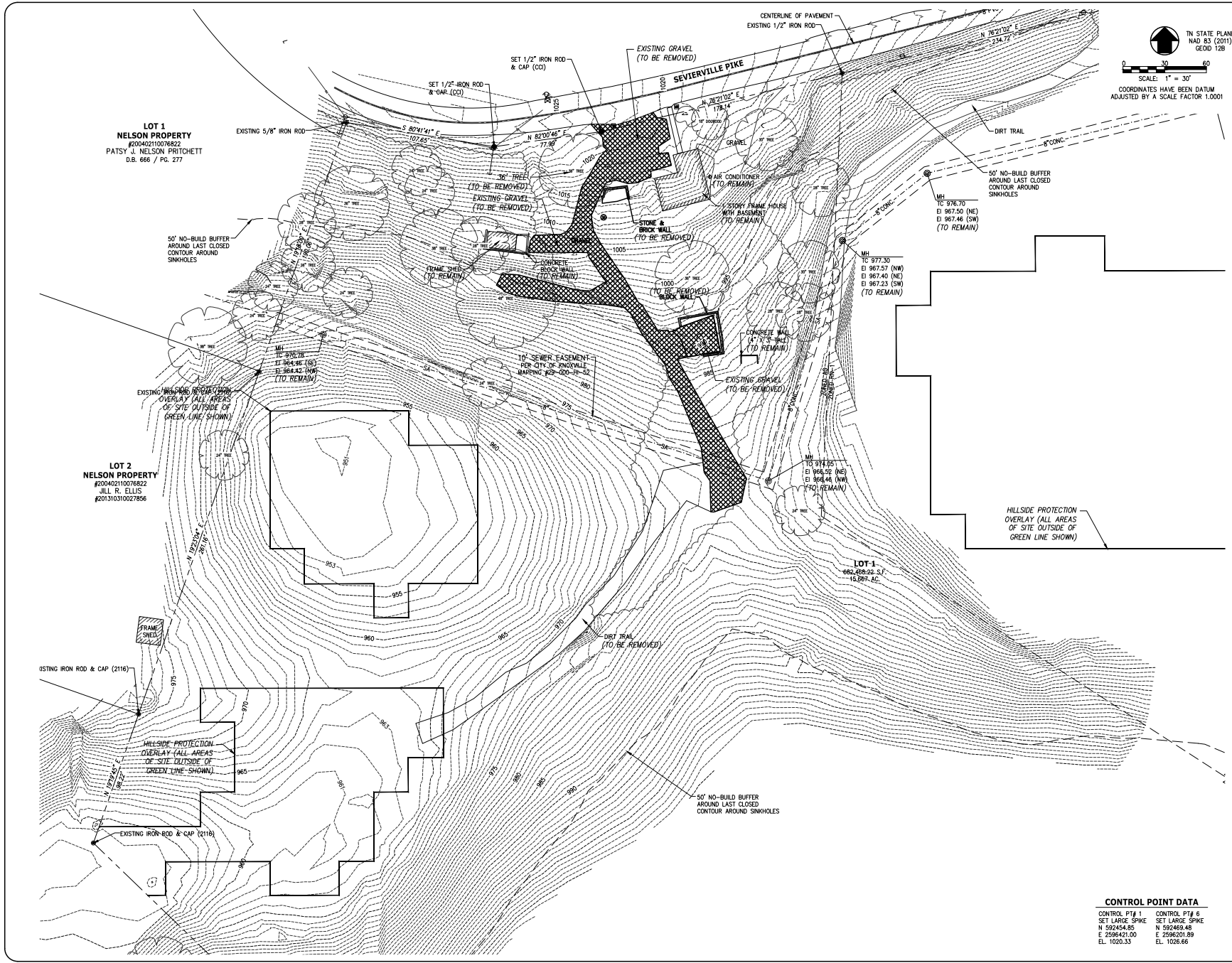
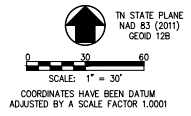
**LEGEND:**

==ST==	EXISTING STORM SEWER LINE		PROPOSED HEAVY DUTY ASPHALT PAVEMENT
---SA---	EXISTING SANITARY SEWER LINE		CONCRETE SIDEWALK
OH	EXISTING OVERHEAD UTILITIES		CONCRETE PAVEMENT
W	EXISTING WATER LINE		PROPOSED LIGHT DUTY ASPHALT PAVEMENT
UP	EXISTING UNDERGROUND POWER		EXIST. R.O.W.
UST	EXISTING UNDERGROUND TELEPHONE		BUILDING SETBACK LINE
X-X	EXISTING FENCE LINE		EXIST. EASEMENT LINE
C	EXISTING UNDERGROUND GAS LINE		DETAIL REFERENCE (DETAIL NO./SHEET NO.)
SR	EXISTING SMALL ROUND DRAIN		NUMBER OF PARKING SPACES
CB	EXISTING CATCH BASIN		COORDINATE POINT
MP	EXISTING STORM MANHOLE		ACCESSIBLE PARKING
RCP	EXISTING CORRUGATED METAL PIPE		ACCESSIBLE RAMP
PVC	EXISTING REINFORCED CONCRETE PIPE		PROPOSED INDEX CONTOUR
HDPPE	EXISTING POLYVINYL CHLORIDE PIPE		PROPOSED SPOT ELEVATION
HDPE	EXISTING HIGH DENSITY POLYETHYLENE PIPE		PROPOSED STORM PIPE AND STRUCTURE
→	EXISTING ANCHOR WIRE		PROPOSED SANITARY MANHOLE
⊕	EXISTING POWER POLE		FIRE DEPARTMENT CONNECTION
⊕	EXISTING LIGHT POLE		POST INDICATOR VALVE
⊕	EXISTING LANDSCAPE LIGHT		PROPOSED WATER VALVE
⊕	EXISTING POWER EQUIPMENT		PROPOSED FIRE HYDRANT
⊕	EXISTING POWER MANHOLE/VAULT		PROPOSED SANITARY SEWER LINE
⊕	EXISTING POWER METER		PROPOSED WATER LINE
⊕	EXISTING POWER PULL BOX		PROPOSED FIRE LINE
⊕	EXISTING TELEPHONE MANHOLE/VAULT		PROPOSED MANHOLE AND SEWER LINE (BY OTHERS - N.L.C.)
⊕	EXISTING TELEPHONE LINE RISER		SILT FENCE
⊕	EXISTING TELEPHONE LINE MARKER		STONE TIE CHECK DAM
⊕	EXISTING FIBER OPTIC MARKER		SEDM. FILTER BERM
⊕	EXISTING WATER VALVE		DIVERSION BERM
⊕	EXISTING WATER METER		DIRECTIONAL FLOW ARROW
⊕	EXISTING WELL		TEMPORARY INLET PROTECTION (TYPE I)
⊕	EXISTING WATER MANHOLE		TEMPORARY INLET PROTECTION (TYPE II)
⊕	EXISTING GAS METER		LIMITS OF DEMOLITION/DISTURBANCE
⊕	EXISTING GAS LINE RISER		HILLSIDE PROTECTION
⊕	EXISTING SANITARY MANHOLE		
⊕	EXISTING SANITARY CLEAN OUT		
⊕	EXISTING SIGN		
⊕	EXISTING MAILBOX		
⊕	EXISTING PARKING METER		
⊕	EXISTING SHRUB		
⊕	EXISTING TREE		
⊕	EXISTING ACCESSIBLE PARKING		
⊕	EXISTING BOLLARD		
⊕	EXISTING CONTOUR		

REVISED PER SPECIAL USE REVIEW COMMENTS		03/24/2023
REVISIONS	DATE	
CLIENT:	<b>CARTER MILLER</b> 4507 SEVERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753	
PROJECT:	 <b>THE DROP INN</b> 4507 SEVERVILLE PIKE KNOXVILLE, TN 37920	
<b>GENERAL NOTES AND LEGENDS</b>		
C&G PROJECT NO.	01652-0000	
DRAWING DATE	FEBRUARY 27, 2023	
PN	RGL	PK
DRWN	JRH	CHEKED
<b>SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU</b>		
<b>C0.02</b>		



**SITE DEMOLITION NOTES:**  
 1. SEE SHEET C0.02 FOR GENERAL NOTES AND LEGENDS.



**LOT 1  
 NELSON PROPERTY**  
 #20040210076822  
 PATSY L. NELSON PRITCHETT  
 D.B. 666 / PG. 277

**LOT 2  
 NELSON PROPERTY**  
 #20040210076822  
 JILL R. ELLIS  
 #201310310027856

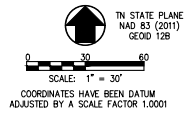
**LOT 1**  
 664,806.29 S.F.  
 15.899 AC.

**CONTROL POINT DATA**  
 CONTROL PTA 1 SET LARGE SPIKE N 592454.85 E 2284631.00 EL. 1020.33  
 CONTROL PTA 6 SET LARGE SPIKE N 592469.48 E 2284620.89 EL. 1026.66

REVISED PER SPECIAL USE REVIEW COMMENTS	03/24/2023
REVISIONS	DATE
<b>CANNON-CANNON</b>	
CLIENT:	<b>CARTER MILLER</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753
PROJECT:	<b>THE DROP INN</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TN 37920
<b>SITE DEMOLITION PLAN</b>	
CCI PROJECT NO.	01850-0000
DRAWING DATE	FEBRUARY 27, 2023
PN	REL. PRC HED
DRAWN	JRH CHECKED JRH
<b>SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU</b>	<b>C0.03</b>

**SITE LAYOUT NOTES:**

- SEE SHEET C1.02 FOR GENERAL NOTES AND LEGENDS.
- SEE SHEET C1.02, C1.03, AND C1.04 FOR ENLARGED SITE LAYOUT PLANS WITH ADDITIONAL INFORMATION.
- PROPOSED FOOTPATHS TO BE FIELD LOCATED WITH OWNER. CONTRACTOR TO FINE GRADE PATH AS REQUIRED.
- CABINS TO BE FIELD LOCATED WITH OWNER. CONTRACTOR TO ESTABLISH FINISHED FLOOR ELEVATION AS NEEDED TO WORK WITH EXISTING TERRAIN. ADA ACCESSIBLE UNIT TO CONFORM WITH SIDEWALK ELEVATIONS.
- CABINS, PAVILION, AND BATH HOUSE ARE LOCATED OUTSIDE OF THE STORAGE ZONE FOR THE EXISTING SIDEWALKS.
- SEE SHEET C1.05 FOR HORIZONTAL LAYOUT TABLES AND COORDINATE TABLES.



**IMPERVIOUS AREA CALCULATION**

PRE-DEVELOPED IMPERVIOUS AREA = 2,313 S.F. (0.053 AC.)  
(HOUSE, SIDEWALK, FRAME SHED, HOUSE FOUNDATION)

POST-DEVELOPED IMPERVIOUS AREA = 22,618 S.F. (0.519 AC.)  
(HOUSE, SIDEWALK, FRAME SHED, ASPHALT DRIVEWAY, PAVILION, BATH HOUSE, SIDEWALKS, AND CABINS - GRAVEL PADS NOT INCLUDED)

ADDITIONAL IMPERVIOUS AREA = 20,305 S.F. (0.466 AC.) < 0.50 AC.

**PARKING SUMMARY**

**REQUIRED SPACES:**  
1 SPACE PER CAMPSITE  
MAXIMUM = 4 PER CAMPSITE

11 CAMPSITES REQUIRE 11 SPACES  
6 CABINS REQUIRE 6 SPACES  
TOTAL REQUIRED = 17 SPACES  
MAXIMUM NUMBER ALLOWED = 17 SITES X 4 = 68 SPACES  
LESS THAN 50 SPACES REQUIRES 4 BICYCLE PARKING SPACES

**TOTAL SPACES PROVIDED:** 27 SPACES (> 17)

ON CAMPSITE PADS (GRAVEL)	11 SPACES
OVERFLOW SPACES IN LOOP (GRAVEL)	4 SPACES
AT CABIN AREA (STANDARD PAVED)	3 SPACES
AT CABIN AREA (GRAVEL)	3 SPACES
AT CABIN AREA (ADA PAVED)	1 SPACE (VAN)
AT PAVILION (STANDARD PAVED)	3 SPACES
AT BATH HOUSE (ADA PAVED)	1 SPACE (VAN)
AT EXISTING HOUSE (GRAVEL)	1 SPACE
TOTAL STANDARD SPACES	27 SPACES (VAN)
REQUIRED (26-50) 1 STANDARD + 1 VAN = 2 TOTAL BICYCLE PARKING	14 SPACES

**SIGHT DISTANCE CALCULATION**

SIGHT DISTANCE SHOWN BASED ON FIELD VISIT ON 02/22/22. POSTED SPEED LIMIT IS 30 MPH.

STOPPING SIGHT DISTANCE CRITERIA IS USED AT THIS LOCATION SINCE THE INTERSECTION INCLUDES A DRIVEWAY INSTEAD OF A CONNECTING ROADWAY.

PER AASHTO, A MINIMUM OF 200' IS REQUIRED FOR A DESIGN SPEED OF 30 MPH. A MINIMUM OF 218' IS PROVIDED IN THE WEST BOUND DIRECTION AND THE EAST BOUND IS IN EXCESS OF 355'.

IN ADDITION, THE EXISTING CURVE WEST OF THE PROPOSED DRIVEWAY CONNECTION HAS AN APPROXIMATE 200' RADIUS. A MINIMUM 250' RADIUS IS REQUIRED FOR A DESIGN SPEED OF 30 MPH WITH A SUPER ELEVATION OF 4%. THE EXISTING CURVE DOES NOT APPEAR TO HAVE A POSITIVE SUPER ELEVATION AND HAS A NEGATIVE SLOPE (SLOPING OPPOSITE DIRECTION) WHICH WOULD REQUIRE A GREATER RADIUS. THEREFORE, THE CURVE SHOULD HAVE A REDUCED SPEED WHICH WOULD DECREASE THE STOPPING SIGHT DISTANCE REQUIRED.

