

SPECIAL USE REPORT

► **FILE #:** 2-D-23-SU

AGENDA ITEM #: 13

AGENDA DATE: 2/9/2023

► **APPLICANT:** SETH SCHWEITZER

OWNER(S): Jim Caughorn Knox213

TAX ID NUMBER: 94 D K 009, 010

[View map on KGIS](#)

JURISDICTION: City Council District 4

STREET ADDRESS: 600 LAMAR ST (610 LAMAR ST)

► **LOCATION:** Northwest side of E. Fourth Ave, northeast side of Lamar St

► **APPX. SIZE OF TRACT:** 12184 square feet

SECTOR PLAN: Central City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Lamar Street, a local street with a pavement width of 40-ft within a right-of-way width of 60-ft; and via Fourth Avenue, a local street with a pavement width of 40-ft within a right-of-way width of 60-ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: First Creek & Second Creek

► **ZONING:** C-G-2 (General Commercial)

► **EXISTING LAND USE:** Parking Lot

► **PROPOSED USE:** Vehicle wrapping, support spaces, and business office

HISTORY OF ZONING: The property was previously zoned C-3 (General Commercial).

SURROUNDING LAND USE AND ZONING:

North:	Vacant land, single family residential -- C-G-2 (General Commercial), RN-4 (General Residential Neighborhood), H (Historic Overlay)
South:	Multi-family, office -- C-G-2 (General Commercial), DK-E (Downtown Knoxville Edge Subdistrict), H (Historic Overlay)
East:	Industrial, vacant land, multi family - C-G-2 (General Commercial), RN-3 (General Residential Neighborhood), H (Historic Overlay)
West:	Commercial -- DK-E (Downtown Knoxville Edge Subdistrict)

NEIGHBORHOOD CONTEXT: This property adjacent to the Historic Fourth and Gill neighborhood, one block east of Central Street.

STAFF RECOMMENDATION:

► **Approve the Special Use for a vehicle wrap facility with one (1) service bay in the C-G-2 zone, subject to 5 conditions.**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance, including but not limited to the Article 5.4 (Design Standards) for the C-G-2 zoning district, Article 9.3.DD. (Vehicle Repair/Service), and

Article 12 (Landscape).

2. Meeting all applicable requirements of the City of Knoxville Engineering Department, including but not limited to safety related parking improvements to the existing Graphic Creations site at 213 E. Fourth Avenue (parcel 094DK008).

3. Meeting all applicable requirements of the City of Knoxville Plans Review and Inspections.

4. Any proposed signage will be required to meet all applicable requirements of the City of Knoxville Zoning Ordinance.

5. This approval is for a vehicle wrap facility with one (1) service bay only. A change of use to a different type of vehicle repair/service establishment must obtain a new Special Use approval from the Planning Commission.

With the conditions noted, this plan meets the requirements for approval of a vehicle wrap facility in the C-G-2 zoning district, and the criteria for approval of a special use.

COMMENTS:

This Special Use review is for the a vehicle wrap facility. This use has been determined to be similar to a vehicle repair/service facility, which is listed as a Special Use in the C-G-2 (General Commercial) zoning district. The proposed vehicle wrap facility will have one service bay, with vehicles entering from the parking lot off of Lamar Street, and exiting onto E. Fourth Avenue. Vehicles entering and exiting the enclosed facility should be infrequent.

The facility is associated with the adjacent Graphic Creation business. In addition to the vehicle wrap service bay, the new structure will have support space and business offices for the existing and proposed Graphic Creations business.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The One Year Plan and Central City Sector Plan both have this property designated as MU-SD, MU-CC1 (Downtown North Mixed Use District) which allows consideration of various commercial, office, and medium density residential uses.

B. The MU-CC1 district recommends structures have a residential scale when located on local streets. The proposed structure is on local streets, and the flat roof, 2-story building is compatible with the scale of the surrounding buildings.

C. The proposed vehicle wrap facility is consistent with the sector plan and One Year Plan.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The C-G-2 (General Commercial) zoning district is intended to promote mixed-use development in a pedestrian-oriented environment that recalls the City's traditional business districts, and offers flexibility in the creation of integrated commercial, office and residential spaces..

B. The subject property's location is on the edge of the Historic Fourth and Gill Neighborhood, but does not abut residential uses or zoning. The existing Graphic Creations site does abut a residential property that is under construction. This proposal will not significantly impact this nearby residence because the property is currently used as a parking lot, and the portion of this site closest to the residence will remain a parking lot.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The proposed 2-story structure has a flat roof, similar to the surrounding non-residential structures. From the exterior, the building looks as if it is a tall 1-story building with a mezzanine level.

B. The commercial exterior design of the structure is compatible with the surrounding non-residential buildings.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. The vehicle wrapping process is completed within the enclosed building, which will reduce concerns with noise.

