



# SUBDIVISION REPORT - CONCEPT

▶ **FILE #:** 4-SB-22-C **AGENDA ITEM #:** 14  
 POSTPONEMENT(S): 4/14/2022 **AGENDA DATE:** 6/8/2023

▶ **SUBDIVISION:** 5117 LONAS DRIVE SUBDIVISION

▶ **APPLICANT/DEVELOPER:** URBAN ENGINEERING, INC.  
 OWNER(S): IKO Properties

TAX IDENTIFICATION: 107 G B 006 [View map on KGIS](#)  
 JURISDICTION: City Council District 2  
 STREET ADDRESS: 5117 Lonas Dr.

▶ **LOCATION:** North side of Lonas Drive, east of Starmont Trail

SECTOR PLAN: Northwest City  
 GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)  
 WATERSHED: Fourth Creek

▶ **APPROXIMATE ACREAGE:** 4 acres

▶ **ZONING:** RN-3 (General Residential Neighborhood)

▶ **EXISTING LAND USE:** Rural residential

▶ **PROPOSED USE:** Detached residential subdivision

SURROUNDING LAND USE AND ZONING: North: Single family residential, Agricultural/forestry/vacant -- LDR (Low Density Residential), HP (Hillside Protection Area)  
 South: Single family residential -- LDR (Low Density Residential)  
 East: Agricultural/forestry/vacant -- LDR (Low Density Residential)  
 West: Single family residential, Agricultural/forestry/vacant -- LDR (Low Density Residential), HP (Hillside Protection Area)

▶ **NUMBER OF LOTS:** 18

SURVEYOR/ENGINEER: Chris Sharp, P.E. Urban Engineering, Inc.

ACCESSIBILITY: Access is via Lonas Road, a major collector with 20 ft of pavement within 50 ft of right-of-way.

▶ **SUBDIVISION VARIANCES REQUIRED:** **VARIANCES:**  
 1) Reduce the minimum intersection separation between Road 'A' and Holman Road from 300 ft to 260 ft.

**ALTERNATIVE DESIGN STANDARDS REQUIRING KNOXVILLE-KNOX COUNTY PLANNING COMMISSION APPROVAL**  
 1) Reduce the minimum private right-of-way width on Road 'A' and Road 'B' from 50 ft to 40 ft.  
 2) Reduce the minimum pavement width on Road 'A' and Road 'B' from 26 ft to 24 ft.

**STAFF RECOMMENDATION:**

▶ Approve the requested variance and alternative design standards based on the justification provided

by the applicant and recommendations of the City of Knoxville Department of Engineering.

**Approve the concept plan subject to 10 conditions.**

1. Connection to sanitary sewer and meeting any other relevant utility provider requirements.
2. Provision of a street name consistent with the Uniform Street Naming and Addressing System within the City of Knoxville (City Ord. 0-280-90).
3. Confirm that the road design complies with AASHTO standards during the design plan phase, with review and approval by the Knoxville Department of Engineering.
4. The driveway lengths must meet the requirements of the Knoxville Department of Engineering during the design plan phase.
5. Confirm that the land disturbance complies with the HP (Hillside Protection Overlay) zone district during the design plan phase.
6. Obtaining approval from the Knoxville Department of Engineering during the design plan phase to increase the maximum intersection grade from 1 percent to up to 2 percent on Road 'A' at Lonas Drive.
7. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
8. Meeting all applicable requirements of the Knoxville Department of Engineering.
9. Before certification of the final plat for the subdivision, establish a property owners association or other legal entity responsible for maintaining common facilities, such as common areas, amenities, and/or stormwater drainage systems.
10. Placing a note on the final plat that all lots will have access only to the internal street system.

**COMMENTS:**

This proposal is for a 18-lot subdivision for single-family houses. The property was rezoned from RN-1 to RN-3 in November 2021 (10-F-21-RZ).

There are 1.32 acres of this 4.24-acre site within the Hillside Protection (HP) Overlay district. The HP overlay allows a maximum of 0.7 acres (53.7%) of the 1.32 acres to be disturbed. This proposal disturbs 0.68 acres. Staff is recommending a condition that during the design plan phase, the land disturbance in the HP overlay be confirmed. If it exceeds 0.7 acres, a level 2 Hillside Protection application will be required to request additional land disturbance. This requires Planning Commission approval.

**VARIANCE**

The applicant is requesting a reduction of the minimum intersection separation from 300 ft to 260 ft to Holman Road. Holman Rd is a local street with low traffic volumes. Similarly, this 18-lot subdivision will have low traffic volumes. There are no apparent sight distance issues at either of these intersections and the intersections are far enough apart that there should not be left turn movement conflicts.

**ESTIMATED TRAFFIC IMPACT:** 208 (average daily vehicle trips)

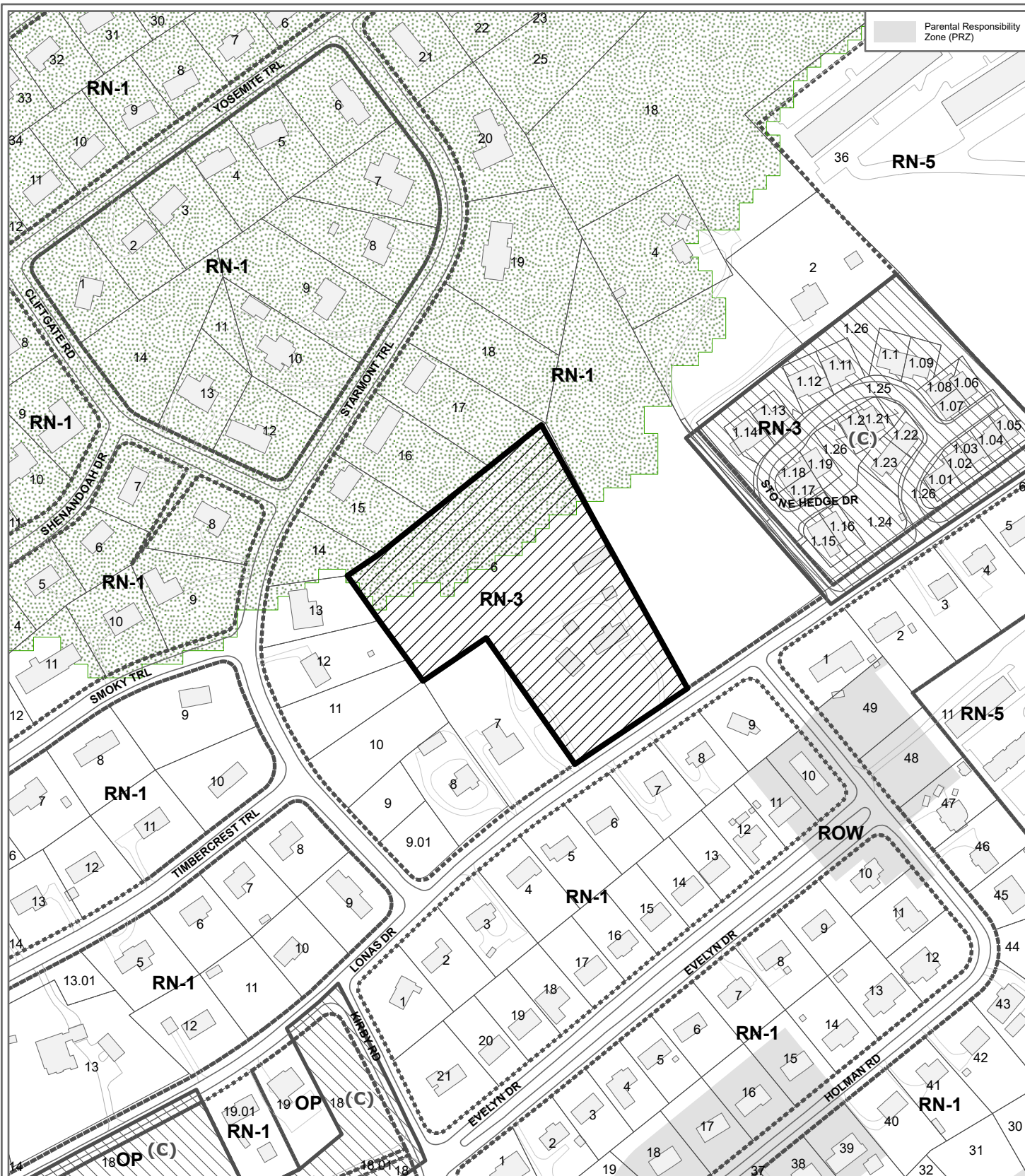
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

**ESTIMATED STUDENT YIELD:** 5 (public school children, grades K-12)

Schools affected by this proposal: Bearden Elementary, Bearden Middle, and West High.

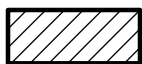
- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

Knoxville-Knox County Planning Commission's approval or denial of this request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court appeal hearing will depend on when the appeal application is filed.



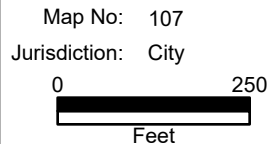
**4-SB-22-C  
CONCEPT PLAN**

Petitioner: Urban Engineering, Inc.

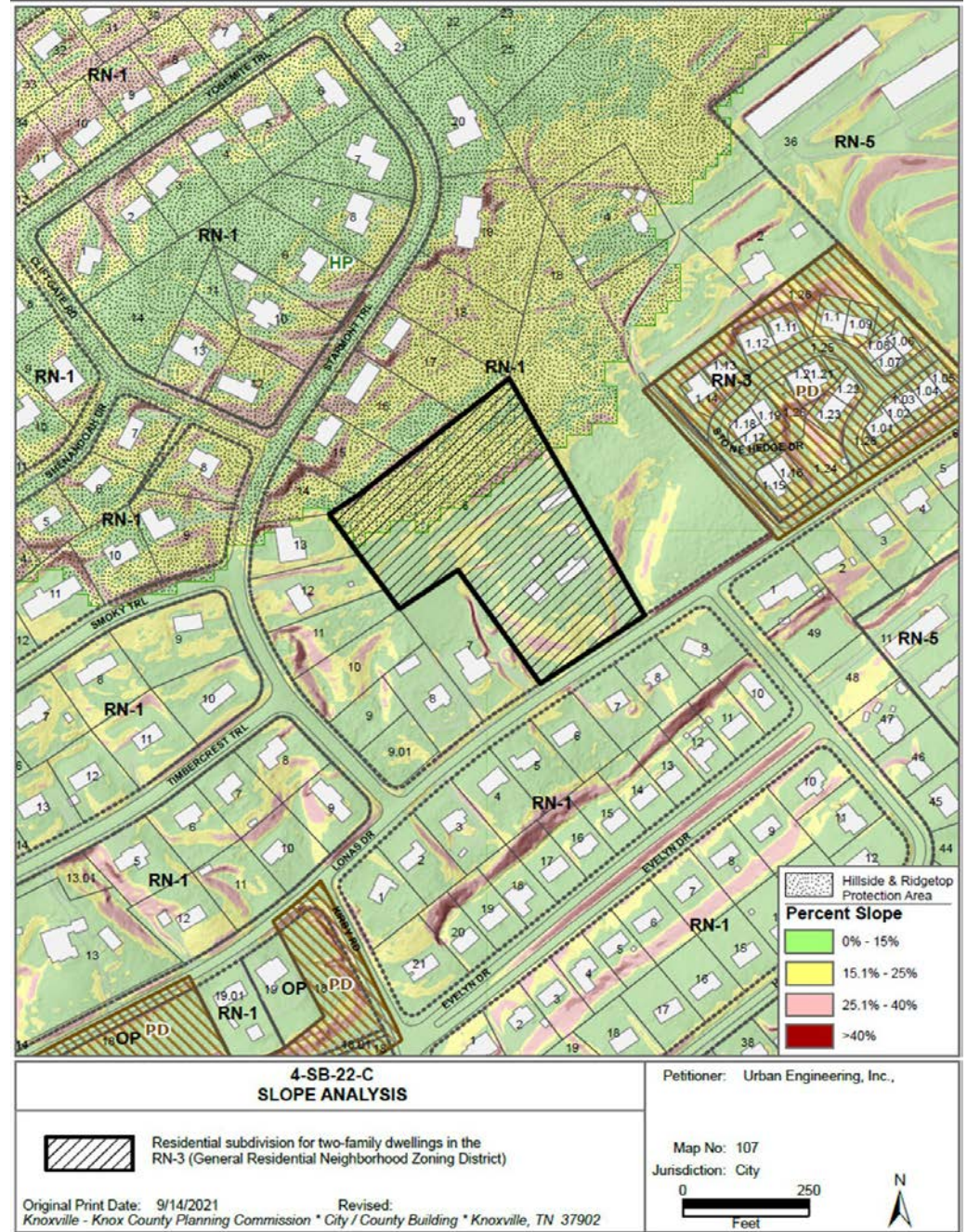


Detached residential subdivision

Original Print Date: 3/9/2022      Revised:  
 Knoxville - Knoxville Planning Commission \* City / County Building \* Knoxville, TN 37902



| CATEGORY                             | ACRES       | RECOMMENDED DISTURBANCE BUDGET (Percent)              | DISTURBANCE AREA (Acres) |
|--------------------------------------|-------------|---|--------------------------|
| <b>Total Area of Site</b>            | <b>4.24</b> |   |                          |
| Non-Hillside                         | 2.92        | N/A   |                          |
| 0-15% Slope                          | 0.17        | 100%  | 0.2                      |
| 15-25% Slope                         | 1.03        | 50%   | 0.5                      |
| 25-40% Slope                         | 0.12        | 20%   | 0.0                      |
| Greater than 40% Slope               | 0           | 10%   | 0.0                      |
| Ridgetops                            | 0           |   |                          |
| <b>Hillside Protection (HP) Area</b> | <b>1.32</b> | Recommended disturbance budget within HP Area (acres) | <b>0.7</b>               |
|                                      |             | Percent of HP Area                                    | <b>53.7%</b>             |