REVISIONS	DATE

CLIENT: **CARTER MILLER**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TENNESSEE 37920  
(865) 455-6753

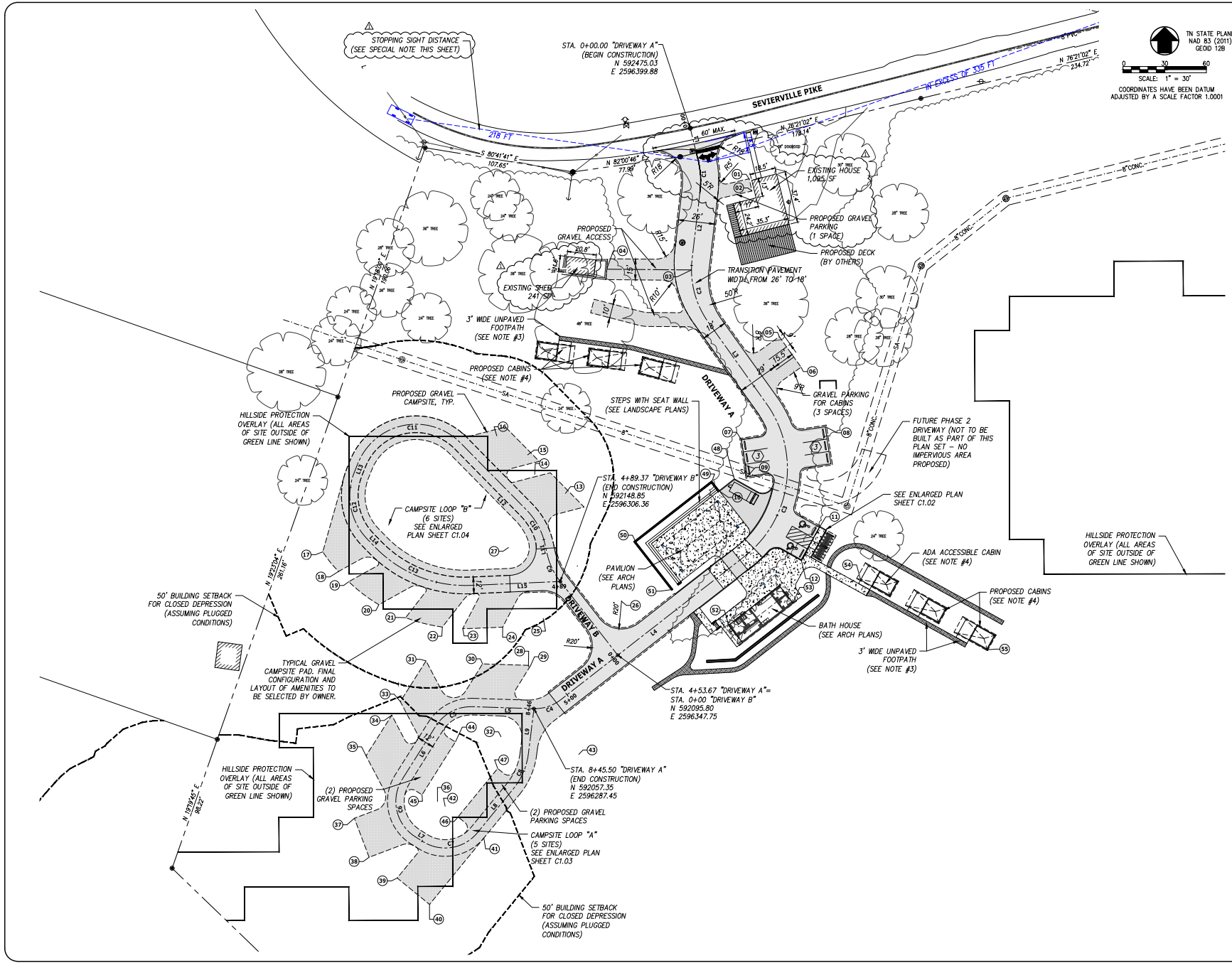
PROJECT: **THE DROP INN**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

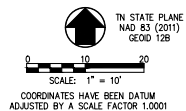
**SITE LAYOUT PLAN (OVERALL)**

CSI PROJECT NO.	01652-0000		
DRAWING DATE	FEBRUARY 27, 2023		
PN	RGL	PC	HED
DRAWN	JRH	CHECKED	JRH

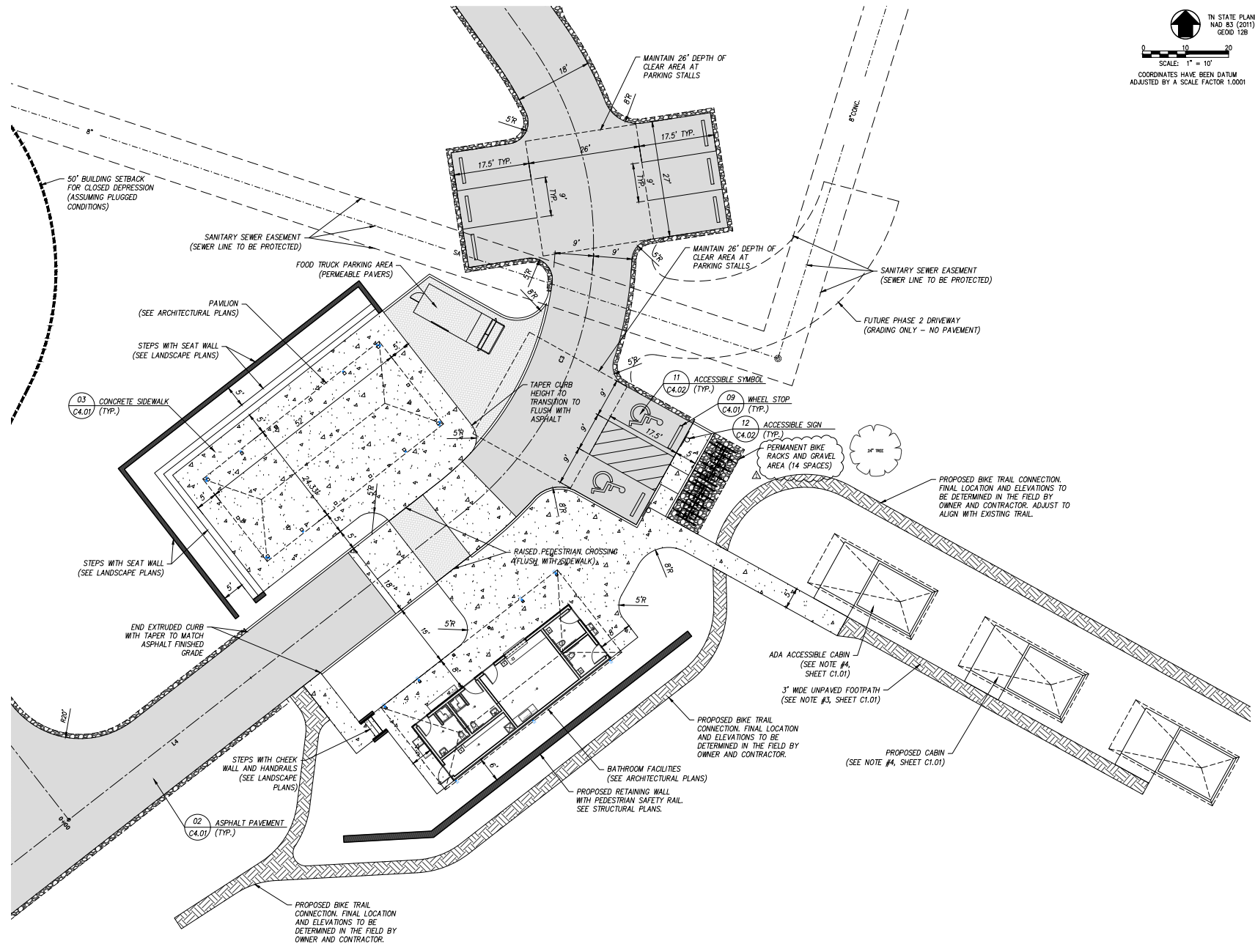
**SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU**

**C1.01**





- SITE LAYOUT NOTES:**
1. SEE SHEET C0.02 FOR GENERAL NOTES AND LEGENDS.
  2. SEE SHEET C1.01 FOR ADDITIONAL SITE LAYOUT NOTES.
  3. SEE SHEET C1.03 AND C1.04 FOR ENLARGED SITE LAYOUT PLANS AND ADDITIONAL INFORMATION.



REVISED PER SPECIAL USE REVIEW COMMENTS 03/24/2023

REVISIONS DATE



**CLIENT:**  
**CARTER MILLER**  
 4507 SEVIERVILLE PIKE  
 KNOXVILLE, TENNESSEE 37920  
 (865) 455-6753

**PROJECT:**  
 **THE DROP INN**  
 4507 SEVIERVILLE PIKE  
 KNOXVILLE, TN 37920

**ENLARGED SITE LAYOUT  
 BATH HOUSE AND PAVILION**

CSI PROJECT NO.	01652-0000
DRAWING DATE	FEBRUARY 27, 2023
PN	REL
DRWN	3RH
	PK
	HED
	CHEK
	3RH

**SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU**

**C1.02**



(ASSUMING PLUGGED LANDFILLS)

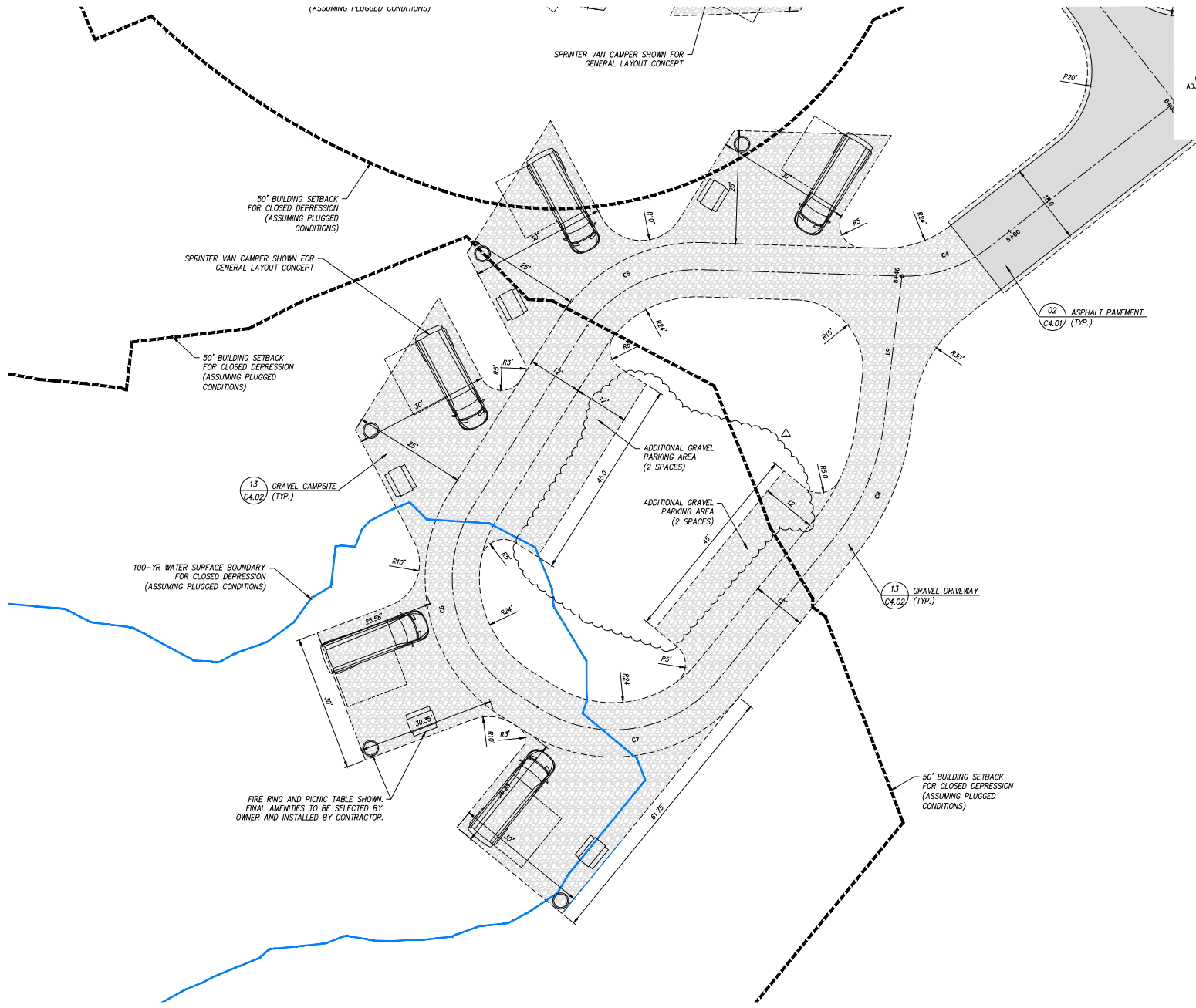
SPRINTER VAN CAMPER SHOWN FOR GENERAL LAYOUT CONCEPT

TN STATE PLANE  
NAD 83 (2011)  
GEOID 128

SCALE: 1" = 10'

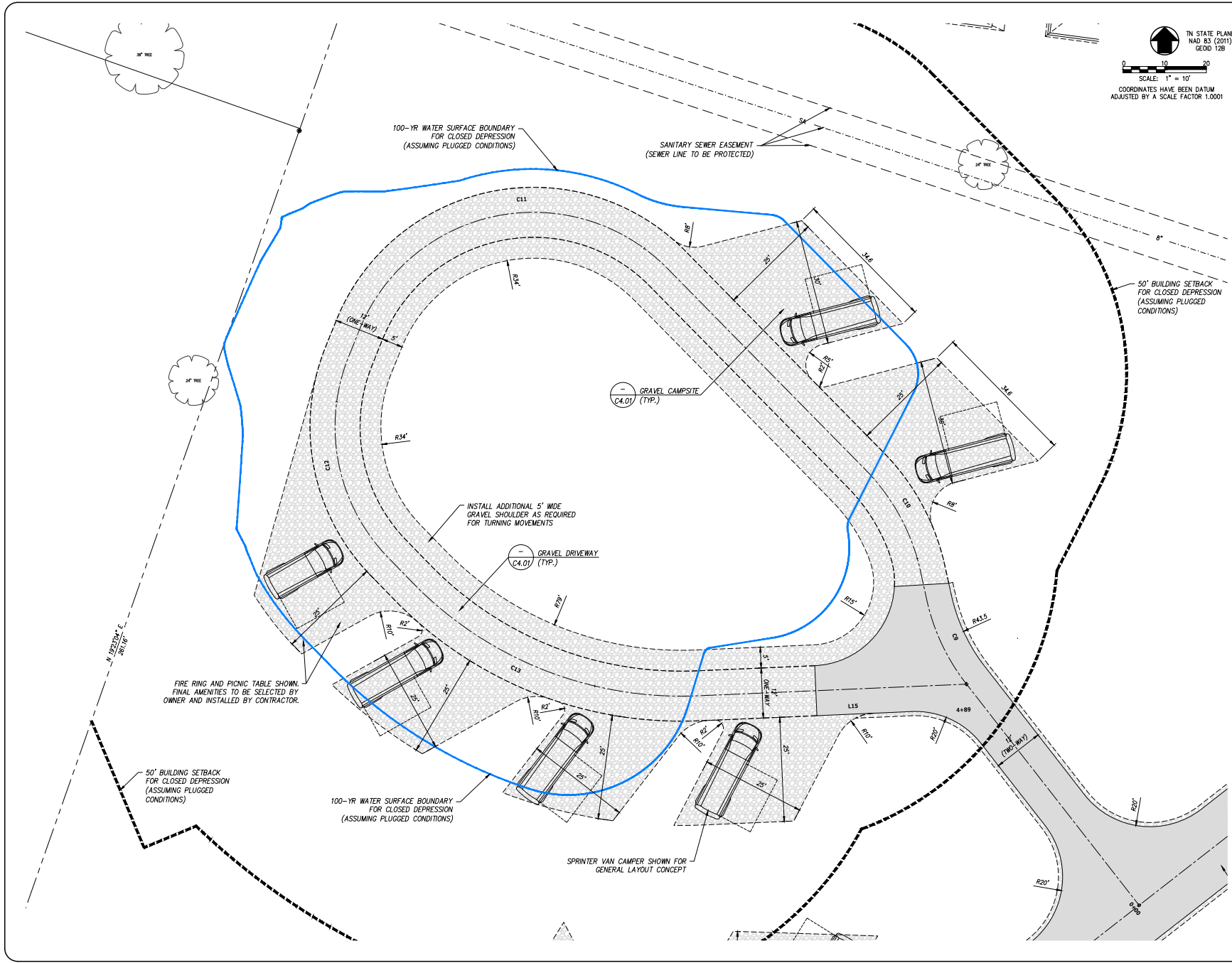
COORDINATES HAVE BEEN DATUM ADJUSTED BY A SCALE FACTOR 1.0001

- SITE LAYOUT NOTES:**
1. SEE SHEET C1.02 FOR GENERAL NOTES AND LEGENDS.
  2. SEE SHEET C1.01 FOR ADDITIONAL SITE LAYOUT NOTES.
  3. SEE SHEET C1.02 AND C1.04 FOR ENLARGED SITE LAYOUT PLANS AND ADDITIONAL INFORMATION.



