



SPECIAL USE REPORT

▶ **FILE #:** 6-B-23-SU

AGENDA ITEM #: 20

AGENDA DATE: 6/8/2023

▶ **APPLICANT:** **COMMERCIAL SITE DESIGN, SAMBATEK PC NC**

OWNER(S): Cook Out- Powell Inc.

TAX ID NUMBER: 81 D C 004

[View map on KGIS](#)

JURISDICTION: City Council District 4

STREET ADDRESS: 2900 N BROADWAY

▶ **LOCATION:** **East side of N. Broadway, north side of Edgewood Ave**

▶ **APPX. SIZE OF TRACT:** **0.78 acres**

SECTOR PLAN: East City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via N Broadway, a major arterial street with a 54-ft pavement width within a 70-ft right-of-way. Access is also via Edgewood Avenue, a minor collector street with a 27-ft pavement width within a 47-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: First Creek

▶ **ZONING:** **C-G-2 (General Commercial), IH (Infill Housing Overlay)**

▶ **EXISTING LAND USE:** **Office**

▶ **PROPOSED USE:** **Drive-through facility for a restaurant**

HISTORY OF ZONING: Property was included in a 2007 governmental rezoning to apply the Infill Housing Overlay Zoning District (10-V-07-RZ)

SURROUNDING LAND USE AND ZONING: North: Commercial, single-family residential - C-G-2 (General Commercial), RN-2 (Single-Family Residential Neighborhood)

South: Commercial - C-G-2 (General Commercial)

East: Vacant, single-family residential - O (Office), RN-2 (Single-Family Residential Neighborhood)

West: Public/quasi-public land - O (Office)

NEIGHBORHOOD CONTEXT: This property is part of a service-oriented commercial corridor on the western border of the Edgewood Park Neighborhood. There is a church and a historically significant mansion located on the opposite side of N Broadway.

STAFF RECOMMENDATION:

▶ **Approve the proposed drive-through facility for a restaurant, subject to 8 conditions.**

1. Providing a seating amenity, such as a "Simme-Seat" or a bench at the adjacent north-bound bus stop on N Broadway. This will be installed in coordination with operations staff at KAT (Knoxville Area Transit) and in a manner consistent with the KAT Bus Stop Improvement Plan standards.

2. Replacing the 6 parking spaces shown on the east border of the property with a Class B landscape buffer yard, in addition to the solid fence shown.
3. Providing a 6 to 8-ft tall solid fence along the alley behind 1514 Claiborne Street to buffer residential properties at the northeast corner of the parking lot.
4. Redesigning the building entrance along Edgewood Avenue as a public entrance that is accessible from the Edgewood Avenue sidewalk.
5. Providing an outdoor seating area for patrons at the Edgewood Avenue entrance, which could bring the development proposal into compliance with the C-G-2 (General Commercial) zoning district build-to zone requirements.
6. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
7. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance, including providing at least 4 bicycle parking spaces (Article 11.9).
8. Meeting all applicable requirements of the City of Knoxville Department of Plans Review and Inspections.

With the conditions noted, this plan meets the requirements for approval in the C-G-2 zoning district and the criteria for approval of a special use.

COMMENTS:

This special use request is for a fast-food restaurant chain drive-through facility on a .78-acre parcel at the corner of N Broadway and Edgewood Avenue. The prior use on the property was a bank, with an entrance on Edgewood Avenue and two exits onto N Broadway. The new owner is a restaurant called Cook Out, which advertises "fresh burgers, bbq, hot dogs and shakes." The site plan indicates the provision of 31 parking spaces, in excess of the 19 required, and closes both driveways to N Broadway.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

1. The One Year Plan and the East City Sector Plan's land use classification for the subject property is MU-SD, EC-3 (Mixed Use-Special District, Broadway). The sector plan describes the history of Broadway's redevelopment after the establishment of the federal highway program in the 1950s. The road's character changed from one that supported mass transit, slower traveling speeds and shallower setbacks to one designed primarily for automobiles, with large parking lots and setbacks, loss of green space and higher traveling speeds. The recommendations in this special district emphasize enhancing the pedestrian experience, fostering more intensive redevelopment to support transit, reducing parking requirements and providing buffers between commercial and adjoining residential properties.

