



USE ON REVIEW REPORT

▶ **FILE #:** 12-B-23-UR

AGENDA ITEM #: 39

AGENDA DATE: 12/14/2023

▶ **APPLICANT:** TOM GASS

OWNER(S): William Slagle Fox Lonas Certified Properties

TAX ID NUMBER: 119 H F 014

[View map on KGIS](#)

JURISDICTION: County Commission District 3

STREET ADDRESS: 513 N CEDAR BLUFF RD

▶ **LOCATION:** W. side of N. Cedar Rd., N. of Dutchtown Rd.

▶ **APPX. SIZE OF TRACT:** 0.82 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via N Cedar Bluff Road, a major arterial street with 4 lanes and a center turning lane and 60 ft of pavement width within 80 ft of right of way. The site's driveway aligns with Fox Lonas Drive, a minor collector street to the east, which has a traffic signal at its intersection with N Cedar Bluff Road.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Turkey Creek

▶ **ZONING:** CN (Neighborhood Commercial)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Eating establishment with a drive-through facility

HISTORY OF ZONING: This property was rezoned from OA to CN in 2006 (6-J-06-RZ).

SURROUNDING LAND USE AND ZONING: North: Public-quasi public land, private recreation - A (Agricultural), PC (Planned Commercial)

South: Agricultural/forestry/vacant land, transportation/communications/utilities (parking lot), office - CN(k) (Neighborhood Commercial), OB (Office, Medical, and Related Services)

East: Public-quasi public land, agricultural/forestry/vacant land - INST (Institutional), RN-5 (General Residential Neighborhood)

West: Private recreation - A (Agricultural)

NEIGHBORHOOD CONTEXT: This area of N. Cedar Bluff Road has been developed with office and residential uses, as well as a large church campus. Most commercial development along N. Cedar Bluff Road has occurred south of Dutchtown Road and to the north near the intersection with Middlebrook Pike.

STAFF RECOMMENDATION:

► **Approve the requested restaurant with a drive-through facility comprising approximately 1,820 square feet of floor area, subject to 7 conditions.**

1. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
2. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
3. Meeting all applicable requirements of the Knox County Zoning Ordinance, including but not limited to signage and landscaping.
4. Evaluate the traffic signal phasing during the permitting phase. The scope of the study will be determined by Knox County Engineering and Public Works (Knox County EPW) and must be completed and submitted by the applicant. The applicant is responsible for implementing the required modifications unless otherwise agreed upon by Knox County EPW.
5. Confirm compliance with the CN (Neighborhood Commercial) zone landscaping standards during the permitting phase, with review and approval by Planning staff. All landscaping must be installed within six months of the issuance of an occupancy permit or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
6. Meeting the lighting standards in the supplemental regulations (Section 4.10.10. - Outdoor lighting) and the CN (Neighborhood Commercial) zone (Section 5.38.14 – Site lighting). All site lighting shall use full cut-off fixtures. Site lighting includes lights meant to illuminate a large area, such as pole-mounted lights for parking lots and wall-mounted wall pack lights, and does not include accent lighting, such as string lights and wall sconces. A site lighting plan must be reviewed and approved by Planning staff before building permits are issued.
7. Obtaining all necessary permits from the Tennessee Department of Environment and Conservation for utilizing the sinkhole for stormwater discharge.

With the conditions noted, this plan meets the requirements for approval of a restaurant with a drive-through facility in the CN (Neighborhood Commercial) zone and the criteria for approval of a use on review.

COMMENTS:

This proposal is a restaurant with a drive-through facility with approximately 1,820 sq ft of floor area. This restaurant only sells ice cream and does not have indoor seating. The CN zone lists restaurants and drive-through facilities as different uses that require use on review approval by the Planning Commission. Since this is a restaurant that has a drive-through facility, the two uses are being considered as one with this review.

BACKGROUND

In 1988 and 1994, requests to rezone the property from A (Agricultural) to CA (General Business) were denied. In 1994, a request for OB (Office, Medical, and Related Services) was modified and approved for OA (Office Park) zoning. In 2006, a request to rezone to CN was approved, and in 2009, a restaurant with a drive-through facility was approved but never constructed (Popeye's Louisiana Chicken).

The Planning Commission approved a Use on Review request for this applicant in March 2023 (3-C-23-UR). During the permitting process, the amount of change to the site design was too significant for administrative approval by Planning staff. The size of the restaurant has not changed.

LANDSCAPING

The CN zone requires landscaping along all road frontages, parking lots with over 20 spaces, along 50 percent of exterior building elevations, and screening when adjacent to residential zoning. The properties to the west (rear) and north (side) are residentially zoned because they are zoned A (Agricultural). The property to the west is the Gulf Park community pool, and to the north is a driveway for the community pool.

The front yard is required to have 1 shade tree capable of reaching 50 ft tall at maturity per 60 ft of linear street frontage. There are overhead utility lines that restrict the planting of shade trees in the required front yard. Because of this, the applicant will be allowed to substitute small, ornamental trees that can be planted near overhead power lines, but they must be placed with the same spacing requirement as the shade trees, with other landscaping plantings between the trees as otherwise required.

SITE LIGHTING

A site lighting plan has not been provided, but the development must meet the lighting standards for the CN zone and the supplemental regulations (Section 4.10.10) of the zoning ordinance. Both of these standards are very similar, but the result of applying both standards is that lighting must be directed away from adjacent residential properties and any public right-of-way. When adjacent to residential property, the light source must be shielded.

DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10 – SECTION 2)

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

1) THE PROPOSED USE IS CONSISTENT WITH THE ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND SECTOR PLAN.

A. The Northwest County Sector Plan recommends the NC (Neighborhood Commercial) land use classification for this site. The CN zone is recommended in this land use classification.

B. General Plan Policies:

Policy 8.2 -- Locate neighborhood commercial so that it will enhance, rather than hinder, the stability of residential areas. – The site is located on the edge of the residential neighborhood and has access directly to N. Cedar Bluff Drive.

Policy 8.12 -- When commercial uses abut residential property, ordinance provisions or use-on-review conditions requiring fencing, landscaping screens, earth berms, height restrictions, and/or deeper than usual building setbacks can improve land use transitions. – These provisions are codified in the CN zoning standards.

Policy 9.9 -- Encourage village centers as the preferred form of retail development, and use the neighborhood commercial zones to provide day-to-day services near residential areas. – Restaurants are a type of service-oriented commercial use. The drive-through facility is appropriate at this location because it is at a signal-controlled intersection.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.

A. The CN (Neighborhood Commercial) zone is intended to provide the opportunity to locate limited retail and service uses in a manner convenient to and yet not disruptive to established residential neighborhoods. It is intended to provide for the recurring shopping and personal service needs of nearby residential areas.

B. The proposed restaurant serves frozen custard.

C. The CN zone permits individual buildings or commercial establishments that are no more than 5,000 sqft. The proposed building is less than 5,000 sqft.

D. The CN zone has landscaping standards for parking areas and side and rear yards. The proposed landscape plan meets the intent of the CN zone standards.

E. The CN zone requires that site lighting be directed away from residential and agricultural zones and any public right-of-way. The attached plans do not show the site lighting, but this must be provided and verified during the permit review phase.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The proposed one-story building height and setbacks from the lot lines are compatible with the area.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY.

A. The intent of the CN zone is to allow neighborhood-oriented uses near established residential areas but also require developments to adhere to standards that maximize compatibility between commercial uses and adjacent residential uses.

B. The adjacent A (Agricultural) zoned property is used for a community pool. Uses to the south include a parking lot and an office building. The proposed development is not expected to significantly injure the value of adjacent property.

5) THE USE WILL NOT DRAW ADDITIONAL TRAFFIC THROUGH RESIDENTIAL AREAS.

A. This site is accessed from N. Cedar Bluff Drive at an intersection with a traffic signal.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There is a sinkhole on the southwest portion of the property, and there have been flooding events in this area. The TN Department of Environment and Conservation (TDEC) must approve use of the sinkhole for stormwater discharge, and the finished floor elevation must be higher than the flood elevation, per the requirements of Knox County Engineering and Public Works.

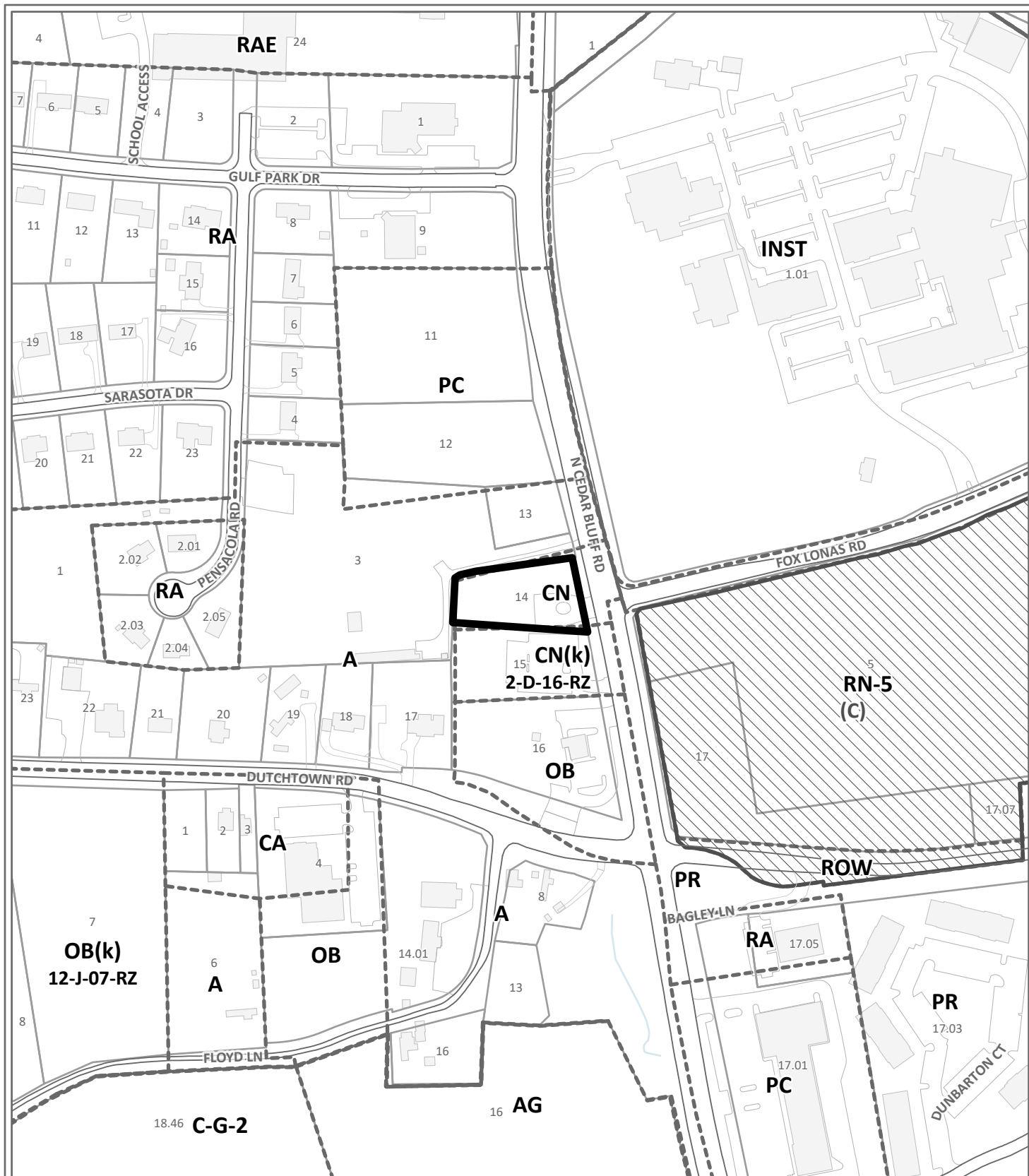
B. Other than as noted above, there are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed uses within the development.