B. This proposal only has one service bay which limits the number of vehicles that can be wrapped in a day. The traffic volume attributed to customers will be low compared to other vehicle repair/service establishments.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The property is located local streets and on the edge of a residential neighborhood, however, the site is only one block from Central Street and between nearby Fifth Avenue and Broadway. Most customers going to this site will not travel on the surrounding residential streets.

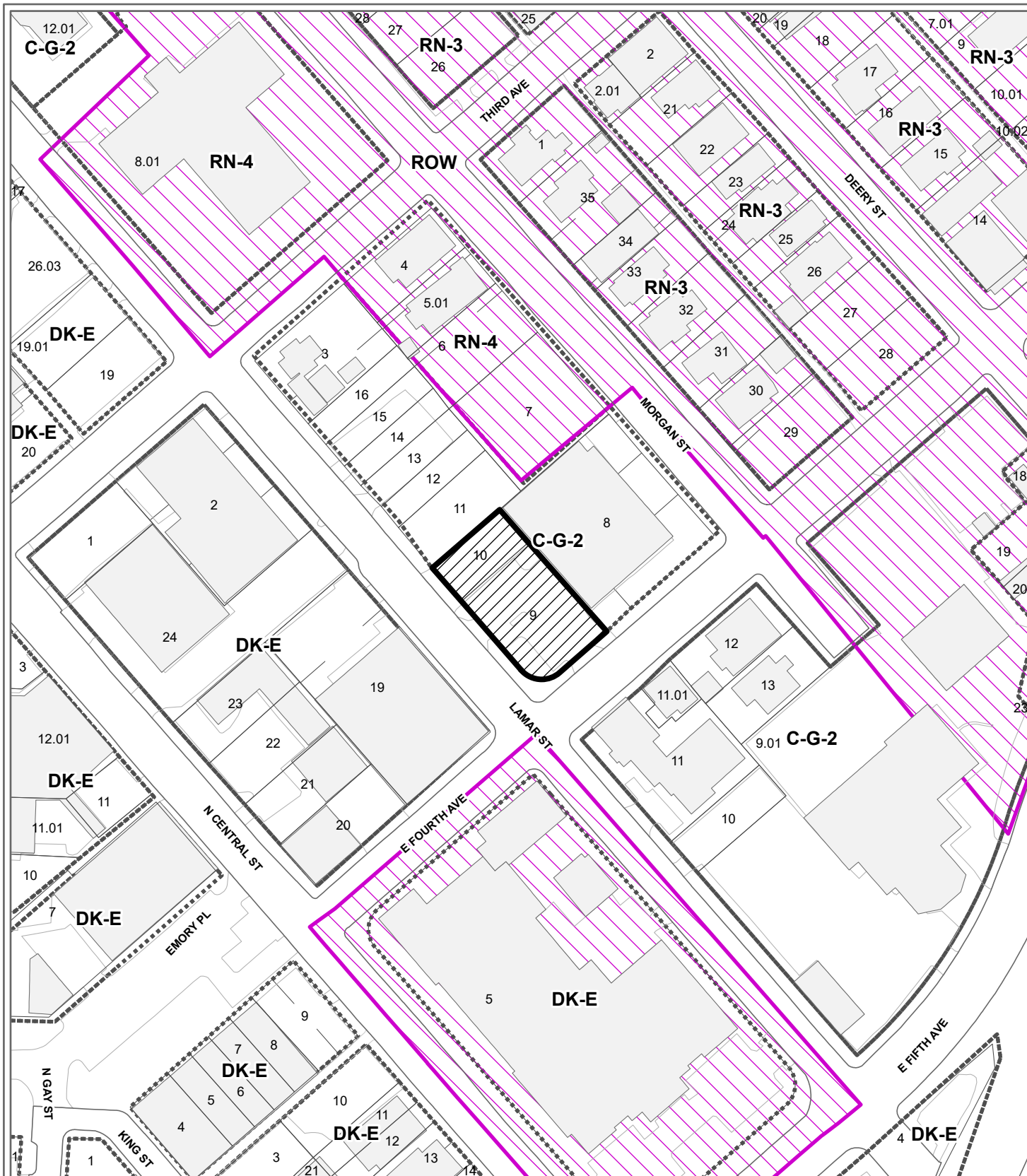
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for future uses on this site.