A drive-through facility does not support the intent of the sector plan's land use classification to shift away from auto-oriented design. However, the site plan includes the removal of two driveways accessing N Broadway and their replacement with a new sidewalk. There is a bus stop lacking seating located at the northwest corner of the subject property, where sidewalk improvements will occur. Condition #1 requires the installation of bus stop seating, such as a "Simme-Seat" (shown in Exhibit A), which is a recommended amenity in KAT's (Knoxville Area Transit) Bus Stop Improvement Plan, published in 2021. This addition will further support transit ridership, and the driveway removals and improved sidewalk and will address safe walkability, thereby supporting sector plan recommendations.

The sector plan's residential buffering and parking reduction guidance is supported by Condition #2 to remove 6 parking spaces along the east border of the parcel in order to accommodate a 20-ft Class B landscaping buffer, in addition to the 6-ft wooden fence provided. The removal of 6 parking spaces still leaves 6 spaces in excess of the off-street parking minimum requirement. Further reducing parking to the minimum in order to accommodate better pedestrian circulation within the parking lot and/or additional landscaping is strongly encouraged.

The sector plan is also supported by Condition #3 to add a 6 to 8 ft screening fence along the alley to protect the neighboring residences on Claiborne Place from the headlights of incoming drive-through traffic.

2. The General Plan's development policy 7.11 and 7.12 promote alternatives to automobile travel and land use patterns and infrastructure that encourage traffic trip reduction. The subject property is located at the border of the Edgewood Park Neighborhood, and is adjacent to the Upper First Creek Greenway Trail leading to Edgewood Park and the North Knoxville Branch Library.

Conditions #4 and #5 to make the Cook Out restaurant entrance on Edgewood Avenue publicly accessible with patio seating will make the restaurant more engaging to foot traffic and cyclists, thereby promoting alternatives to automobile traffic. At least four bicycle parking spaces will be installed, per the Off-Street Parking requirements in Article 11.9 of the zoning ordinance.

3. The locations of Conditions #1-5 are shown in Exhibit B. The image is for general clarification purposes only,

and dimensions are not precise.

THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

1. The C-G (General Commercial) zoning district is intended to provide a heterogenous mix of retail, personal service, office, and residential uses within and along Knoxville's commercial nodes and corridors. The C-G District is intended to promote mixed-use development in a pedestrian-oriented environment that recalls the City's traditional business districts. Indoor commercial operations should be the primary use, with limited exceptions per special use approval.
2. The subject property's location is along a commercial corridor where there are several established fast-food restaurant drive-throughs. The noted conditions promote the pedestrian experience as well as the interior use of the business as a sit-down or drop-in restaurant. With these conditions, the Cook Out drive-through complies with the intent of the zoning district.

THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

1. The size, location and orientation of the proposed restaurant and drive-through is consistent with the character of neighboring businesses along the N Broadway corridor. The subject property is in the middle of an agglomeration of fast-food drive-throughs with a KFC, Wendy's, McDonald's, and Burger King in close proximity.

THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS THAT DETRACT FROM THE IMMEDIATE ENVIRONMENT.

1. With the noted conditions on landscape buffering, fencing and improved accessibility, the neighboring Edgewood Park residents should not see inordinate negative impacts from the proposed drive-through.

THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS

1. The ingress and egress for the proposed Cook Out restaurant is on Edgewood Avenue, which is a minor collector street that serves the Edgewood Park neighborhood. This is generally the safest access option, given the property's close proximity to a bus stop on N Broadway, as well as the multiple lanes of traffic that would need to be crossed on N Broadway near a signalized intersection in order to enter or exit while heading south.
2. The driveway location is approximately 200 ft from the Edgewood Avenue intersection with N Broadway. The driveway should not impact the approved Edgewood Avenue Neighborhood Traffic Safety Project to add a Gateway Island east of Bill Williams Avenue for traffic calming purposes, as shown in Exhibit C.
3. A traffic analysis was conducted and it concluded that the queue from the signalized intersection on Edgewood Avenue could block the proposed Cook Out driveway less than 50% of the time during the peak PM traffic hour. The analysis suggested a "Do Not Block Driveway" sign to address this potential conflict (see Exhibit D). It is unlikely that a queue stemming from the drive-through would impact traffic on Edgewood, based on the ample number of vehicle spaces provided in the drive-through design.