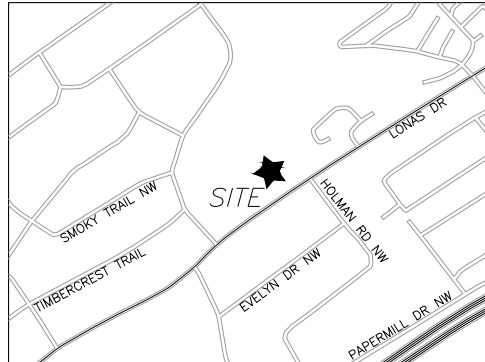
Slope Analysis

CONCEPT PLANS

U.E.I. PROJECT NO. 2110022

5117 LONAS DRIVE

SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TENNESSEE 37909  
CITY BLOCK #48260, PARCEL ID #1076D006



LOCATION MAP  
N.T.S

OWNER/DEVELOPER:  
IKO PROPERTIES LLC  
P.O. BOX 10872  
KNOXVILLE, TN 37939  
TEL. (865) 558-5507

ENGINEER:  
URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37934  
(865) 966-1924

**SPECIFICATIONS**  
EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.

|                  |   |
|------------------|---|
| ELECTRIC         | - AS DIRECTED BY KUB                                    |
| GAS              | - AS DIRECTED BY KUB                                    |
| WATER            | - AS DIRECTED BY KUB                                    |
| CABLE TV         | - AS DIRECTED BY COMCAST                                |
| TELEPHONE        | - AS DIRECTED BY AT&T                                   |
| SITE DEVELOPMENT | - AS PER CITY OF KNOXVILLE STANDARDS AND SPECIFICATIONS |

SHEET INDEX

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| GRADING PLAN                | C-3          |
| ROAD PROFILES               | C-4          |
| BUILDING ELEVATION DRAWINGS | 1 THRU 9     |

VARIANCE REQUESTS / ALTERNATIVE DESIGN STANDARD REQUESTS:

- 1) REDUCE THE PRIVATE R.O.W. WIDTH FROM 50' TO 40'.
- 2) REDUCE THE PAVEMENT WIDTH FROM 26' TO 24'.
- 3) REDUCE THE MINIMUM INTERSECTION SEPARATION BETWEEN ROAD "A" AND HOLMAN ROAD FROM 300' TO 200'.
- 4) DECREASE THE MINIMUM ALLOWABLE K VALUE FOR SAG VERTICAL CURVE FROM 26' TO 15' ALONG ROAD "A" @ ITS INTERSECTION WITH LONAS DRIVE.
- 5) DECREASE THE MINIMUM ALLOWABLE K VALUE FOR SAG VERTICAL CURVE FROM 26' TO 23.42' ALONG ROAD "B" @ ROAD "A".

Revised: 5/22/2023

MPC FILE# 4-SB-22-C

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| 1         | 5/22/23 | SUBMITTAL 2 |
| ISSUE NO. | DATE    | DESCRIPTION |

TROTTER CHRISTOPHER  
& KRISTEN A.  
OC 201112020193  
LOT 15-BLOCK K  
PARCEL 1070 B 016.00

CLERCK JOHN  
OC 2017040781081  
LOT 9-BLOCK K  
PARCEL 1070 B 017.00

BROWN GRACE C.A.  
OC 200809000686  
LOT 8-BLOCK K  
PARCEL 1070 B 016.00

RAMBA CODOU  
NO 2020610070617  
LOT 7-BLOCK K  
PARCEL 1070 B 015.00

HIGGINBOTHAM RICHARD  
A.J. JR. & CHARLOTTE K.  
NO 2002070000683  
LOT 6-BLOCK K  
PARCEL 1070 B 014.00

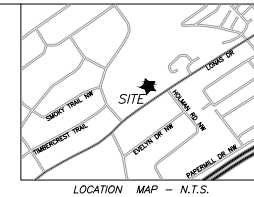
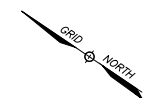
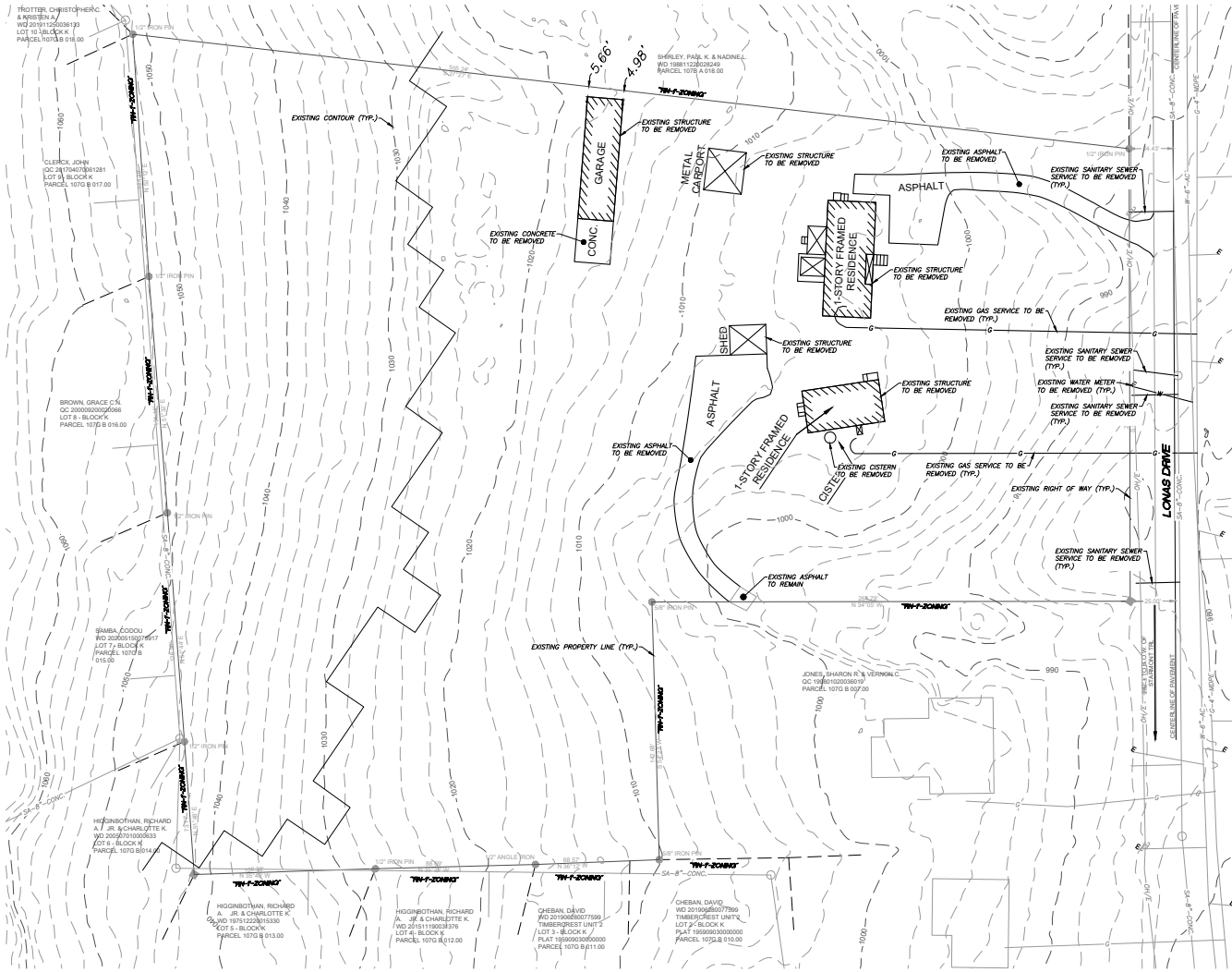
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A.J. JR. & CHARLOTTE K.  
NO 1975122001530  
LOT 5-BLOCK K  
PARCEL 1070 B 013.00

HIGGINBOTHAM RICHARD  
A.J. JR. & CHARLOTTE K.  
NO 2010511000320  
LOT 4-BLOCK K  
PARCEL 1070 B 012.00

CHEBAN DAVID  
NO 2010080077099  
TIMBERCREST UNIT 5  
LOT 3-BLOCK K  
PLAT 19590003000000  
PARCEL 1070 B 011.00

CHEBAN DAVID  
NO 2010080077099  
TIMBERCREST UNIT 5  
LOT 2-BLOCK K  
PLAT 19590003000000  
PARCEL 1070 B 010.00

JONES HARSHON R. & VERONICA  
OC 1987020300197  
PARCEL 1070 B 007.00



- DEMOLITION PLAN NOTES:**
- 1) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND CORRELATING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
  - 2) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL FEATURES THAT ARE BOLD ON THIS SHEET. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL FEES IF APPLICABLE.
  - 3) BUILDINGS SHALL BE REMOVED TO THE BOTTOMS OF THEIR FOUNDATIONS, UNLESS OTHERWISE DIRECTED BY THE UTILITY OWNER. ALL UTILITY SERVICES SHALL BE REMOVED TO THE PROPOSED RIGHT OF WAY LINE. THE CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION OF THE SERVICE LINES WITH THE RESPECTIVE UTILITY OWNER.
  - 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING BUILDING DEMOLITION PERMITS, IF REQUIRED.

Revised: 5/22/2023  
MPC FILE# 4-SB-22-C

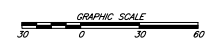
SHEET C-1

**DEMOLITION PLAN PLAN**  
**5117 LONAS DRIVE**  
SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909

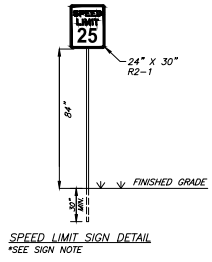
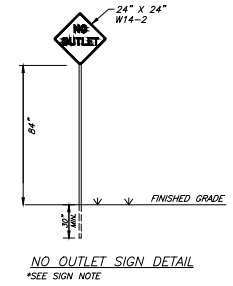
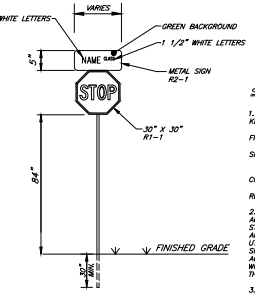
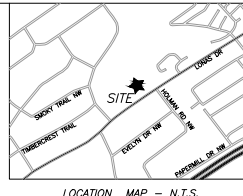
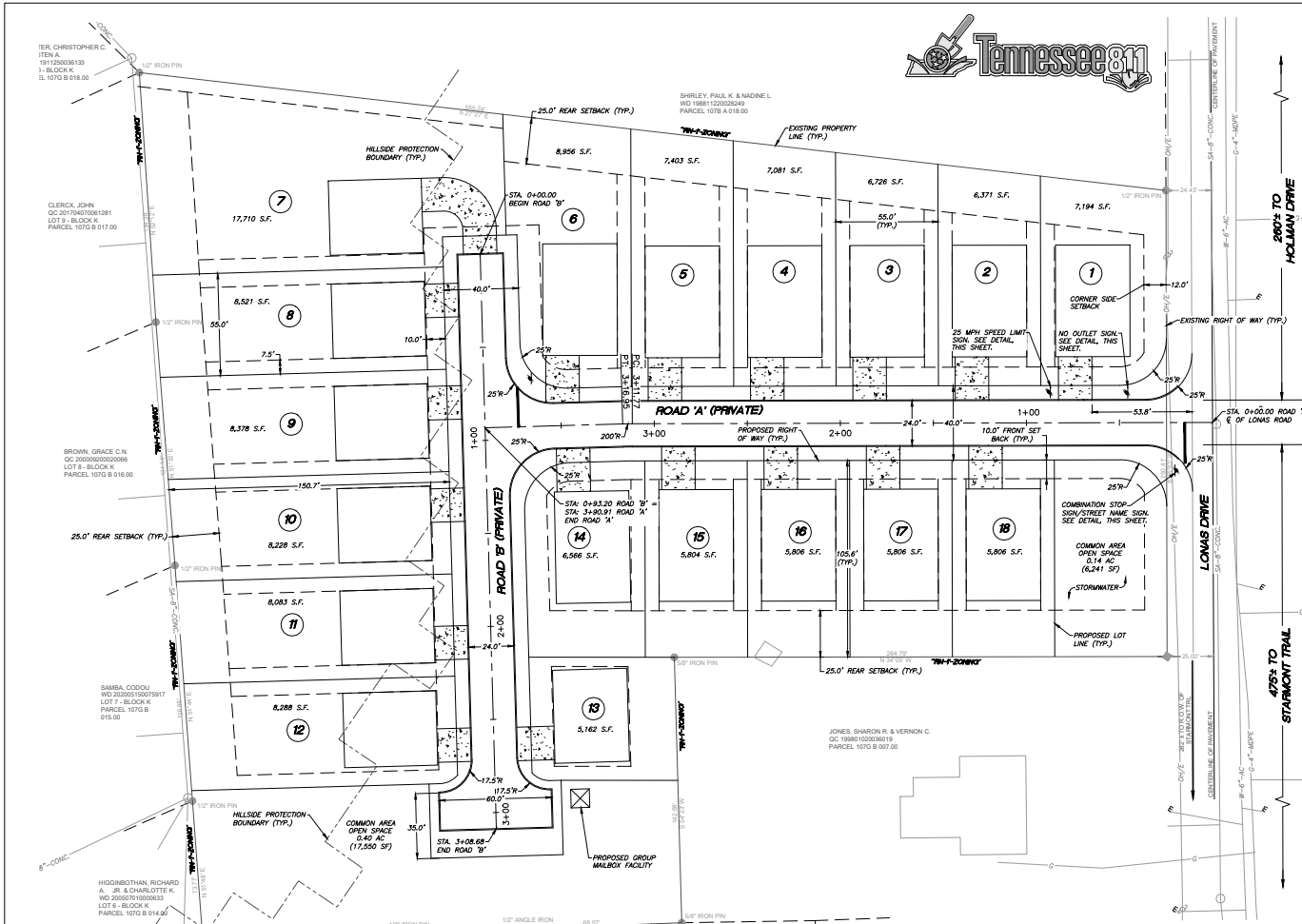
CITY OF KNOXVILLE KNOX CO.  
WARD NO. 48 TENNESSEE  
PARCEL ID #1070B006 CITY BLOCK NO. 48260  
SCALE: 1"=30' FEBRUARY 25, 2022