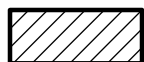
ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



**2-D-23-SU
SPECIAL USE**



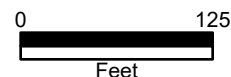
Vehicle wrapping, support spaces, and business office in C-G-2 (General Commercial)

Original Print Date: 1/18/2023
Revised:
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Seth Schweitzer

Map No: 94

Jurisdiction: City



CODE REVIEW SUMMARY

Project No.: 22053
Project: Graphic Creations Expansion
Project Location: 213 E. 4th Avenue, Knoxville, Tennessee 37917
Building Description: Addition to existing structure

ZONING:
City of Knoxville
C-G-2 General Commercial Zoning District
North + East + South: C-G-2; West: Lamar St
Use: Industrial non-conforming
Parcel 9 Parcel ID 094DK009 Site for addition
Parcel 10 Parcel ID 094DK010 Site for addition
Area of site for addition construction: 8,865 sf or +/-0.2 acres

Table 5-1: Commercial District Dimensional Standards	
Minimum Lot Area	None
Minimum Lot Width	None
Maximum Gross Floor Area	N/A
Maximum Building Height	70'
Minimum Front Setback	Build-To Zone 0' to 20'
Minimum Build-To Percentage	50%
Minimum Interior Side Setback	None, unless abutting residential district, then 20'
Minimum Corner Side Setback	Build-To Zone 0' to 10'
Minimum Build-To Percentage	30%
Minimum Rear Setback	None, unless abutting residential district (20')

Table 5-2: Facade Design
Building facades abutting public right-of-way (excluding alleys) must not contain blank wall areas of > 30' linear.
Building facades > 100' linear (excluding alleys) must include repeating pattern with no less than two elements: texture change, material module change, wall articulation change of no less than 2" in depth or projection (reveal, pilaster, projecting rib). All elements to repeat at interval of 50' linear or less.

Public entry from sidewalk along primary building frontage, visually distinctive from remaining portions of facade where located.
Building materials used at primary frontage to continue through facades along ROW.
Fenestration Design:
The ground floor of front facade must maintain 30% min transparency between 2' and 10' height.
Upper floors at front facade to have 15% transparency min. of wall area of story.
Commercial Side Design:
Ensure safe pedestrian access from public ROW and circulation within the development.
Establish cohesive character with hardscape and landscape.

Building Material restrictions
Prohibited on facade facing public ROW (excluding alleys), or abutting to residential district - may still be used as decorative or detail elements for 25% of facade max or as part of exterior construction but not as facade finish material:
- Concrete plain concrete masonry units (cmu)
- Aluminum, steel or other metal siding (does not include metal architectural wall panels)
- Exposed aggregate concrete wall panels
- T-111 composite plywood siding
- Plastic
- Vinyl

Site development standards:
Exterior Lighting
Lighting site plan required. Photometric plan required when adjacent to residential district.
Neon or LED lighting to outline doors, windows, architectural features and building facades prohibited.
Permitted encroachments:
Exterior stairwell (max. 6' in but prohibited at front yard); fire escape (max. 3' in but prohibited at front yard); ornamental features (max. 3' in); sunshade (max. 2' from wall)

PARKING:
Required Off-street Parking

Use	Min. parking required	Max. parking required
Industrial - General	0.9 per 1,000 sf GFA	6 per 1,000 sf GFA
Office	3 per 1,000 sf GFA	8 per 1,000 sf GFA

Industrial-General at 5,575 sf = 5 spaces
Office at 1,525 sf = 5 spaces
Total minimum vehicle parking required = 10 spaces minimum required
Required Accessible Parking
1 to 25 spaces provided: 1 van minimum required
Minimum vehicle parking may be reduced by 20% in the C-G-2 District [Article 11 eB.2.b]

Parking Dimension: 90 degrees, 17.5' min. depth to wall or interlock, 15.5' min. depth to curb, 9' min. width, 26' min. aisle width. Accessible spaces to be 8' min. wide, with 5' min. aisle, and for van either 11' wide with 5' min. aisle or 8' wide with 8' min. aisle. Pedestrian access aisle must be hatched and include painted "No parking" designation.
Bicycle Parking: for less than 50 vehicles required 4 bicycle parking spaces. Must be located 50' from principal entrance. Installed with 3' min. from side of rack clear, 3' front nd back from centerline clear, 4' from side to another bike rack, and 10' front and back from centerline to another bike rack.

Off-Street Loading requirements: Industrial Use 10,000 - 40,000 sf GFA requires 1 loading space; 12' wide min., 35' long min., with a 15' min. vertical clearance.

LANDSCAPING
Plant Diversity
Planting lot Perimeter Landscape Yard: Not required when parking area < 10,000 sf
Interior Parking: Not required parking areas < 20,000 sf and less than 15 parking stalls.

Site Landscape: Landscape areas not covered by structures, pavement, parking - permeable materials allowed for < 40% of landscape area. Planting area along 60% of linear facade with 1 shrub every 3'; 1 shade tree every 50' (2 ornamental trees may substitute 1 shade tree spaced at 25'). Planter boxes / planter pots may satisfy 30% max. of required landscape area.