ESTIMATED TRAFFIC IMPACT: 668 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



USE ON REVIEW

12-B-23-UR

Petitioner: Tom Gass



Eating establishment with drive-through facility in
CN (Neighborhood Commercial)

Map No: 119
Jurisdiction: County

Original Print Date: 11/6/2023
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

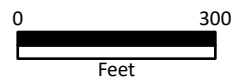
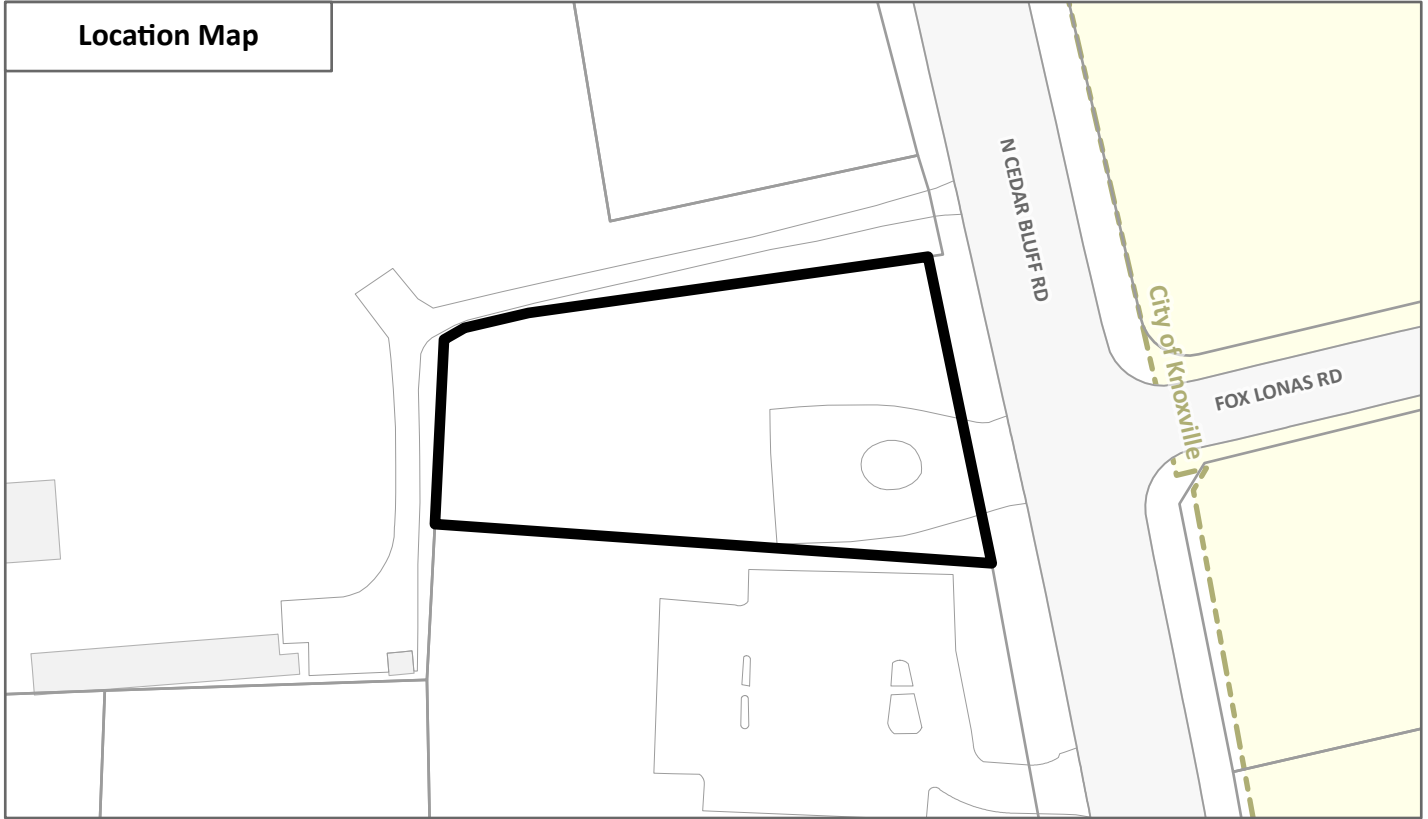


Exhibit A. Contextual Images

Location Map



Aerial Map

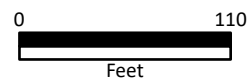


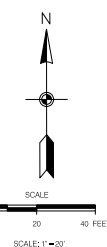
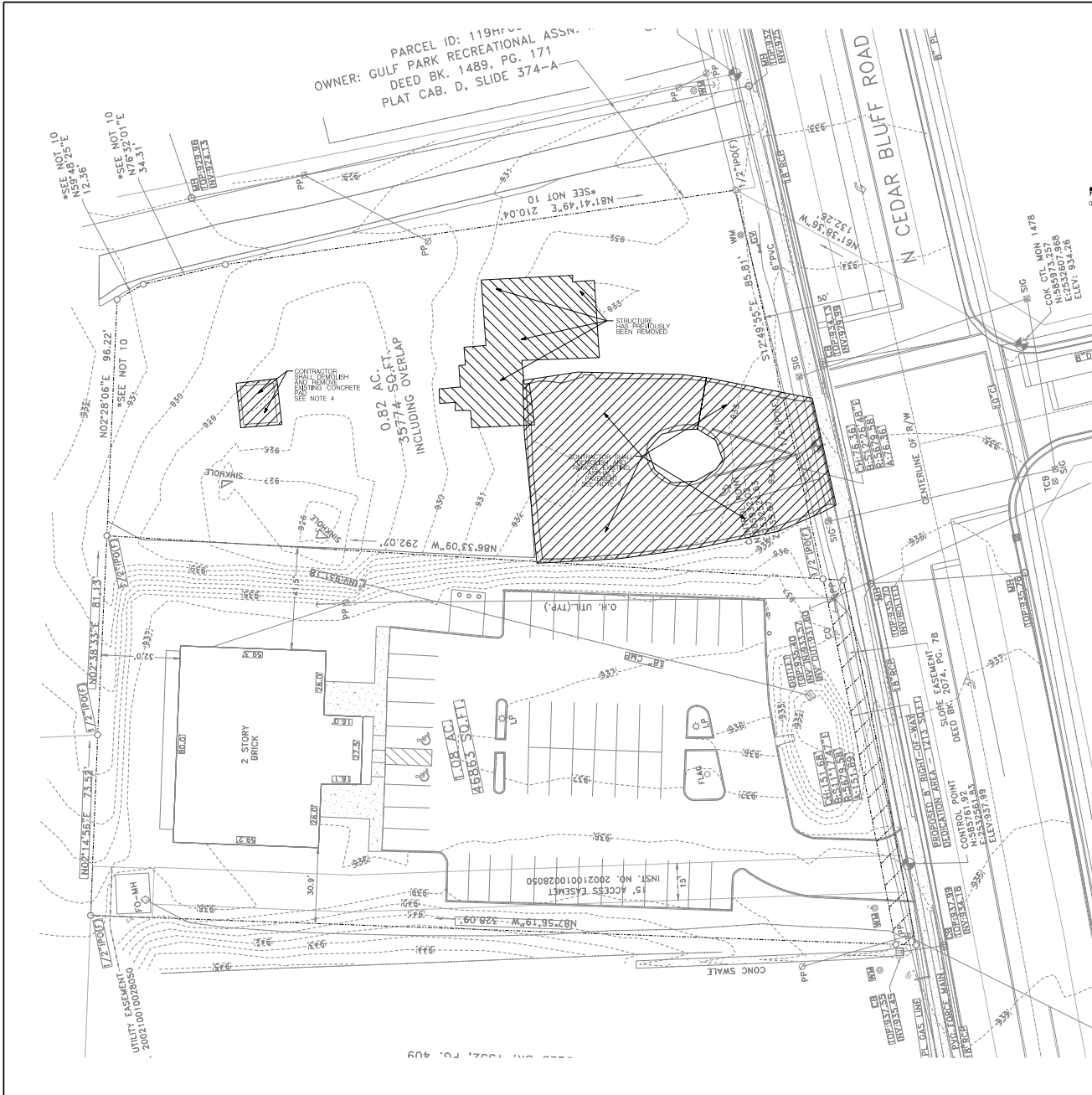
CONTEXTUAL MAPS 1

12-B-23-UR



Case boundary





LEGEND:

EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CATCH BASIN
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		RP RAP

SITE DEMOLITION NOTES

1. SITE BOUNDARY INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY THE INFORMATION PRIOR TO CONSTRUCTION. THE ENGINEER DOES NOT ACCEPT ANY RESPONSIBILITY FOR EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
2. CONTRACTOR SHALL CALL TN ONE CALL TO LOCATE SITE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL UTILIZE ONE CALL INFORMATION, SITE RECORDS AND ANY OTHER MEANS AT HIS DISPOSAL TO DETERMINE THE LOCATION OF EXISTING UTILITIES.
3. DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL EROSION AND SEDIMENTATION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE FUNCTIONAL.
4. CONTRACTOR SHALL REMOVE EXISTING ASPHALT PAVEMENT, CURBS, SIDEWALKS AND/OR OTHER RELATED MATERIALS TO THE LIMITS INDICATED ON THIS PLAN AND DISPOSE OF THE WASTE MATERIALS AS DIRECTED BY THE OWNER AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS. COORDINATE DEMOLITION WITH THE OWNER. PROVIDE TEMPORARY ACCESS ROUTES AS REQUIRED. PERFORM DEMOLITION IN ACCORDANCE WITH THE PROJECT PHASING PLANS.
5. THE CONTRACTOR SHALL REMOVE EXISTING TREES WITHIN THE AREA OF WORK DEPICTED ON THE FOLLOWING DRAWINGS AND AS REQUIRED IN THE FIELD. CONTRACTOR SHALL REMOVE ENTIRE TREE INCLUDING ROOTBALL UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL DISPOSE OF WASTE OFFSITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS. MULCHED BRANCHES MAY BE USED FOR EROSION CONTROL, BUT MUST BE REMOVED WHEN THE SITE HAS BEEN STABILIZED.
6. PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING CONCRETE AND/OR PAVEMENT ALONG ALL LIMITS OF CONCRETE AND/OR PAVEMENT DEMOLITION.
7. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE. DISPOSE OF DEMOLITION WASTE OFF THE OWNERS PROPERTY IN A LEGAL MANNER.
8. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND GRIFF CAUSED BY THE DEMOLITION WORK. WATER USE SHALL NOT BE EXCESSIVE TO THE POINT OF SUSPENDING SOLIDIFICATION IN RUNOFF WATER.
9. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, FENCES, TREES, UTILITIES AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR SHALL PREPARE THE PROJECT SITE FOR THE PROPOSED CONSTRUCTION DEPICTED ON THE FOLLOWING DRAWINGS FOR THIS PROJECT. NO ADDITIONAL PAYMENT SHALL BE MADE FOR WORK REQUIRED AND NOT SPECIFICALLY NOTED ON THIS DRAWING. DEMOLITION WORK MAY BE INDICATED ON DRAWINGS BY OTHER DISCIPLINES.