REVISED PER SPECIAL USE REVIEW COMMENTS	03/24/2023
REVISIONS	DATE
CLIENT:	<b>CARTER MILLER</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753
PROJECT:	<b>THE DROP INN</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TN 37920
<b>ENLARGED SITE LAYOUT CAMPSITE LOOP 'A'</b>	
CIP PROJECT NO.	01652-0000
DRAWING DATE	FEBRUARY 27, 2023
PN	REL      RC      HED
DRAWN	JRH      CHECKED      JRH
<b>SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU</b>	<b>C1.03</b>





TN STATE PLANE  
 NAD 83 (2011)  
 GEOID 12B

0 10 20  
 SCALE: 1" = 10'  
 COORDINATES HAVE BEEN DATUM  
 ADJUSTED BY A SCALE FACTOR 1.0001

- SITE LAYOUT NOTES:**
1. SEE SHEET C1.02 FOR GENERAL NOTES AND LEGENDS.
  2. SEE SHEET C1.01 FOR ADDITIONAL SITE LAYOUT NOTES.
  3. SEE SHEET C1.02 AND C1.03 FOR ENLARGED SITE LAYOUT PLANS AND ADDITIONAL INFORMATION.

REVISED PER SPECIAL USE REVIEW COMMENTS	03/24/2023
REVISIONS	DATE
<b>CANNON-CANNON</b>	
CLIENT:	<b>CARTER MILLER</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753
PROJECT:	<b>THE DROP INN</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TN 37920
<b>ENLARGED SITE LAYOUT CAMPSITE LOOP 'B'</b>	
CD PROJECT NO.	01652-0000
DRAWING DATE	FEBRUARY 27, 2023
PN	REL. REC. HED.
DRAWN	JRH. CHECKED JRH.
<b>SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU</b>	<b>C1.04</b>

DRIVEWAY A HORIZONTAL CURVE DATA TABLE							
CURVE NO.	P.L. COORDINATES	P.C. STATION	P.T. STATION	DELTA ANGLE	RADIUS	TANGENT	LENGTH
C1	N 592440.85 E 2596408.24	0+24.37	0+45.77	20°26'15"	60.00'	21.29'	21.40'
C2	N 592335.85 E 2596398.26	0+95.45	1+43.33	42°12'38"	65.00'	46.81'	47.89'
C3	N 592214.10 E 2596499.42	2+15.73	3+37.98	87°33'31"	80.00'	110.70'	122.25'
C4	N 592057.02 E 2596298.04	5+05.86	5+26.70	39°47'44"	30.00'	20.42'	20.84'
C5	N 592059.34 E 2596226.02	5+70.71	6+01.92	59°35'21"	30.00'	29.81'	31.20'
C6	N 591981.18 E 2596176.71	6+47.15	6+94.27	90°00'00"	30.00'	42.43'	47.12'
C7	N 591947.56 E 2596229.99	7+00.75	7+44.19	82°57'43"	30.00'	39.74'	43.44'
C8	N 592010.78 E 2596201.72	7+84.88	8+13.05	32°16'36"	50.00'	27.80'	28.17'

DRIVEWAY A HORIZONTAL LINE DATA TABLE		
LINE NO.	DISTANCE	BEARING
L1	24.370'	S13° 44' 24.33"E
L2	49.674'	S08° 41' 50.37"W
L3	72.397'	S35° 30' 47.49"E
L4	167.879'	S52° 02' 43.21"W
L5	44.015'	N88° 09' 32.47"W
L6	45.234'	S32° 15' 06.41"W
L7	6.477'	S57° 44' 53.59"E
L8	40.695'	N39° 17' 23.23"E
L9	32.462'	N07° 00' 46.98"E

DRIVEWAY B HORIZONTAL CURVE DATA TABLE							
CURVE NO.	P.L. COORDINATES	P.C. STATION	P.T. STATION	DELTA ANGLE	RADIUS	TANGENT	LENGTH
C9	N 592157.94 E 2596299.18	0+67.46	0+89.79	25°35'09"	50.00'	22.14'	22.33'
C10	N 592189.89 E 2596292.25	0+96.83	1+24.89	32°09'22"	50.00'	27.69'	28.06'
C11	N 592297.54 E 2596186.47	1+92.65	2+81.82	113°32'11"	45.00'	75.28'	89.17'
C12	N 592200.21 E 2596147.27	2+88.76	3+40.71	66°08'46"	45.00'	49.11'	51.95'
C13	N 592144.30 E 2596201.66	3+49.07	4+24.91	48°16'55"	90.00'	73.62'	75.84'

DRIVEWAY B HORIZONTAL LINE DATA TABLE		
LINE NO.	DISTANCE	BEARING
L10	67.458'	N37° 57' 16.79"W
L11	7.044'	N12° 22' 08.00"W
L12	67.726'	N44° 31' 29.84"W
L13	6.937'	S21° 56' 19.00"W
L14	8.360'	S44° 12' 27.23"E
L15	64.477'	N87° 30' 37.72"E

COORDINATE TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
01	592438.57	2596442.22	EDGE OF GRAVEL PARKING
02	592429.80	2596444.25	EDGE OF GRAVEL PARKING
03	592373.02	2596400.74	GRAVEL ACCESS CENTERLINE
04	592373.55	2596339.79	GRAVEL ACCESS CENTERLINE
05	592324.99	2596463.90	EDGE OF GRAVEL PARKING
06	592303.01	2596479.58	EDGE OF GRAVEL PARKING
07	592250.93	2596436.63	CORNER OF PARKING
08	592260.25	2596496.91	CORNER OF PARKING
09	592224.25	2596440.75	CORNER OF PARKING
10	592213.80	2596420.99	CORNER OF PARKING
11	592188.00	2596492.85	CORNER OF PARKING
12	592164.42	2596479.70	CORNER OF PARKING
13	592212.24	2596310.14	EDGE OF TENT PAD
14	592225.86	2596287.97	EDGE OF TENT PAD
15	592239.95	2596282.88	EDGE OF TENT PAD
16	592253.58	2596260.71	EDGE OF TENT PAD
17	592170.21	2596135.56	EDGE OF TENT PAD
18	592156.11	2596146.96	EDGE OF TENT PAD
19	592148.70	2596154.23	EDGE OF TENT PAD
20	592132.15	2596175.88	EDGE OF TENT PAD

COORDINATE TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
21	592122.82	2596195.16	EDGE OF TENT PAD
22	592116.09	2596221.58	EDGE OF TENT PAD
23	592114.98	2596236.22	EDGE OF TENT PAD
24	592116.02	2596264.95	EDGE OF TENT PAD
25	592122.29	2596294.11	EDGE OF TENT PAD
26	592134.66	2596350.42	RADIUS POINT
27	592173.25	2596269.11	RADIUS POINT
28	592087.51	2596283.46	RADIUS POINT
29	592088.45	2596285.09	EDGE OF TENT PAD
30	592089.57	2596250.46	EDGE OF TENT PAD
31	592091.74	2596209.81	EDGE OF TENT PAD
32	592037.11	2596263.80	RADIUS POINT
33	592062.44	2596191.33	EDGE OF TENT PAD
34	592052.68	2596185.17	EDGE OF TENT PAD
35	592023.38	2596166.68	EDGE OF TENT PAD
36	591990.54	2596218.09	RADIUS POINT
37	591978.49	2596158.29	EDGE OF TENT PAD
38	591950.43	2596168.90	EDGE OF TENT PAD
39	591935.50	2596189.11	EDGE OF TENT PAD
40	591916.50	2596212.33	EDGE OF TENT PAD

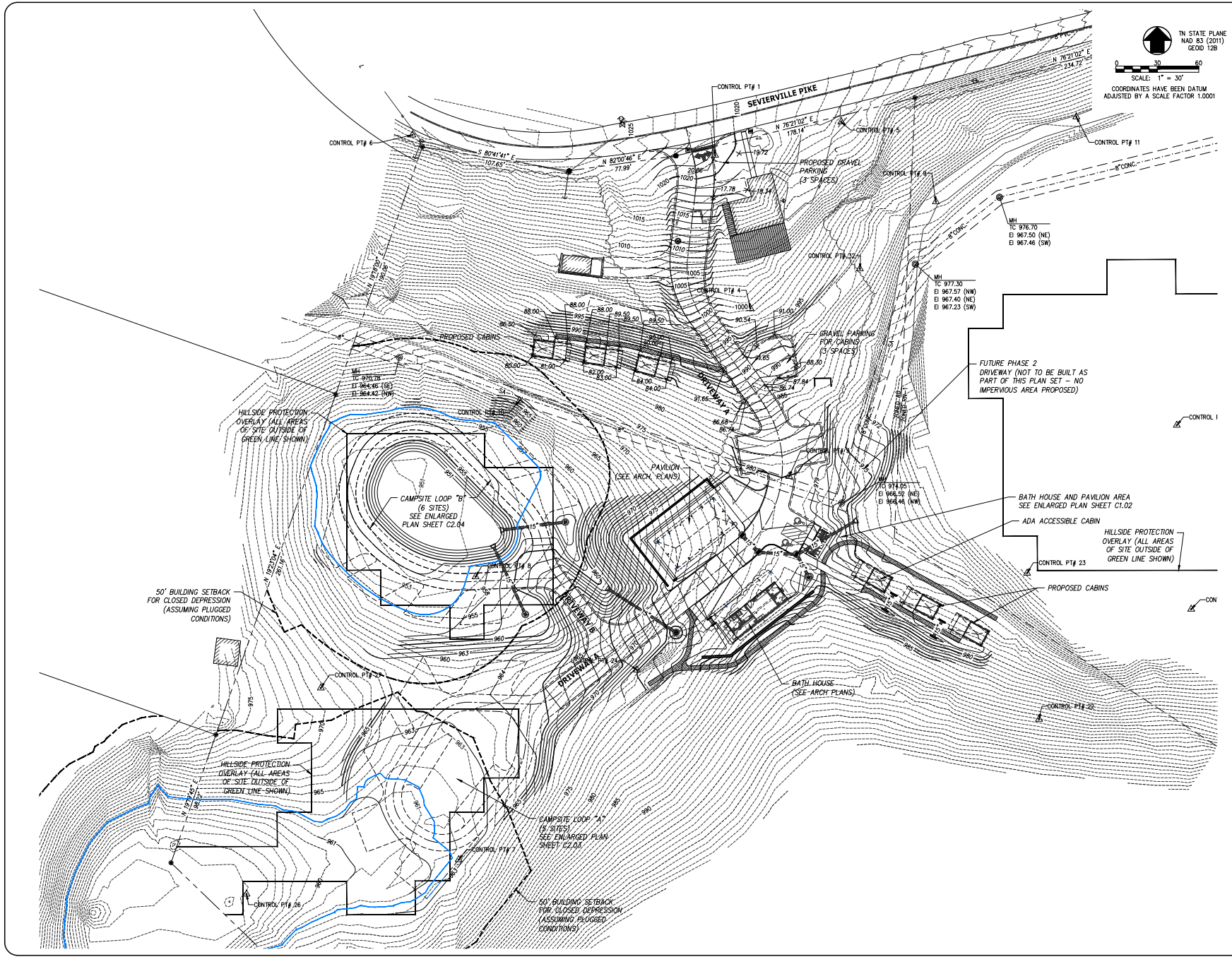
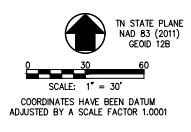
COORDINATE TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
41	591964.29	2596251.43	EDGE OF TENT PAD
42	591987.09	2596223.57	RADIUS POINT
43	592024.43	2596319.67	RADIUS POINT
44	592033.42	2596230.95	EDGE OF GRAVEL PARKING
45	591995.36	2596206.94	EDGE OF GRAVEL PARKING
46	591979.49	2596232.86	EDGE OF GRAVEL PARKING
47	592014.32	2596261.35	EDGE OF GRAVEL PARKING
48	592222.12	2596431.68	SEAT WALL (TOP BACK)
49	592219.75	2596415.07	SEAT WALL (TOP BACK)
50	592177.32	2596360.67	SEAT WALL (TOP BACK)
51	592143.15	2596387.32	SEAT WALL (TOP BACK)
52	592117.43	2596427.51	BLDG CORNER
53	592133.32	2596473.77	BLDG CORNER
54	592149.96	2596522.41	EDGE OF SIDEWALK
55	592099.70	2596613.46	EDGE OF SIDEWALK

**HORIZONTAL COORDINATE NOTES:**

- SEAT WALL COORDINATES SHOWN REPRESENT TOP BACK OF WALL LOCATION. ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. BOTTOM OF WALL ELEVATIONS REPRESENT FINISHED GRADE SURFACE AND DO NOT REPRESENT THE FOUNDATION ELEVATIONS. REFERENCE SEAT WALL PLANS FOR FOUNDATION ELEVATIONS AND FINAL TOP OF WALL ELEVATIONS. CONTRACTOR TO VERIFY POINT LOCATION WITH SEAT WALL CONSTRUCTION PLANS PRIOR TO CONSTRUCTION.
- BUILDING CORNER COORDINATES SHOWN REPRESENT OUTSIDE FACE OF BUILDING PER ARCHITECTURAL FLOOR PLAN AND DO NOT REPRESENT FOUNDATION LOCATIONS. CONTRACTOR TO VERIFY POINT LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.