Fire Chief: Stan Sharp, (865) 595-4480
900 E Hill Ave, Suite 430
Knoxville, Tennessee 37915
ssharp@knoxvilletn.gov

Building Official: Peter Athens (865) 215-3669
400 Main St, Suite 475
Knoxville, Tennessee 37902
pldgsinspections@knoxvilletn.gov

APPLICABLE CODES:
City of Knoxville
2009 ICC/ANSI A11.7
2018 International Energy Conservation Code
2018 International Building Code
2018 International Existing Building Code
2017 National Electrical Code
2018 International Fuel Gas Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fire Code
IECC
IBC
IEBC
IFC

SCOPE:
New addition/expansion of existing building for vehicle wrapping, support spaces on first floor, and business office on second floor.

IECC CLIMATE ZONE: Zone 4A IECB Table C301.1

OCCUPANCY (IBC Chapter 3): Factory (moderate-hazard) - Group-F1 IBC 306.2

CONSTRUCTION TYPE: Type III-B, Unsprinklered IBC Chapter 6

FIRE SEPARATION DISTANCE: (Site Location)
X=5 Type III Occupancy F-1 2hours IBC T602

FIRE RESISTANCE RATING:
Primary Structural Frame 0 hours IBC T601
Bearing Walls 0 hours
Interior 2 hours
Exterior 2 hours
Non-bearing Exterior 2 hours (distance < 5' total) IBC T602
Interior 0 hours
Floor and Secondary Members 0 hours
Roof and Secondary Members 0 hours

ALLOWABLE AREA:
Allowable Building Height above Grade Plane 55' IBC T504.3
Allowable Number of Stories above Grade Plane 3 Stories IBC T504.4
Allowable Building Area per floor 19,000 s.f. IBC T506.2
Actual: 4,900 s.f. 1st + 1,525 s.f. 2nd + 675 s.f. Mezzanine = 7,100 total s.f.
2-story, 30' maximum height

OCCUPANCY SEPARATION: IBC T508.4
B to F-1 No separation requirement (accessory occupancy)

INTERIOR FINISHES:
NonSprinklered Exits Class B; Corridors Class C; Rooms Class C IBC T803.13
Group F Exits Class A; Corridors Class B; Rooms Class C
Group B Exits Class A; Corridors Class B; Rooms Class C

AUTOMATIC SPRINKLER SYSTEM: IBC 903.2.4
Sprinkler Not Required IBC 907.2.4
Smoke Alarm Not Required

PORTABLE FIRE EXTINGUISHERS: IBC T906.3
5lb 2A:10B-C minimum, 11,250 s.f., 75' travel distance

OCCUPANT LOAD: IBC T1004.5
Industrial - Factory (service) 100 G.S.F./Occ. 3,032 s.f. actual 30 occupants
Storage Mezzanine 300 G.S.F./Occ. 657 s.f. actual 2 occupants
Business (2nd level) 150 G.S.F./Occ. 1,248 s.f. actual 8 occupants
Business (1st level) 150 G.S.F./Occ. 638 s.f. actual 4 occupants
Kitchen 200 G.S.F./Occ. 57 s.f. actual 1 occupant
Assembly (meeting & break) 15 Net 477 s.f. actual 32 occupants
Total Occupants 77 occupants

EGRESS WIDTH: IBC 1005.3.1
Stairs - 0.3 x 77 = 23.1" minimum width IBC 1005.3.2
Other - 0.2 x 77 = 15.4" minimum width

NUMBER OF EXITS: IBC T1006.3.2
2 exits minimum required - 4 provided

STAIRWAYS: IBC 1011.2 e1
Width/Capacity 36" IBC 1011.3
Headroom 80" IBC 1011.5.2
Risers 7" max and 4" min IBC 1011.5.2
Treads 11" IBC 1014
Handrails 34" - 38" high IBC 1015
Guardrails 42" high

TRAVEL DISTANCE: IBC 1020.4
Dead End Corridor 20 feet, Not Sprinklered IBC T1017.2
Exit Access Travel Distance 200 feet, Not Sprinklered IBC T1006.2.1
Common Path of Travel 75 feet

CORRIDOR: IBC 1020.1
Construction - 1 hour required IBC T1020.2
Width - Minimum corridor width 44" clear

EMERGENCY ESCAPE AND RESCUE: IBC 1030
Not Required

EMERGENCY SYSTEMS: IBC 1008.1
Emergency Lighting required

SOUND TRANSMISSION:
None required for accessory occupancy, recommend between Group F and Group B
STC 60 or more for wall, and STC 50 for floor/ceiling

PLUMBING FIXTURE COUNT IBC T2902.1

Business
Water Closet 1 per 25, 1 per 50 for remainder exceeding 50
Lavatories 1 per 40, 1 per 80 for remainder exceeding 80
Showers 0
Drinking Fountains 1 per 100
Service Sink 1

Factory
Water Closet 1 per 100
Lavatories 1 per 100
Showers 0
Drinking Fountains 1 per 400
Service Sink 1

2-D-23-SU Graphic Creations



SITE PLAN NOTES

SP1 BOUNDARY INFORMATION, TOPOGRAPHIC INFORMATION, & OTHER SITE INFORMATION IS TAKEN FROM G.I.S. MAPS & OTHER DOCUMENTS PROVIDED BY THE OWNER.