DEVELOPER / OWNER: IKO PROPERTIES LLC  
P.O. BOX 10872  
KNOXVILLE, TENNESSEE 37939  
(865) 588-5507

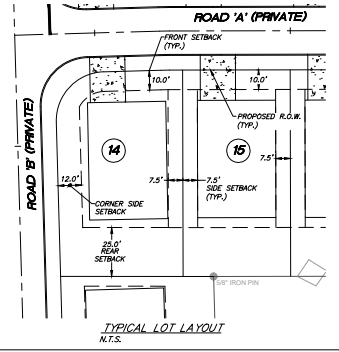
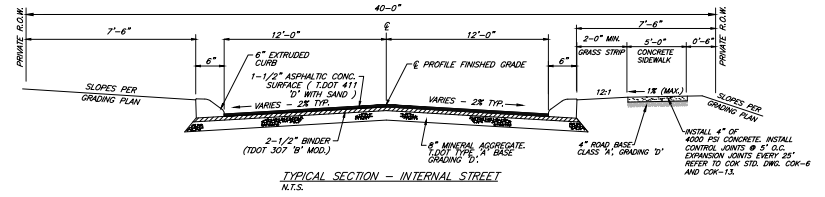
URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE,  
FARRAGUT, TENNESSEE 37934  
(865) 966-1924



| REVISION | DATE    | REVISED PER KNOX PLANNING & CDK COMMENTS | BY |
|----------|---------|--|----|
| 1        | 5/22/23 | REVISED PER KNOX PLANNING & CDK COMMENTS | BS |



- SITE PLAN NOTES:**
1. THE PARCEL IS ZONED RU-1. SETBACKS ARE PER THE CITY OF KNOXVILLE ZONING ORDINANCE, AND ARE AS FOLLOWS:  
FRONT YARD: 10' OR THE AVERAGE OF BLOCKFACE, WHICHEVER IS LESS  
SIDE: 5' OR 15% OF LOT WIDTH, WHICHEVER IS LESS; IN NO CASE LESS THAN 15' COMBINED  
CORNER: 12'
  2. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TOLL FREE PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
  3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.
  4. THE PROPOSED SITE FEATURES SHOWN ON THIS DRAWING ARE SUBJECT TO FINAL ENGINEERING. THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION.
  5. PROPOSED OPEN SPACE = 44,573 S.F. (23.3%)
  6. THE PROPOSED LOTS SHALL ONLY HAVE VEHICULAR ACCESS TO THE INTERNAL SYSTEM.
  7. ALL PROPOSED LOTS TO HAVE 2-CAR GARAGES.
  8. STORAGE AND STRIPS TO BE IN ACCORDANCE WITH THE MUTCD (LATEST EDITION).
  9. THE TOTAL AREA OF THE PROPERTY COVERED BY HILLSIDE PROTECTION IS 7.12 ACRES. THE TOTAL AREA OF DISTURBANCE WITHIN THE HILLSIDE PROTECTION AREA IS 0.9 ACRES.



Revised: 5/22/2023  
MPC FILE# 4-SB-22-C

SHEET C-2

**SITE PLAN**  
**5117 LONAS DRIVE**  
SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909

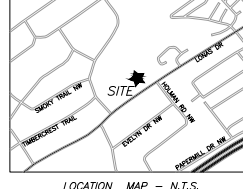
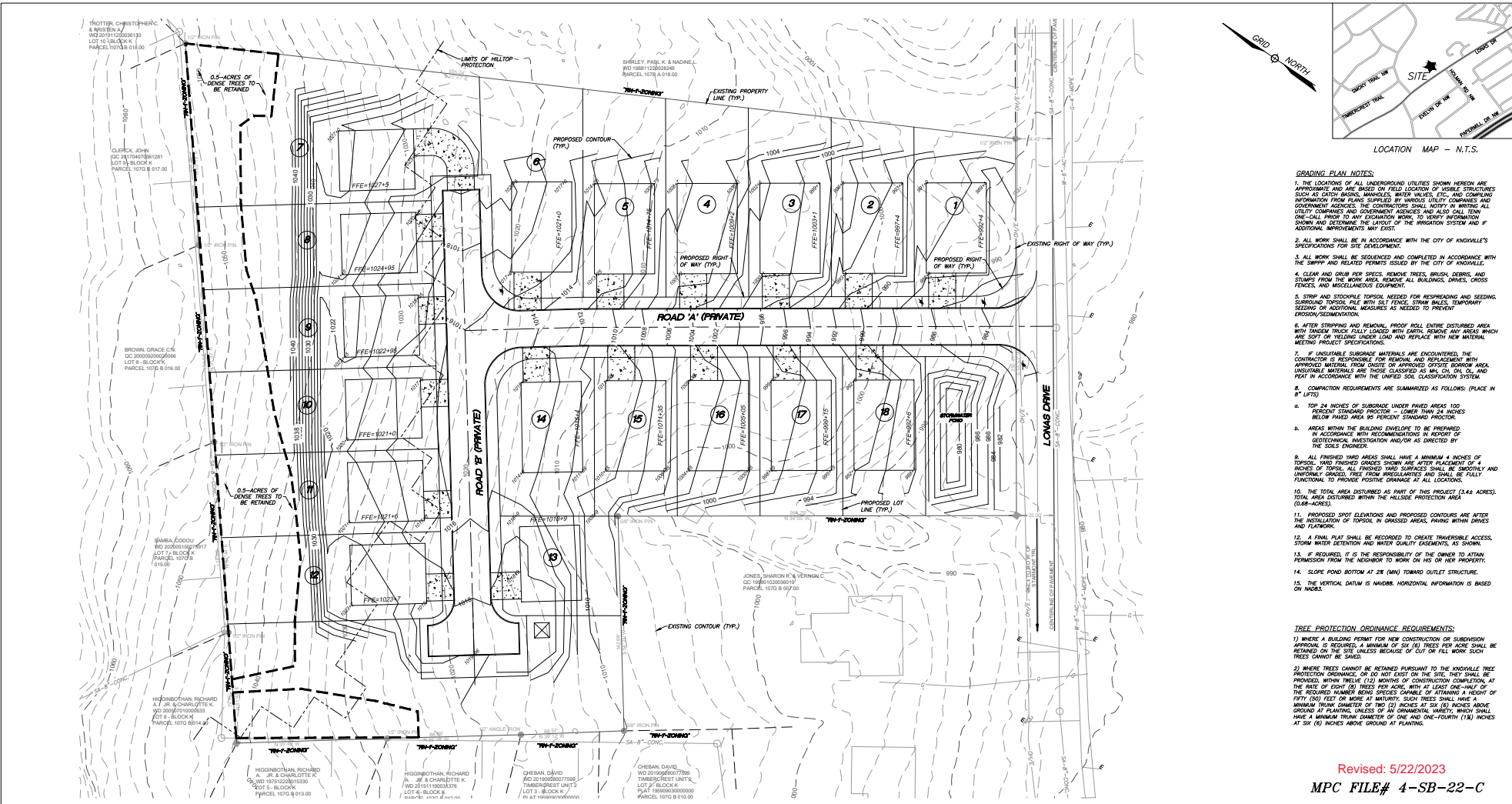
CITY OF KNOXVILLE KNOX CO.  
WARD NO. 48 TENNESSEE  
PARCEL ID #10768006 CITY BLOCK NO. 48260  
SCALE: 1"=30' FEBRUARY 25, 2022

DEVELOPER / OWNER: IKO PROPERTIES LLC  
P.O. BOX 10872  
KNOXVILLE, TENNESSEE 37939  
(865) 588-5507

URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37934  
(865) 966-1924

|     |         |  |    |
|-----|---------|--|----|
| NO. | DATE    | REVISION                                 | BY |
| 1   | 5/22/23 | REVISED PER KNOX PLANNING & COK COMMENTS | BS |

DWG. NO. 2110022



- GRADING PLAN NOTES:**
1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF ABOVE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC. AND COMPILING INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL FROM ONE-CALL PRIOR TO ANY EXCAVATION WORK. TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE PROTECTION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
  2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.
  3. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE SHOWN AND RELATED PERMITS ISSUED BY THE CITY OF KNOXVILLE.
  4. CLEAR AND GRUB PER SPEC. REMOVE TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA. REMOVE ALL BUILDINGS, DRIVES, CROSSING DITCHES, AND MISCELLANEOUS EQUIPMENT.
  5. STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESURFACING AND SEEDING. SURROUNDING TOPSOIL FILE WITH SILT FENCE, STAKE WALES, TEMPORARY SEEDING OF ADDITIONAL MEADOWS AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
  6. AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEM TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR UNDESIRABLE LOAD AND REPLACE WITH NEW MATERIAL. MEETING PROJECT SPECIFICATIONS.
  7. UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM QUARRY OR APPROVED OPPOSITE BORROW AREA. UNSUITABLE MATERIALS ARE: HIGH CLAY, SANDY SILT, SAND, AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
  8. CONSTRUCTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN B-1 LOTS)
  9. TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD AND MORE THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
  10. AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER.
  11. ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTH AND UNIFORM. UNGRADED AREAS FROM PRELIMINARY DRAINAGE SHALL BE FULLY FUNCTIONAL TO PREVENT DRAINAGE AT ALL LOCATIONS.
  12. THE TOTAL AREA DISTURBED AS PART OF THIS PROJECT (1.4 ACRES). TOTAL AREA RESTORED WITHIN THE HILLSIDE PROTECTION AREA (0.68 ACRES).
  13. PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS, FINISH WITHIN DRIVES AND FLATWORK.
  14. A FINAL PLAN SHALL BE REQUIRED TO CREATE TRAVERSABLE ACCESS, STORM WATER DETENTION AND WATER QUALITY SEGMENTS AS SHOWN.
  15. IF REQUIRED, IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN PERMISSION FROM THE NEIGHBOR TO WORK ON HIS OR HER PROPERTY.
  16. SLOPE ROAD NOTATION AT 2% (MIN) TOWARD OUTLET STRUCTURE.
  17. THE VERTICAL DATUM IS NAVD83. HORIZONTAL INFORMATION IS BASED ON NAD83.

- TREE PROTECTION ORDINANCE REQUIREMENTS:**
- 1) WHERE A BUILDING PERMIT FOR NEW CONSTRUCTION OR SUBDIVISION APPROVAL IS REQUIRED, A MINIMUM OF SIX (6) TREES PER ACRE SHALL BE RETAINED ON THE SITE UNLESS BECAUSE OF CUT OR FILL WORK SUCH TREES CANNOT BE SAVED.
  - 2) WHERE TREES CANNOT BE RETAINED PURSUANT TO THE KNOXVILLE TREE PROTECTION ORDINANCE, OR DO NOT EXIST ON THE SITE, THEY SHALL BE PROTECTED WITH TREES (12) MONTHS OF CONSTRUCTION COMPLETION, AT THE RATE OF EIGHT (8) TREES PER ACRE, WITH AT LEAST ONE-HALF (1/2) OF THE REQUIRED NUMBER BEING SPECIES CAPABLE OF ATTAINING A HEIGHT OF FIFTY (50) FEET OR MORE AT MATURITY. SUCH TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF TWO (2) INCHES AT SIX (6) INCHES ABOVE GROUND AT PLANTING, UNLESS OF AN ORNAMENTAL VARIETY, WHICH SHALL HAVE A MINIMUM TRUNK DIAMETER OF ONE AND ONE-FOURTH (1 1/4) INCHES AT SIX (6) INCHES ABOVE GROUND AT PLANTING.