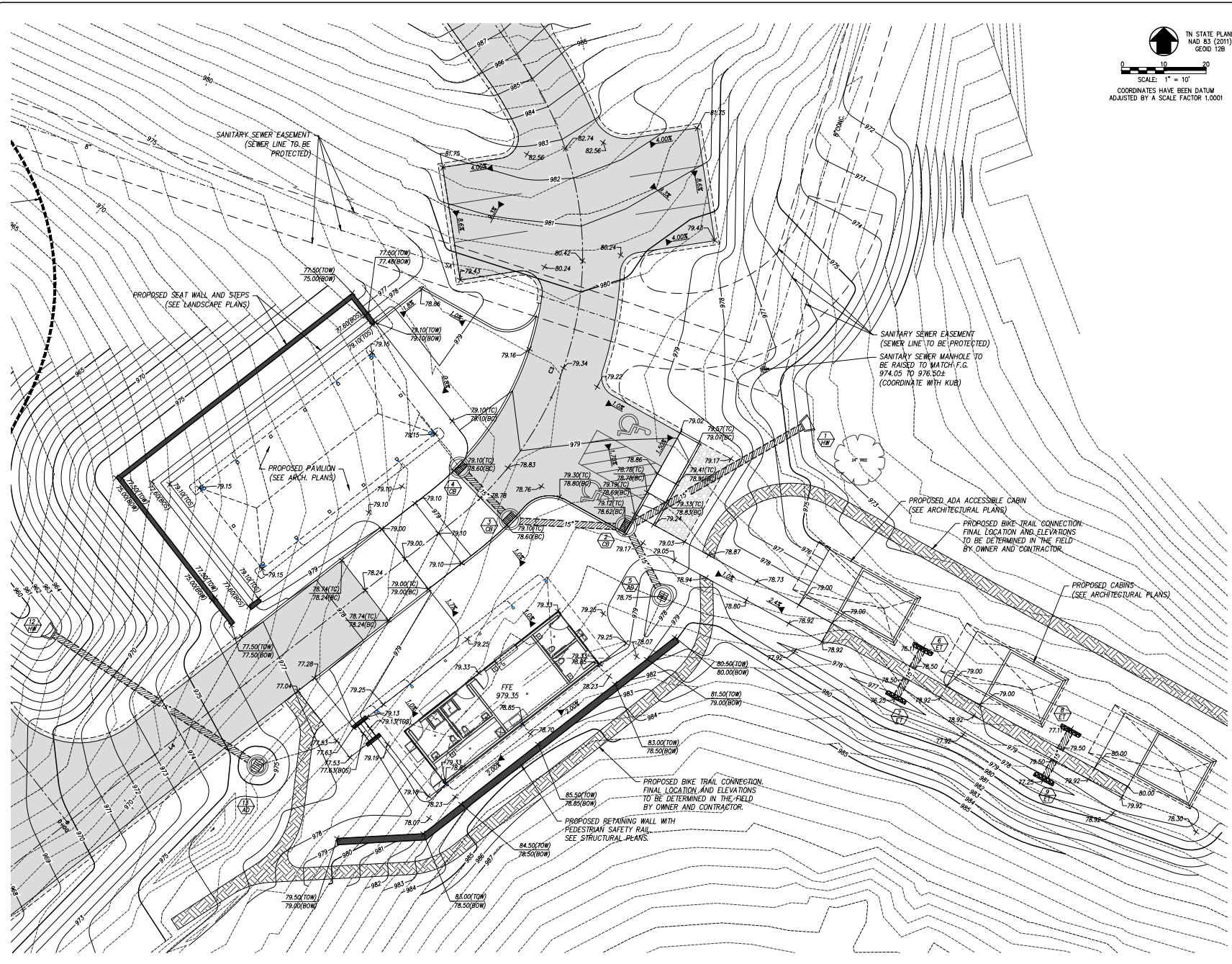
REVISED PER SPECIAL USE REVIEW COMMENTS		03/24/2023												
REVISIONS	DATE													
														
CLIENT:	<b>CARTER MILLER</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753													
PROJECT:	 <b>THE DROP INN</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TN 37920													
<b>COORDINATE TABLES</b>														
<table border="1"> <tr> <td>CSI PROJECT NO.</td> <td>01652-0000</td> </tr> <tr> <td>DRAWING DATE</td> <td>FEBRUARY 27, 2023</td> </tr> <tr> <td>PN</td> <td>REL</td> <td>PC</td> <td>HED</td> </tr> <tr> <td>DRAWN</td> <td>JRH</td> <td>CHECKED</td> <td>JRH</td> </tr> </table>			CSI PROJECT NO.	01652-0000	DRAWING DATE	FEBRUARY 27, 2023	PN	REL	PC	HED	DRAWN	JRH	CHECKED	JRH
CSI PROJECT NO.	01652-0000													
DRAWING DATE	FEBRUARY 27, 2023													
PN	REL	PC	HED											
DRAWN	JRH	CHECKED	JRH											
<b>SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU</b>														
<b>C1.05</b>														

- SITE GRADING AND DRAINAGE NOTES:**
1. SEE SHEET C2.02 FOR GENERAL NOTES AND LEGENDS.
  2. SEE SHEET C2.02, C2.03, AND C2.04 FOR ENLARGED GRADING PLANS FOR ADDITIONAL INFORMATION.
  3. SEE SHEET C2.05 AND C2.06 FOR DRIVEWAY PROFILES.



REVISED PER SPECIAL USE REVIEW COMMENTS	03/24/2023													
REVISIONS	DATE													
<b>CANNON-CANNON</b>														
CLIENT:	<b>CARTER MILLER</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753													
PROJECT:	<b>THE DROP INN</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TN 37920													
<b>SITE GRADING AND DRAINAGE PLAN (OVERALL)</b>														
<table border="1"> <tr> <td>CSI PROJECT NO.</td> <td>01852-0000</td> </tr> <tr> <td>DRAWING DATE</td> <td>FEBRUARY 27, 2023</td> </tr> <tr> <td>PN</td> <td> <table border="1"> <tr> <td>REL</td> <td>PC</td> <td>HED</td> </tr> <tr> <td>DRAWN</td> <td>JRH</td> <td>CHECKED</td> <td>JRH</td> </tr> </table> </td> </tr> </table>		CSI PROJECT NO.	01852-0000	DRAWING DATE	FEBRUARY 27, 2023	PN	<table border="1"> <tr> <td>REL</td> <td>PC</td> <td>HED</td> </tr> <tr> <td>DRAWN</td> <td>JRH</td> <td>CHECKED</td> <td>JRH</td> </tr> </table>	REL	PC	HED	DRAWN	JRH	CHECKED	JRH
CSI PROJECT NO.	01852-0000													
DRAWING DATE	FEBRUARY 27, 2023													
PN	<table border="1"> <tr> <td>REL</td> <td>PC</td> <td>HED</td> </tr> <tr> <td>DRAWN</td> <td>JRH</td> <td>CHECKED</td> <td>JRH</td> </tr> </table>	REL	PC	HED	DRAWN	JRH	CHECKED	JRH						
REL	PC	HED												
DRAWN	JRH	CHECKED	JRH											
<b>SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU</b>														
<b>C2.01</b>														





TN STATE PLANE  
NAD 83 (2011)  
GEOID 128

0 10 20  
SCALE: 1" = 10'  
COORDINATES HAVE BEEN DATUM  
ADJUSTED BY A SCALE FACTOR 1.0001

- SITE GRADING AND DRAINAGE NOTES:**
1. SEE SHEET C2.02 FOR GENERAL NOTES AND LEGENDS.
  2. SEE SHEET C2.01 FOR OVERALL SITE GRADING AND DRAINAGE PLAN.
  3. SEE SHEET C2.03 FOR CAMPSITE LOOP "A" ENLARGED GRADING PLAN.
  4. SEE SHEET C2.04 FOR CAMPSITE LOOP "B" ENLARGED GRADING PLAN.

SANITARY SEWER EASEMENT  
(SEWER LINE TO BE PROTECTED)

PROPOSED SEAT WALL AND STEPS  
(SEE LANDSCAPE PLANS)

PROPOSED PAVILION  
(SEE ARCH. PLANS)

SANITARY SEWER EASEMENT  
(SEWER LINE TO BE PROTECTED)  
SANITARY SEWER MANHOLE TO  
BE RAISED TO MATCH F.G.  
974.05 TO 976.50±  
(COORDINATE WITH KUB)

PROPOSED ADA ACCESSIBLE CABIN  
(SEE ARCHITECTURAL PLANS)

PROPOSED BIKE TRAIL CONNECTION:  
FINAL LOCATION AND ELEVATIONS  
TO BE DETERMINED IN THE FIELD  
BY OWNER AND CONTRACTOR.

PROPOSED CABINS  
(SEE ARCHITECTURAL PLANS)

PROPOSED BIKE TRAIL CONNECTION:  
FINAL LOCATION AND ELEVATIONS  
TO BE DETERMINED IN THE FIELD  
BY OWNER AND CONTRACTOR.

PROPOSED RETAINING WALL WITH  
PEDESTRIAN SAFETY RAIL  
SEE STRUCTURAL PLANS.

REVISED PER SPECIAL USE REVIEW COMMENTS 03/24/2023

REVISIONS	DATE



CLIENT: **CARTER MILLER**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TENNESSEE 37920  
(865) 455-6753

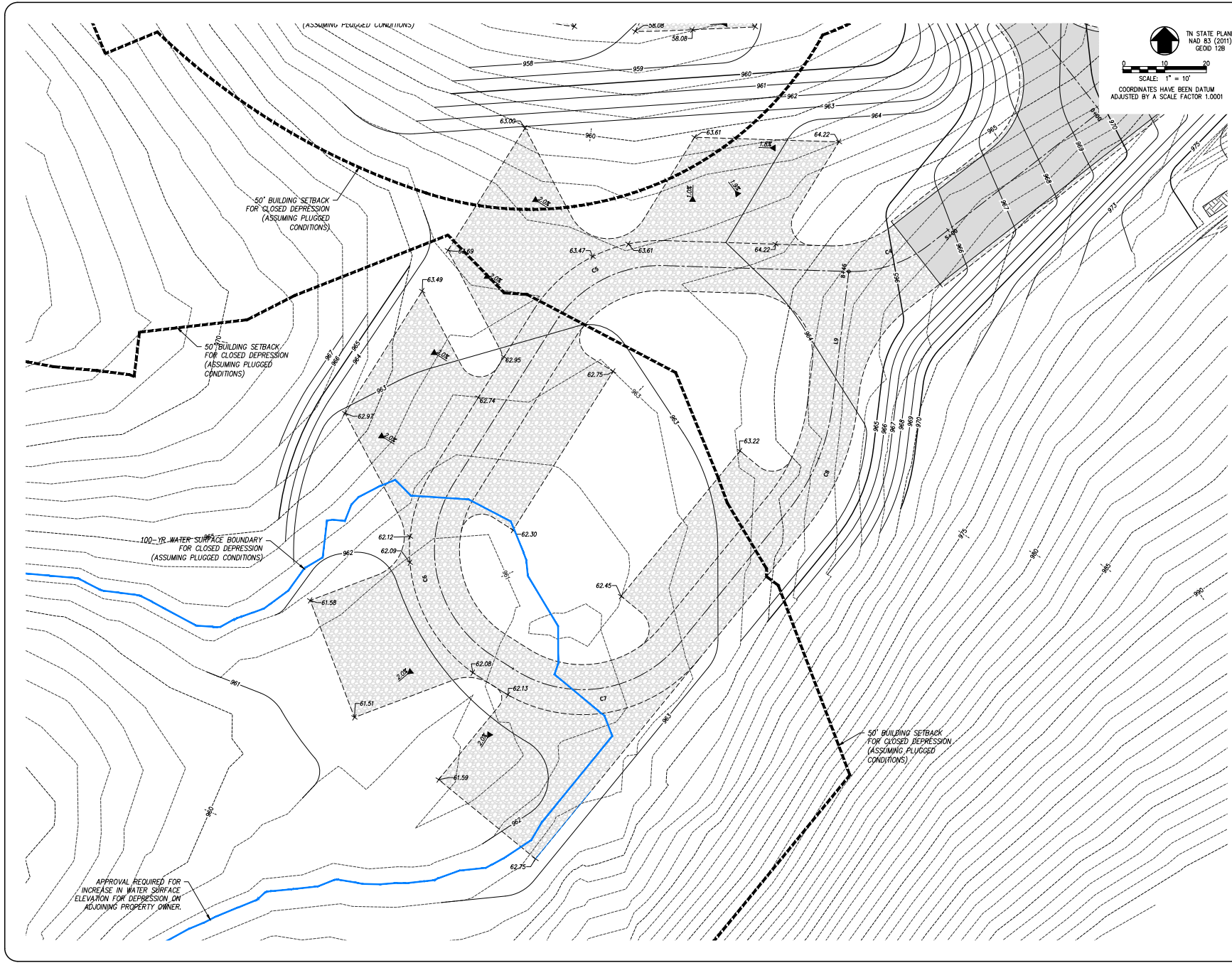
PROJECT: **THE DROP INN**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920