SP2 BUILDING SHALL CONNECT TO (NEW/EXISTING) SEWER AT MANHOLE OR TAP CONNECTION TO BE COORDINATED WITH LOCAL UTILITY.

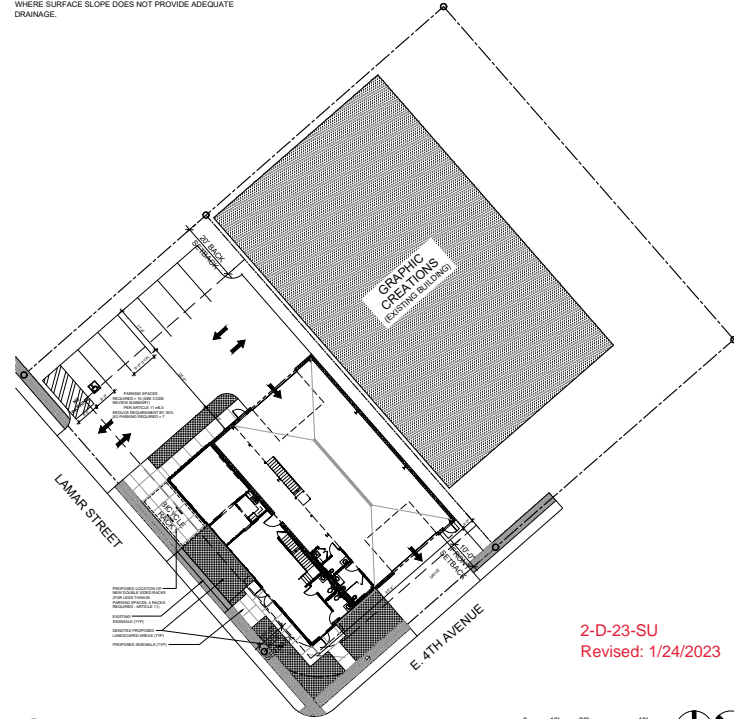
SP3 PARKING LOT PAVEMENT SHALL BE BITUMINOUS PAVING. THICKNESS AS NOTED ON DRAWINGS, WITH 8" MACHINE-FORMED CONCRETE CURBS, SIDEWALKS & DUMPS/PAV TO BE CONCRETE. THICKNESS AS NOTED ON DRAWINGS.

SP4 IN ALL AREAS, PROVIDE POSITIVE DRAINAGE; SLOPE GRADE AWAY FROM BUILDINGS. MAINTAIN & EXTEND EXISTING SWALES; PROVIDE FRENCH DRAIN TO GRADE WHERE SURFACE SLOPE DOES NOT PROVIDE ADEQUATE DRAINAGE.

SP5 SIDEWALK CONCRETE SHALL HAVE:
- 3500 P.S.I. MINIMUM AT 28 DAYS
- 5% AIR ENTRAINMENT
- JOINTS IN SIDEWALK AT 5 FEET INTERVALS
- WOOD FLOAT AND LIGHT BROOM FINISH FOR SLIP RESISTANCE

SP6 PUBLIC WALKS CONNECTING PRIMARY ENTRANCES SHALL BE HANDICAP ACCESSIBLE, WITH A MINIMUM CLEAR WIDTH OF 48 INCHES; SLOPE OF ACCESSIBLE WALKS SHALL NOT EXCEED 1:20 (1" RISE OVER 20' RUN); WHERE HANDICAPS ARE PROVIDED, SLOPE SHALL NOT EXCEED 1:12; CURB CUTS & CURB RAMPS SHALL NOT EXCEED 1:12.

SP7 BUILDING ENTRANCE, ACCESSIBLE PARKING SPACE, & ADJACENT ZONE SHALL NOT EXCEED 1:50 IN ALL DIRECTIONS.