THE NATURE OF THE DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIREABLE ENVIRONMENT FOR THE PROPOSED USE

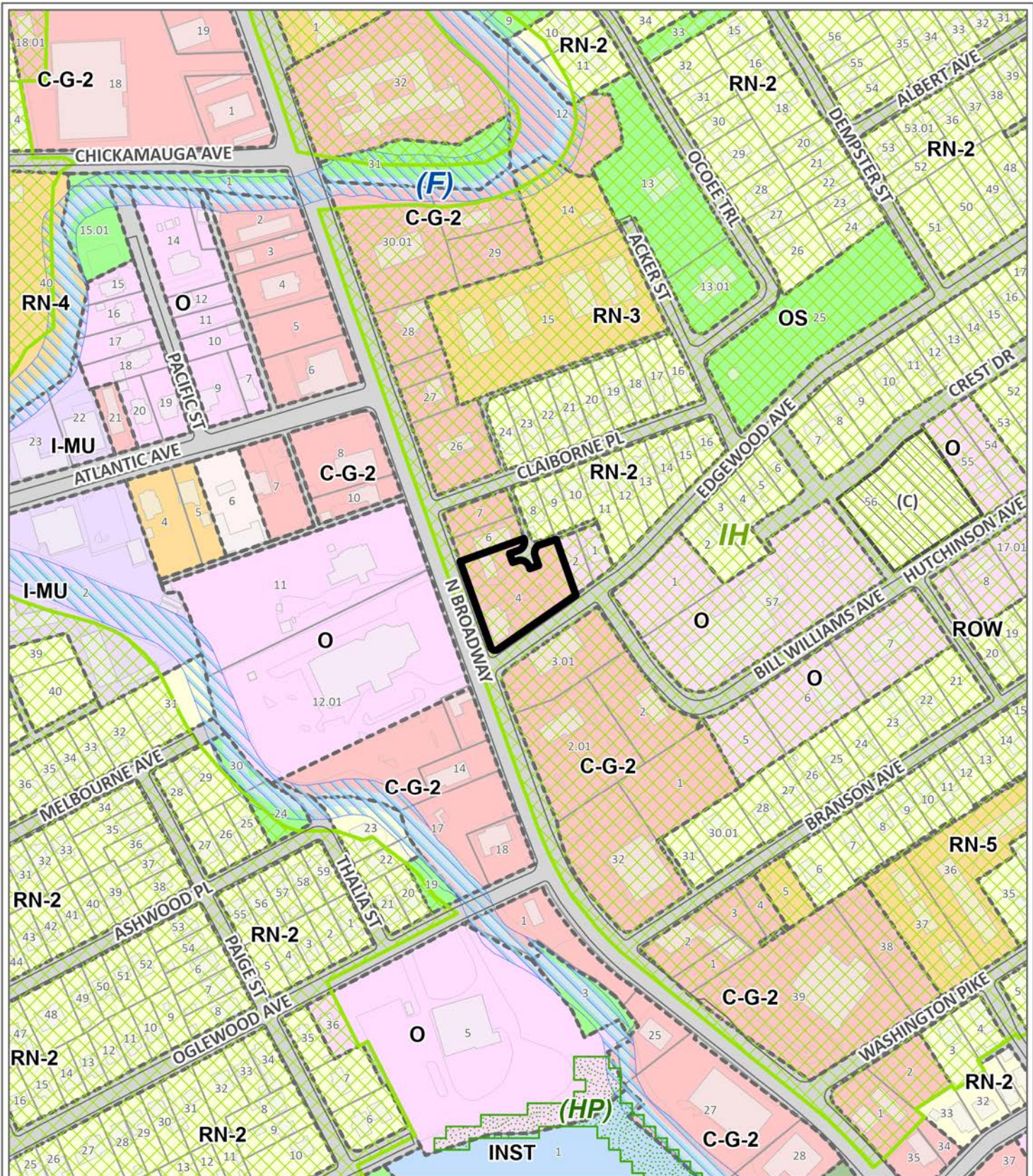
1. The property is partially within the FEMA 500-year floodplain along Edgewood Avenue, and this is a reason the applicant cited for the restaurant building being set back 30.5 ft from Edgewood Avenue. This distance exceeds the corner side setback build-to zone maximum of 10 ft. A requested variance from this setback requirement was not granted by the Knoxville Board of Zoning Appeals. Part of the rationale for this denial was tied to the engineered absence of pedestrian access to the building from Edgewood Avenue, which conflicts with the intent of C-G-2 zoning's pedestrian prioritization.
2. Article 2.4.C of the zoning ordinance describes the rules of measurement for build-to dimensions. It indicates how plazas and open space features can be counted towards build-to requirements. The Edgewood Avenue outdoor seating area described in Condition #5 could improve the development's compliance with the build-to zone and percentage standards, without necessitating that the building to be relocated or extended into the floodplain. This approach to meeting the C-G-2 dimensional standards would be subject to review and approval by the City of Knoxville Department of Plans Review and Inspections.