**ENLARGED GRADING PLAN  
BATH HOUSE AND PAVILION**

CD PROJECT NO.	01650-0000
DRAWING DATE	FEBRUARY 27, 2023
PN	RGL HED
DRWN	JRH CHECKED JRH



**SPECIAL USE  
SUBMITTAL  
FILE NO.  
4-E-23-SU**

**C2.02**

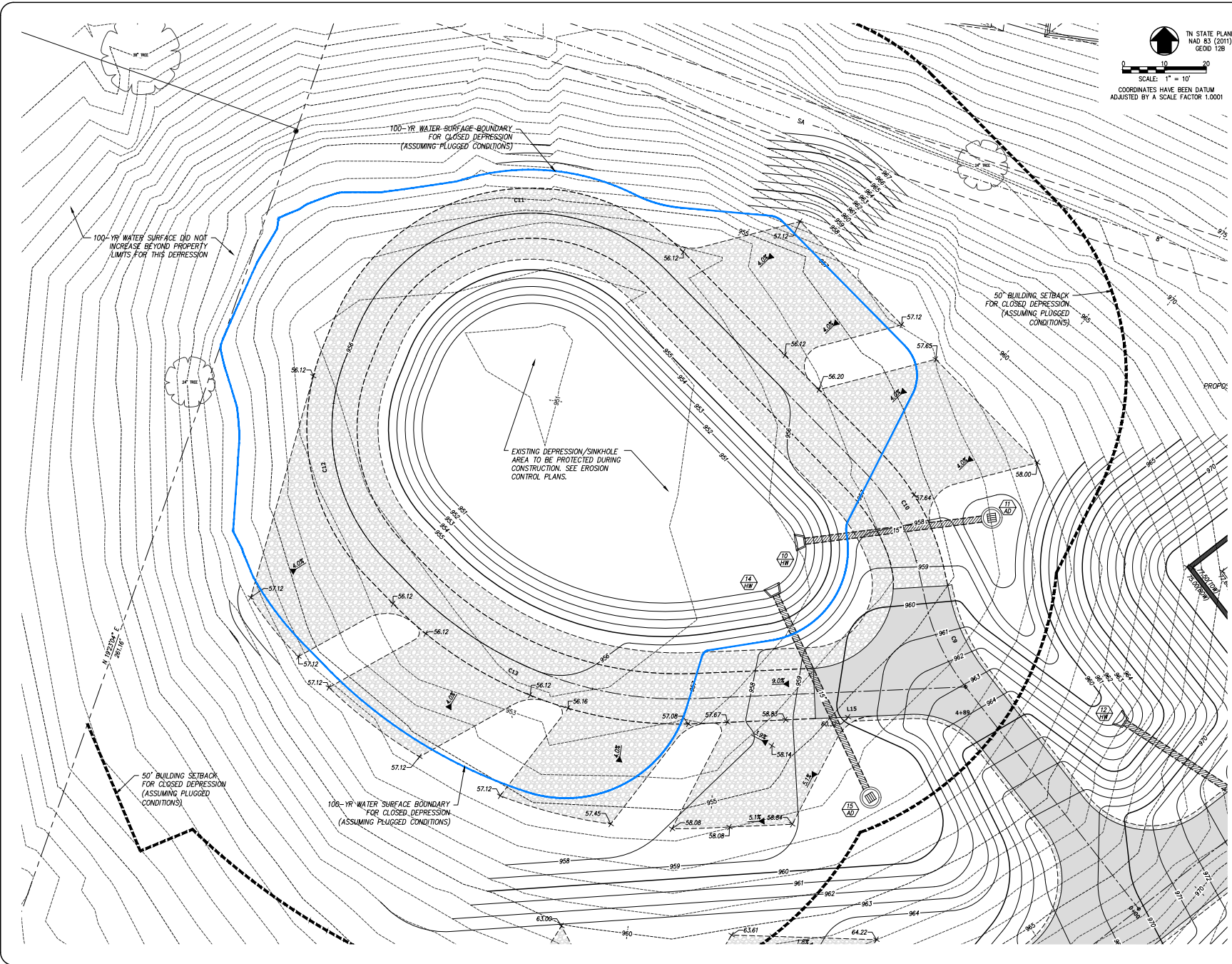


 TN STATE PLANE  
 NAD 83 (2011)  
 GEOID 12B  
 SCALE: 1" = 10'  
 COORDINATES HAVE BEEN DATUM  
 ADJUSTED BY A SCALE FACTOR 1.0001

- NOTES:**
1. SEE SHEET C2.01 FOR OVERALL SITE GRADING AND DRAINAGE PLAN AND APPLICABLE NOTES.
  2. SEE SHEET C2.02 FOR BATH HOUSE AND PAVILION ENLARGED GRADING PLAN.
  3. SEE SHEET C2.04 FOR CAMPSITE LOOP 'B' ENLARGED GRADING PLAN.

	REVISED PER SPECIAL USE REVIEW COMMENTS 03/24/2023								
REVISIONS	DATE								
CLIENT: <b>CARTER MILLER</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753									
PROJECT:  <b>THE DROP INN</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TN 37920									
<b>ENLARGED GRADING PLAN          CAMPSITE LOOP 'A'</b>									
<b>SPECIAL USE          SUBMITTAL          FILE NO.          4-E-23-SU</b>	CCI PROJECT NO. 01650-0000 DRAWING DATE: FEBRUARY 27, 2023 <table border="1"> <tr> <td>PN</td> <td>RGL</td> <td>PC</td> <td>HED</td> </tr> <tr> <td>DRAWN</td> <td>JRH</td> <td>CHECKED</td> <td>JRH</td> </tr> </table>	PN	RGL	PC	HED	DRAWN	JRH	CHECKED	JRH
PN	RGL	PC	HED						
DRAWN	JRH	CHECKED	JRH						
<b>C2.03</b>									





TN STATE PLANE  
NAD 83 (2011)  
GEOD 12B

SCALE: 1" = 10'

COORDINATES HAVE BEEN DATUM ADJUSTED BY A SCALE FACTOR 1.0001

- NOTES:**
1. SEE SHEET C2.01 FOR OVERALL SITE GRADING AND DRAINAGE PLAN AND APPLICABLE NOTES.
  2. SEE SHEET C2.02 FOR BATH HOUSE AND PAVILION ENLARGED GRADING PLAN.
  3. SEE SHEET C2.03 FOR CAMPSITE LOOP 'A' ENLARGED GRADING PLAN.

REVISED PER SPECIAL USE REVIEW COMMENTS 03/24/2023

REVISIONS DATE



CLIENT: **CARTER MILLER**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TENNESSEE 37920  
(865) 455-6753

PROJECT: **THE DROP INN**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

ENLARGED GRADING PLAN  
CAMPSITE LOOP 'B'

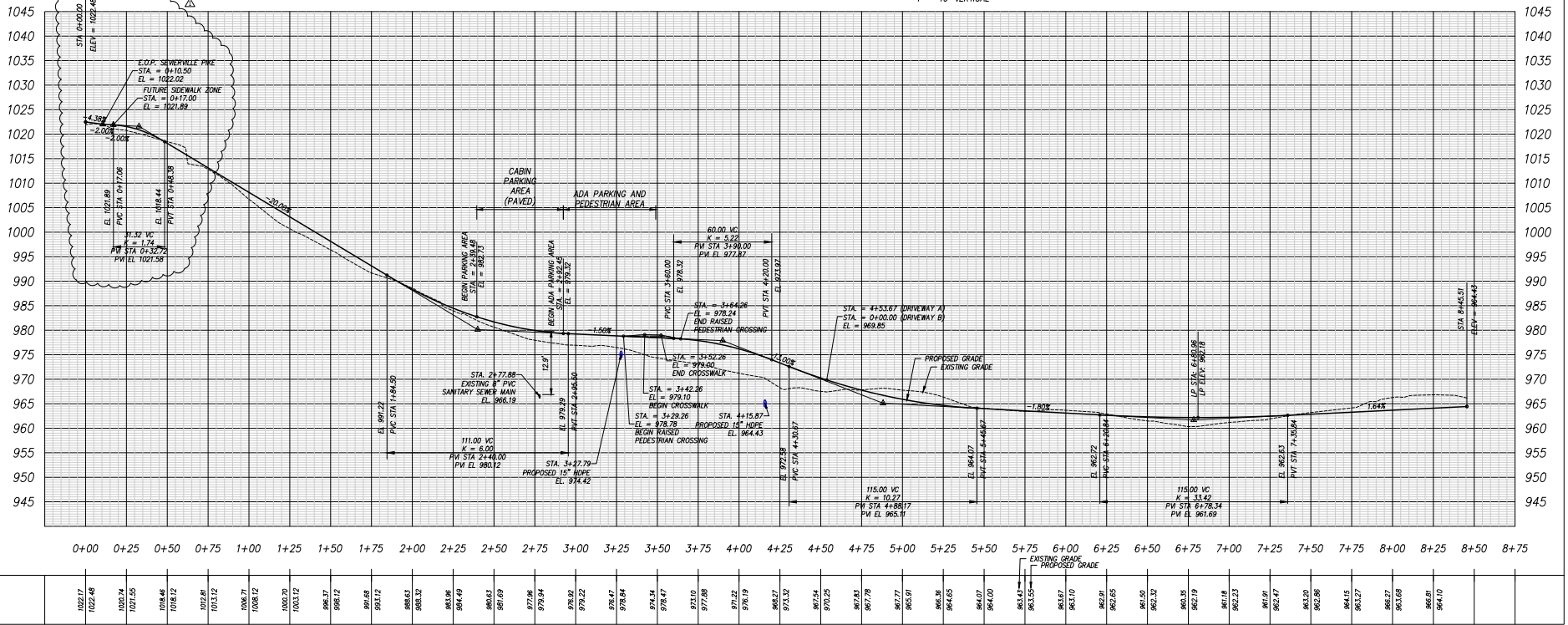
CSI PROJECT NO. 01850-0000  
DRAWING DATE FEBRUARY 27, 2023

PN	RGL	PK	HED
DRAWN	JRH	CHECKED	JRH

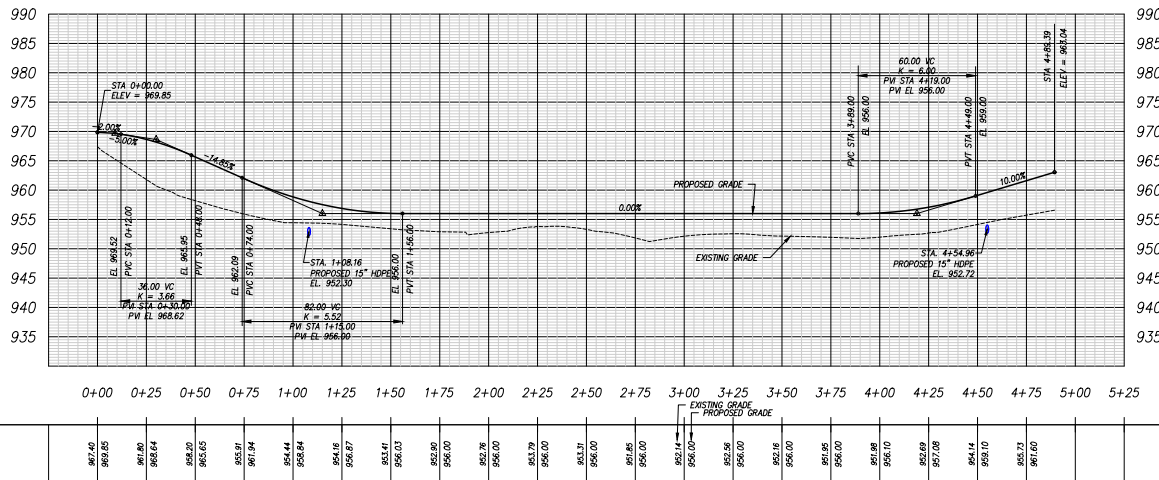
**SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU**

**C2.04**

**DRIVEWAY A PROFILE** SCALE: 1" = 30' HORIZONTAL  
1" = 10' VERTICAL



**DRIVEWAY B PROFILE** SCALE: 1" = 30' HORIZONTAL  
1" = 10' VERTICAL



REVISED PER SPECIAL USE REVIEW COMMENTS 03/24/2023

REVISIONS DATE

**CANNON-CANNON**

CLIENT: **CARTER MILLER**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TENNESSEE 37920  
(865) 455-6753

PROJECT: **THE DROP INN**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

**DRIVEWAY PROFILES**

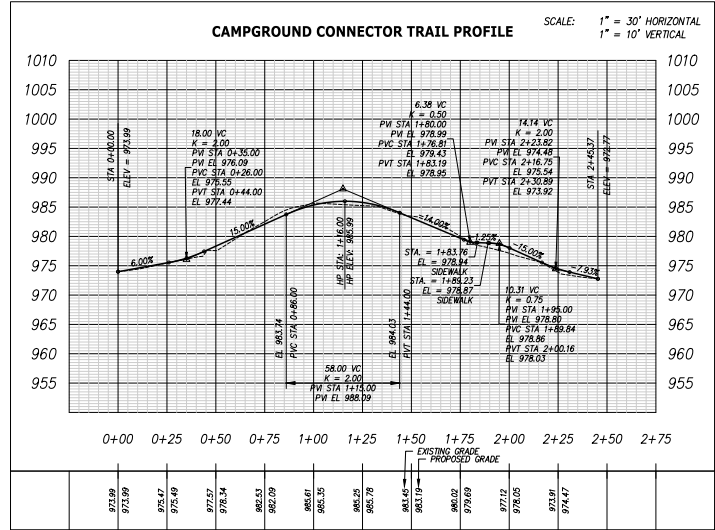
CSI PROJECT NO. 01852-0000  
DRAWING DATE FEBRUARY 27, 2023

**SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU**

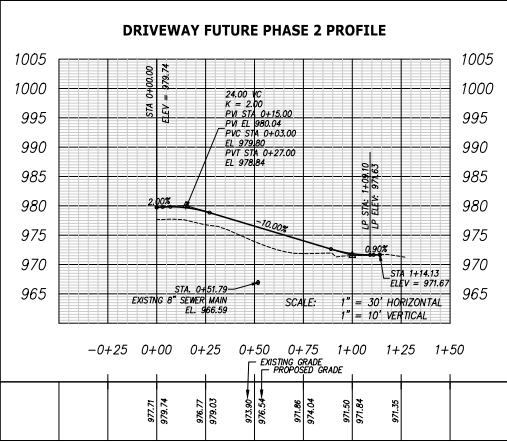
PN RGL PJC HED  
DRWN JRH CHECKED JRH

**C2.05**

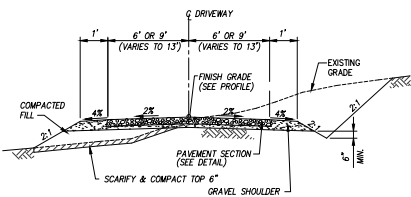




**SPECIAL NOTE:**  
1. PROFILE SHOWN FOR CAMPGROUND CONNECTOR BIKE TRAIL IS FOR INFORMATIONAL PURPOSES ONLY. OWNER AND CONTRACTOR TO FIELD LOCATE TRAIL AS REQUIRED TO COORDINATE WITH EXISTING GRADES AND PROPOSED GRADES SHOWN AS NEEDED TO PROVIDE A SUITABLE BIKE TRAIL.

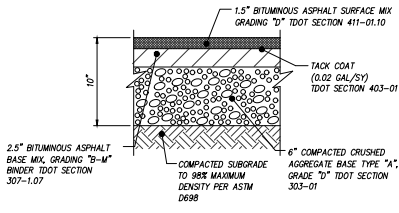


REVISED PER SPECIAL USE REVIEW COMMENTS	03/24/2023								
REVISIONS	DATE								
<b>CLIENT:</b> <b>CARTER MILLER</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TENNESSEE 37920 (865) 455-6753									
<b>PROJECT:</b> <b>THE DROP INN</b> 4507 SEVIERVILLE PIKE KNOXVILLE, TN 37920									
<b>DRIVEWAY PROFILES</b>									
CSI PROJECT NO. 01652-0000 DRAWING DATE: FEBRUARY 27, 2023									
<b>SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU</b>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>PN</td><td>REL</td><td>PC</td><td>HED</td></tr> <tr> <td>DRAWN</td><td>JRH</td><td>CHECKED</td><td>JRH</td></tr> </table>	PN	REL	PC	HED	DRAWN	JRH	CHECKED	JRH
PN	REL	PC	HED						
DRAWN	JRH	CHECKED	JRH						
C2.06									



- NOTE:
1. SEE PLANS FOR LOCATIONS OF 12' DRIVEWAY, 18' DRIVEWAY AND 26' DRIVEWAY.
  2. SEE ASPHALT PAVING DETAIL THIS SHEET.