2-D-23-SU
Revised: 1/24/2023

1 ARCHITECTURAL SITE PLAN
G002 SCALE: 1" = 20'-0"

0 10' 20' 40'



GRAPHIC CREATIONS
EXPANSION
213 E. 4TH AVENUE, KNOXVILLE, TENNESSEE 37917

MARK	DATE	ISSUE FOR
1	1/24/23	Submittal Document
2	1/24/23	Preconstruction Review
3	1/24/23	Construction Review
4	1/24/23	Final Review
5	1/24/23	Final Review

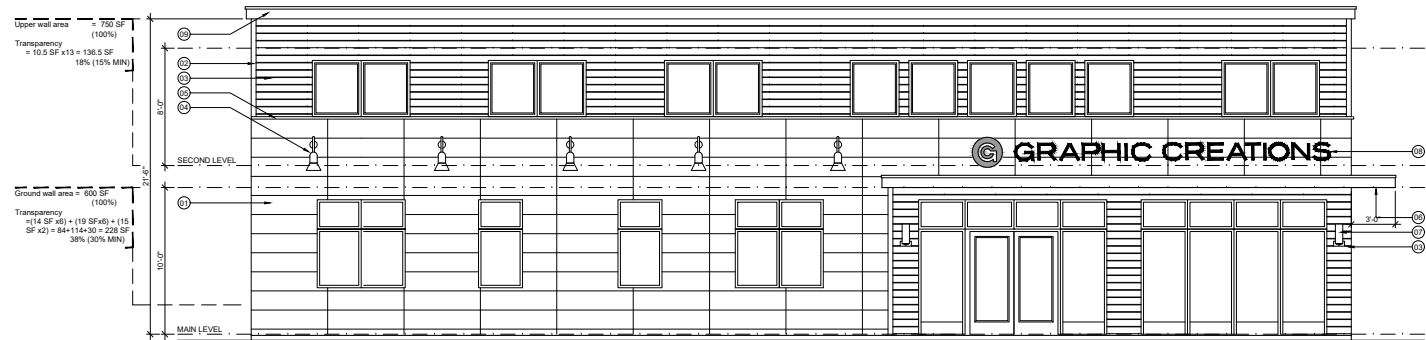
DRAWN: SCS/GA
ARCHITECTURAL SITE PLAN,
NOTES & DETAILS

G002
PROJECT: 22053
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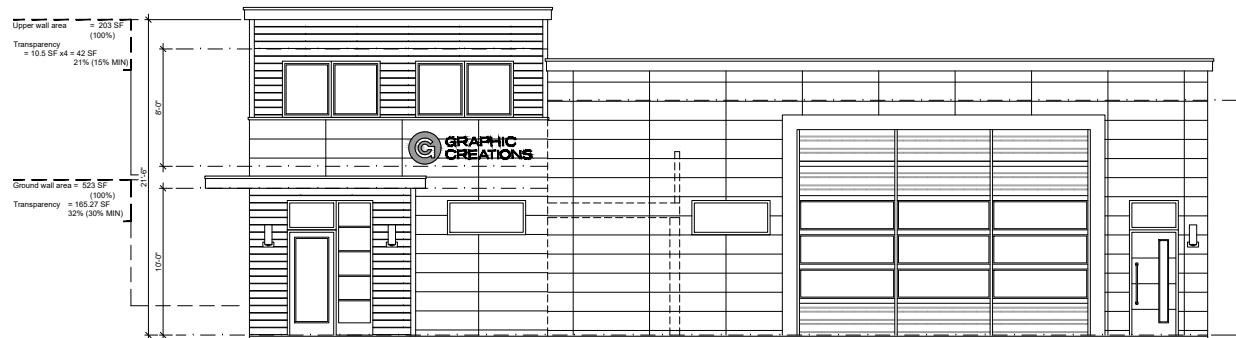
2-D-23-SU Graphic Creations



ELEVATIONS NOTES KEY	
FIBER CEMENT PANELS	01
TRIM	02
WOOD / FIBER CEMENT SIDING	03
LIGHT FIXTURE (MATCH ADJACENT BUILDING)	04
APRON & FLASHING	05
METAL CANOPY	06
WALL MOUNTED LIGHT FIXTURE (PER OWNER SELECTION)	07
LOGO (PER OWNER SELECTION)	08
METAL COPING	09
CMU BLOCK WALL (PAINTED)	10



2 FRONT ELEVATION - LAMAR ST
A201 SCALE: 1/4" = 1'-0"



1 SIDE ELEVATION - E 4th AVE
A201 SCALE: 1/4" = 1'-0"

2-D-23-SU
Revised: 1/24/2023

GRAPHIC CREATIONS
EXPANSION
213 E. 4TH AVENUE, KNOXVILLE, TENNESSEE 37917

MARK	DATE	ISSUE FOR
1	1/24/22	Schema Document
2	1/24/22	Preliminary Review
3	1/24/22	Final Review
4	1/24/22	Final Review