12-B-23-UR
Revised: 11/28/2023

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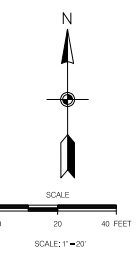
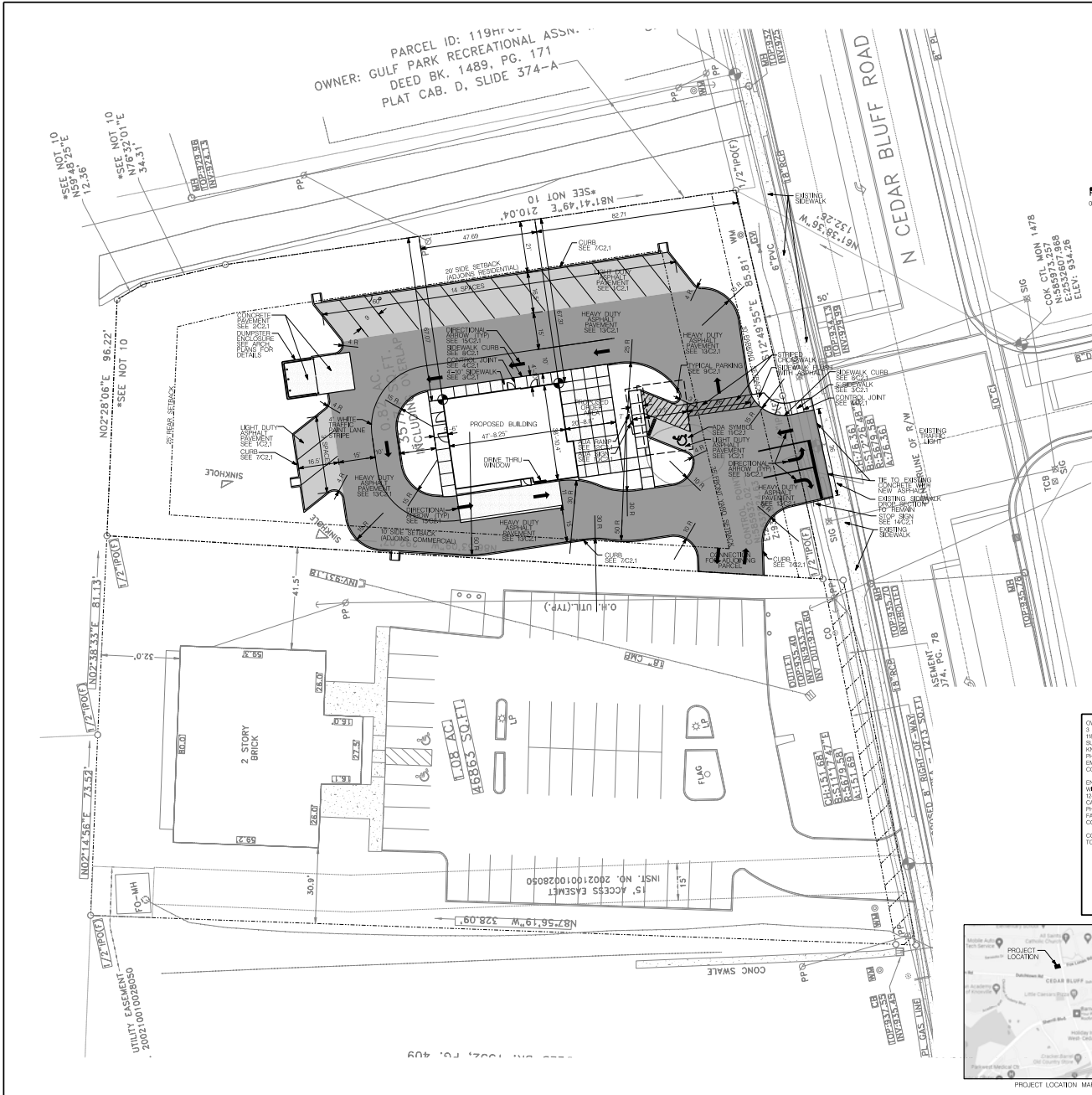


A Site Plan for:
Andy's Custard
513 N. Cedar Bluff Road
Knox County, TN
Planning Case # 12-B-23-UR

REVISIONS:
11-20-2023 PLANNING COMM.
11-27-2023 PLANNING COMM.

DRAWN: WNR
CHECKED: WNR
DATE: 10-09-2023
FILE NAME:
PROJECT NO:

C1.1
SITE DEMOLITION PLAN
DRAWING



LEGEND:

EXISTING	PROPOSED	
---	---	GROUND CONTOUR ELEVATION
○	○	SPOT ELEVATION
□	□	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	OVERHEAD ELECTRICAL
○	○	WATER METER
○	○	FIRE HYDRANT
---	---	SURFACE FLOW
---	---	SILT FENCING
---	---	CURB
---	---	CATCH BASIN
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT
---	---	RIP RAP

- SITE LAYOUT NOTES**
1. USE: CUSTARD SHOP ZONING ON PARCEL 119Hr-0
 2. TOTAL BUILDING AREA PROPOSED 1,601 SF (1 STORY) 1,430 SF USABLE
 3. TOTAL SITE: 1.08 AC. TOTAL BUILT AREA: 160 AC. TOTAL IMPERV: 644 AC. INCREASE IN IMPERVIOUS IS LESS THAN 50.00 %
 4. DEED REFERENCE: 2017000-0073532
 5. THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAPS 0261F.
 6. SITE BENCHMARK CONTACT SURVEYOR FOR SITE BENCHMARK DATUM NAVD 88.
 7. SITE BOUNDARY INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
 8. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
 9. PARKING SUMMARY:
TOTAL REQUIRED: 17 SPACES
TOTAL PROVIDED: 18 SPACES
(6 EMPLOYEES / 3) + (1430 / 100) = 17 SPACES
 10. SETBACKS:
FRONT: 10'
SIDE: 20' (ADJOINING RESIDENTIAL)
SIDE: 10' (ADJOINING COMMERCIAL)
REAR: 20'
PARKING SETBACK: 10'
 11. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS.
 12. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
 13. VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
 14. TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 15. CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
 16. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADIES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
 17. DIMENSIONS ARE TO FACE OF CURB EDGE OF PAVEMENT OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
 18. MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMP ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

OWNER:
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118 SUFFERS ROAD
SUITE 244 E TN 37003
KNOXVILLE TN 37918
PH: 423-276-1070
EMAIL: TONGASS@PEAKSCUSTARD.COM
CONTACT: TOM GASS

ENGINEER:
WILL ROBINSON & ASSOCIATES
ONE N SHOREWOOD LN
CARROLLTON TN 37014
PHONE: 360-1000
FAX: 360-1001
CONTACT: WILL ROBINSON
CONTRACTOR:
TO BE DETERMINED



12-B-23-UR
Revised: 11/28/2023

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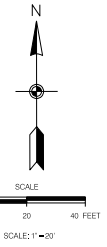
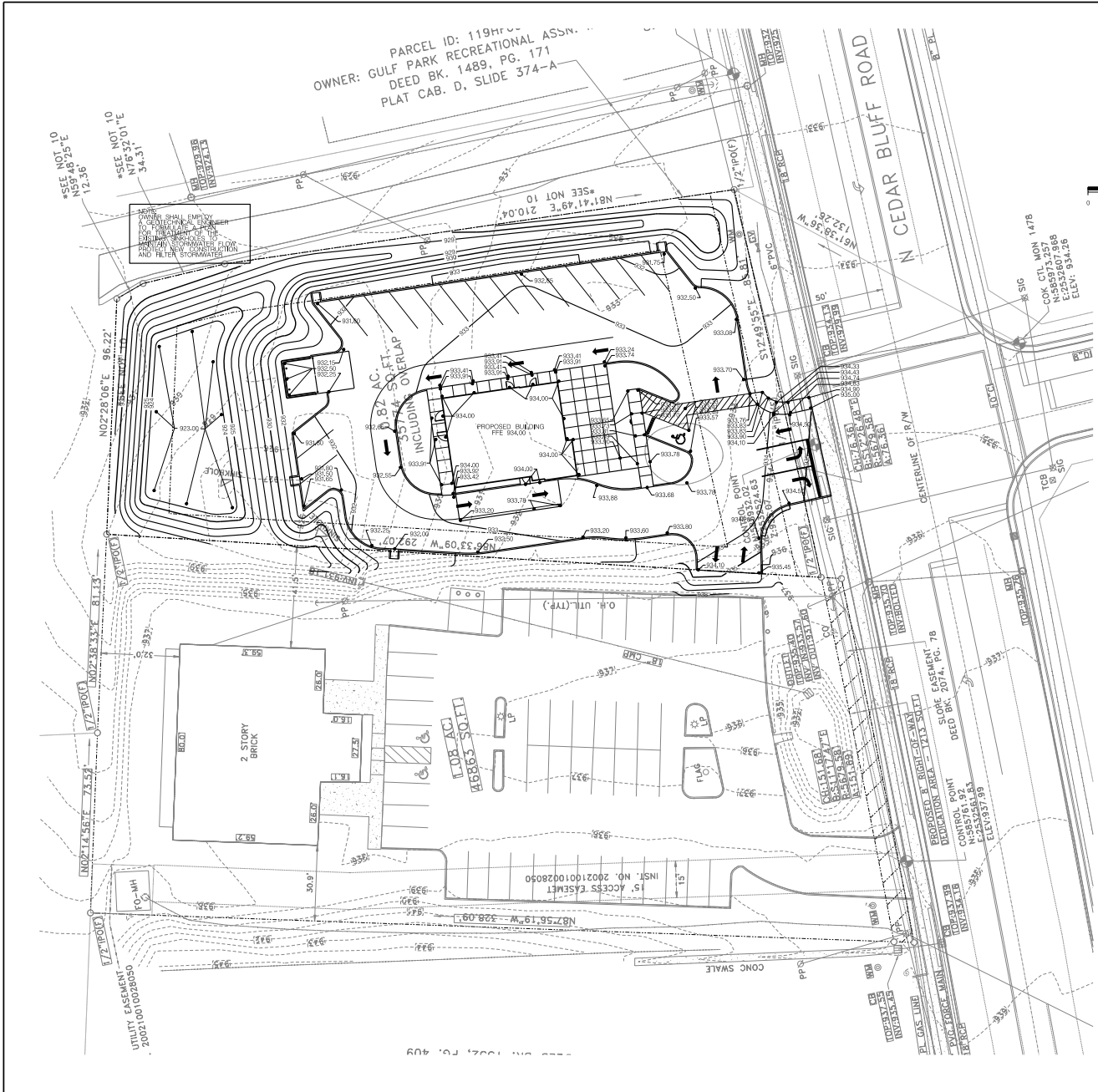


A Site Plan for:
Andy's Custard
513 N. Cedar Bluff Road
Knox County, TN
Planning Case # 12-B-23-UR

REVISIONS:
11-20-2023 PLANNING COMM.
11-27-2023 PLANNING COMM.

DRAWN: WNR
CHECKED: WNR
DATE: 10-09-2023
FILE NAME:
PROJECT NO:

C1.2
SITE LAYOUT PLAN
DRAWING



LEGEND:

EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CATCH BASIN
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		RP RAP

- SITE GRADING NOTES**
1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS NGVD83.
 2. SITE BOUNDARY INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
 3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RP RAP, AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
 4. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN $\pm 3\%$ OF OPTIMUM.
 5. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY AND INSPECT THE SITE FIRST. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
 6. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN 5471 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
 7. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
 8. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
 9. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
 10. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
 11. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TORQUE HAS BEEN INSTALLED TO ENCOURAGE "LOCK IN" OF EROSION MAT.
 12. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTORS OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 13. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
 14. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS OR STORM DRAINS.
 15. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
 16. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND WINDROW TRAIL FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A LID, MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
 17. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL RETURNED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCORDING TO THE KNOX COUNTY SITE INSPECTOR.