ESTIMATED TRAFFIC IMPACT: 1171 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

6-B-23-SU

Petitioner: Commercial Site Design, Sambatek PC NC



Drive-through facility for a restaurant in C-G-2 (General Commercial), IH (Infill Housing Overlay)

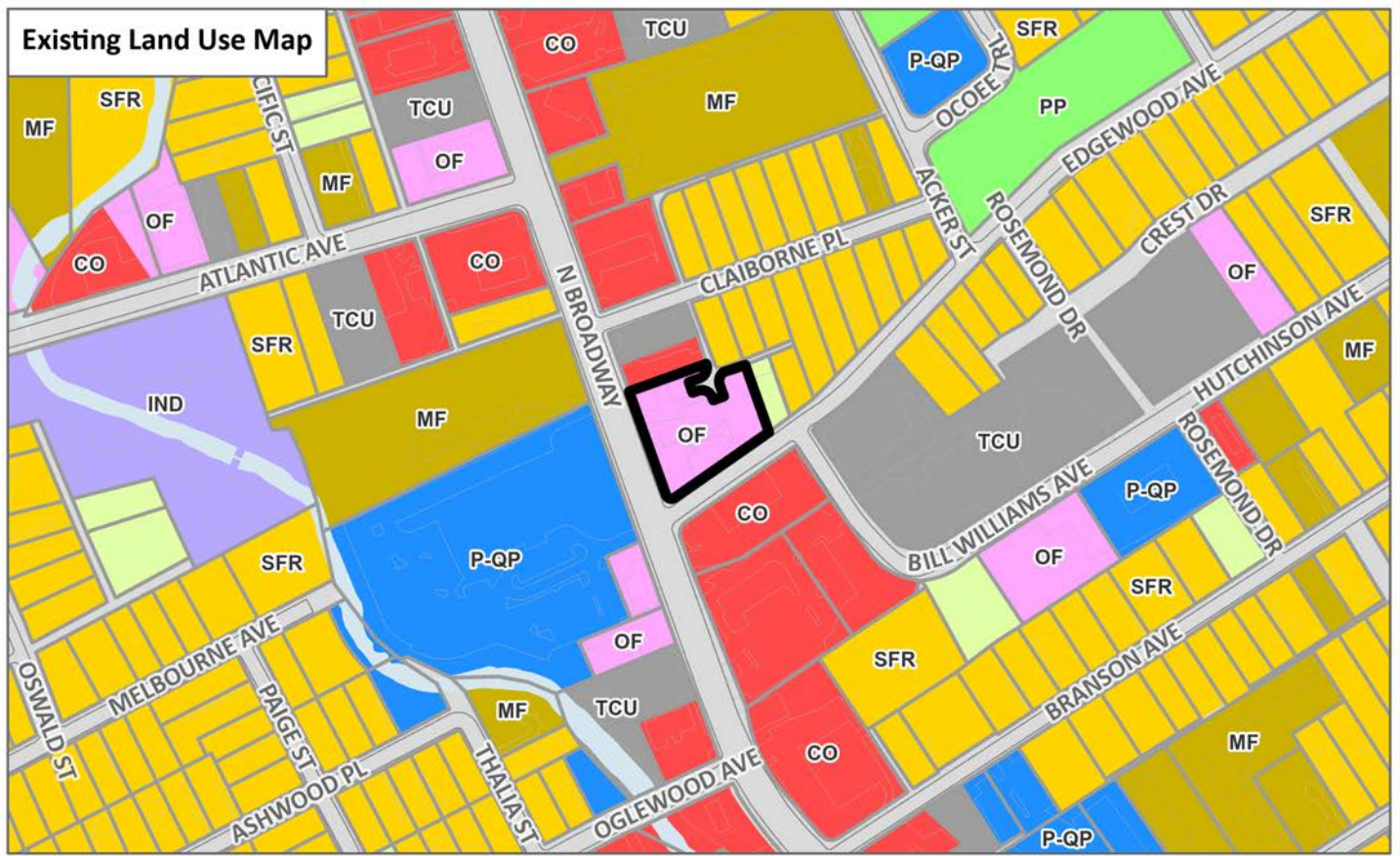
Map No: 81
Jurisdiction: City

Original Print Date: 5/17/2023

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902



Existing Land Use Map



Aerial Map

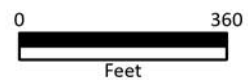


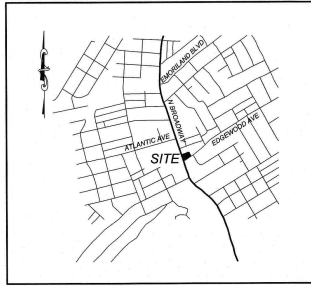
CONTEXTUAL MAPS

6-B-23-SU



Case boundary





VICINITY MAP
NTS

COOK OUT

FRESH HAMBURGERS

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NORTH CAROLINA 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