DRAWN: GA
BUILDING ELEVATIONS

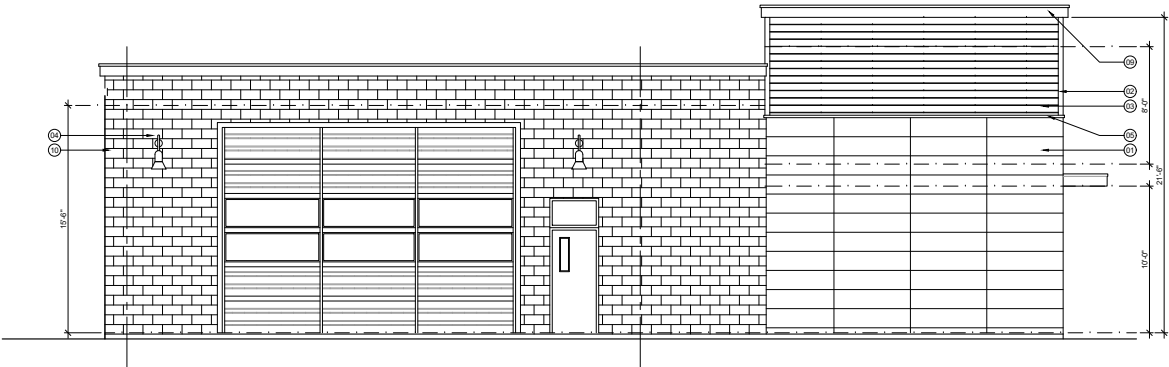
A201
PROJECT: 22053
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2-D-23-SU

Graphic Creations



ELEVATIONS NOTES KEY	
FIBER CEMENT PANELS	(1)
TRIM	(2)
WOOD / FIBER CEMENT SIDING	(3)
LIGHT FIXTURE (MATCH ADJACENT BUILDING)	(4)
APRON & FLASHING	(5)
METAL CANOPY	(6)
WALL MOUNTED LIGHT FIXTURE (PER OWNER SELECTION)	(7)
LOGO (PER OWNER SELECTION)	(8)
METAL COPING	(9)
CMU BLOCK WALL (PAINTED)	(10)



1 SIDE ELEVATION / SECTION CONNECTOR
A202 / SCALE: 1/4" = 1'-0"

2-D-23-SU
Revised: 1/24/2023

GRAPHIC CREATIONS
EXPANSION
213 E. 4TH AVENUE, KNOXVILLE, TENNESSEE 37917

MARK	DATE	ISSUE FOR
1	1/24/22	SCHEMATIC DEVELOPMENT
2	02/02/22	SCHEMATIC DEVELOPMENT
3	02/02/22	PRELIMINARY REVIEW
4	02/02/22	PRELIMINARY REVIEW
5	02/02/22	PRELIMINARY REVIEW
6	02/02/22	PRELIMINARY REVIEW
7	02/02/22	PRELIMINARY REVIEW
8	02/02/22	PRELIMINARY REVIEW
9	02/02/22	PRELIMINARY REVIEW
10	02/02/22	PRELIMINARY REVIEW

BUILDING ELEVATIONS

A202
PROJECT: 22053
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Development Request

DEVELOPMENT

- ☐ Development Plan
☐ Planned Development
☒ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ Sector Plan
☐ One Year Plan
☐ Rezoning

Seth Schweitzer

Applicant Name

Affiliation

12/27/2022

Date Filed

2/9/2023

Meeting Date (if applicable)

2-D-23-SU

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Seth Schweitzer OYSK3 Architects

Name / Company

1545 Western Ave Ste 100 Knoxville TN 37921

Address

865-679-1404 / seth@oysk3architects.com

Phone / Email

CURRENT PROPERTY INFO

Jim Caughorn Knox213

Owner Name (if different)

213 E 4th Ave Knoxville TN 37917

Owner Address

Owner Phone / Email

600 LAMAR ST / 610 LAMAR ST

Property Address

94 D K 009, 010

Parcel ID

Part of Parcel (Y/N)?

12184 square feet

Tract Size

Knoxville Utilities Board

Sewer Provider

Knoxville Utilities Board

Water Provider

Septic (Y/N)

STAFF USE ONLY

Northwest side of E. Fourth Ave, northeast side of Lamar St

General Location

☒ City

Council District 4

C-G-2 (General Commercial)

Parking Lot

☐ Count

District

Zoning District

Existing Land Use

Central City

Planning Sector

MU-SD (Mixed Use Special District), MU-CC1 (Broadway-

Sector Plan Land Use Classification

N/A (Within City Limits)

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan	<input type="checkbox"/> Planned Development	<input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA	<input type="checkbox"/> Residential	<input type="checkbox"/> Non-residential	
Home Occupation (specify) _____			
Other (specify) Vehicle wrapping, support spaces, and business office			