12-B-23-UR
Revised: 11/28/2023

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 wrobinson@willrobinson.net

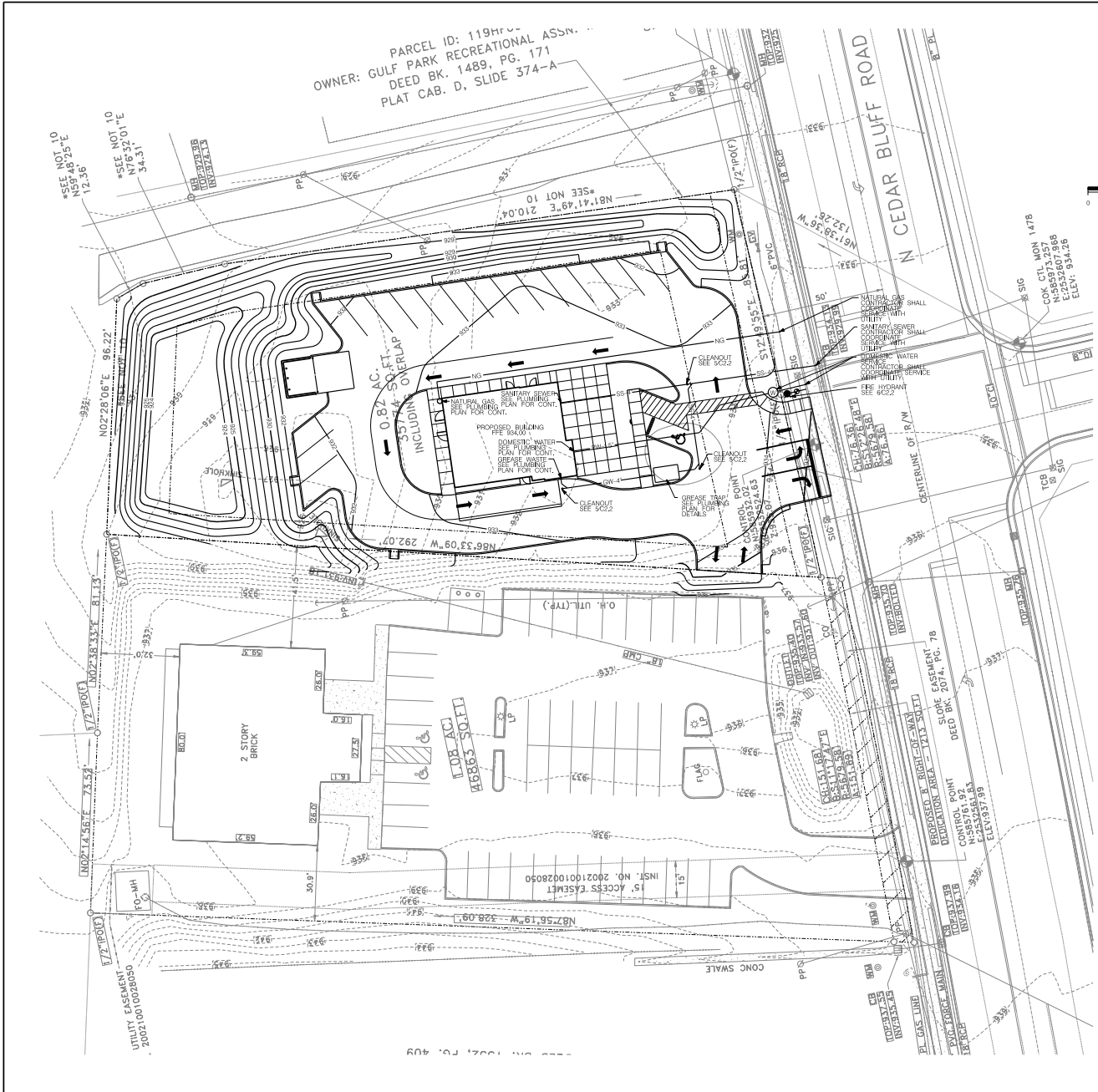


A Site Plan for:
Andy's Custard
 513 N. Cedar Bluff Road
 Knox County, TN
 Planning Case # 12-B-23-UR

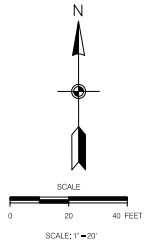
REVISIONS:
 14-20-2023 PLANNING COMM.
 11-27-2023 PLANNING COMM.

DRAWN: WNR
 CHECKED: WNR
 DATE: 10-09-2023
 FILE NAME:
 PROJECT NO:

C1.4
 EROSION CONTROL PLAN
 DRAWING



PARCEL ID: 119Hr...
 OWNER: GULF PARK RECREATIONAL ASSN...
 DEED BK. 1489, PG. 171
 PLAT CAB. D, SLIDE 374-A



LEGEND:

EXISTING	PROPOSED	
---	---	GROUND CONTOUR ELEVATION
○	○	SPOT ELEVATION
□	□	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
PW	PW	POTABLE WATER
NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
⊙	⊙	WATER METER
⊙	⊙	FIRE HYDRANT
NA	→	SURFACE FLOW
NA	---	SILT FENCING
□	□	CURB
NA	◆	CATCH BASIN
NA	▨	CONCRETE PAVEMENT
NA	▩	ASPHALT PAVEMENT
NA	▧	RP RAP

- SITE UTILITY NOTES**
- SITE SURVEY INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
 - UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES DESIGN PLANS FOR THE DEVELOPMENT AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL LOCAL UTILITY PROVIDERS AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
 - UTILITIES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. CONTRACTOR SHALL PAY ALL FEES.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR LOCAL UTILITY PROVIDERS SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE. AS BUILT DRAWINGS SHALL BE PREPARED AND SUBMITTED TO UTILITY PROVIDERS AS REQUIRED AFTER CONSTRUCTION AND COPIED TO ENGINEER OF RECORD.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 18" ON WATER LINES AND 4 FEET ON SEWER LINES.
 - WATER, SEWER AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF RIPS UNLESS NOTED OTHERWISE.
 - WATER LINES SHALL BE AS FOLLOWS:
 - 2" WATER LINES: ASTM F808 AND AWWA C904
 - PIPE SIZES 4 INCHES AND LARGER: C900 PVC
 - 4 INCHES - 12 INCHES
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - PVC (SCHEDULE 40 PVC ASTM D-1785 CONTINUALLY MARKED AS REQUIRED), FOR PIPE LESS THAN 12 FEET DEEP
 - DUCTILE IRON PIPE (AWWA C900) FOR PIPES GREATER THAN 12 FEET DEEP.
 - TOPS OF EXISTING UTILITY STRUCTURES SHALL BE RAISED OR LOWERED AS NECESSARY TO BE FLUSH WITH THE PROPOSED PAVEMENT GRADE AND 4 INCHES ABOVE FINISHED GRADE IN UNPAVED AREAS.
 - GAS LINES SHALL BE FIELD LOCATED AND INSTALLED BY LOCAL UTILITY PROVIDER. CONTRACTOR SHALL COORDINATE AND PAY ALL FEES.
 - REFER TO ARCHITECTURAL/MEP PLANS FOR THE IN OF ALL UTILITIES.
 - REFER TO ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 - PIPE PROTECTION SERVICE SHALL BE BY NEW FIRE HYDRANT AS DERICTED ON THE PLAN.
 - CONTRACTOR SHALL TAKE SPECIAL CARE TO BED BACKFILL AND COMPACT PIPE CROSSINGS WHERE A WATER OR SANITARY SEWER MAIN CROSSES WITH STORM SEWERS. CROSSINGS SHALL BE CONSTRUCTED WITH A WELL COMPACTED FULL STONE ENVELOPE SUCH THAT STORM SEWER DOES NOT REST DIRECTLY ON WATER OR SANITARY SEWER MAINS.
 - SEWER LINES SHALL HAVE A MINIMUM 6 INCHES OF STONE BEDDING AND BACKFILL AROUND THE CIRCUMFERENCE OF THE PIPE (TYPE 67 OR 67), UNDER ALL ROWS AND PAVED AREAS WATER AND SEWER MAINS MUST BE STONE BACKFILLED FULL DEPTH TO PAVEMENT SUBGRADE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY CONNECTION TAP USE AND OTHER FEES AS REQUIRED TO CONNECT WATER, SEWER, AND GAS.
 - ANY EXISTING UTILITY STRUCTURES SHALL BE BROUGHT INTO CONFORMANCE WITH FINISH GRADE IN ACCORDANCE WITH THE RULES, RATES, AND POLICIES OF THE UTILITY OWNER.

12-B-23-UR
 Revised: 11/28/2023

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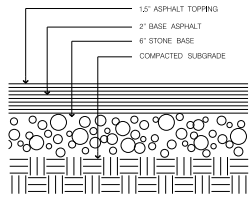


A Site Plan for:
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 Knox County, TN
 Planning Case # 12-B-23-UR

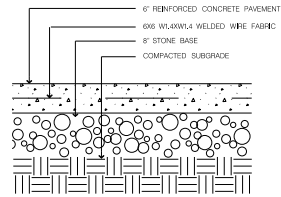
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 11-20-2023 PLANNING COMM.
 11-27-2023 PLANNING COMM.

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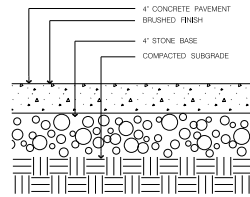
C1.5
 SITE UTILITY PLAN
 DRAWING



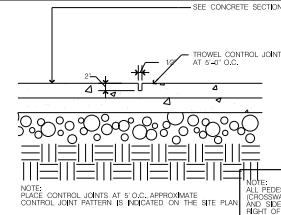
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C2.1
LIGHT DUTY PAVING SECTION
NOT TO SCALE



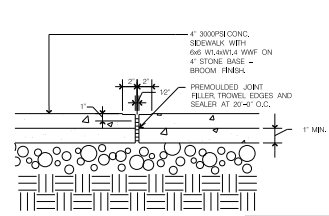
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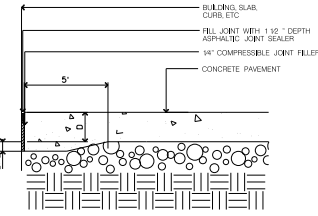
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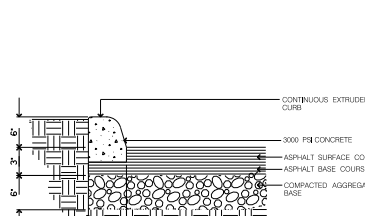
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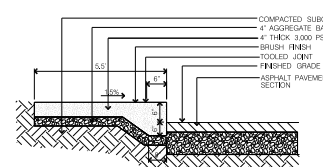
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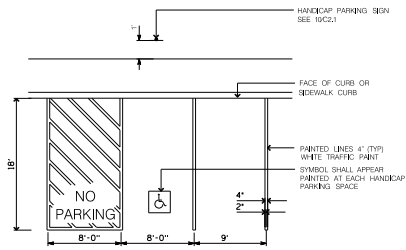
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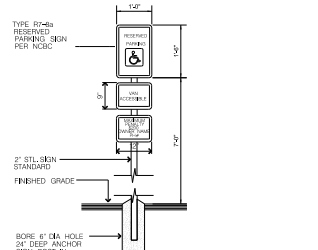
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TYPICAL CURB
NOT TO SCALE



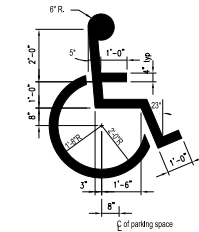
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C2.1
SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



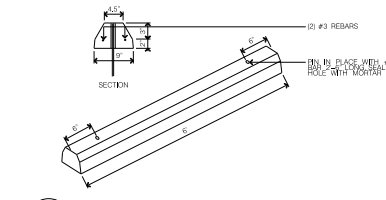
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TYPICAL PARKING SPACE DETAIL
NOT TO SCALE



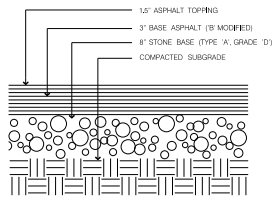
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HANDICAP SIGN
NOT TO SCALE



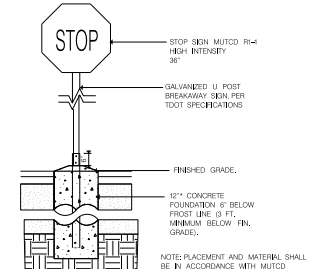
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C2.1
ACCESSIBILITY SYMBOL
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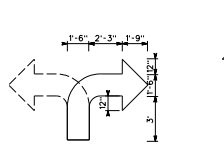
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C2.1
PRECAST CONCRETE WHEEL STOP
NOT TO SCALE



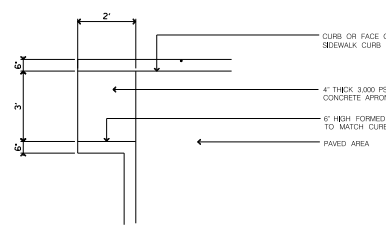
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C2.1
HEAVY DUTY PAVING SECTION
NOT TO SCALE



14
C2.1
STOP SIGN
NOT TO SCALE



15
C2.1
PAVEMENT PAINTING
NOT TO SCALE



16
C2.1
CURB CUT DETAIL
NOT TO SCALE

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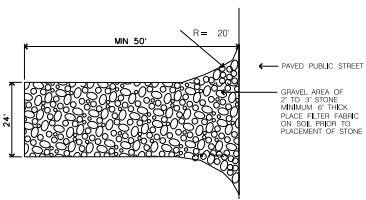
A Site Plan for:
Andy's Custard
513 N. Cedar Bluff Road
Knox County, TN
Planning Case # 12-B-23-UF

REVISIONS:
11-20-2023 PLANNING COMM.