Revised: 5/22/2023  
MPC FILE# 4-SB-22-C

SHEET C-3

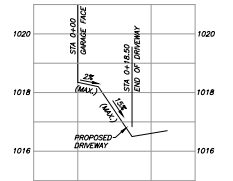
**PRELIMINARY GRADING PLAN**  
**5117 LONAS DRIVE**  
SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909

CITY OF KNOXVILLE KNOX CO.  
WARD NO. 48 TENNESSEE  
PARCEL ID #10768006 CITY BLOCK NO. 48260  
SCALE: 1"=30' FEBRUARY 18, 2022

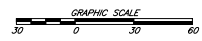
DEVELOPER / OWNER: IKO PROPERTIES LLC  
P.O. BOX 10872  
KNOXVILLE, TENNESSEE 37939  
(865) 588-5507

URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE  
FARRAGUT, TENNESSEE 37934  
(865) 966-1924

DWG. NO. 2110022



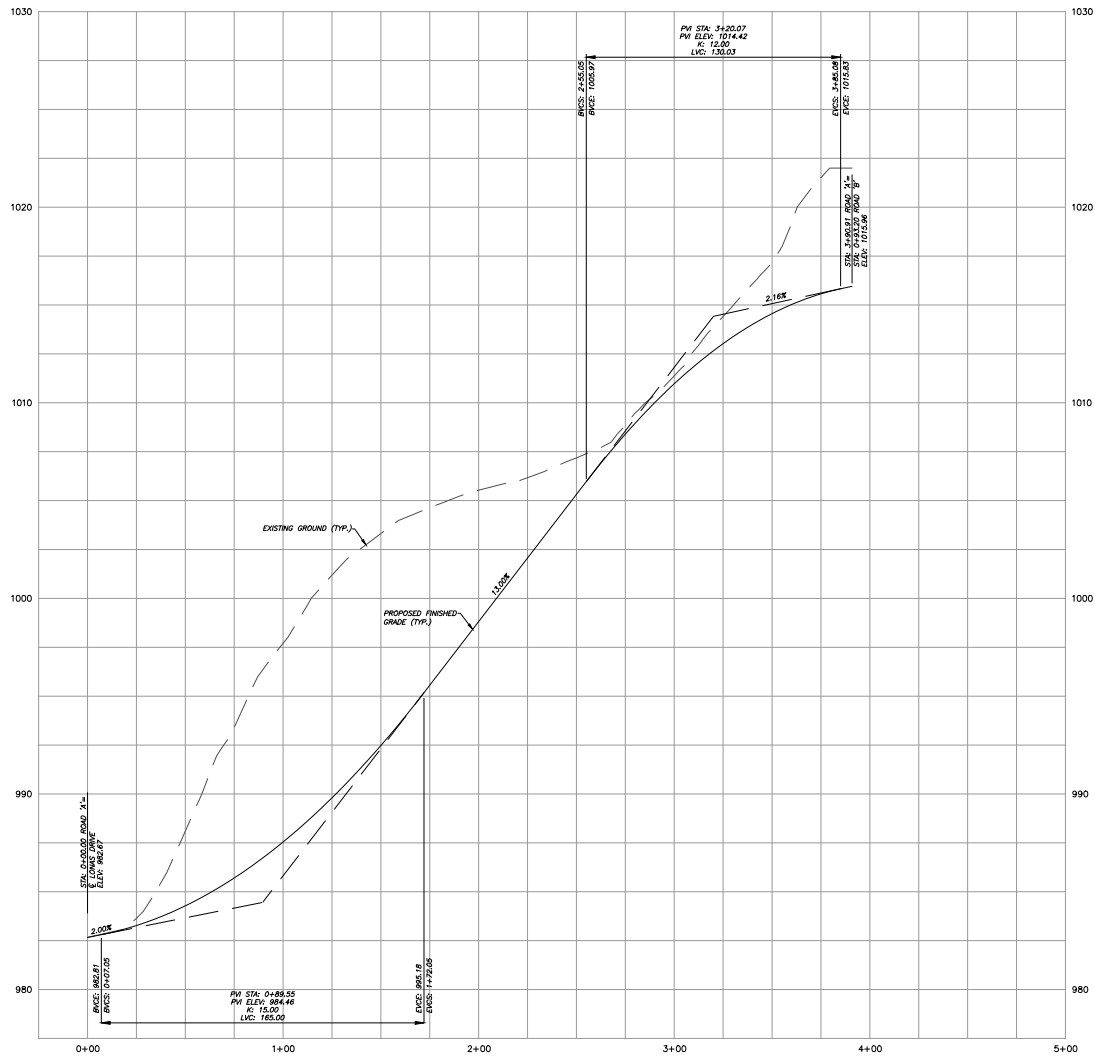
**DRIVEWAY PROFILE (LOT 9)**  
1"=20' (HORIZONTAL)  
1"=2' (VERTICAL)



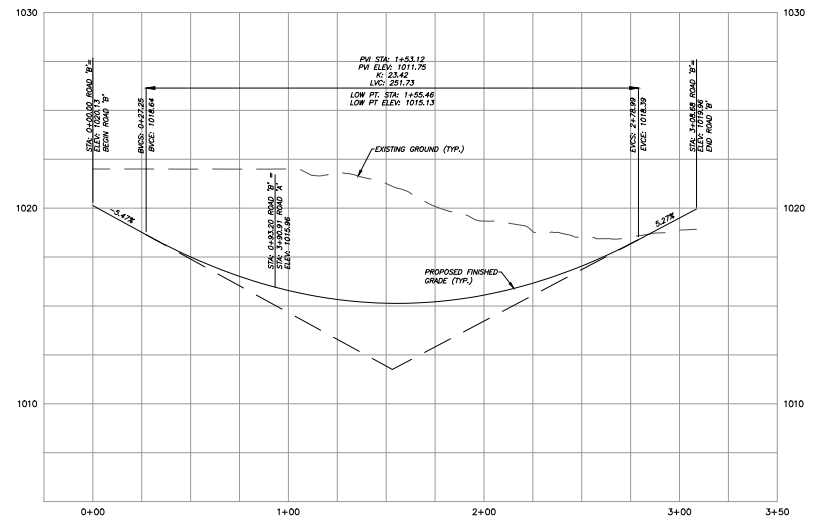
| REVISION | DATE    | REVISION PER KNOX PLANNING & CDK COMMENTS | BY |
|----------|---------|---|----|
| 1        | 5/22/23 | REVISED PER KNOX PLANNING & CDK COMMENTS  | BS |







**PROFILE VIEW: ROAD 'A'**  
 1"=30' (HORIZONTAL)  
 1"=3' (VERTICAL)




**PROFILE VIEW: ROAD 'B'**  
 1"=30' (HORIZONTAL)  
 1"=3' (VERTICAL)

Revised: 5/22/2023  
 MPC FILE# 4-SB-22-C

SHEET C-4  
 ROAD PROFILES  
**5117 LONAS DRIVE**  
 SITE ADDRESS: 5117 LONAS DRIVE, KNOXVILLE, TN 37909

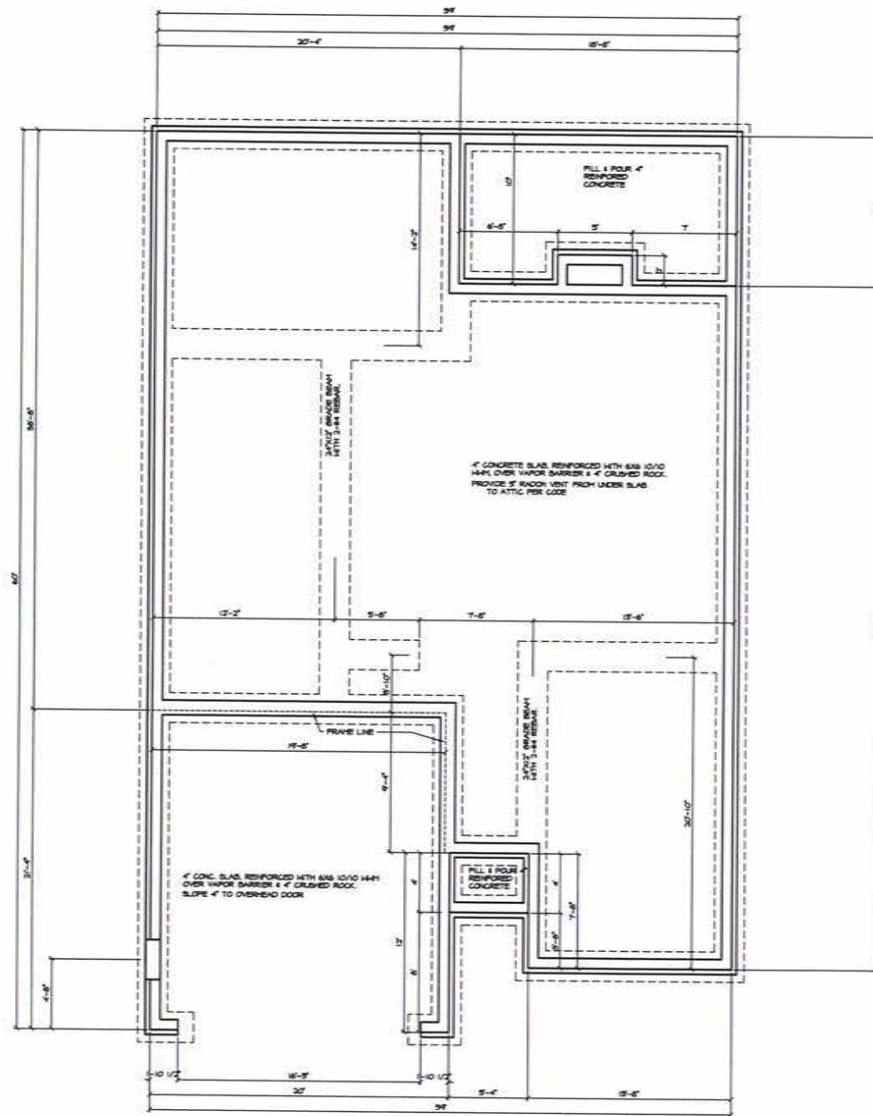
|                     |                      |
|---------------------|----------------------|
| CITY OF KNOXVILLE   | KNOX CO.             |
| WARD NO. 4B         | TENNESSEE            |
| PARCEL ID #10768006 | CITY BLOCK NO. 48260 |
| SCALE: AS NOTED     | FEBRUARY 25, 2022    |

DEVELOPER / OWNER: IKO PROPERTIES LLC  
 P.O. BOX 10872  
 KNOXVILLE, TENNESSEE 37939  
 (865) 588-5507

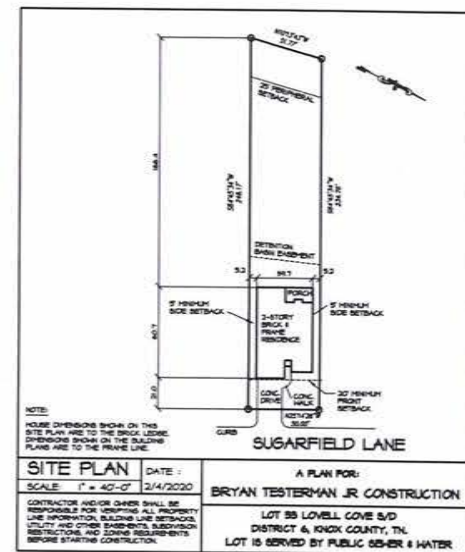
 URBAN ENGINEERING, INC.  
 11852 KINGSTON PIKE  
 FARRAGUT, TENNESSEE 37834  
 (865) 966-1924

| REVISION | DATE    | REVISION PER KNOX PLANNING & CDK COMMENTS | BY |
|----------|---------|---|----|
| 1        | 5/22/23 | REVISED PER KNOX PLANNING & CDK COMMENTS  | BS |
|          |         |   |    |
|          |         |   |    |

DWG: CLM      CHK: GAS      DWG. NO. 2110022



**FOUNDATION PLAN**  
1/4" = 1'-0"



**SITE PLAN**  
1" = 40'-0"

4-SB-22-C  
Revised: 5/22/2023

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**A PLAN FOR:**  
BRYAN TESTERMAN JR CONSTRUCTION  
LOT 33 LOVELL COVE S/D  
DISTRICT-6 KNOX COUNTY, TENNESSEE

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**Greg P Stiles Designs**

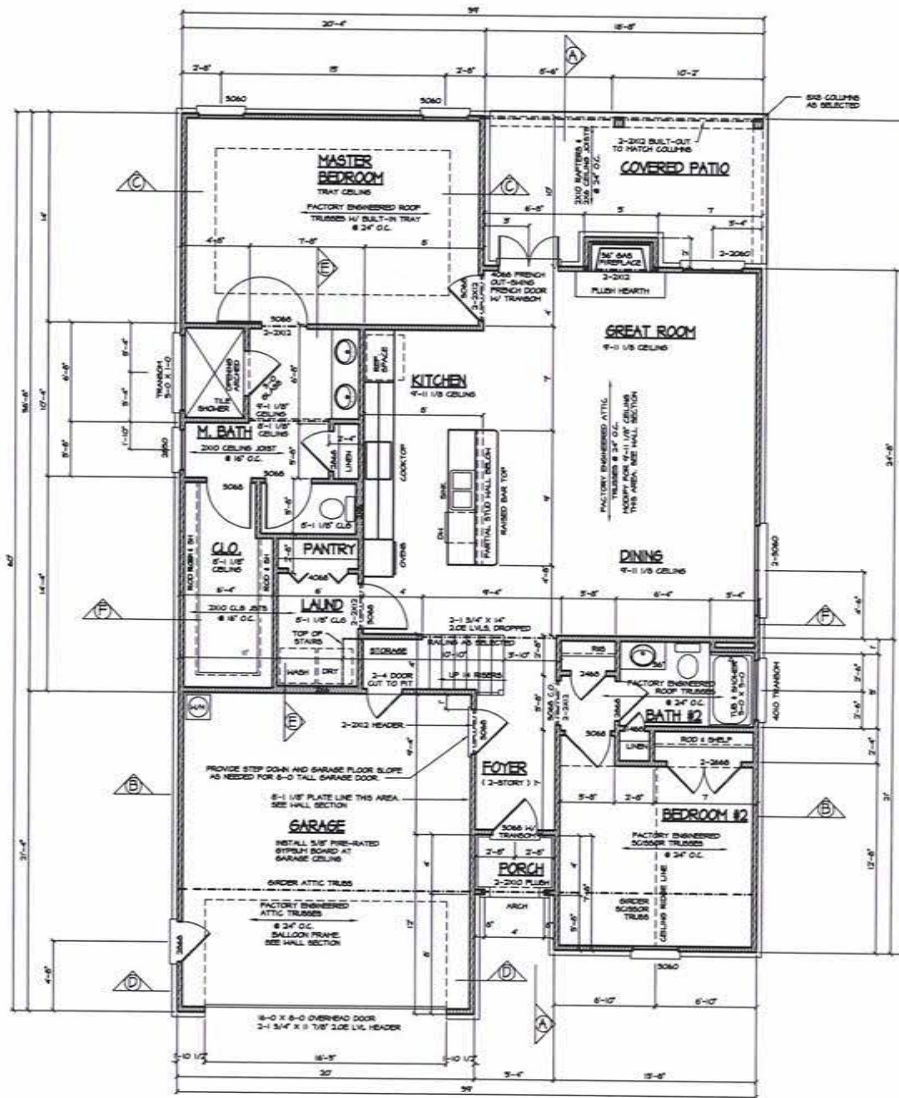
1153 SHAW FERRY LANE  
LENDOR CITY, TN 37772

PHONE: (660) 966-9990  
EMAIL: gregstiles@charter.net

DATE: 2/4/2020 PLAN INFO: SC-3-2375-3

SHEET NO. 1

© 2020



FIRST FLOOR - 1606 SQ. FT.  
 SECOND FLOOR - 769 SQ. FT.  
 TOTAL - 2375 SQ. FT.