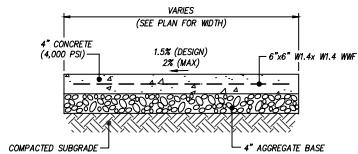
**01 TYPICAL DRIVEWAY SECTION**  
N.T.S.



NOTE:

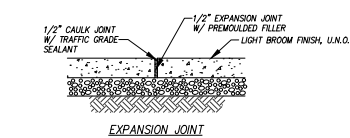
1. ALL MATERIALS AND CONSTRUCTION SPECIFICATIONS SHALL MEET TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) STANDARD SPECIFICATIONS.

**02 ASPHALT PAVEMENT**  
N.T.S.



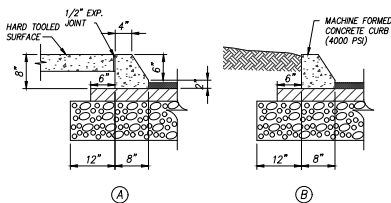
- NOTES:
1. WHERE NECESSARY TO REMOVE PARTS OF EXISTING SIDEWALKS OR RAMPS, THE RESULTING EDGES SHALL BE CUT TO A NEAT LINE, AND ANY OFFSETS IN SUCH LINES SHALL BE MADE AT RIGHT ANGLES.
  2. MINERAL AGGREGATE BASE SHALL BE CRUSHED STONE, CLASS "A" AGGREGATE, GRADING "D".
  3. PREFORMED EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 20' O.C. AND WHERE THE SIDEWALK IS IN CONTACT WITH STREET RETURNS, ON BUILDING LINES, WHERE WALKS LEAD TO BUILDING ENTRANCES, AT FIXED OBJECTS AND OTHER LOCATIONS WHERE STRESSES MAY DEVELOP.
  4. EQUALLY SPACE CONTRACTION JOINTS AT 5' O.C. (MAX.) BETWEEN EXPANSION JOINTS.
  5. SIDEWALK SHALL BE SLOPED AWAY FROM BUILDING CONCRETE SURFACE TO BE LIGHT BROOM FINISH.
  6. SIDEWALKS WHICH DO NOT MEET ADA STANDARDS WITH REGARD TO RUNNING SLOPE AND CROSS SLOPES WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

**03 CONCRETE SIDEWALK**  
N.T.S.



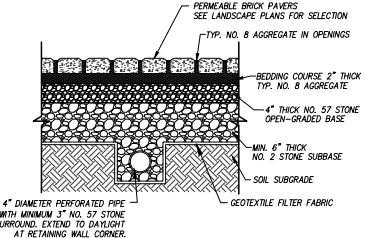
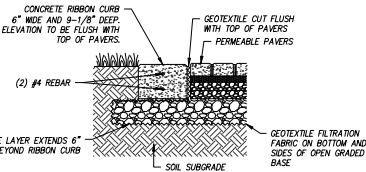
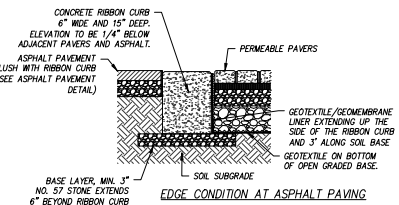
- NOTES:
1. SEE SIDEWALK DETAIL FOR NOTES AND DIMENSIONS.

**04 SIDEWALK CONTROL JOINTS**  
N.T.S.



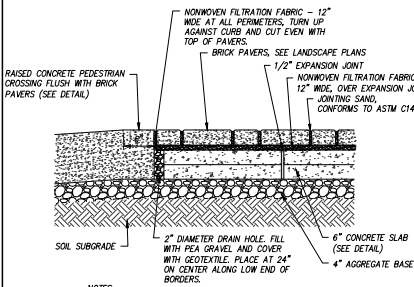
- NOTES:
1. PREFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 30' MAX. CENTERS. EQUALLY SPACE 1/4" CONTRACTION JOINTS AT 10' MAX. CENTERS BETWEEN EXPANSION JOINTS.
  2. EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES, BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.

**05 EXTRUDED CURB**  
N.T.S.



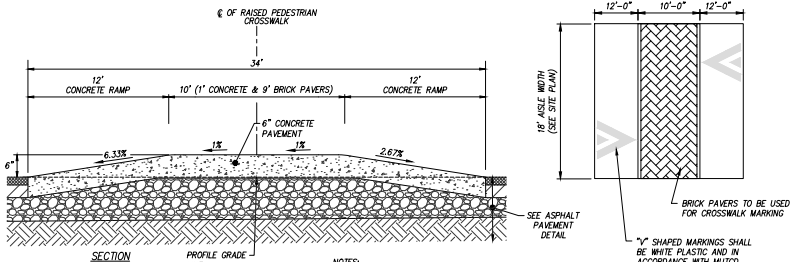
- NOTES:
1. PAVER SELECTION, INSTALLATION PATTERN, AND COLOR TO BE PROVIDED BY LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  2. ALL STONE SHALL BE CLEAN AND WASHED STONE.
  3. INSTALL PER PAVER MANUFACTURER'S STANDARD DETAILS AND SPECIFICATIONS.
  4. PERMEABLE PAVERS ARE NOT BEING USED TO MEET FIRST FLOOD WATER QUALITY TREATMENT OR FOR DETENTION PURPOSES. THEREFORE, EASEMENTS OR VERIFICATION OF STORAGE PROVIDED IS NOT REQUIRED.
  5. INSTALL PRECAST PARKING BUMPER (WHEEL STOP) ON PAVERS BY CORE DRILLING A 3/4" HOLE THROUGH PAVER TO RECEIVE A #5 REBAR. EXTEND THROUGH BOTTOM OF PAVER PER WHEEL STOP DETAIL.

**06 PERMEABLE PAVERS**  
N.T.S.



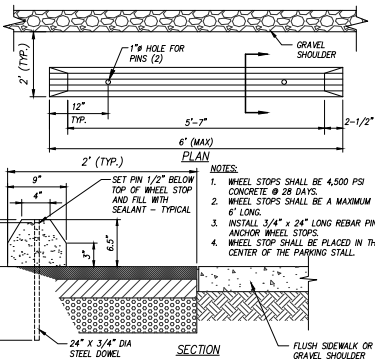
- NOTES:
1. PAVER SELECTION, INSTALLATION PATTERN, AND COLOR TO BE PROVIDED BY LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  2. ENSURE THE GEOTEXTILE ABOVE THE DRAIN HOLE HAS GOOD DRAINAGE CHARACTERISTICS AND IS NOT PRONE TO CLOSING.
  3. TECHNICAL HP NEXTEL JOINTING SAND CONFORMING TO ASTM C144 SHALL BE USED.

**07 BRICK PAVERS ON CONCRETE BASE**  
N.T.S.



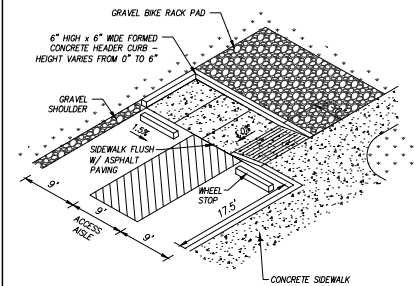
- NOTES:
1. INSTALL CROSSWALK STRIPING PER MUTCD STANDARDS.
  2. SEE ASPHALT AND CONCRETE PAVEMENT DETAILS FOR INSTALLATION AND SECTION DETAILS.

**08 RAISED PEDESTRIAN CROSSWALK**  
N.T.S.



- NOTES:
1. WHEEL STOPS SHALL BE 4,500 PSI CONCRETE @ 28 DAYS.
  2. WHEEL STOPS SHALL BE A MAXIMUM OF 6' LONG.
  3. INSTALL 3/4" x 24" LONG REBAR PINS TO ANCHOR WHEEL STOP.
  4. WHEEL STOP SHALL BE PLACED IN THE CENTER OF THE PARKING SPACE.

**09 WHEEL STOP**  
N.T.S.



- NOTE:
1. SEE DETAILS THIS SHEET FOR WHEEL STOP, SIGNAGE, PAVEMENT MARKINGS AND CURB RAMPS.

**10 ACCESSIBLE PARKING CURB RAMP**  
N.T.S.

REVISED PER SPECIAL USE REVIEW COMMENTS 03/24/2023

REVISIONS DATE

**CANNON & CANNON INC.**  
CONSULTING ENGINEERS - FIELD SURVEYORS  
865.670.8555 8550 Kingston Plaza  
www.cannon-cannon.com Knoxville, TN 37919

CLIENT: **CARTER MILLER**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TENNESSEE 37920  
(865) 455-6753

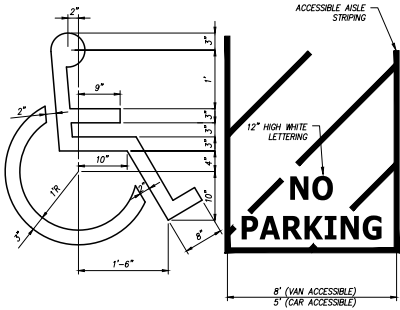
PROJECT: **THE DROP INN**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

SITE DETAILS

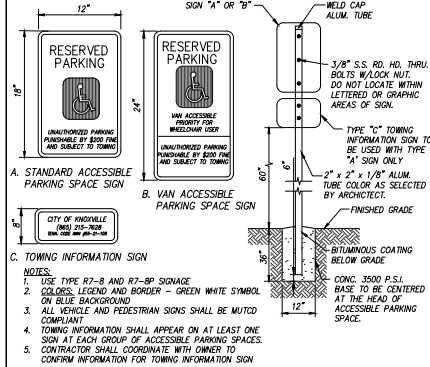
CD PROJECT NO.	01552-0000
DRAWING DATE	FEBRUARY 27, 2023
PN	REL. PRC. HED.
DRAWN	JRH. CHECKED: JRH.

**SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU**

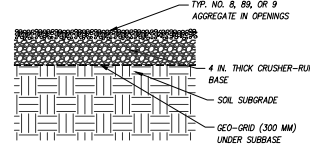
**C4.01**



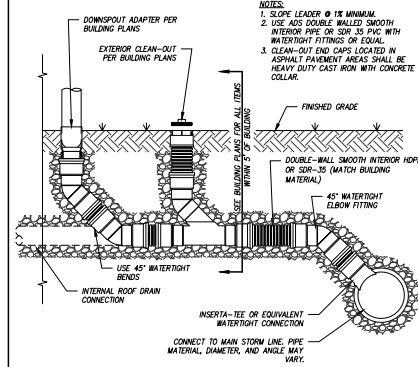
11 ACCESSIBLE PARKING SYMBOL  
N.T.S.



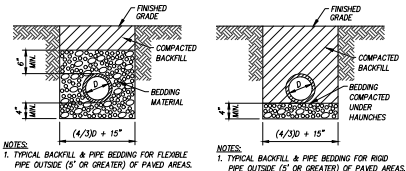
12 ACCESSIBLE PARKING SIGN  
N.T.S.



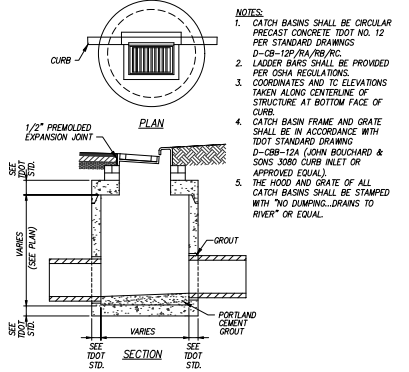
13 GRAVEL CAMPSITE PAD  
N.T.S.



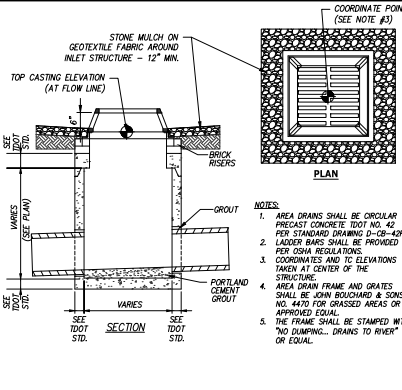
14 DOWNSPOUT/ROOF DRAIN CONNECTION  
N.T.S.



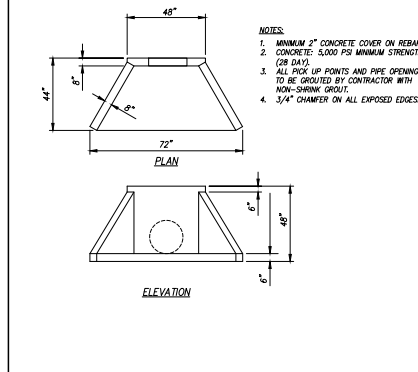
15 PIPE BEDDING & BACKFILL  
N.T.S.



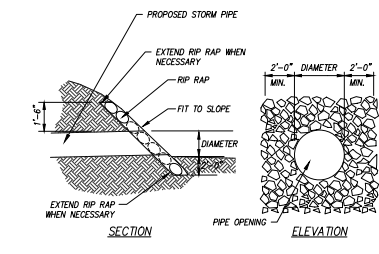
16 PRECAST CATCH BASIN  
N.T.S.