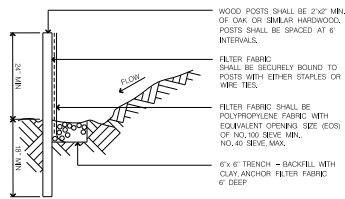
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DATE: 10-09-2023
FILE NAME:
PROJECT NO:

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SITE DETAILS - 1
DRAWING

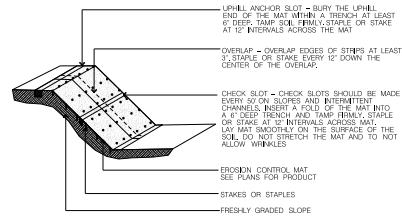
12-B-23-UR
Revised: 11/28/2023



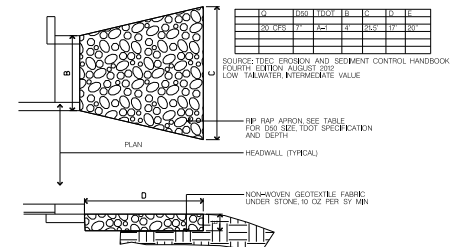
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C2.2 CONSTRUCTION ENTRANCE DETAIL
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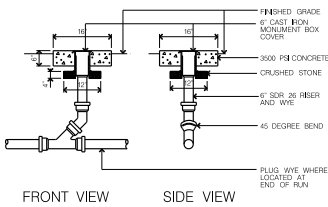
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C2.2 SILT FENCE DETAIL
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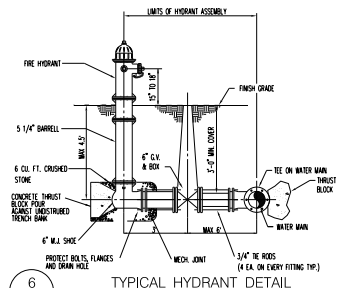
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C2.2 EROSION MAT INSTALLATION
NOT TO SCALE



4
C2.2 CURB CUT OUTLET PROTECTION
NOT TO SCALE



5
C2.2 SEWER CLEANOUT
NOT TO SCALE



6
C2.2 TYPICAL HYDRANT DETAIL
NOT TO SCALE

**WILL ROBINSON
& ASSOCIATES**

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A Site Plan for:
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Knox County, TN
Planning Case # 12-B-23-UR

REVISIONS:
11-20-2023 PLANNING COMM.
11-27-2023 PLANNING COMM.

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CHECKED: WNR
DATE: 10-09-2023
FILE NAME:
PROJECT NO:

C2.2
SITE DETAILS - 2
DRAWING

12-B-23-UR
Revised: 11/28/2023

Planting Notes

- The Contractor shall verify existing conditions in the field and report any discrepancies to the Landscape Architect prior to starting work.
- No planting shall occur until soil test results have been received and the soil has been amended per the soil test results. See this sheet for soil testing instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly graded for positive drainage. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines set for nursery stock published by the American Association of Nurserymen. Additionally, all new plant material for the project shall be of the highest specimen quality.
- Do not assume that trunk flares will be exposed at the nursery. Contractor to expose trunk flares to check for girdling. Pull mulch away from the base of all plants.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant schedule.
- The Contractor shall locate and verify all existing underground and aboveground utility lines prior to soil preparation or planting. Any discrepancies shall be reported to the Landscape Architect. Call Tennessee 811 to schedule a utility locate.
- Till all beds with planting soil mix to a minimum depth that matches the depth of the plant root-balls.
- All plant beds and trees shall receive a minimum of three inches (3") of double-shredded, hardwood mulch. See Seeding Notes on this sheet for mulching of seeded areas.
- All shade and large evergreen trees in lawn areas shall have a minimum 6' diameter mulch ring to surround the base of the trunk unless noted otherwise on the plan. All ornamental and small evergreen trees shall have a minimum 4' diameter mulch ring to surround the base of the trunk unless noted otherwise on the plan.
- Do not pile mulch against the trunk of any tree. Leave a gap for the trunk flare. Avoid mulch volcanoes.
- Thoroughly water all plants during the first 24 hours after planting. Wet the soil to a depth of 18-24". When water starts to run off, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent form, height, branching, habit, leaf color, fruit and environmental culture. All proposed substitutions must be approved by the Landscape Architect.
- The Contractor's base bid shall include all materials, labor, permits, equipment, tools, insurance, etc., to perform the work as described in the contract documents.
- The Contractor shall complete work within schedule established by the Owner or Owner's representative.
- The Contractor shall provide a one (1) year warranty for all plant material starting after the issuance of the certificate of occupancy. See specifications for more information regarding the plant warranty.
- Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner, Owner's Representative, or Landscape Architect.
- Contractor to provide interim maintenance (watering, pruning, fertilizing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until end of warranty.
- Application of pesticides must be approved by the Landscape Architect or Owner prior to use. All pesticide applications shall be carried out by a licensed spray technician.
- Planting plans are not layout plans. Plants may need to be shifted in the field to accommodate existing conditions. Coordinate with the Landscape Architect before making any changes to the planting plan.
- Mulch, compost, and soil quantities are approximate. The Contractor shall verify the amount needed before purchasing and installing.

Seeding Notes

- Field verify areas to receive seed and modify order quantity as necessary.
- Site Preparation: Eradicate exotic invasive plant material by having a licensed spray technician apply an approved herbicide. Good pre-seeding weed control may require repeated spraying at least two weeks apart.
- See Civil Engineer's plans for grading. Finer grading and shaping may be necessary to achieve a smoother, more regular surface for receiving seed.
- The Contractor shall ensure that all grades will permit safe and efficient use of equipment during seedbed preparation, seeding, strawing, and maintenance of vegetation.
- Loosely grade the topsoil in order to create a non-compacted growth medium prior to spreading the seed. Roto-tilling of areas to receive seed is required prior to sowing seed.
- Evenly spread a thin layer straw mulch to all seeded areas after sowing seed or use hydroseed fiber mulch.
- For areas with slope greater than 3:1, final tracking should be perpendicular to the slope to help reduce erosion, keep seeds in place, and to retain consistent soil moisture for seed germination. Concentrations of water flows that could cause soil erosion should be diverted to a safe outlet. Divisions and other treatment practices must conform to the appropriate standards and specifications of the Tennessee Erosion and Sediment Control (TDEC) Handbook.
- The Contractor shall comply with TDEC erosion control requirements throughout the establishment of the seeded areas.
- Maintenance: The Contractor shall observe the growth of the seeded species and eliminate invasive exotic vegetation until final acceptance.
- Protect and care for seeded areas, including watering when needed, until final acceptance. This includes repaired areas and any areas receiving supplemental applications of seed.
- Seed all areas as shown on the plans.
- Protect and care for seeded areas, including watering when needed, until final acceptance. This includes repaired areas as well as any area receiving supplemental applications of seed.
- Seed any left over, disturbed areas following construction with turf seed. See table below for turf seed blend.
- Source meadow seed blend as provided below.

Meadow Seed Source: Roundstone Native Seed, LLC
Address: 99764 Raider Hollow Road, Upton, Ky. 42784
Phone: (888)531.2355

Seed Mix: Southern Wetland Meadow Mix
Item Number: Mix 129
Source seed as shown at the website listed under the following URL:
<https://roundstoneseed.com/wetland-mixes/1034-wetland-meadow-mix.html>

Soil Test Notes

- Using a shovel, dig a v-shaped hole to a depth of 6 inches; then cut a thin slice of soil from one side of the hole. Place the slice of soil into a plastic bucket (do not use a metal bucket as this can skew test results). Mix the slices together and fill a plastic sample bag with three (3) cups of soil. The sample bags can be ziploc bags that clearly labeled with the project name and sample number.
- A well-mixed composite from 10 to 20 random locations from the areas to receive plants shall be sub-sampled to make the three (3) cup sample for each bag.
- Mark the landscape plan to show sample locations.
- Send the soil samples to either a private lab or the local extension service.
- The results of the soil test shall be sent to the Landscape Architect for evaluation.

Soil Percolation Test Notes

- Dig hole 18-24" deep and a minimum of 6" wide.
- Fill hole with water to the top and let it drain for several hours. Ideally, let the hole pre-wet over night and perform the test the following day.
- Refill hole to within a couple of inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and again at 1 hour. If possible, measure the drop in water level the next day.
- Determine drop in water level per hour. If water level in the hole drops, more than 1 inch per hour, it is well drained and suitable for planting.

Botanical Name	Common Name	Percentage in Mix
<i>Festuca arundinacea</i>	Tall Fescue	70%
<i>Festuca rubra</i>	Creeping Red Fescue	15%
<i>Poa pratensis</i>	Kentucky Bluegrass	15%

Plant Schedule*

Key	Qty.	Botanical Name	Common Name	Size	Notes
SHADE TREES					
TA	2	<i>Liriodendron tulipifera</i> 'Amolal'	Arnold Tulip Poplar	1.5' Cal.	Single trunk; well-branched
NS	3	<i>Nyssa sylvatica</i> 'Wildfire'	Black Tupelo	1.5' Cal.	Single trunk; well-branched
GB	3	<i>Quercus bicolor</i>	Swamp White Oak	1.5' Cal.	Single trunk; well-branched
QL	2	<i>Quercus lyrata</i>	Overcup Oak	1.5' Cal.	Single trunk; well-branched
EVERGREEN TREES					
HA	3	<i>Ilex x attenuata</i> 'Taster'	Foster Holly	Min. 5' Hgt.	Full-to-ground; well-branched
MG	4	<i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	Bracken's Brown Beauty Magnolia	Min. 5' Hgt.	Full-to-ground; well-branched
TG	4	<i>Thuja</i> 'Green Giant'	Green Giant Arborvitae	Min. 5' Hgt.	Full-to-ground; well-branched
ORNAMENTAL TREES					
AG	3	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	Min. 5' Hgt.	Single trunk; well-branched
CV	4	<i>Chionodoxa virginica</i>	Fringe Tree	Min. 5' Hgt.	Multi-trunk; well-branched
CWV	3	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	Min. 5' Hgt.	Single trunk; well-branched
LF	10	<i>Lagotis foeniculifera</i> 'Tonto'	Tonto Crape Myrtle	Min. 5' Hgt.	Multi-trunk; well-branched
SHRUBS					
BxG	13	<i>Buxus</i> x 'Green Velvet'	Green Velvet Boxwood	3 Gal.	3' o.c. spacing
CJN	6	<i>Cystopteris japonica</i> 'Globosa Nana'	Dwarf Japanese Cedar	3 Gal.	3' o.c. spacing; dwarf variety
IG	16	<i>Ilex glabra</i> 'Stamrock'	Inkberry Holly	3 Gal.	3' o.c. spacing
PL	40	<i>Prunus laurocerasus</i> 'Schipkaensis'	Schip Laurel	3 Gal.	4' o.c. spacing
RA	122	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	3 Gal.	See plan for spacing; dwarf variety
DM	15	<i>Dennstoechia</i> 'DenSformis'	Densiformis Yew	3 Gal.	5' o.c. spacing
ORNAMENTAL GRASSES					
St	48	<i>Sporobolus heterolepis</i>	Prairie Dropseed	Quart	See plan for spacing
PERENNIALS					
AH	15	<i>Artemisia ludoviciana</i>	Arkansas Blue Star	1 Gal.	30' o.c. spacing
JC	7	<i>Juniperus conferta</i> 'Blue Pacific'	Shore Juniper	1 Gal.	See plan for spacing
SO	14	<i>Symphyotrichum oblongifolium</i> 'Raydon's Favorite'	Raydon's Favorite Aster	1 Gal.	30' o.c. spacing
TURF / MEADOW SEED**					
SDD	2,210		Meadow Seed Mix	SF	See Sheet L201 for seed blend
	12,335		Fescue Grass	SF	Sodded turf grass
MULCH / SOIL AMENDMENTS/ROCK**					
RR	260		River Rock	SF	3-5 inch river rock
	20		Compost	Cu. Yd.	Approx. 2' depth; install compost for shrub beds only
	32		Double Shredded Hardwood Mulch	Cu. Yd.	Approx. 3' depth

*All proposed substitutions must be approved by the Landscape Architect.
**Contractor shall verify turf and meadow seed mix quantities needed.
***Contractor shall verify compost and mulch quantities needed.