FOOTING DIMEN WAS CALCULATED FROM FLOOR LINE AND DOES NOT INCLUDE BRICKSTONE VENEER.

FLOOR PLAN  
 1/4" = 1'-0"

4-SB-22-C  
 Revised: 5/22/2023

**GENERAL NOTES**

- THIS PLAN HAS DESIGNED USING THE 2008 INTERNATIONAL RESIDENTIAL CODE AS THE DESIGN REFERENCE AND HAS DESIGNED FOR THE CONDITIONS IN THE PLANNED AREA OF THE SOLEMEMBER US. RECALL CODES AND AMENDMENTS TO CODES CAN CHANGE AND/OR BE INTERPRETED DIFFERENTLY. LOCAL, AMENDMENT TO LOCAL, AMENDMENT IT IS THE BUILDER'S RESPONSIBILITY TO INSURE COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES.
- DETAILED CODES:  
 FLOOR - 40 LBS LIVE LOAD, 10 LBS DEAD LOAD.  
 ROOF - 30 LBS LIVE LOAD, 10 LBS DEAD LOAD.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS.
- ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
- ALL FOOTINGS TO BE BELCH PROTECT LINE SEE LOCAL CODES AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING.
- CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- IF BACKFILL EXCEEDS 4' ADJACENT ANY FOUNDATION WALL, REINFORCE AS PER CODE.
- DOE BY A HOME VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL, AND WEATHER CONDITIONS ETC., THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
- ALL WOOD CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.  
 STRUCTURAL LUMBER TO BE #2 OR #3 SPF BOOM MINIMUM. LUMBER IN CONTACT WITH FLOOR TO BE PRESSURE TREATED.
- ALL COLLING OR SOLID FINISHING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELCH AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.
- WINDLOAD RESISTANCE ARE NOMINAL, SELECTED MANUFACTURER TO PROVIDE ROUGH OPENING SIZES.
- ALL PERIMETER / EXTERIOR DIMENSIONS ARE TO FRAME LINE.

**GENERAL FRAMING NOTES**

- PROVIDE PARLING AT HD HEIGHT OF ALL WALLS.
- HEADERS OVER EXTERIOR OPENINGS TO BE 2x12 WITH 1/2" PLYWOOD FLUSH PLATE UNLESS NOTED OTHERWISE.
- PREPARE TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITIONS PARALLEL TO THE JOIST DIRECTION SPACED WITH 2X BLOCCS AT PARTITION WALLS. APPLIES TO FLOOR JOIST FLOOR SYSTEMS.
- WHERE FACTORY ENGINEERED FLOOR TRUSSES ARE USED, MANUFACTURER PROVIDED LAYOUT AND SHOP DRAWINGS WHICH BEAR SEAL OF A REGISTERED ENGINEER IS TO BE IN WHICH WORK IS TO BE PERFORMED.
- WHERE ENGINEERED WOOD JOISTS ARE USED, SUPPLIER MUST PROVIDE LAYOUT AND SHOP DRAWINGS.
- ALL EXTERIOR CORNER BRACE AND OUTSIDE CORNERS SHALL BE BRACED WITH 1/2" CDX PLANKS. INSIDE CORNERS SHALL BE 2X CORNERS AT 8' O.C. AT ALL CORNERS AND 2X CORNERS AT 12' O.C. AT ALL INTERMEDIATE STILES OR APPROPRIATE DIAGONAL CORNER BRACE BOTH DIRECTIONS AT ALL CORNERS.
- ALL COLLING OR SOLID FINISHING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
- PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" MAXIMUM.
- WET WALLS RAFTERS AND RIDGE BOARD SHALL BE AT A SIZE EQUAL TO OR LARGER THAN THE END CUT OF THE RAFTERS.
- ROOF DRAINS SHALL BE 1/2" MINIMUM WITH PLYLIPS.
- ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
- ALL FINISHED HALL DIMENSIONS ARE BASED ON 2x4 STUDS UNLESS OTHERWISE NOTED.

**GENERAL FOUNDATION NOTES**

- ALL FOOTINGS TO BE ON FIRM UNDISTURBED SOIL OF NO LESS THAN 3000 psi AND BE ON FIRM EXACT SIZE AND RESPONSE MUST BE DETERMINED BY LOCAL, SOIL, AND SITE CONDITIONS. VERIFY FOOTING DESIGN WITH LOCAL BUILDING OFFICIALS OR LOCAL ENGINEER.
- ALL BASEMENT WALLS TO BE POLAR CONCRETE REINFORCED FOR BACKFILL AS DETERMINED BY FOUNDATION INSTALLER. GRAVE SPACE FOUNDATION WALLS MAY BE CONSTRUCTED FROM 12" MINIMUM IF CALL AS SPECIFIED ON PLAN.
- FOUNDATION WALL BRACING IS REQUIRED FOR THE TOP OF ALL FOUNDATION WALLS WHERE THE FLOOR STRUCTURE IS PARALLEL TO THE WALL FOR 2X FLOOR SYSTEMS THE MINIMUM REQUIREMENT FOR BACKFILL LESS THAN 4' FEET IS 2X BLOCCS AT THE FIRST TWO JOIST SPACES 8' O.C. FOR BACKFILL 4' FEET OR MORE THE MINIMUM REQUIREMENT IS 2X BLOCCS IN THE FIRST THREE SPACES AT 2' O.C. BLOCCS MUST BE SOLID 2x4 FOR ENGINEERED FLOOR SYSTEMS. SEE LOCAL BUILDING CODES FOR ACCEPTABLE BRACING METHODS.
- INSTALL 1/2" ANCHOR BOLTS IN CONCRETE PER CODE OR METAL ANCHOR STRAPS INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- BUILDER TO PROVIDE SOIL TREATMENT FOR TERMITES PROTECTION.
- ON CRANK SPACE DESIGN, PROVIDE CHASE FOR OUTSIDE HVAC PACKAGE UNIT LOCATION BY BUILDER.
- ON CRANK SPACE DESIGN, BUILDER TO LOCATE ACCESS DOOR AS DETERMINED BY PROFESSIONAL ENGINEER.
- PROVIDE CRANK SPACE VENTILATION PER CODE OR UNLIMITED CRANK SPACE. CONSTRUCTED PER CODE.
- ALL SLAB FOUNDATIONS UNDER LIVING AREAS AND ALL BASEMENT FLOORS TO HAVE 3" ANCHOR NEST INSTALLED FROM UNDER SLAB TO ATTIC PER CODE.

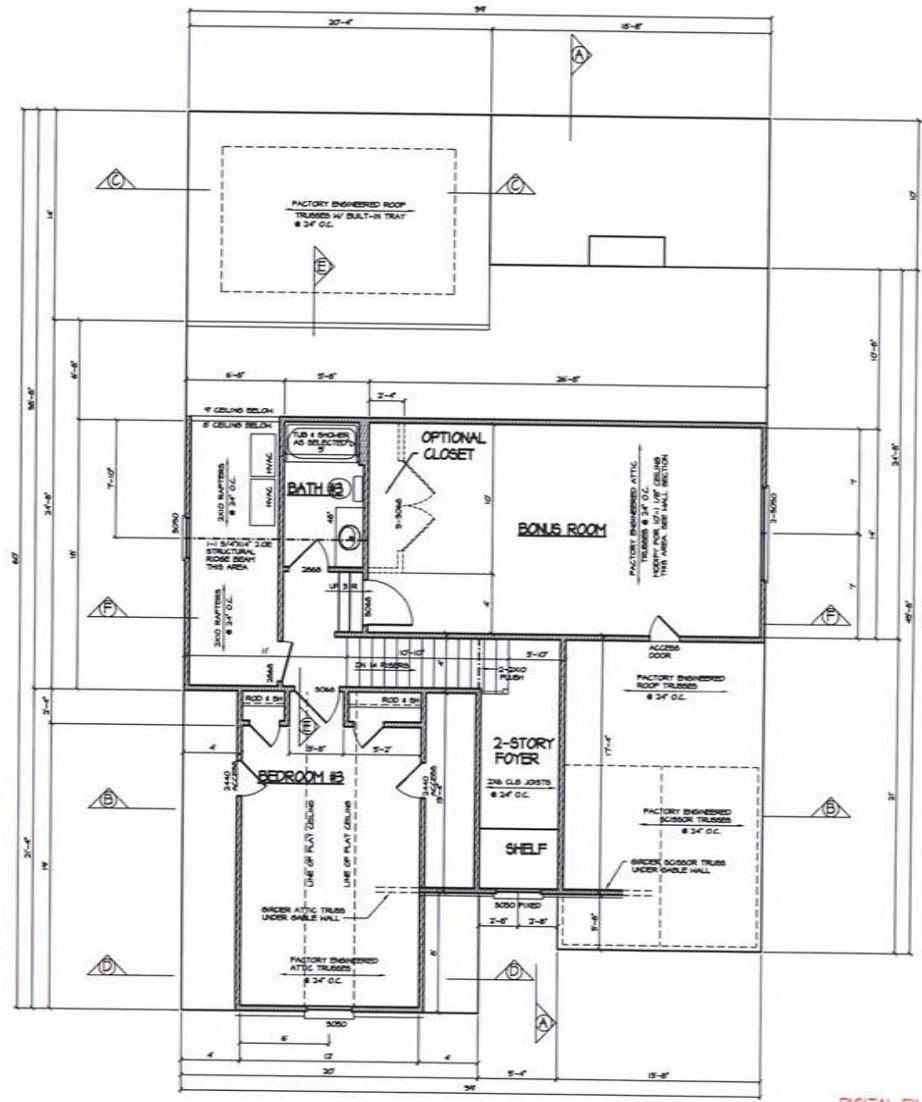
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A PLAN FOR:  
 BRYAN TESTERMAN JR CONSTRUCTION  
 LOT 33 LOVELL COVE S/D  
 DISTRICT-6 KNOX COUNTY, TENNESSEE

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**Greg P Stiles Designs** SHEET NO. 2  
 1155 SHAW PERRY LANE PHONE: (661) 966-9930  
 LENOIR CITY, TN 37772 EMAIL: gregstiles@outlook.net  
 DATE: 2/12/2020 PLAN NO: 8C-5-2375-3 © 2020



**UPPER FLOOR PLAN**  
1/4" = 1'-0"

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4-SB-22-C  
Revised: 5/22/2023

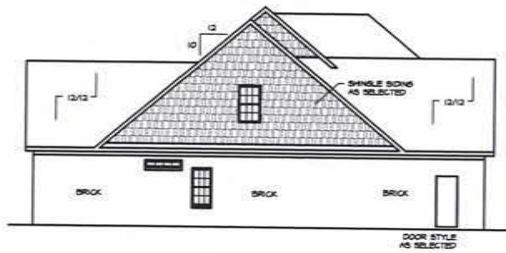
**A PLAN FOR:**  
BRYAN TESTERMAN JR CONSTRUCTION  
LOT 33 LOVELL COVE S/D  
DISTRICT-6 KNOX COUNTY, TENNESSEE

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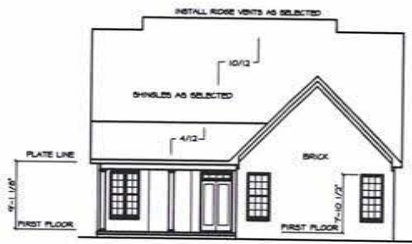
**Greg P Stiles Designs**

155 SHAW PERRY LANE    PHONE: (662) 958-9950  
LENDOR CITY, TN 37772    EMAIL: gregstiles@charter.net

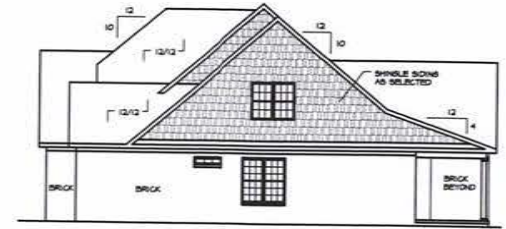
DATE: 2/4/2020    PLAN NO: 8C-3-2375-3    SHEET NO: 3