17 PRECAST AREA DRAIN  
N.T.S.



18 PRECAST MAIN HEADWALL  
N.T.S.



19 RIP RAP ENDWALL  
N.T.S.

STORM DRAINAGE STRUCTURES					
NO.	DESCRIPTION	LOCATION	TOP OF CASTING	INVERT EL. (IN)	INVERT EL. (OUT)
1	PRECAST SMALL HEADWALL SEE DETAIL 18, SHEET C4.02	N 592788.63 E 2596521.88	974.11	972.25(2)	
2	PRECAST CATCH BASIN SEE DETAIL 16, SHEET C4.02	N 592765.72 E 2596484.42	978.62	973.98(1)	973.59
3	PRECAST CATCH BASIN SEE DETAIL 16, SHEET C4.02	N 592767.27 E 2596452.86	978.60	974.24(4)	974.14
4	PRECAST CATCH BASIN SEE DETAIL 16, SHEET C4.02	N 592765.18 E 2596440.52	978.60		974.60
5	PRECAST AREA DRAIN SEE DETAIL 17, SHEET C4.02	N 592748.28 E 2596488.73	978.75		974.75
6	RP-RAP END TREATMENT SEE DETAIL 19, SHEET C4.02	N 592757.29 E 2596505.64	977.87	976.1(7)	
7	RP-RAP END TREATMENT SEE DETAIL 19, SHEET C4.02	N 592725.03 E 2596543.77	-2.50		976.25
8	RP-RAP END TREATMENT SEE DETAIL 19, SHEET C4.02	N 592717.96 E 2596526.56	978.97	977.1(9)	
9	RP-RAP END TREATMENT SEE DETAIL 19, SHEET C4.02	N 592705.70 E 2596576.29	-2.50		977.25
10	PRECAST SMALL HEADWALL SEE DETAIL 18, SHEET C4.02	N 592766.60 E 2596397.74	-2.95	951.50(1)	
11	PRECAST AREA DRAIN SEE DETAIL 17, SHEET C4.02	N 592789.23 E 2596534.33	957.00		953.00
12	PRECAST AREA DRAIN SEE DETAIL 17, SHEET C4.02	N 592746.39 E 2596534.33	-3.06	961.00(1)	
13	PRECAST AREA DRAIN SEE DETAIL 17, SHEET C4.02	N 592709.37 E 2596582.74	974.00		966.00
14	PRECAST SMALL HEADWALL SEE DETAIL 18, SHEET C4.02	N 592771.01 E 2596260.89	-2.96	951.50(1)	
15	PRECAST AREA DRAIN SEE DETAIL 17, SHEET C4.02	N 592722.47 E 2596533.67	958.00		954.00

STORM PIPE TABLE				
FROM	TO	DIAMETER	LENGTH (LF)	SLOPE (%)
1	2	15"ØPE	49	2.78%
2	5	15"ØPE	19	6.33%
2	3	15"ØPE	20	1.99%
3	4	15"ØPE	18	2.00%
6	7	15"ØPE	14	1.00%
8	9	15"ØPE	14	1.00%
10	11	15"ØPE	45	3.00%
12	13	15"ØPE	58	8.00%
14	15	15"ØPE	54	4.66%

**SPECIAL NOTES:**  
1. STORM PIPE LENGTHS LOCATED IN STORM PIPE TABLE REPRESENT CENTER OF STRUCTURE TO CENTER OF STRUCTURE (COORDINATE TO COORDINATE). CONTRACTOR TO ADJUST LENGTHS AS NEEDED BASED ON SIZE OF STRUCTURE.  
2. CONTRACTOR SHALL INSTALL ROOF DRAIN CONNECTIONS AT A MINIMUM 1% SLOPE. CONTRACTOR TO CONNECT INSERTA TEE OR EQUAL TO STORM PIPE IN ACCORDANCE WITH DETAIL 14 SHEET C4.02. CONTRACTOR TO USE VERTICAL BENDS AS NECESSARY TO MAKE CONNECTION.

20 STORM TABLES  
N.T.S.

REVISED PER SPECIAL USE REVIEW COMMENTS 03/24/2023

REVISIONS	DATE

**CANNON & CANNON INC.**  
CONSULTING ENGINEERS - FIELD SURVEYORS  
865.670.8555 8550 Kingston Pike Knoxville, TN 37919

CLIENT: **CARTER MILLER**  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TENNESSEE 37920  
(865) 455-0753

PROJECT: **THE DROP INN** THE DROP INN  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

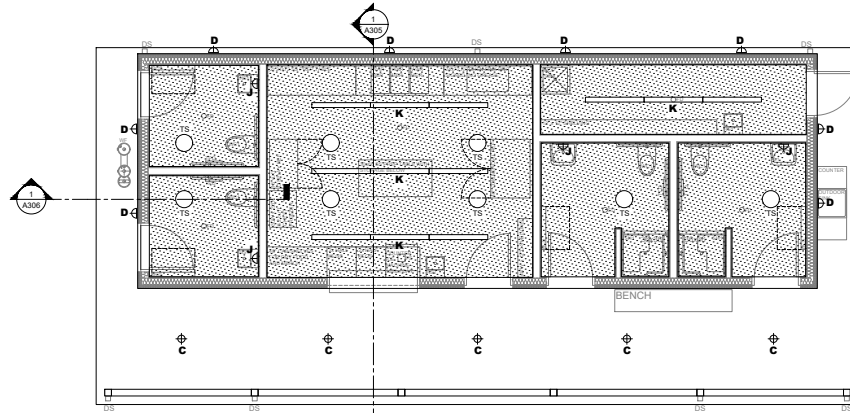
**SITE DETAILS**

CD PROJECT NO.	01552-0000
DRAWING DATE	FEBRUARY 27, 2023
PN	REL. PRC. HED.
DRAWN	JRH. CHECKED JRH.

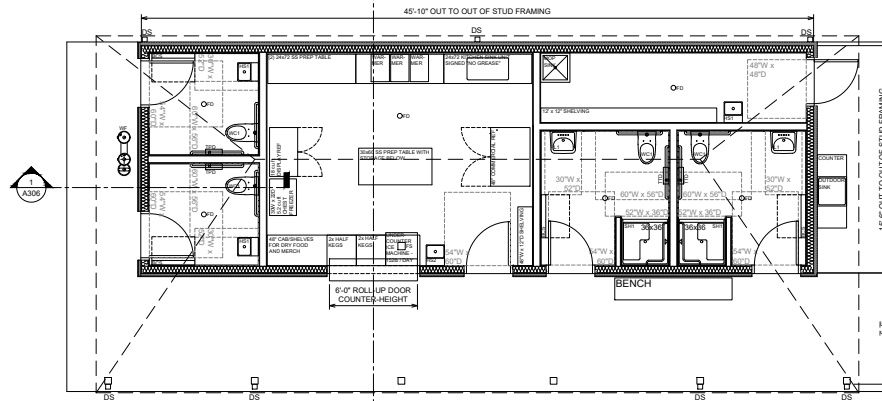
**SPECIAL USE SUBMITTAL FILE NO. 4-E-23-SU**

**C4.02**

© 2023, SPARKMAN & ASSOCIATES ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF SPARKMAN & ASSOCIATES ARCHITECTS, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

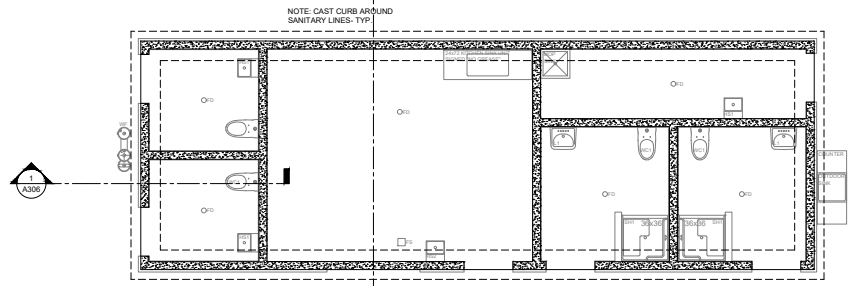


**3 BATH HOUSE CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**2 BATH HOUSE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**REGULATORY REVIEW NOTE**  
ROOF AREA: 1,265 SF  
BUILDING AREA: 710 SF



**1 BATH HOUSE FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**OWNER**  
THE DROP INN  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

**ARCHITECT**  
SPARKMAN & ASSOCIATES  
ARCHITECTS, INC.  
2908 SEVER AVENUE  
KNOXVILLE, TN 37920  
PHONE: (865) 684-8888  
SPARKMANARCHITECT.COM

**NOT FOR CONSTRUCTION**

**CIVIL**  
CANNON & CANNON, INC  
852 KINGSTON PIKE  
KNOXVILLE, TN 37919  
PHONE: (865) 870-8555

**LANDSCAPE**  
HEIDSTROM DESIGN, LLC  
119 WEST MAGNOLIA AVE  
KNOXVILLE, TN 37917  
PHONE: (865) 328-0812

**STRUCTURAL**  
F&S DESIGN & ENGINEERING, PC  
5186 CUSTIS LANE  
KNOXVILLE, TN 37920  
PHONE: (865) 248-8860

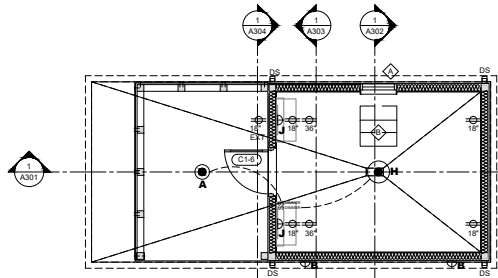
**M/E/P/FP**  
FACILITY SYSTEMS CONSULTANTS  
713 S CENTRAL STREET, SUITE 101  
KNOXVILLE, TN 37902  
PHONE: (865) 248-6164

**PROJECT**  
THE DROP INN  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920  
S&A #: 2157-22  
DRAWN: A. COWWIN  
CHECKED: S. TAROVELLA  
DD COORD: FEBRUARY 17, 2023  
USE ON REV: FEBRUARY 27, 2023  
UOR RESUB 1: MARCH 27, 2023

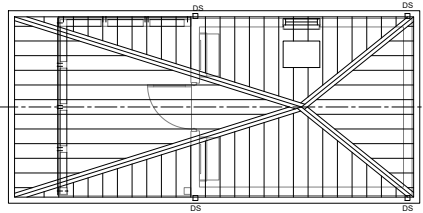
**BATH HOUSE PLANS**

**A103**

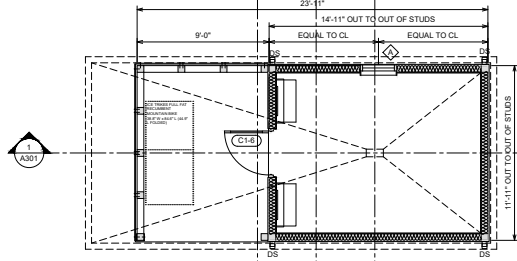
© 2023, SPARKMAN & ASSOCIATES ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF SPARKMAN & ASSOCIATES ARCHITECTS, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.



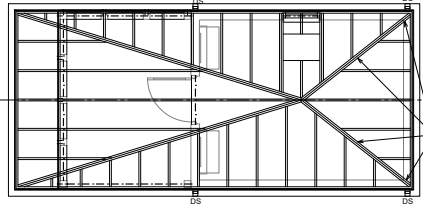
3 CABIN CEILING PLAN  
SCALE: 1/4" = 1'-0"



5 CABIN ROOF PLAN  
SCALE: 1/4" = 1'-0"



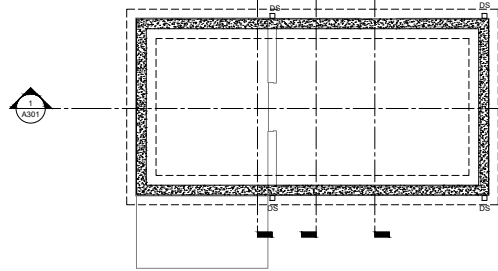
2 CABIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"



4 CABIN ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

SPECIAL COORDINATION NOTE  
POSITION FRAMING AND PROVIDE BLOCKING AS REQUIRED TO ENSURE THAT FINISHED INTERIOR CEILING PLANES CONVERGE TO ALIGN WITH WALL CORNER

REGULATORY REVIEW NOTE  
ROOF AREA: 334 SF  
BUILDING AREA: 178 SF



1 CABIN FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

**OWNER**  
THE DROP INN  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

**ARCHITECT**  
SPARKMAN & ASSOCIATES  
ARCHITECTS, INC.  
2308 SEVER AVENUE  
KNOXVILLE, TN 37920  
PHONE: (605) 684-6888  
SPARKMANARCHITECT.COM

**NOT FOR CONSTRUCTION**

**CIVIL**  
CANNON & CANNON, INC  
852 KINGSTON PIKE  
KNOXVILLE, TN 37919  
PHONE: (605) 670-8555

**LANDSCAPE**  
HEIDSTROM DESIGN, LLC  
110 WEST MAGNOLIA AVE  
KNOXVILLE, TN 37917  
PHONE: (605) 328-0012

**STRUCTURAL**  
F&E DESIGN & ENGINEERING, PC  
5106 CUSTIS LANE  
KNOXVILLE, TN 37920  
PHONE: (605) 246-8960

**M/E/P/FP**  
FACILITY SYSTEMS CONSULTANTS  
713 S CENTRAL STREET, SUITE 101  
KNOXVILLE, TN 37902  
PHONE: (605) 246-6164

**PROJECT**  
THE DROP INN  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

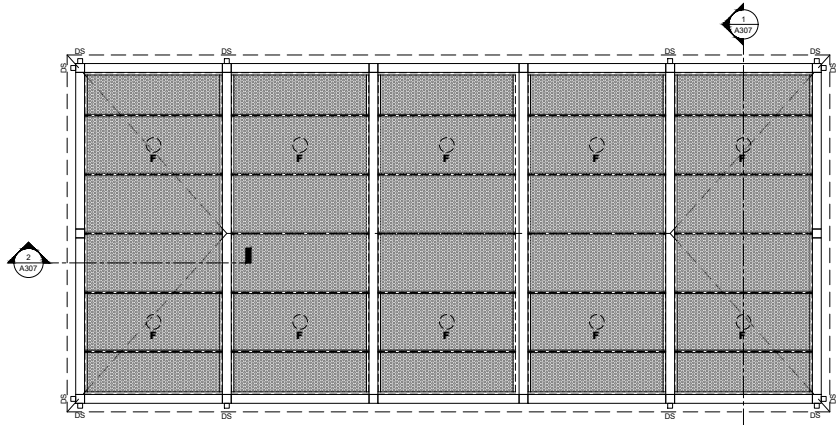
S&A #: 2157-22  
DRAWN: A. COWDIN  
CHECKED: S. TAROVELLA

DD COORD: FEBRUARY 17, 2023  
USE ON REV: FEBRUARY 27, 2023  
UOR RESUB 1: MARCH 27, 2023

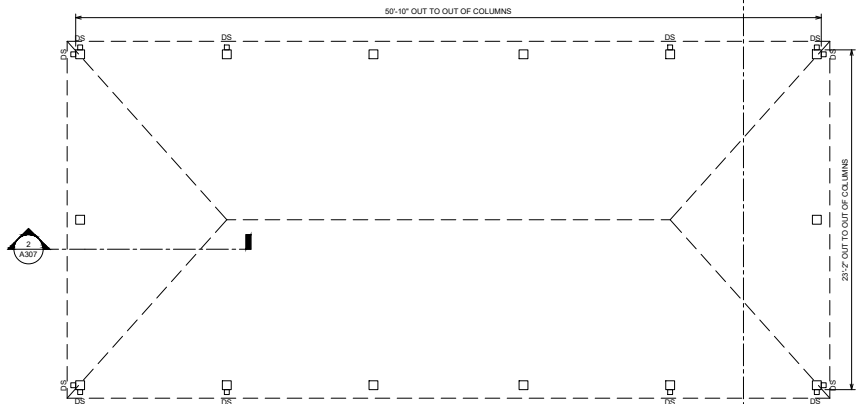
**CABIN PLANS**

**A102**

© 2023, SPARKMAN & ASSOCIATES ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF SPARKMAN & ASSOCIATES ARCHITECTS, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