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Andy's Custard
513 Cedar Bluff Road
Knox County, TN 37923
Planting Case #: 3-C-23-UR

Drawn By: _____ Date: _____
PBC: _____ 11/21/2023

Revision: _____ Date: _____
1. Planning Comments: 02/17/2023
2. Bid/In Revision: 11/21/2023

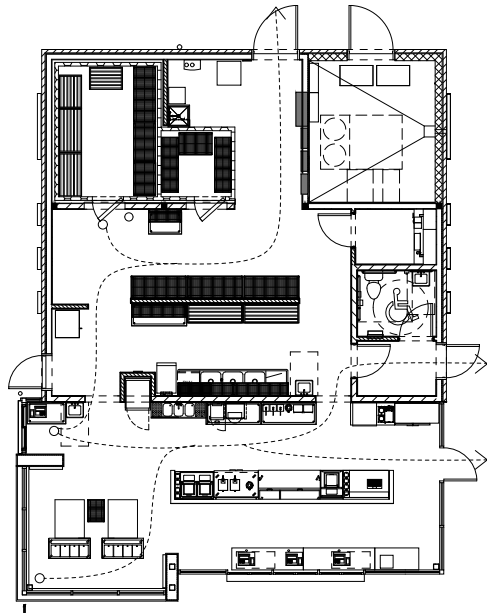
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Planting Notes & Plant Schedule

Sheet Number

L201

12-B-23-UR
Revised: 11/28/2023



1 LIFE SAFETY PLAN
3/16" = 1'-0"

LIFE SAFETY PLAN KEY:

MAXIMUM PATH OF TRAVEL LENGTH = 52'

PROJECT DESCRIPTION:

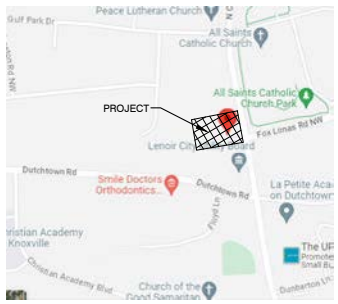
NEW CONSTRUCTION OF A 1-STORY STAND ALONE FROZEN CUSTARD STORE W/ WALK UP SERVICE AND DINE IN. THE BUILDING IS TO BE A SLAB ON GRADE WITH WOOD FRAME CONSTRUCTION.

ADOPTED CODES:

- BUILDING CODES:**
 - 2018 INTERNATIONAL BUILDING CODE
 - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- PLUMBING CODE:**
 - 2018 INTERNATIONAL PLUMBING CODE
- MECHANICAL CODE:**
 - 2018 INTERNATIONAL MECHANICAL CODE
- ELECTRIC CODE:**
 - 2017 NATIONAL ELECTRIC CODE W/LOCAL AMENDMENTS
- FIRE PREVENTION:**
 - 2018 INTERNATIONAL FIRE CODE W/LOCAL AMENDMENTS
- ADA:**
 - 2009 ICC ANS I117.1 ACCESSIBILITY CODE

BUILDING ANALYSIS:

- OCCUPANCY: B OCCUPANCY**
 - 1. BASED ON AN OCCUPANT LOAD OF LESS THAN 50 PERSONS. 1 EXIT REQUIRED - 3 PROVIDED
- CONSTRUCTION TYPE: V-B**
 - 1. NO FIRE RESISTANCE RATING REQUIREMENTS PER TABLE 601
 - 2. NO AREA INCREASES REQUIRED
 - 3. NO MIXED USES OR AREA SEPARATIONS REQUIRED PER TABLE 508.2
- ZONING: ZONE AC ARTERIAL COMMERCIAL**
- SITE DATA:**
 - TOTAL SITE AREA: +/- .87 ACRES
 - PARCEL I.D.: 079048M D 000000000
- OCCUPANT LOAD (EXCLUDES OUTDOOR MECH. ENCLOSURE IN AREA TABULATION):**
 - INTERIOR OCCUPANCY: 200 S.F. / PERSON, 1,433 S.F. = 8 PERSONS
 - PATIO OCCUPANCY: 15 S.F. / PERSON, 828 S.F. = 55 PERSONS
 - TOTAL: 49 PERSONS
- PLUMBING FIXTURE ANALYSES**
 - 1 PER 100 PERSONS
 - 65 OCCUPANTS
 - TOTAL - 1 LAVATORY, 1 SERVICE SINK
- REQUIRED EXITS:**
 - 1. 2 SPACED NO MORE THAN HALF THE DIAGONAL OF THE BUILDING)
 - 2. MAX. TRAVEL DISTANCE: 200 FEET
- SPRINKLERED: NON-SPRINKLERED**
 - 1. SPRINKLERS NOT REQUIRED PER 2012 IBC 903.2.1.2
- NUMBER OF STORIES: 1**
- ACCESSIBLE PARKING**
 - 1. PER IBC 2012 TABLE 1106.1 ACCESSIBLE PARKING SPACES - 1 ACCESSIBLE SPACE REQUIRED.



LOCATION PLAN (NTS):
513 N. CEDAR BLUFF RD, KNOXVILLE TN 37923

PROJECT DIRECTORY:

ARCHITECT:
pb2 Architecture & Engineering
2809 Ajax Avenue Ste 100,
Rogers AR, 72758
P: 479-878-3741 / F: 479-636-1209
Contact: Jonathan Sproule
jonathan.sproule@pb2ae.com

CLIENT CONTACT:
3 Peaks Custard, LLC
118 N. Peters Rd Ste 244
Knoxville TN, 37923
Phone: 417-678-9970
Contact: Tom Gass
tom.gass@3peakscustard.com

CIVIL ENGINEER:
Will Robinson & Associates
1248 N. Shorewood Ln
Caryville, TN 37714
P: 965-985-4200
Contact: Will Robinson
will@wracivil.com

SHEET INDEX

ARCHITECTURAL:	
A000	COVER SHEET
A001	NOTES
A101	ARCHITECTURAL SITE PLAN
CIVIL:	
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S1.2	FRAMING GENERAL NOTES & TYP. DETAILS
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S3.1	ROOF FRAMING PLAN
S4.1	FOUNDATION DETAILS
S5.1	FRAMING DETAILS
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A203	REFLECTED CEILING PLAN
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P2	PLUMBING SCHEDULES AND SPECIFICATIONS
EO.1	SITE LIGHTING PLAN
EO.2	SITE LIGHTING PLAN PHOTO METRICS
E1.0	LIGHTING PLAN
E2.0	POWER PLAN
EO.0	ELECTRICAL SCHEDULES
E4.0	ELECTRICAL RISER AND DETAILS
EO.0	AV AND DATA PLAN
ME.0	MECHANICAL, AND ELECTRICAL SPECS

STRUCTURAL ENGINEER:

Tatum Smith Welcher Engineers, Inc.
3100 S. Market St. #202
Rogers, Arkansas 72758
P: 447-621-6128
Contact: Thomas Norris
tn@tswstructural.com
Contact: Richard Welcher
rmw@tswstructural.com

M.E.P. ENGINEER:

pb2 Architecture & Engineering
2809 Ajax Avenue Ste 100, Rogers AR, 72758
P: 479-878-3741 / F: 479-636-1209
Contact: Tommy Johnson
tommy.johnson@pb2ae.com
Contact: Brandon Hampton
brandon.hampton@pb2ae.com

SQUARE FT. INFORMATION:

TOTAL NET S.F.:

1	FRONT OF HOUSE	593 SF
2	BACK OF HOUSE	456 SF
3	VESTIBULE	37 SF
4	RESTROOM	44 SF
5	OFFICE	39 SF
6A	WALK-IN COOLER	107 SF
6B	WALK-IN FREEZER	35 SF
7	UTILITY	120 SF
TOTAL:		1,433 SF

GROSS S.F.:

1	ANDY'S FROZEN CUSTARD	1,588 SF
---	-----------------------	----------

ANDY'S FROZEN CUSTARD
513 N. CEDAR BLUFF RD., KNOXVILLE TN 37923

CONSTRUCTION DOCUMENTS

pb2
Architecture & Engineering
2809 Ajax Avenue Suite 100
Rogers Arkansas 72758
Phone: 479.878.3741
Fax: 479.636.1209
Architect of Record
William Douglas Hurley
Tennessee Contract No. 107100
Form B-0306 June No. 3032

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ANDY'S FROZEN CUSTARD
513 N. CEDAR BLUFF ROAD
KNOXVILLE, TN 37923
JOB NUMBER: 2023-0538

ISSUE BLOCK

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COVER SHEET

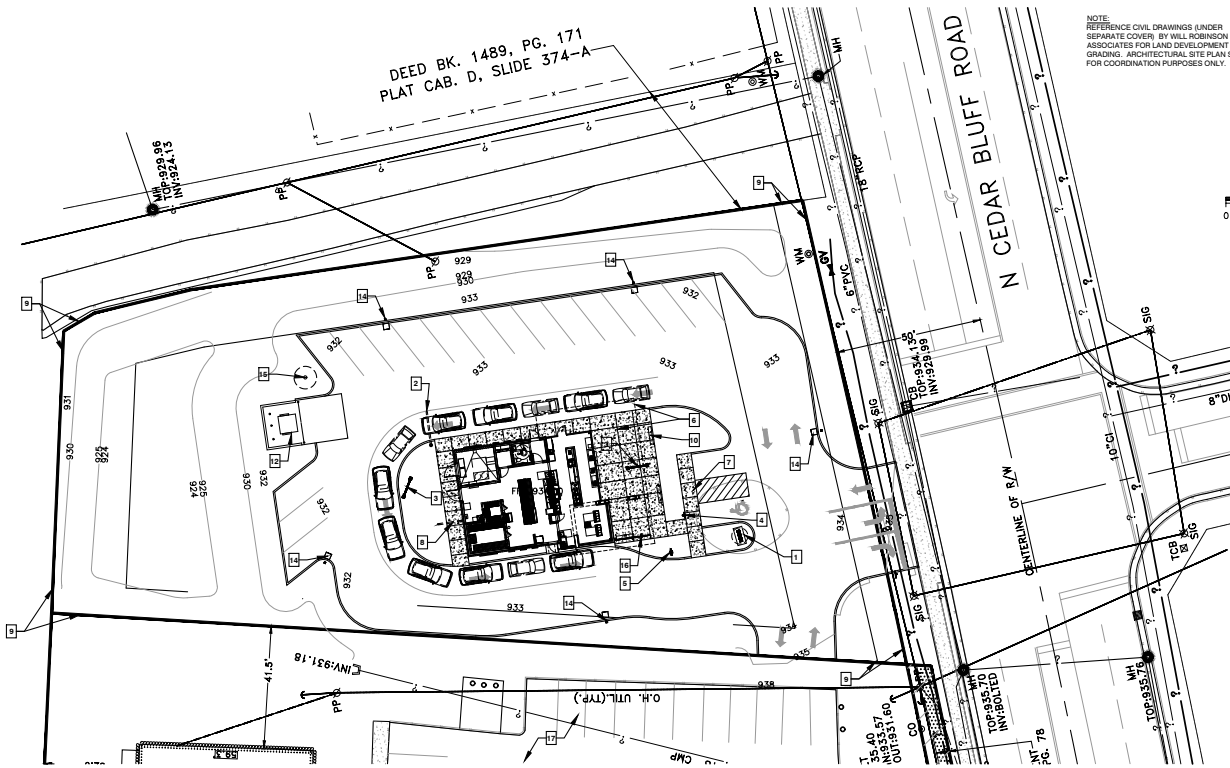
12-B-23-UR
Revised: 11/28/2023

SHEET:
A000

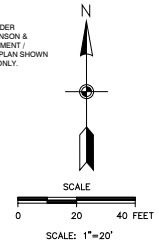
PRINTED: 10/17/2023 9:49 AM BY: Jonathan Sproule, LAST SAVED: 10/17/2023 11:52 AM BY: Jonathan Sproule
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1 ARCHITECTURAL SITE PLAN
 1" = 20'-0"



NOTE:
 REFERENCE CIVIL DRAWINGS UNDER SEPARATE COVER BY WILL ROBINSON & ASSOCIATES FOR LAND DEVELOPMENT GRADING. ARCHITECTURAL SITE PLAN SHOWN FOR COORDINATION PURPOSES ONLY.