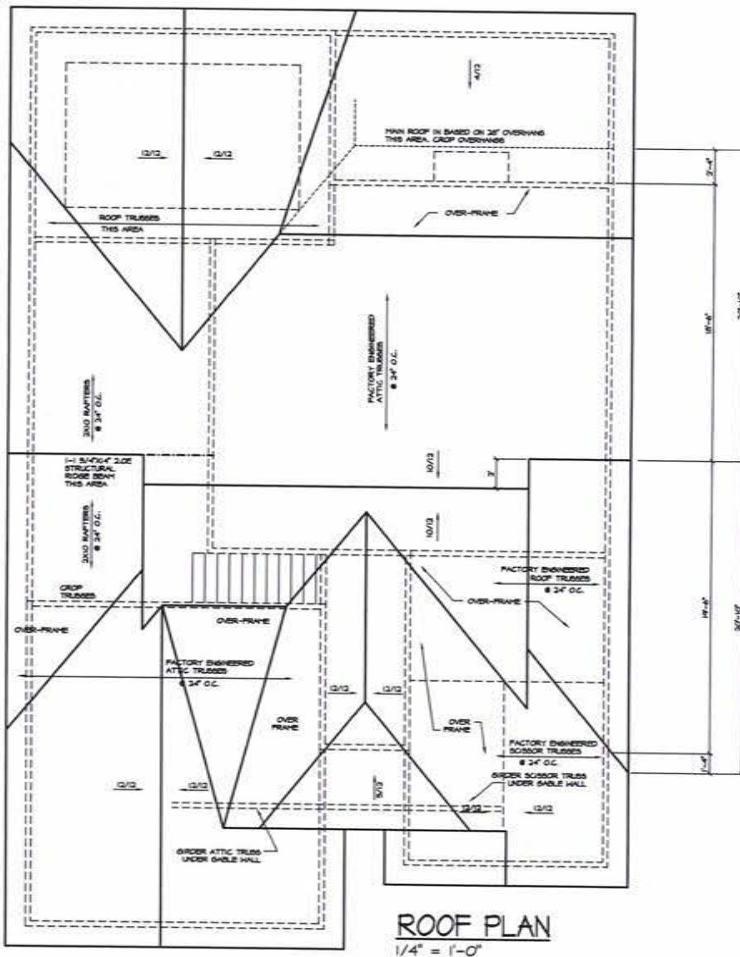
**LEFT SIDE ELEVATION**  
1/8" = 1'-0"



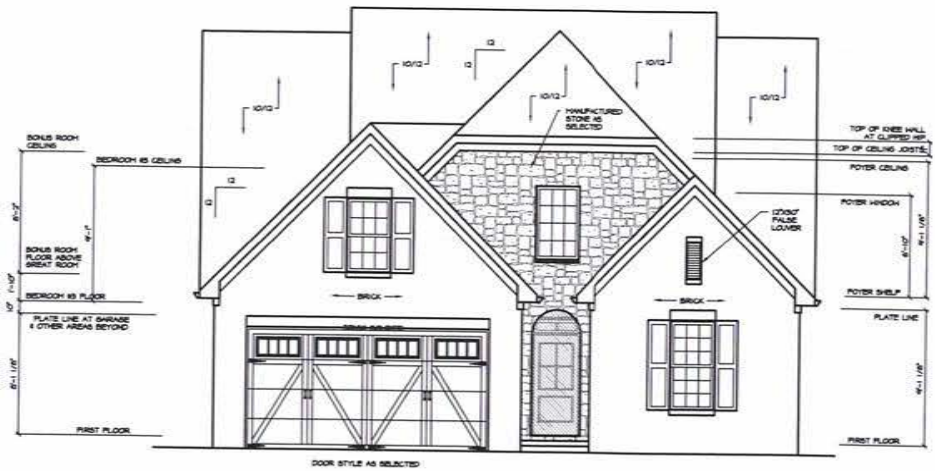
**REAR ELEVATION**  
1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**ROOF PLAN**  
1/4" = 1'-0"



**FRONT ELEVATION**  
1/4" = 1'-0"

4-SB-22-C  
Revised: 5/22/2023

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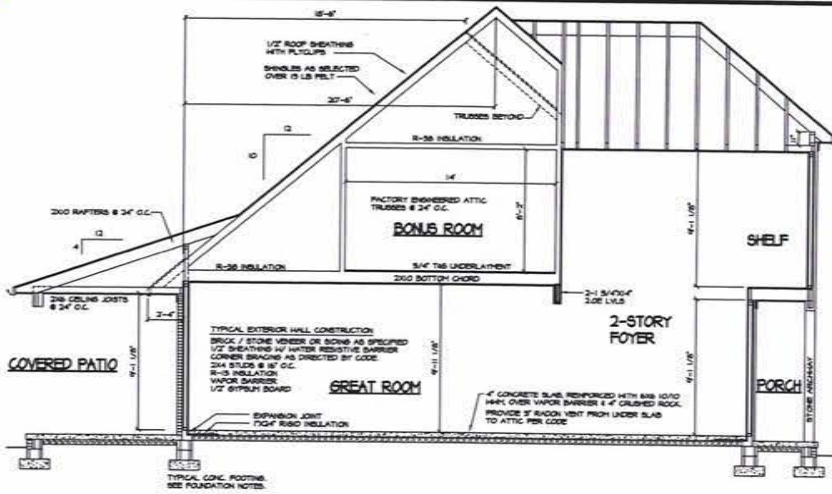
**A PLAN FOR:**  
**BRYAN TESTERMAN JR CONSTRUCTION**  
 LOT 33 LOVELL COVE S/D  
 DISTRICT-6 KNOX COUNTY, TENNESSEE

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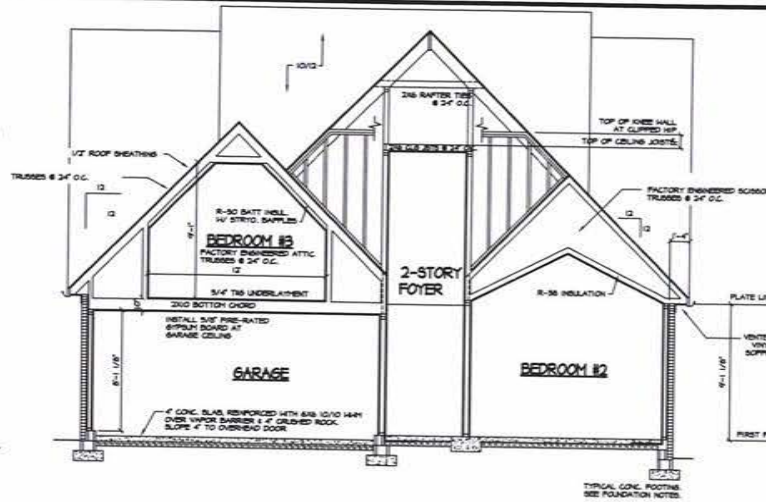
**Greg P Stiles Designs**

155 SHAW PERRY LANE    PHONE: (603) 928-9930  
 LENOIR CITY, TN 37772    EMAIL: gregstiles@charter.net

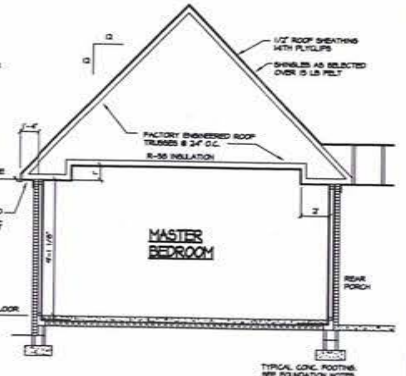
DATE: 2/4/2020    PLAN NO: SC-3-2375-3    SHEET NO: 4



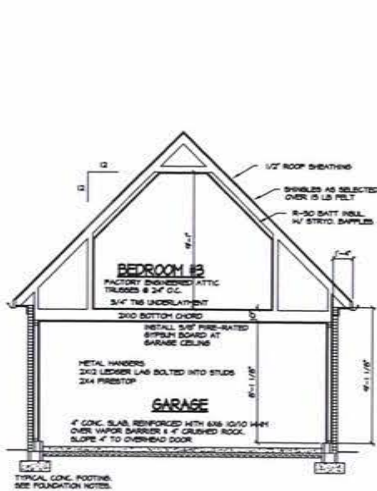
**WALL SECTION "A-A"**  
1/4" = 1'-0"



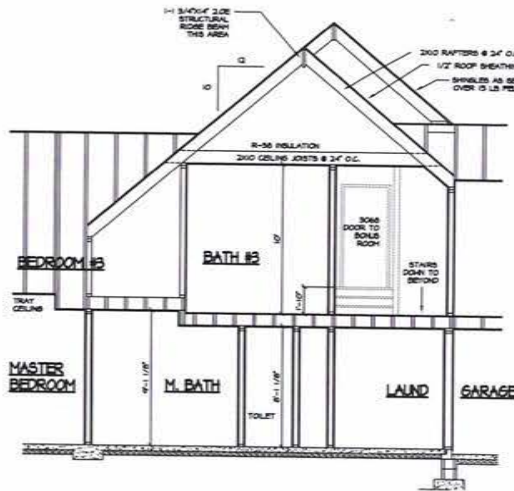
**WALL SECTION "B-B"**  
1/4" = 1'-0"



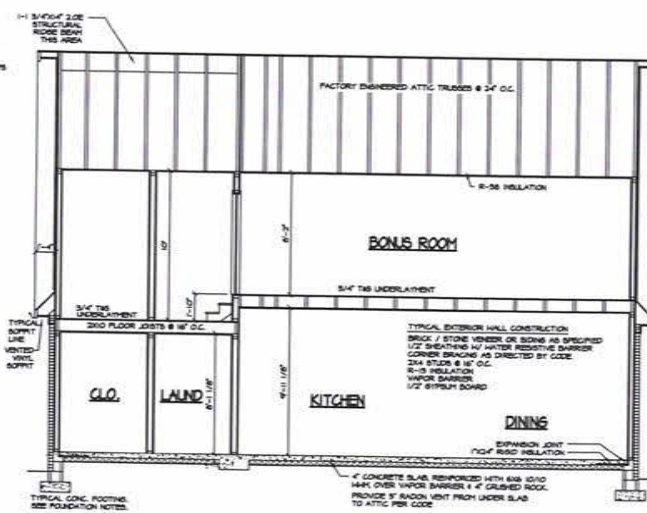
**WALL SECTION "C-C"**  
1/4" = 1'-0"



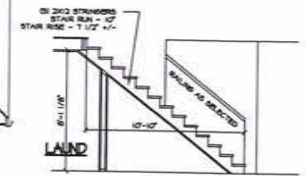
**WALL SECTION "D-D"**  
1/4" = 1'-0"



**WALL SECTION "E-E"**  
1/4" = 1'-0"



**WALL SECTION "F-F"**  
1/4" = 1'-0"



**STAIR DETAIL**

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4-SB-22-C  
Revised: 5/22/2023

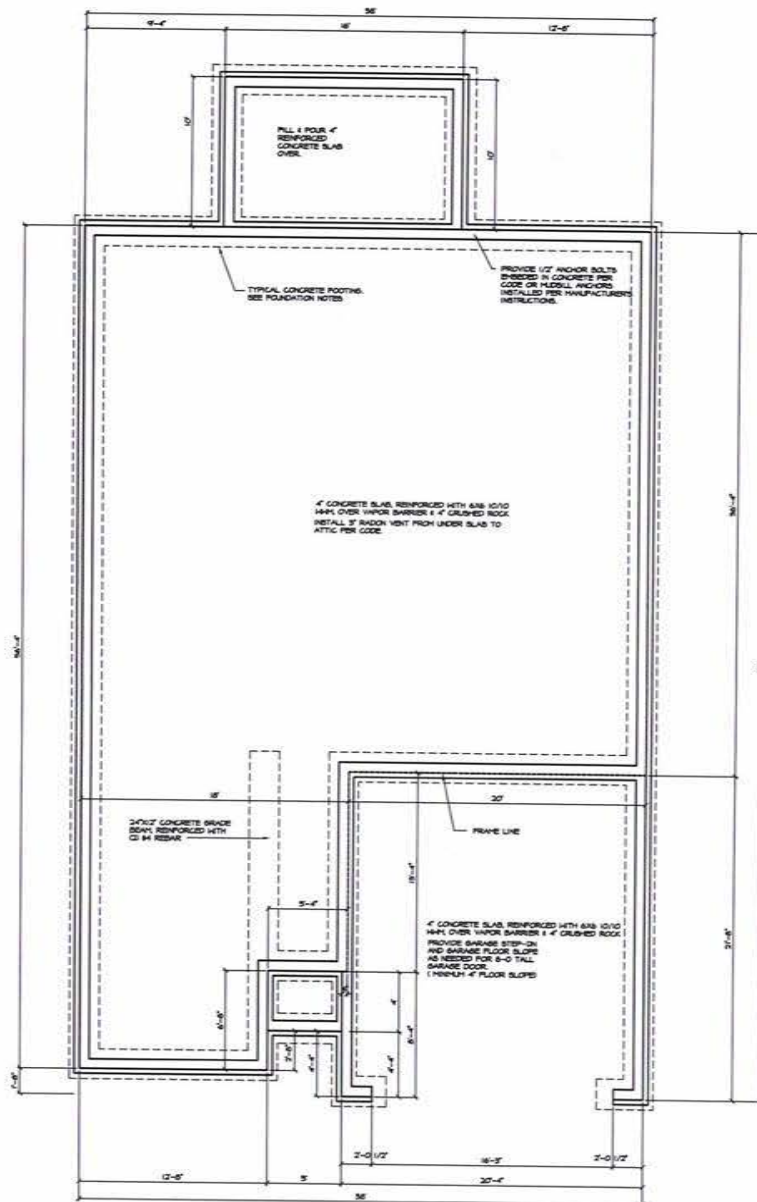
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**BRYAN TESTERMAN JR. CONSTRUCTION**  
 LOT 33 LOVELL COVE S/D  
 DISTRICT-6 KNOX COUNTY, TENNESSEE