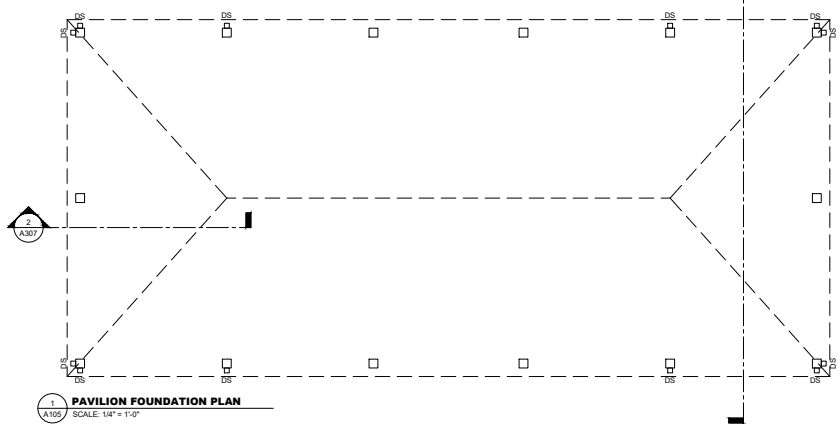


3 PAVILION CEILING PLAN  
SCALE: 1/4" = 1'-0"



2 PAVILION FLOOR PLAN  
SCALE: 1/4" = 1'-0"

REGULATORY REVIEW NOTE  
ROOF AREA: 1,265 SF



1 PAVILION FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

**OWNER**  
THE DROP INN  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920

**ARCHITECT**  
SPARKMAN & ASSOCIATES  
ARCHITECTS, INC.  
2308 SEVER AVENUE  
KNOXVILLE, TN 37920  
PHONE: (865) 684-8888  
SPARKMANARCHITECT.COM

**NOT FOR  
CONSTRUCTION**

**CIVIL**  
CANNON & CANNON, INC  
852 KINGSTON PIKE  
KNOXVILLE, TN 37919  
PHONE: (865) 870-8555

**LANDSCAPE**  
HEDSTROM DESIGN, LLC  
110 WEST MAGNOLIA AVE  
KNOXVILLE, TN 37917  
PHONE: (865) 328-0912

**STRUCTURAL**  
F& DESIGN & ENGINEERING, PC  
5106 CUSTIS LANE  
KNOXVILLE, TN 37920  
PHONE: (865) 246-8860

**M/E/P/FP**  
FACILITY SYSTEMS CONSULTANTS  
713 S CENTRAL STREET, SUITE 101  
KNOXVILLE, TN 37902  
PHONE: (865) 246-6164

**PROJECT**  
THE DROP INN  
4507 SEVIERVILLE PIKE  
KNOXVILLE, TN 37920  
S&A #: 2157-22  
DRAWN: A. GODWIN  
CHECKED: S. TAROVELLA  
DD COORD: FEBRUARY 17, 2023  
USE ON REV: FEBRUARY 27, 2023  
UOR RESUB 1: MARCH 27, 2023

PAVILION PLANS

**A105**







# Development Request

## DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

## SUBDIVISION

- Concept Plan
- Final Plat

## ZONING

- Plan Amendment
  - Sector Plan
  - One Year Plan
- Rezoning

### Carter Miller

Applicant Name \_\_\_\_\_ Affiliation \_\_\_\_\_

**2/28/2023**

Date Filed

**4/13/2023**

Meeting Date (if applicable)

**4-E-23-SU**

File Number(s)

## CORRESPONDENCE

*All correspondence related to this application should be directed to the approved contact listed below.*

### Carter Miller The Drop Inn

Name / Company \_\_\_\_\_

**4507 Sevierville Pike Knoxville TN 37920**

Address \_\_\_\_\_

**865-455-6753 / carter@thedropinnknox.com**

Phone / Email \_\_\_\_\_

## CURRENT PROPERTY INFO

**Carter Miller The Drop Inn**

Owner Name (if different)

**4507 Sevierville Pike Knoxville TN 37920**

Owner Address

**865-455-6753 / carter@thedrop**

Owner Phone / Email

**4507 SEVIERVILLE PIKE**

Property Address \_\_\_\_\_

**109 L D 006**

Parcel ID

Part of Parcel (Y/N)?

**15.67 acres**

Tract Size

**Knoxville Utilities Board**

Sewer Provider

**Knoxville Utilities Board**

Water Provider

Septic (Y/N)

## STAFF USE ONLY

**South side of Sevierville Pike, east of E. Red Bud Rd**

General Location \_\_\_\_\_

City **Council District 1** **AG (General Agricultural), HP (Hillside Protection Overlay)** **Agriculture/Forestry/Vacant Land**

County District Zoning District Existing Land Use

**South City**

Planning Sector

**LDR (Low Density Residential), HP (Hillside Protection)**

Sector Plan Land Use Classification

**N/A (Within City Limits)**

Growth Policy Plan Designation

## DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) <b>Campground</b>	

## SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information _____	
<input type="checkbox"/> Attachments / Additional Requirements	

## ZONING REQUEST

<input type="checkbox"/> Zoning Change	Pending Plat File Number
Proposed Zoning	
<input type="checkbox"/> Plan Amendment	Proposed Plan Designation(s)

Proposed Density (units/acre)    Previous Zoning Requests

Additional Information \_\_\_\_\_

## STAFF USE ONLY

### PLAT TYPE

Staff Review     Planning Commission

### ATTACHMENTS

Property Owners / Option Holders     Variance Request

### ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)  
 Design Plan Certification (Final Plat)  
 Site Plan (Development Request)  
 Traffic Impact Study  
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
<b>\$1,600.00</b>	
Fee 2	
Fee 3	

## AUTHORIZATION

<b>Carter Miller</b>	<b>2/28/2023</b>
Applicant Signature	Date
Please Print	

Phone / Email

<b>Carter Miller The Drop Inn</b>	<b>2/28/2023</b>
Property Owner Signature	Date
Please Print	

I declare under penalty of perjury the foregoing (i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent) is true and correct.



**NAMES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME  
MUST BE LISTED BELOW:**

Please print or type in black ink.

NAME	ADDRESS	OWNER / OPTION
Bryan Foster	408 E. Red Bud Rd Knoxville, TN 37920	

---



1) Download and fill out this form at your convenience.  
 2) Sign the application digitally (or print, sign, and scan).

(3) Either print the completed form and bring it to the  
 Knoxville-Knox County Planning offices  
 OR email it to [applications@knoxplanning.org](mailto:applications@knoxplanning.org)

**Reset Form**



# Development Request

### DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

### SUBDIVISION

- Concept Plan
- Final Plat

### ZONING

- Plan Amendment
  - SP  OYP
- Rezoning

Carter Miller  
Applicant Name

The Drop Inn  
Affiliation

2/27/2023  
~~2-26-23~~  
Date Filed

4.13.23  
~~2-27-23~~  
Meeting Date (if applicable)

File Number(s)

**CORRESPONDENCE** All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Carter Miller  
Name

The Drop Inn  
Company

4507 Sevierville pike  
Address

Knoxville  
City

TN  
State

37920  
ZIP

(865) 455-6753  
Phone

Carter@thedropinnknox.com  
Email

**CURRENT PROPERTY INFO**

Bryan Foster  
Property Owner Name (if different)

409 E Redbud Rd.  
Property Owner Address

910 616-2004  
Property Owner Phone

4507 Sevierville Pike  
Property Address

10941006  
Parcel ID

KUB  
Sewer Provider

yes  
Water Provider

N  
Septic (Y/N)

**STAFF USE ONLY**

South side of Sevierville Pike, east of E. Red Bud Rd  
General Location

15.6 acres  
Tract Size

City  County  
1st District

AG & HP  
Zoning District

Agriculture/forestry/vacant  
Existing Land Use

South City  
Planning Sector

LDR & HP  
Sector Plan Land Use Classification

N/A  
Growth Policy Plan Designation



## DEVELOPMENT REQUEST

- Development Plan   
  Use on Review / Special Use   
  Hillside Protection COA  
 Residential   
  Non-Residential

Related City Permit Number(s)

Home Occupation (specify) \_\_\_\_\_

Other (specify) Campground

## SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name \_\_\_\_\_

Unit / Phase Number \_\_\_\_\_

- Combine Parcels   
  Divide Parcel

Total Number of Lots Created \_\_\_\_\_

Other (specify) \_\_\_\_\_

Attachments / Additional Requirements

## ZONING REQUEST

Pending Plat File Number

Zoning Change

Proposed Zoning \_\_\_\_\_

Plan Amendment Change

Proposed Plan Designation(s) \_\_\_\_\_

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

Other (specify) \_\_\_\_\_

## STAFF USE ONLY

### PLAT TYPE

- Staff Review   
  Planning Commission

### ATTACHMENTS

- Property Owners / Option Holders   
  Variance Request

### ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)  
 Use on Review / Special Use (*Concept Plan*)  
 Traffic Impact Study  
 COA Checklist (*Hillside Protection*)

Fee 1	Special Use - Nonresidential use	Total
0405		<b>\$1,600</b>
Fee 2		
Fee 3		

MR

## AUTHORIZATION

[Signature]  
Applicant Signature

Cater Miller  
Please Print

02/26/2023  
Date

(865) 455-6753  
Phone Number

Cater@thedropinnknox.com  
Email

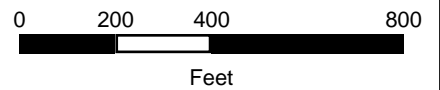
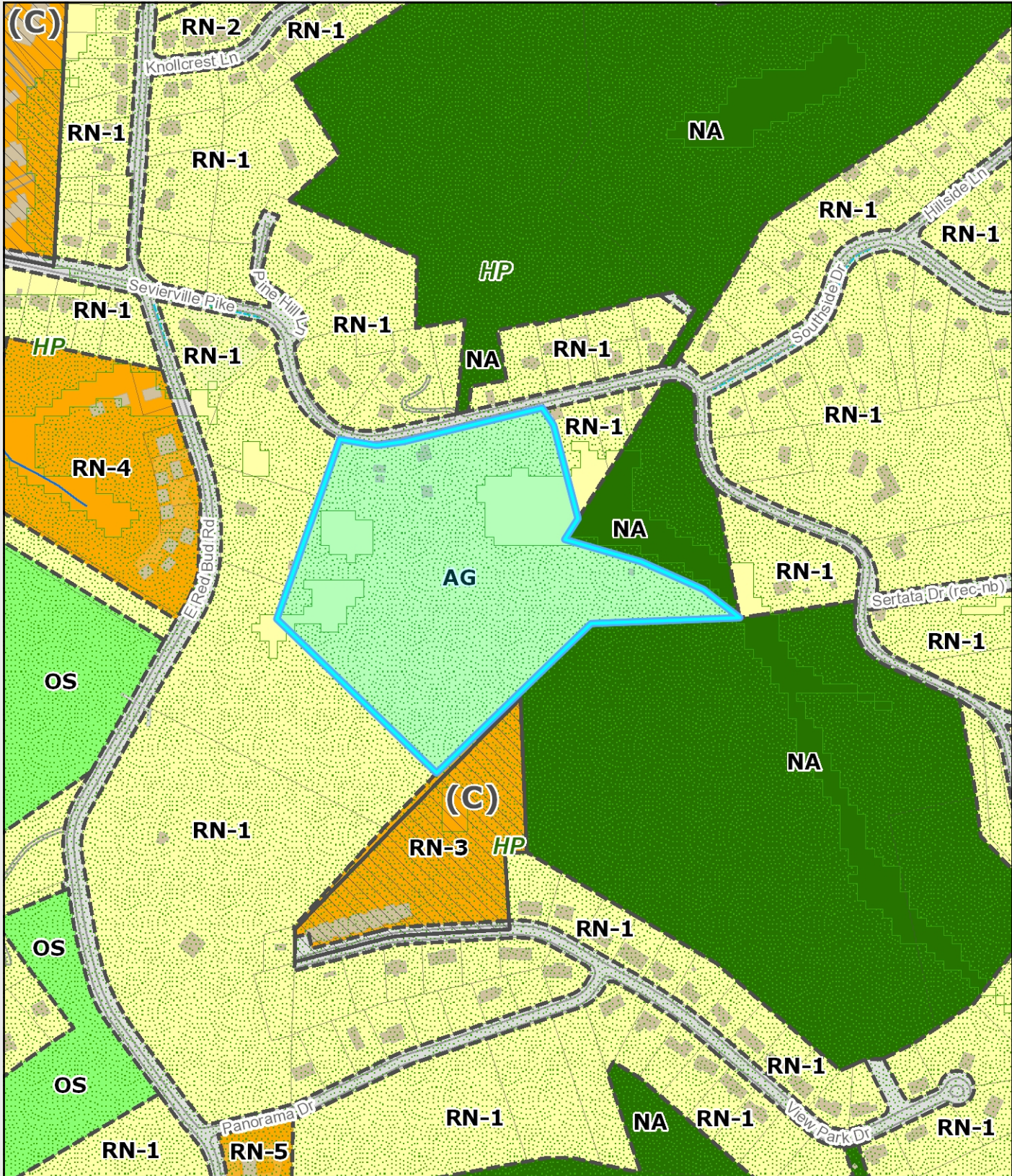
[Signature]  
Property Owner Signature

Bryan Foster  
Please Print

02.27.2023  
Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.





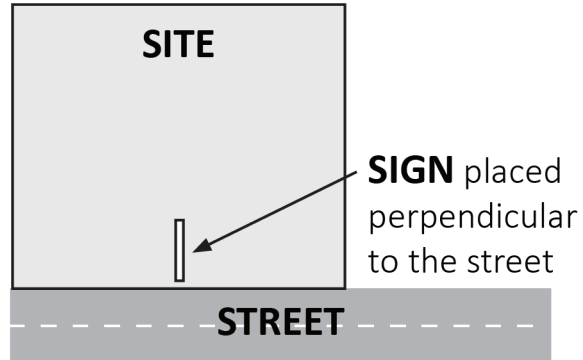
KGIS makes no representation or warranty as to the accuracy of this map and its information, nor to its fitness for use. Any user of this map product accepts the same AS IS, WITH ALL FAULTS, and assumes all responsibility for the use thereof, and further covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.

© KGIS 2023

Printed: 2/27/2023 4:46:48 PM



The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

*The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:*

\_\_\_\_\_ March 31, 2023 \_\_\_\_\_ and \_\_\_\_\_ April 13, 2023 \_\_\_\_\_  
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Carter Miller

Date: 2/28/2023

File Number: 4-E-23-SU

- Sign posted by Staff
- Sign posted by Applicant