NOTE:
 COORDINATE SITE DETAILS INDICATED ON THIS SHEET, A101, WITH ALL CIVIL DRAWINGS. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION NOT INDICATED HERE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

- SITE PLAN KEYED NOTES:**
1. PROPOSED NEW ANDY'S FROZEN CUSTARD MONUMENT SIGN, REF SIGNAGE PACKAGE
 2. DRIVE THRU CLEARANCE INDICATION BAR, REF SIGNAGE PACKAGE
 3. MENU BOARD, REF SIGNAGE PACKAGE
 4. ACCESSIBLE PARKING STALL SIGNAGE, REF. CIVIL
 5. ANDY'S DIRECTIONAL SIGNAGE, REF SIGNAGE PACKAGE
 6. OUTDOOR PATIO BELOW ROOF CANOPY
 7. ACCESSIBLE CURB RAMP WITH DETECTABLE WARNING, REF. CIVIL DWGS
 8. ROUTE DOWNSPOILT UNDERGROUND INTO UNDERGROUND STORM WATER, REF CIVIL DRAWINGS
 9. PROPERTY LINE
 10. SEATING BENCHES; SEE SIGNAGE PACKAGE
 11. CONCRETE TRANSFORMER PAD, REF CIVIL DRAWINGS AND ELEC. DWGS
 12. TRASH ENCLOSURE; SEE SHEET A007 AND STRUCTURAL DWGS. DUMPSTER PROVIDED BY TENANT
 13. PROPERTY LINE; REF CIVIL DRAWINGS UNDER SEPARATE PERMIT
 14. POLE MOUNTED LIGHTING; REF ELECTRICAL SHEETS
 15. APPROXIMATE LOCATION OF GREASE INTERCEPTOR; REF MEP DRAWINGS
 16. 42" HIGH GALVANNEAL; MODEL 300 LONG ISLANDER W/2" POSTS BY "IDEAL ALUMINUM"
 17. ADJACENT LOT

SIGNAGE DATA:
 SIGNAGE PERMIT UNDER SEPARATE SUBMITTAL, G.C. TO COORDINATE ALL FINAL LOCATIONS AND POWER REQUIREMENTS WITH SIGNAGE PACKAGE BY TENANT'S SIGN VENDOR

VEHICLE DATA:
 TOTAL PARKING: 117 (16 + 1 ADA)
 TOTAL CARS IN QUEUE: 12 SHOWN

pb2
 PROFESSIONAL BUSINESS
 2609 Apex Avenue Suite 100
 Rogers, Arkansas 72758
 Phone: 479.234.3545
 Fax: 479.634.1029
 Architect of Record
 William Douglas Hurley
 Tennessee License No. 102150
 Firm EBC020466 No. 3032

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ANDY'S FROZEN CUSTARD
 513 N. CEDAR BLUFF ROAD
 KNOXVILLE, TN 37923
 LCB NUMBER: 2023-0538

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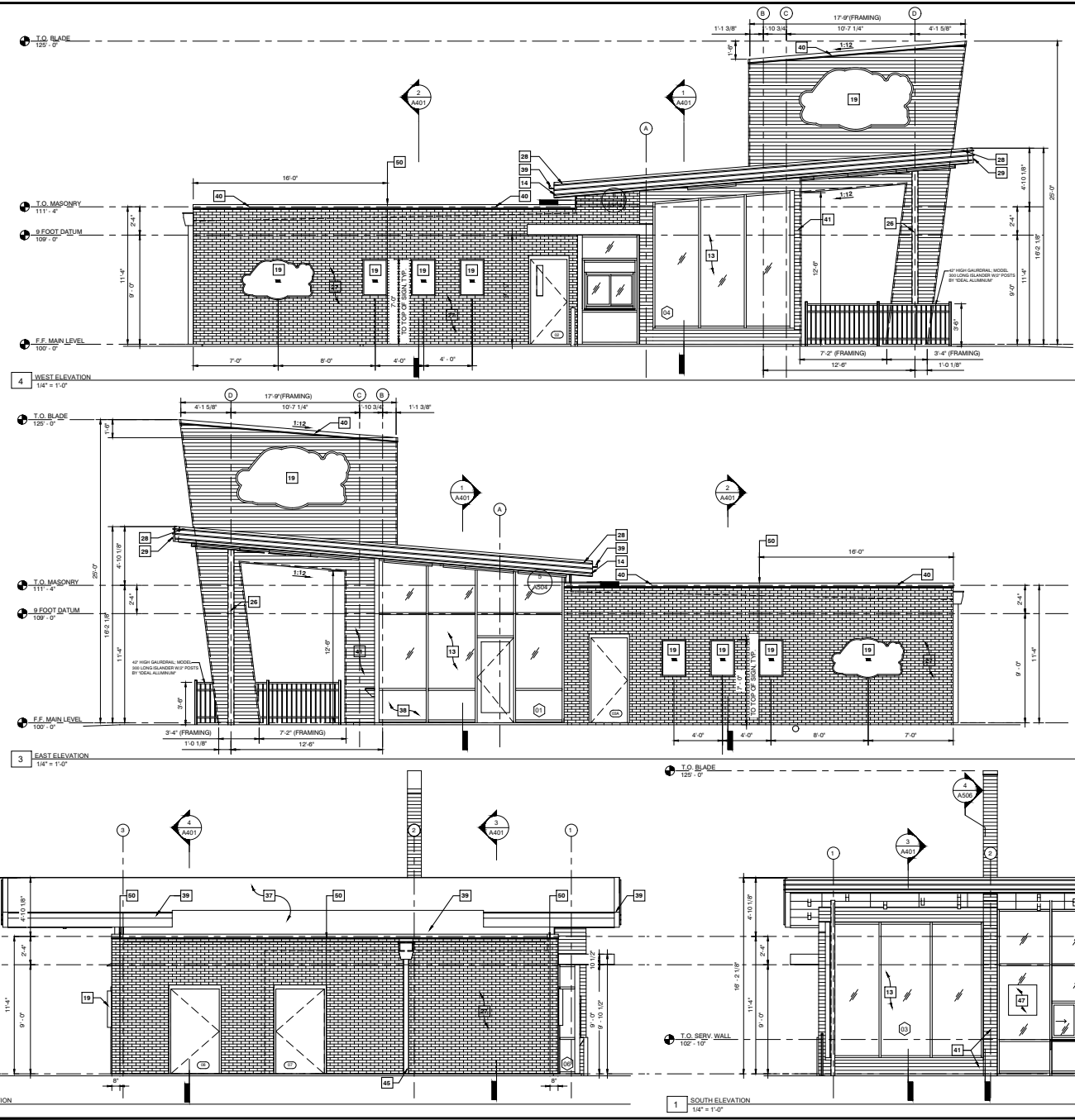
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ARCH. SITE PLAN

SHEET: **A101**

12-B-23-UR
 Revised: 11/28/2023

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- KEYNOTES:**
- ROOF DRAINS BELOW SIDEWALK TO STORM SEWER. NOTE: EXPELL WATER UNDER SIDEWALK TO CURB - NOT ONTO WALK.
 - NEW PANELBOARDS.
 - DRIVE THRU WINDOW.
 - TACTILE ALUMINUM EXIT SIGNAGE IN COMPLIANCE WITH SECTION 1011.3 BC 2006 SURFACE MOUNTED TO DOOR.
 - TACTILE ALUMINUM RESTROOM SIGNAGE IN COMPLIANCE WITH SECTION 1110.1 BC 2006 SURFACE MOUNTED TO DRYWALL.
 - PROVIDE 3' CLEAR ACCESSIBLE EGRESS PATH.
 - CONTRACTOR TO CONFIRM LOCATION OF THE CENTER SERVICE ISLAND WITH ARCHITECT BEFORE ROUGH IN OF PLUMBING.
 - ROOF STRUCTURE WITH CLEAR ANODIZED ALUMINUM FASCIA WITH 3 CONTINUOUS BANDS OF NEON TUBING AND HARDIE REVEAL PANEL (7'10") SOFIT PAINTED WHITE.
 - INSTALL CORNER GUARDS, TYP.
 - PROVIDE HOT AND COLD WATER HOSE BIB ON WALL BEHIND AND ADJACENT TO CUSTARD MACHINES.
 - FIRE EXTINGUISHER AND CABINET - SEE 4/A701.
 - COORDINATE INSTALLATION OF WALK-IN COOLER AND FREEZER W/ SUPPLIER.
 - EFCO 403 STOREFRONT OR EQUIVALENT - REINFORCE AS REQUIRED BY MFG. W/ 1" INSULATED GLAZING.
 - PLUMB CUT ROOF EDGE.
 - CLEAR OVER CLEAR 1" INSULATED GLAZING - SEE GLAZING SPECS ON SHEET A701.
 - OCCUPANCY LOAD SIGNAGE IN COMPLIANCE WITH SECTION 1004.3 BC 2003 - SURFACE MOUNTED ABOVE DOOR.
 - CORNER TO BE BUTT GLAZED WITH A 45 DEGREE MILLION.
 - CUSTARD MACHINES TO STRADDLE FLOOR SINS.
 - ANDY'S MENU AND POSTER SIGNAGE BY OTHERS - VERIFY INSTALLED LOCATION W/ OWNER.
 - EXTERIOR UPLIGHTING MOUNTED TO MILLION PER SPECIFICATIONS.
 - MAINTAIN A MINIMUM OF 10" CLEAR ON OPERABLE SIDE OF WALK-IN COOLER AND FREEZER - COORDINATE DETAILING W/ MFG.
 - TRASH / RECYCLING PER OWNER.
 - ALL EXPOSED DUCTWORK TO BE PAINTED WHITE TO MATCH GWS CEILING.
 - 60 MIL WHITE TPO MECHANICALLY FASTENED WITH 1" ROOF INSULATION.
 - PROVIDE SOLID BLOCKING FOR ALL SHELVES & WALL MOUNTED EQUIPMENT - SEE ADDS FOR LOCATIONS.
 - COLUMNS PER STRUCTURAL.
 - BRICK VENEER PER WALL SECTION.
 - PERIMETER NEON LIGHTING ON EXTENTS OF ALUMINUM FASCIA BY OWNER.
 - SQUARE CUT ROOF EDGE.
 - SITE WORK PER CIVIL PLANS AND SPECIFICATIONS.
 - COMPOSITE SLATS ON GALVANIZED TUBE STEEL FRAME.
 - DUNSMYR PRODUCTS INC. SLIDING WINDOWS. SELF CLOSING SC-4030 AT WALK-UP PATIO WINDOWS. FULLY AUTOMATIC 405SE AT DRIVE THRU WINDOW.
 - CAP AND SILL FLASHING AT TOP DATUM OF MASONRY VENEER AND FREESTANDING WALL, TYP.
 - FOUNDATION PER STRUCTURAL.
 - WALL TYPE PER PLAN.
 - DUCTWORK LOCATION AND SIZING PER MEP.
 - ROOF CONSTRUCTION - 60 MIL WHITE TPO ROOFING MECHANICALLY FASTENED ON 1" ROOF INSULATION - MINIMUM OF R-30.
 - WHITE SPANDREL GLAZING - ALL SPANDREL GLASS TO BE WHITE, U.O.N.
 - PREFINISHED METAL BOX GUTTER.
 - PRE FINISHED METAL PARAPET CAP FLASHING.
 - 1x4" T-C COMPOSITE SIDING. BASIS OF DESIGN: TIMBERTECH PORCH COLLECTION, MANGOHANY.
 - JAMES HARDIE - 5/8" HARDIE PANELS COLOR PLUS® EXTERIOR FIRE RESISTANT VERTICAL SIDING - 4" X 8" SECTIONS - SMOOTH FINISH - COLOR: LIGHT MET. ON 3/4" BATTENS.
 - CASED OPENING FOR WALK-IN COOLER ACCESS.
 - DIRECT APPLIED EIFS OVER DENS GLASS GOLD SHEATHING; SINE SAND FINISH - COLOR BONE WHITE. PROVIDE PERIMETER VENT STRIP AROUND PERIMETER.
 - 6" DIAMETER DOWNSPOUT - TO DRAIN TO DAYLIGHT UNDER SIDEWALK. REF. CIVIL PLANS.
 - ANDY'S FROZEN CUSTARD NEON CONE SIGN "MADE FRESH EVERY HOUR" - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING - SUSPEND FROM HORIZONTAL MILLION AND CONCEAL POWER SUPPLY ALONG INSIDE FACE OF MILLION.
 - ANDY'S FROZEN CUSTARD SPEECHER ROOT BEER NEON SIGN - LOCATED INSIDE STORE IN FRONT OF STOREFRONT GLAZING - SUSPEND FROM HORIZONTAL MILLION AND CONCEAL POWER SUPPLY ALONG INSIDE FACE OF MILLION.
 - STEEL PIPE BOLLARD - 4" DIAMETER SCHEDULE 40 STEEL PIPE - 4' ABOVE GRADE W/ 2' CORE BELOW GRADE.
 - ELECTRIC STUB.
 - MASONRY CONTROL JOINT; REF STRUCTURAL DWGS.