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Pending Plat File Number
Proposed Zoning	
<input type="checkbox"/> Plan Amendment	Proposed Plan Designation(s)
Proposed Density (units/acre) Previous Zoning Requests	
Additional Information	

STAFF USE ONLY

PLAT TYPE <input type="checkbox"/> Staff Review <input type="checkbox"/> Planning Commission	Fee 1 \$1,600.00	Total
ATTACHMENTS <input type="checkbox"/> Property Owners / Option Holders <input type="checkbox"/> Variance Request	Fee 2	
ADDITIONAL REQUIREMENTS <input type="checkbox"/> COA Checklist (Hillside Protection) <input type="checkbox"/> Design Plan Certification (Final Plat) <input checked="" type="checkbox"/> Site Plan (Development Request) <input type="checkbox"/> Traffic Impact Study <input type="checkbox"/> Use on Review / Special Use (Concept Plan)	Fee 3	

AUTHORIZATION

Seth Schweitzer	12/27/2022
Applicant Signature	Date
Please Print	
Phone / Email	
Jim Caughorn Knox213	12/27/2022
Property Owner Signature	Date
Please Print	

I declare under penalty of perjury the foregoing (i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent) is true and correct.



Development Request

DEVELOPMENT

- ☐ Development Plan
☐ Planned Development
☒ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ SP ☐ OYP
☐ Rezoning

oysk3 architects - Seth Schweitzer

architects

Applicant Name

Affiliation

12/22/2022

02/09/2023

Date Filed

Meeting Date (if applicable)

File Number(s)

2-D-23-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☒ Architect/Landscape Architect

Seth Schweitzer

oysk3 architects

Name

Company

1545 Western Ave, Suite 100

Knoxville

TN

37921

Address

City

State

ZIP

(865) 523-8200

office@oysk3architects.com

Phone

Email

CURRENT PROPERTY INFO

KNOX123

213 E Fourth Ave

(865) 412-8082

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

600 & 610 Lamar St

094DK009 & 094DK010

Property Address

Parcel ID

KUB

KUB

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

Northwest side of E. Fourth Ave, northeast side of Lamar St

.28 acres

General Location

Tract Size

☒ City ☐ County

4th
District

C-G-2

Zoning District

Parking lot

Existing Land Use

Central City

MU-SD, MU-CC1 (Broadway-Central-Emory Place Small Area Plan)

N/A

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

August 29, 2022

DEVELOPMENT REQUEST

- ☐ Development Plan ☒ Use on Review / Special Use ☐ Hillside Protection COA
☐ Residential ☒ Non-Residential

Home Occupation (specify) _____

Vehicle wrapping, support spaces, and business office

Other (specify) _____

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name

Unit / Phase Number ☐ Combine Parcels ☐ Divide Parcel

Total Number of Lots Created

☐ Other (specify) _____☐ Attachments / Additional Requirements

Related Rezoning File Number

ZONING REQUEST☐ Zoning Change

Proposed Zoning

☐ Plan Amendment Change

Proposed Plan Designation(s)

Pending Plat File Number

Proposed Density (units/acre)

Previous Rezoning Requests

☐ Other (specify) _____**STAFF USE ONLY****PLAT TYPE**

- ☐ Staff Review ☐ Planning Commission

ATTACHMENTS

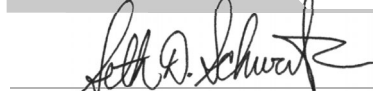
- ☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

- ☐ Design Plan Certification (*Final Plat*)
☐ Use on Review / Special Use (*Concept Plan*)
☐ Traffic Impact Study
☐ COA Checklist (*Hillside Protection*)

Fee 1		Total <
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MR

AUTHORIZATION

Applicant Signature

oysk3 architects - Seth Schweitzer

Please Print

12/22/2022

Date

(865) 523-8200

Phone Number

office@oysk3architects.com

Email



Property Owner Signature

Jim Caughorn

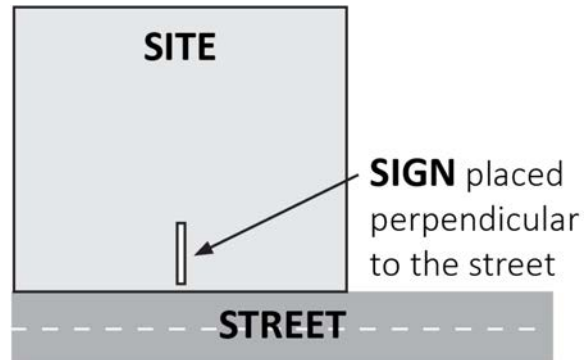
Please Print

12-22-2022

Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ 1/27/2023 _____ and _____ 2/10/2023 _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Seth Schweitzer

Date: 12/27/22

File Number: 2-D-23-SU

☒ Sign posted by Staff
☐ Sign posted by Applicant