SITE ADDRESS: 2900 N. BROADWAY
KNOXVILLE, TENNESSEE
CSD PROJECT NUMBER: OUT-2127

CONTACT INFORMATION	
FIRE	KNOXVILLE FIRE DEPARTMENT 900 E. HILL AVENUE, SUITE 430 KNOXVILLE, TENNESSEE 37915 CONTACT: STAN SHARP - FIRE CHIEF PHONE: (865) 595-4480
STORMWATER:	STORMWATER ENGINEERING DIVISION 400 MAIN STREET, SUITE 480 P.O. BOX 1631 KNOXVILLE, TENNESSEE 37901 CONTACT: JAMES R. HAGERMAN, ENGINEERING DIRECTOR PHONE: (865) 594-8337
WATER, SANITARY SEWER, GAS, ELECTRIC:	KNOXVILLE UTILITY BOARD 445 S. GAY STREET KNOXVILLE, TENNESSEE 37902 CONTACT: TIM BRANSON PHONE: (865) 594-8337
DOT	TDOT 7345 REGION LANE KNOXVILLE, TENNESSEE 37914 PHONE: (865) 594-2403
HEALTH	KNOX COUNTY HEALTH 140 DAMERON AVENUE KNOXVILLE, TENNESSEE 37917
PLANNING / ZONING:	CITY OF KNOXVILLE 400 W. MAIN STREET, SUITE 505 KNOXVILLE, TENNESSEE CONTACT: DWAN BOGUS PHONE: (865) 215-4282

24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	3-27-2023	REVISE PER PRESUBMITTAL COMMENT	KL

SHEET INDEX

- C-1 EXISTING CONDITIONS / DEMOLITION PLAN
- C-2 SITE PLAN
- C-3 GRADING & EROSION CONTROL PLAN
- C-4 UTILITY PLAN
- C-5 LANDSCAPE PLAN
- C-6 LIGHTING PLAN
- C-7 DETAILS
- C-8 DETAILS
- C-9 DETAILS
- A2.1 BUILDING ELEVATIONS
- A2.2 BUILDING ELEVATIONS

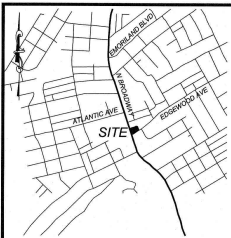
SITE INFORMATION	
SITE ADDRESS:	2900 N. BROADWAY
OWNER / DEVELOPER:	COOK OUT 15 LAURA LANE, SUITE 300 THOMASVILLE, NORTH CAROLINA 27360 PHONE: (336) 215-7025 FAX: (336) 474-1849
DESIGNER:	SAMBATEK INC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121 FAX: (919) 848-3741
ZONING:	C-G-2
EXISTING USE:	GAS STATION
PROPOSED USE:	RESTAURANT WITH DRIVE-THROUGH
BUILDING SETBACKS: RIGHT OF WAY	20 FEET
SIDE	10 FEET
REAR	0 FEET
PARKING REQUIREMENTS:	6 SPACES PER 1,000 SF OF OFA 3,130 / 1,000 = 3.1 X 6 = 18.6 SPACES
PARKING PROVIDED:	29 REGULAR SPACES 2 HANDICAP SPACES 31 TOTAL SPACES
SITE AREA: DISTURBED AREA:	34,038 SF OR 0.78 ACRES 36,854 SF OR 0.85 ACRES
EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:	28,774 SF OR 0.66 ACRES 27,465 SF OR 0.63 ACRES
BUILDING AREA:	3,130 SF
WATER:	KNOXVILLE UTILITY BOARD
SEWER:	KNOXVILLE UTILITY BOARD