12-B-23-UR
 Revised: 11/28/2023

pb2
 PROFESSIONAL BUSINESS
 2809 Alpa Avenue Suite 100
 Rogers Arkansas 72758
 Phone: 479.634.3545
 Fax: 479.634.1029

Architect of Record
 William Douglas Hurley
 Tennessee Control No. 102100
 Firm Expiration No. 3032

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ANDY'S FROZEN CUSTARD
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 KNOXVILLE, TN 37923
 JOB NUMBER: 2023-0538

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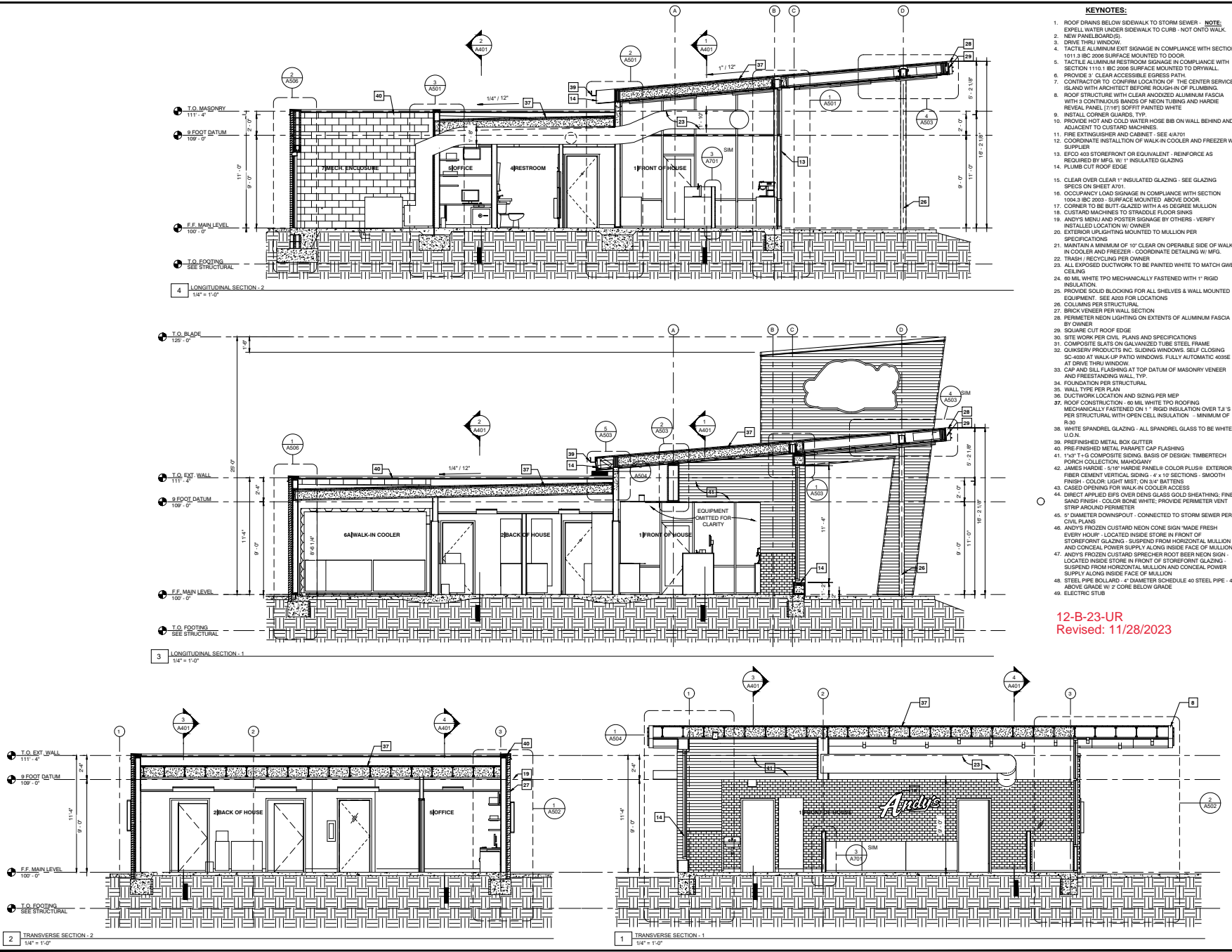
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ELEVATIONS
 SHEET:
A301

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- KEYNOTES:**
- ROOF DRAINS BELOW SIDEWALK TO STORM SEWER - NOTE: EXPELL WATER UNDER SIDEWALK TO CURB - NOT ONTO WALK.
 - NEW PANEL ROOFING.
 - DRIVE THRU WINDOW.
 - TACTILE ALUMINUM EXIT SIGNAGE IN COMPLIANCE WITH SECTION 1011.3 IRC 2006 SURFACE MOUNTED TO DOOR.
 - TACTILE ALUMINUM RESTROOM SIGNAGE IN COMPLIANCE WITH SECTION 1115.1 IRC 2006 SURFACE MOUNTED TO DRYWALL.
 - PROVIDE 3' CLEAR ACCESSIBLE EGRESS PATH.
 - CONTRACTOR TO CONFIRM LOCATION OF THE CENTER SERVICE ISLAND WITH ARCHITECT BEFORE ROUGH-IN OF PLUMBING.
 - ROOF STRUCTURE WITH CLEAR ANODIZED ALUMINUM FASCIA WITH 3 CONTINUOUS BANDS OF NEON TUBING AND HARDIE REVEAL PANEL (7'10\"/>

12-B-23-UR
Revised: 11/28/2023

pb2
Professional Building
2809 Alpa Avenue Suite 100
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Fax: 479.434.1291

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Tennessee License No. 1017-00
Firm Expiration No. 9332

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ANDY'S FROZEN CUSTARD
513 N. CEDAR BLUFF ROAD
KNOXVILLE, TN 37923
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SECTIONS

SHEET: **A401**



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Tom Gass

Applicant Name

Affiliation

10/27/2023

Date Filed

12/14/2023

Meeting Date (if applicable)

12-B-23-UR

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Will Robinson Will Robinson and Associates

Name / Company

1248 N. Shorewood Ln. Ln. Caryville TN 37714

Address

865-386-4201 / wendy@wracivil.com

Phone / Email

CURRENT PROPERTY INFO

William Slagle Fox Lonas Certified Prope

Owner Name (if different)

5731 Lyons View Pike Ste 225 Knoxville TN 37919

Owner Address

865-719-6505

Owner Phone / Email

513 N CEDAR BLUFF RD

Property Address

119 H F 014

Parcel ID

0.82 acres

Tract Size

Part of Parcel (Y/N)?

West Knox Utility District

Sewer Provider

West Knox Utility District

Water Provider

Septic (Y/N)

STAFF USE ONLY

W. side of N. Cedar Rd., N. of Dutchtown Rd.

General Location

City

Commission District 3

CN (Neighborhood Commercial)

Agriculture/Forestry/Vacant Land

County District

Zoning District

Existing Land Use

Northwest County

Planning Sector

NC (Neighborhood Commercial)

Sector Plan Land Use Classification

Planned Growth Area

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) Eating establishment with a drive-through facility	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Additional Information	Total Number of Lots Created
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre) Previous Zoning Requests		
Additional Information		

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)
 Design Plan Certification (Final Plat)
 Site Plan (Development Request)
 Traffic Impact Study
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
\$1,600.00	
Fee 2	
Fee 3	

AUTHORIZATION

- I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	Tom Gass Please Print	10/27/2023 Date
---------------------	---------------------------------	---------------------------

Property Owner Signature	William Slagle Fox Lonas Certified Properties Please Print	10/27/2023 Date
--------------------------	----------------------------------------------------------------------	---------------------------

(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices OR email it to applications@knoxplanning.org

Reset Form



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP OYP
- Rezoning

Tom Gass

Franchisee/Managing Partner

Applicant Name

Affiliation

10/26/2023

Dec 14, 2023

Date Filed

Meeting Date (if applicable)

Prior Use on Review. ^{File Number(s)}
3-C-23-UR
12-B-23-UR

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Will Robinson

Will Robinson & Associates

Name

Company

1248 N Shorewood Ln

Caryville

TN

37714

Address

City

State

ZIP

865-386-4201

wendy@wrcivil.com

Phone

Email

CURRENT PROPERTY INFO

Fox Lonas Certified Properties

5731 Lyons View Pk Suite 225 Knoxville 865-719-6505

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

513 N Cedar Bluff Rd

119HF014

Property Address

Parcel ID

WKUD

WKUD

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

City County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

DEVELOPMENT REQUEST

- Development Plan Use on Review / Special Use Hillside Protection COA
- Residential Non-Residential

Related City Permit Number(s)
3-C-23-UR

Home Occupation (specify) _____

Plans revised to increase the efficiency of the drive thru.

Other (specify) _____

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name _____

Unit / Phase Number Combine Parcels Divide Parcel Total Number of Lots Created

Other (specify) _____

Attachments / Additional Requirements

ZONING REQUEST

Pending Plat File Number

Zoning Change Proposed Zoning _____

Plan Amendment Change Proposed Plan Designation(s) _____

Proposed Density (units/acre) Previous Rezoning Requests

Other (specify) _____

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

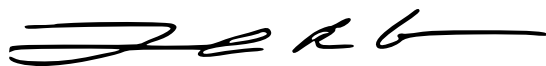
ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)
- Use on Review / Special Use (*Concept Plan*)
- Traffic Impact Study
- COA Checklist (*Hillside Protection*)

Fee 1		Total
0405	\$1,600.00	
Fee 2		\$1,600.00
Fee 3		

AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct:
 1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent



Tom Gass

10/26/23

Applicant Signature

Please Print

Date

417-676-4970

tom.gass@3peakscustard.com

Phone Number

Email



William Slagle

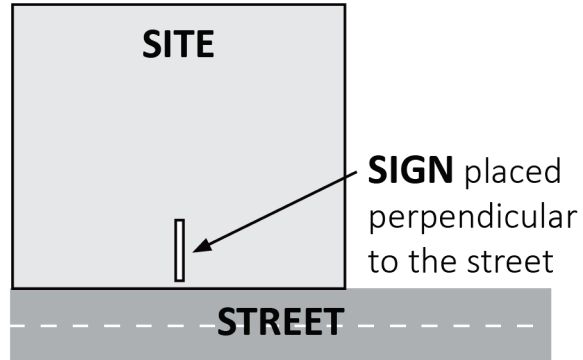
10/27/2023, SG

Property Owner Signature

Please Print

Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ 12/01/2023 _____ and _____ 12/15/2023 _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Tom Gass

Date: 10/27/2023

File Number: 12-B-23-UR

- Sign posted by Staff
- Sign posted by Applicant