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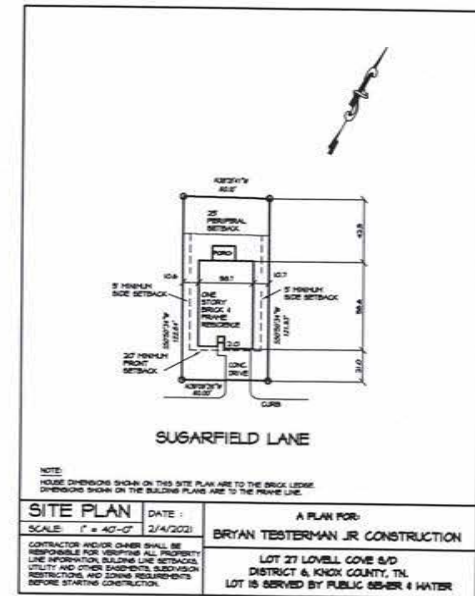
**Greg P Stiles Designs** SHEET NO. **5**

1525 SHAW FERRY LANE PHONE: (615) 560-0900  
 LENOIR CITY, TN 37172 EMAIL: gregstiles@charter.net

DATE: 2/4/2020 PLAN NO: 8C-3-2375-3 © 2020



SEE ALL GENERAL NOTES, SHEET #2



SITE PLAN  
1" = 40'-0"

4-SB-22-C  
Revised: 5/22/2023

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**A PLAN FOR:**  
BRYAN TESTERMAN JR CONSTRUCTION  
LOT 27 LOVELL COVE S/D  
DISTRICT-6 KNOX COUNTY, TENNESSEE

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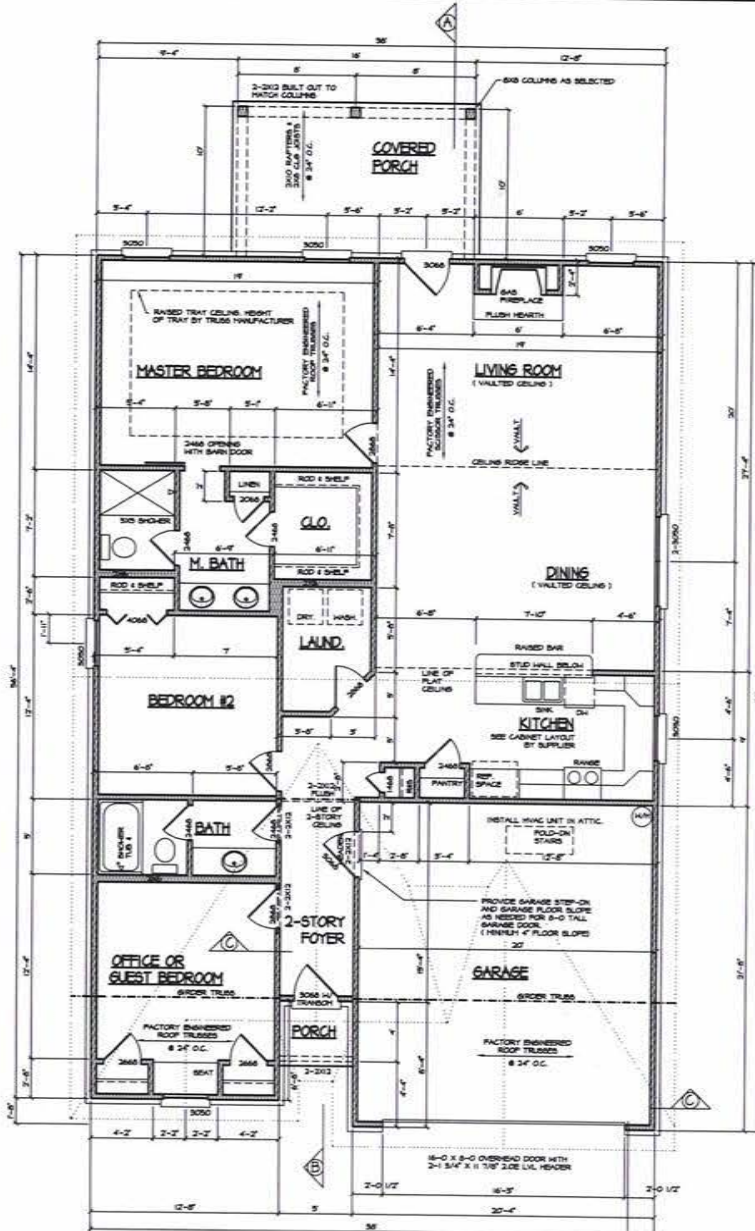
**Greg P Stiles Designs**

155 SHAW FERRY LANE    PHONE: (661) 466-0990  
LENOIR CITY, TN 37772    EMAIL: gregstiles@charter.net

DATE: 2/4/2022    PLAN NO: SR-3-1705-2

SHEET NO: 1

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**FLOOR PLAN - 1705 SQ. FT. (HEATED)**  
 1/4" = 1'-0"

POSTAGE SHOWN WAS CALCULATED FROM PRIVATE LINE AND DOES NOT INCLUDE BRICK, VENEER.

4-SB-22-C  
 Revised: 5/22/2023

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**CODE COMPLIANCE**

INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION.  
 SOME SPECIFICATIONS ON THESE DRAWINGS MAY HAVE BEEN CONSIDERED CODE AMENDMENTS OF GOVERNING JURISDICTION. BECAUSE CODES AND AMENDMENTS TO CODES ARE SUBJECT TO CHANGE FROM LOCAL JURISDICTION TO LOCAL JURISDICTION, IT IS THE BUILDER'S RESPONSIBILITY TO INSURE COMPLIANCE WITH ALL CURRENT GOVERNING CODES.

**GENERAL NOTES**

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS.
2. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
3. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODES AND MUST REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING THE BUILDING).
4. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
5. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
6. DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CAPACITY, FROST LINE DEPTH, SEISMOLOGICAL AND WEATHER CONDITIONS ETC., THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
7. ALL WOOD CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
8. ALL GUILDS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.
9. WINDOWS SHOWN ARE DOUBLE HUNG TYPE, WINDOW SIZES SHOWN ARE NOMINAL, SELECTED MANUFACTURER TO BE 2-2X12 WITH FLOOR JOIST OPENING SIZES.
10. ALL PERIMETER / EXTERIOR DIMENSIONS ARE TO FINISH LINE (OUTSIDE OF WALL BREATHERS).
11. ALL ELECTRICAL PLACEMENTS TO BE DETERMINED BY BUILDER.
12. INSTALL FROST PROOF HOSE BIBBS AT LOCATIONS DIRECTED BY BUILDER.
13. ALL INTERIOR FINISHES INCLUDING FLOORING, DOOR/HAMMOCK CASING, BASE BOARD, ETC. TO BE SELECTED BY BUILDER.

**GENERAL FRAMING NOTES**

1. EXTERIOR WALLS SHOWN ARE 2X4 STUDS @ 16" O.C. PROVIDE HORIZ. BLOCCING AT 10' HEIGHT OF EXTERIOR WALLS.
2. WINDOWS OVER EXTERIOR OPENINGS TO BE 2-2X12 WITH FLOOR JOIST PLATES UNLESS NOTED OTHERWISE.
3. INTERIOR HALL DIMENSIONS ARE BASED ON 2X4 STUDS UNLESS OTHERWISE NOTED.
4. PRIOR TO INSTALL DOUBLE FLOOR JOISTS UNDER PARALLEL WALLS, TO THE JOIST DIRECTION, BRIDGING WITH 2X BRIDGES AT FLOORING WALLS UNLESS TO FLOOR JOIST FLOOR SYSTEMS.
5. WHERE FACTORY ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, MANUFACTURER MUST PROVIDE LAYOUT AND SHOP DRAWINGS.
6. ALL EXTERIOR CORNERS INSIDE AND OUTSIDE CORNERS SHALL BE BRACED WITH 1/2" CDIP PLATE/ROD UNLESS OTHERWISE NOTED. SHALL BE COMMON AT 4" O.C. AT ALL EDGES AND 8" O.C. AT ALL INTERMEDIATE STUDS OR APPROVED CHANGING CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS.
7. ALL COLLARS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY TRACKED SLAB BRACE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
8. PROVIDE COLLAR TIES AT UPPER US OF VERTICAL DISTANCE BETWEEN HOSE BOARD AND CEILING JOISTS AT 4'-0" MAXIMUM.
9. HIF & VALLEY RAFTERS AND RIDGE BOARDS SHALL BE AT A SIZE EQUAL TO OR LARGER THAN THE END CUT OF THE RAFTERS.
10. ROOF BRACING SHALL BE 1/2" HEMLOCK WITH PLYCLIPS.
11. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY TRACKED SLAB BRACE BEAM OR FOOTING DESIGNED TO CARRY LOAD.

**GENERAL FOUNDATION NOTES**

- ALSO SEE APPLICABLE GENERAL FRAMING NOTES.
1. ALL FOOTINGS TO BE ON FIRM UNDISTURBED SOIL OF NO LESS THAN 3000 PSF AND BELOW FROST LINE. BRACE SIZE AND RESPONDING MUST BE DETERMINED BY LOCAL, SOIL AND SITE CONDITIONS. VERIFY FOOTING DESIGN WITH LOCAL BUILDING OFFICIALS OR LOCAL ENGINEER.
  2. ALL BASEMENT WALLS TO BE POLURED CONCRETE REINFORCED FOR BACKFILL, AS DETERMINED BY POLURED WALL INSTALLER. GRAVEL SPACE FOUNDATION WALLS MAY BE CONSTRUCTED FROM 12" AND/OR 16" CALL AS SPECIFIED ON PLANS.
  3. FOUNDATION WALL BRACING IS REQUIRED FOR THE TOP OF ALL FOUNDATION WALLS WHERE THE FLOOR STRUCTURE IS PARALLEL TO THE WALL. FOR 2X FLOOR SYSTEMS THE MINIMUM REQUIREMENT FOR BACKFILL LESS THAN 4 FEET IS 2X BLOCCING AT 12" O.C. AT ALL INTERMEDIATE STUDS OR APPROVED CHANGING CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS. IN THE FIRST THREE SPACES AT 2" O.C. BLOCCING MUST BE SOLID 2X4. FOR ENGINEERED FLOOR SYSTEMS SEE LOCAL BUILDING CODES FOR ACCEPTABLE BRACING METHODS.
  4. INSTALL 1/2" ANCHOR BOLTS TO BE EMBEDDED IN CONCRETE PER CODE OR METAL ANCHOR STRAPS INSTALLED PER MANUFACTURER'S INSTRUCTION.
  5. BUILDER TO PROVIDE SOIL TREATMENT FOR TERMITES PROTECTION.
  6. ALL SLAB FOUNDATIONS UNDER LIVING AREAS AND ALL BASEMENT FLOORS TO HAVE 3" SAND FILL INSTALLED FROM LIVING SLAB TO ATTIC PER CODE.
  7. ON GRAVEL SPACE DESIGN, BUILDER TO LOCATE ACCESS DOOR AS DETERMINED BY FINISHED GRADE.
  8. PROVIDE GRAVEL SPACE VENTILATION PER CODE OR UNVENTED GRAVEL SPACE CONSTRUCTED PER CODE.

**A PLAN FOR:**

**BRYAN TESTERMAN JR CONSTRUCTION**  
 LOT 27 LOVELL COVE S/D  
 DISTRICT-6 KNOX COUNTY, TENNESSEE

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**Greg P Stiles Designs**

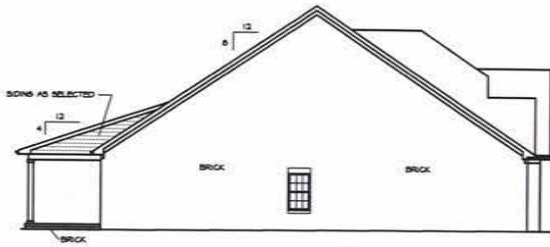
1558 SHAW PERRY LANE  
 LENOX CITY, TN 37772

PHONE: (865) 955-9990  
 EMAIL: gregstiles@outstar.net

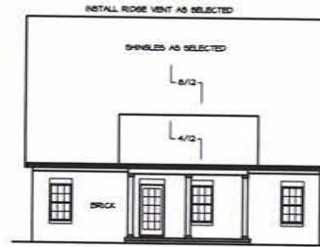
DATE: 2/4/2023 PLAN NO: SR-3-1705-2

SHEET NO:  
**2**  
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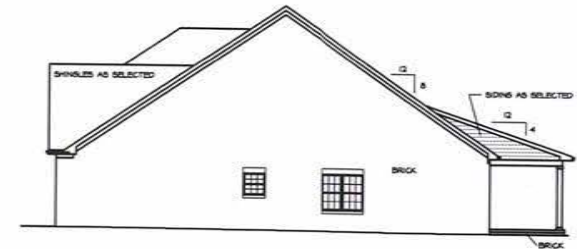




**LEFT ELEVATION**  
1/8" = 1'-0"



**REAR ELEVATION**  
1/8" = 1'-0"



**RIGHT ELEVATION**  
1/8" = 1'-0"



**FRONT ELEVATION**  
1/4" = 1'-0"

4-SB-22-C  
Revised: 5/22/2023

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**A PLAN FOR:**

BRYAN TESTERMAN JR CONSTRUCTION  
LOT 27 LOVELL COVE S/D  
DISTRICT-6 KNOX COUNTY, TENNESSEE

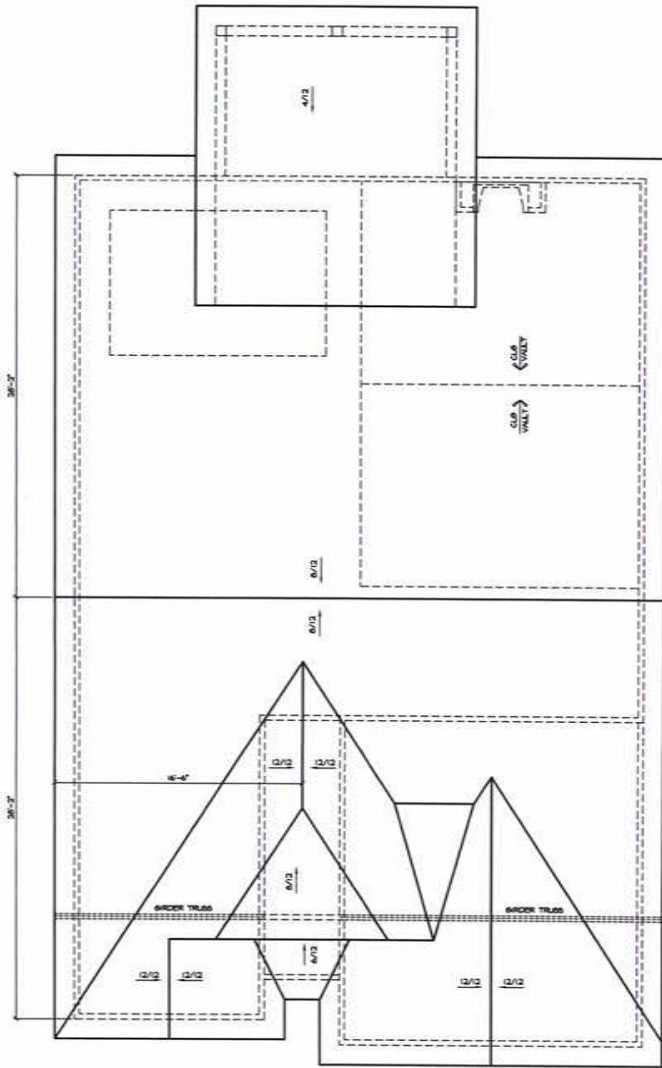
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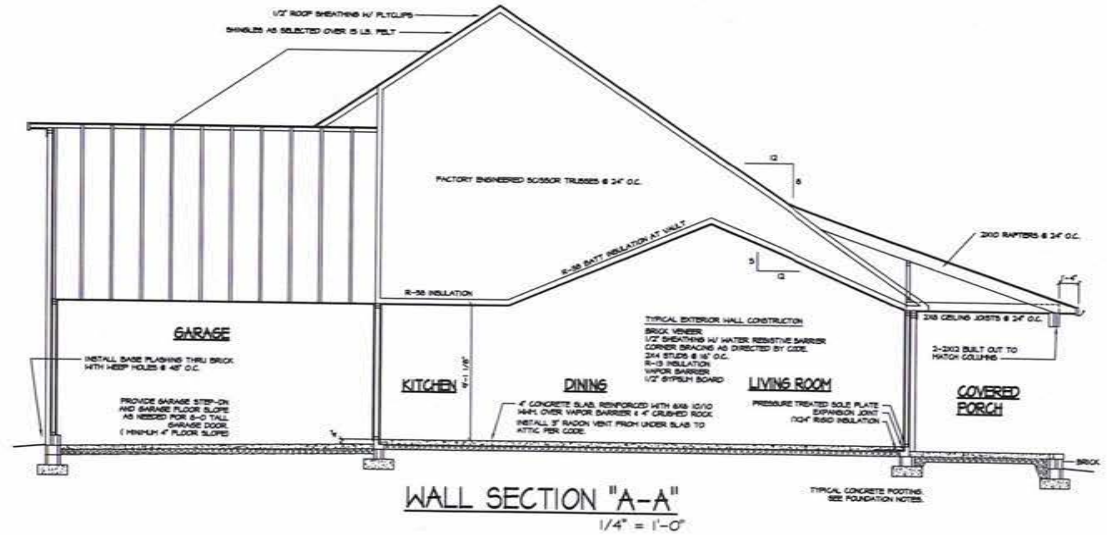
**Greg P Stiles Designs**

155 SHAW FERRY LANE PHONE: (606) 906-0900  
LENDOR CITY, TN 37742 EMAIL: gregstilescharter.net  
DATE: 2/4/2023 PLAN NO: SR-3-1705-2

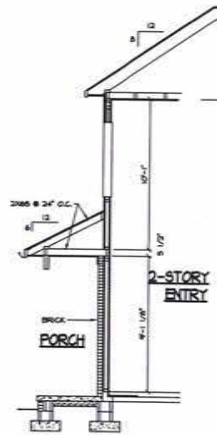
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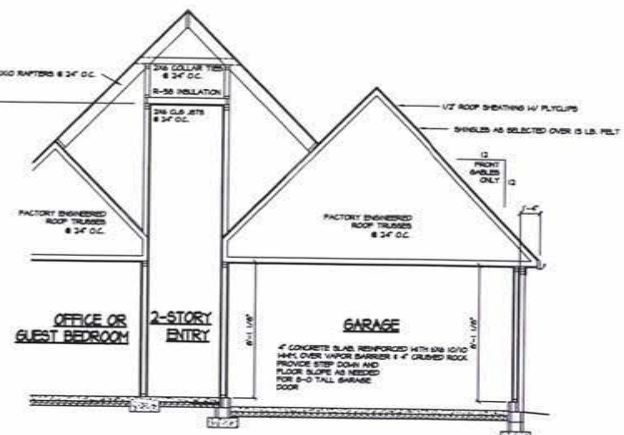
**ROOF PLAN**  
1/4" = 1'-0"



**WALL SECTION "A-A"**  
1/4" = 1'-0"



**WALL SECTION "B-B"**  
1/4" = 1'-0"



**WALL SECTION "C-C"**  
1/4" = 1'-0"

4-SB-22-C  
Revised: 5/22/2023

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|   |  |
|---|--|
| A PLAN FOR:   |  |
| BRYAN TESTERMAN JR CONSTRUCTION<br>LOT 27 LOVELL COVE S/D<br>DISTRICT-6 KNOX COUNTY, TENNESSEE  |  |
| COPYRIGHT NOTICE  |  |
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| <b>Greg P Stiles Designs</b> SHEET NO: <b>4</b>   |  |
| 135 SHAW PERRY LANE<br>LENDOR CITY, TN 37772<br>DATE: 2/4/2023  | PHONE: (661) 900-9990<br>EMAIL: gregstiles@charter.net<br>PLAN INFO: SR-3-1705-2 |

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**Fwd: 4-SB-22-C**

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**Mike Reynolds** <mike.reynolds@knoxplanning.org>  
To: Dori Caron <dori.caron@knoxplanning.org>

Thu, Apr 13, 2023 at 10:16 AM

The email below is a request to Untable 4-SB-22-C. This is for the May agenda, so the application will be back on the June agenda.

-----  
Mike Reynolds, AICP  
Principal Planner  
865.215.3827



**Knoxville-Knox County Planning** | [KnoxPlanning.org](http://KnoxPlanning.org)  
400 Main Street, Suite 403 | Knoxville, TN 37902

----- Forwarded message -----

From: **Chris Sharp** <[chris@urban-eng.com](mailto:chris@urban-eng.com)>  
Date: Thu, Apr 13, 2023 at 10:13 AM  
Subject: RE: 4-SB-22-C  
To: Mike Reynolds <[mike.reynolds@knoxplanning.org](mailto:mike.reynolds@knoxplanning.org)>

Mike:

Thanks for the heads up. Please accept this e-mail as our request to remove the item from the table at the May meeting. Please let me know if you need additional information.

Thanks and have a good day.

Chris



# Request to Postpone • Table • Withdraw

Urban Engineering, Inc.

5/20/22

Applicant Name (as it appears on the current Planning Commission agenda)

Date of Request

June 9, 2022  
Scheduled Meeting Date

4-SB-22-C  
File Number(s)

## POSTPONE

**POSTPONE:** All applications are eligible for postponement if the request is received in writing and paid for by noon on Thursday the week prior to the Planning Commission meeting. All requests must be acted upon by the Planning Commission, except new applications which are eligible for one 30-day automatic postponement. If payment is not received by the deadline, the item will be tabled.

**SELECT ONE:**  30 days  60 days  90 days

Postpone the above application(s) until the \_\_\_\_\_ Planning Commission Meeting.

## WITHDRAW

**WITHDRAW:** Applications may be withdrawn automatically if the request is received in writing no later than noon on Thursday the week prior to the Planning Commission meeting. Requests made after this deadline must be acted on by the Planning Commission. Applicants are eligible for a refund only if a written request for withdrawal is received prior to public notice and the request is approved by the Executive Director or Planning Services Manager. *\*The refund check will be mailed to the original payee.*

## TABLE

**TABLE:** Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled. There is no fee to table or untable an item.

## AUTHORIZATION

*By signing below, I certify I am the property owner, and/or the owners authorized representative.*

Chris Sharp

Digitally signed by Chris Sharp  
Date: 2022.05.20 08:59:05 -04'00'

Christopher A. Sharp

Applicant Signature

Please Print

(865) 966-1924

chris@urban-eng.com

Phone Number

Email

## STAFF ONLY

Staff Signature

Michael Reynolds

Please Print

5/20/2022

Date Paid

No Fee

Eligible for Fee Refund?  Yes  No Amount:

Approved by:

Date:

Payee Name

Payee Phone

Payee Address



# Development Request

**DEVELOPMENT**

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

**SUBDIVISION**

- Concept Plan
- Final Plat

**ZONING**

- Plan Amendment
  - SP
  - OYP
- Rezoning

Urban Engineering, Inc.

Engineer

Applicant Name

Affiliation

2/21/22

4/14/22

File Number(s)

Date Filed

Meeting Date (if applicable)

**4-SB-22-C****CORRESPONDENCE***All correspondence related to this application should be directed to the approved contact listed below.*

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Chris Sharp, P.E.

Urban Engineering, Inc.

Name

Company

11852 Kingston Pike

Knoxville

TN

37934

Address

City

State

ZIP

(865) 966-1924

chris@urban-eng.com

Phone

Email

**CURRENT PROPERTY INFO**

IKO Properties

P.O. Box 10872, Knoxville, TN 37939

(865) 679-3111

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

5117 Lonas Drive, Knoxville, TN 37909

107GB006

Property Address

Parcel ID

KUB

KUB

No

Sewer Provider

Water Provider

Septic (Y/N)

**STAFF USE ONLY**

North side of Lonas Drive, due East of Starmont Trail

4 ac +/-

General Location

Tract Size

 City  County 2nd  
DistrictRN-3  
Zoning DistrictRR  
Existing Land UseNorthwest City  
Planning SectorMDR  
Sector Plan Land Use ClassificationCity  
Growth Policy Plan Designation

**DEVELOPMENT REQUEST**

- Development Plan  
  Use on Review / Special Use  
  Hillside Protection COA  
 Residential  
  Non-Residential

Related City Permit Number(s)

Home Occupation (specify) \_\_\_\_\_

Other (specify) **Concept Plan**      **13 lots**

**SUBDIVISION REQUEST**

Related Rezoning File Number

Proposed Subdivision Name \_\_\_\_\_

Combine Parcels  
  Divide Parcel      Total Number of Lots Created \_\_\_\_\_  
 Unit / Phase Number \_\_\_\_\_

Other (specify) \_\_\_\_\_

Attachments / Additional Requirements

**ZONING REQUEST**

Pending Plat File Number

Zoning Change      Proposed Zoning \_\_\_\_\_  
 \_\_\_\_\_

Plan Amendment Change      Proposed Plan Designation(s) \_\_\_\_\_  
 \_\_\_\_\_

Proposed Density (units/acre)      Previous Rezoning Requests

Other (specify) \_\_\_\_\_

**STAFF USE ONLY**

**PLAT TYPE**

- Staff Review  
  Planning Commission

**ATTACHMENTS**

- Property Owners / Option Holders  
  Variance Request

**ADDITIONAL REQUIREMENTS**

- Design Plan Certification (*Final Plat*)  
 Use on Review / Special Use (*Concept Plan*)  
 Traffic Impact Study  
 COA Checklist (*Hillside Protection*)

| Fee 1 |        | Total  |
|-------|--------|--------|
| 0108  | 890.00 | 890.00 |
| Fee 2 |        |        |
|       |        |        |
| Fee 3 |        |        |

**AUTHORIZATION**

**Chris Sharp**

Digitally signed by Chris Sharp  
Date: 2022.02.18 16:29:48 -05'00'

**Urban Engineering, Inc.**

**2/18/22**

Applicant Signature

Please Print

Date

**(865) 966-1924**

**chris@urban-eng.com**

Phone Number

Email



*KENNETH HARRISON*

*2/22/22*

Property Owner Signature


Please Print

Date



**NAMES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:**

Please print or type in black ink:

| NAME            | ADDRESS   | CITY             | STATE     | ZIP          | OWNER / OPTION |
|-----------------|---|------------------|-----------|--------------|----------------|
| <i>KEN</i>      | <i>P.O. BOX 10872</i>   | <i>KNOXVILLE</i> | <i>TN</i> | <i>37939</i> | <i>✓</i>       |
| <i>HARRISAN</i> |  |                  |           |              |                |
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