6-B-23-SU
4/24/2023



**COMMERCIAL
SITE DESIGN**
 A Sambatek Company
 (919) 848-6121, FAX: (919) 848-3741
 WWW.CSITEDESIGN.COM





VICINITY MAP
NTS

CURVE TABLE							
CURVE	FIELD LENGTH	DEED LENGTH	RADIUS	DELTA	FIELD BEARING	DEED BEARING	CHORD TANGENT
C1	31.41'	31.42'	20.00'	89.98°	S25°15'53"W	S25°17'41"W	28.28' 19.99'
C2	31.41'	31.42'	20.00'	89.98°	S64°44'07"E	S64°42'19"E	28.28' 19.99'
C3	31.41'	31.42'	20.00'	89.98°	N25°15'52"E	N25°17'40"E	28.28' 19.99'
C4	18.33'	18.33'	10.00'	105.03°	N72°14'56"W	N72°13'08"W	15.67' 13.04'

LINE TABLE		
Line #	Direction	Length
L-1	S 70°15'53" W	20.00
L-2	S 19°44'07" E	20.00
L-3	N 70°15'53" E	10.00
L-4	N 70°15'53" E	20.00

FLOOD INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH OF LESS THAN 1', AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 4708000816, WITH AN EFFECTIVE DATE OF AUGUST 05, 2013.

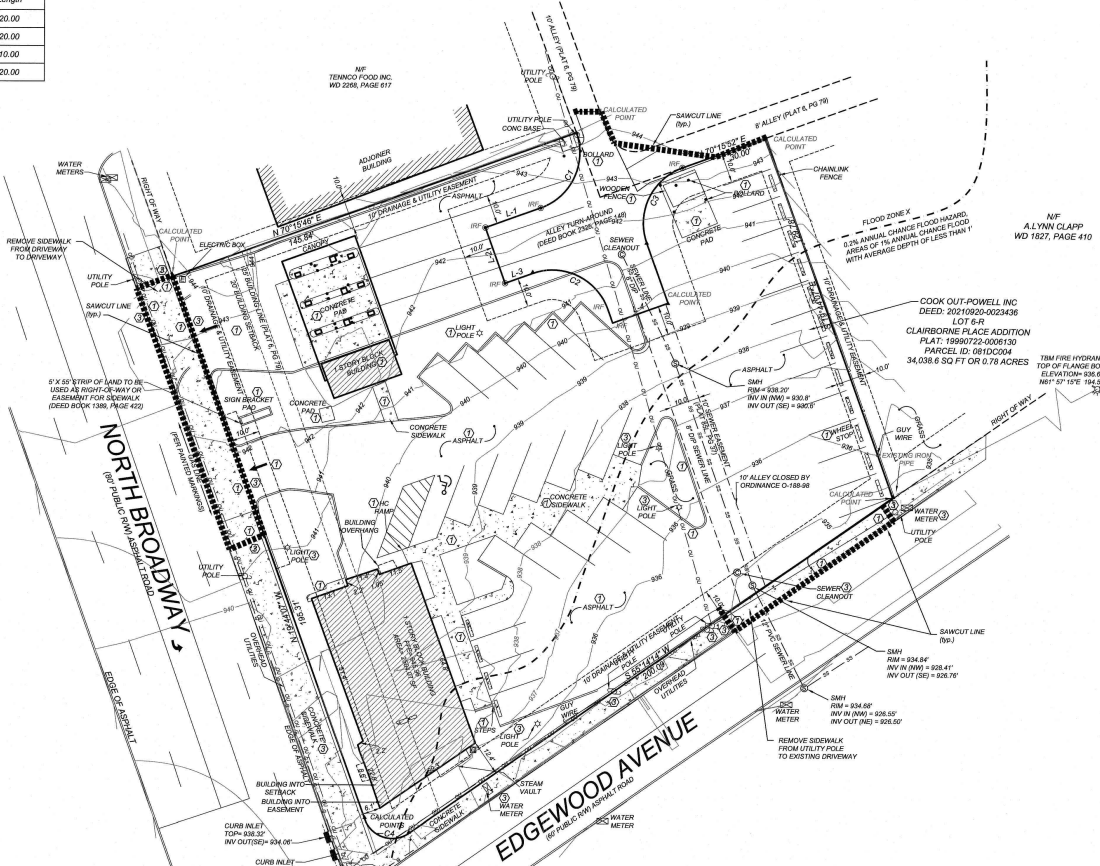
GENERAL NOTES:

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY COMMERCIAL SITE DESIGN, PLLC 8113 CRESSBORO ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-8321 FAX: (919) 848-3741
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DEMOLITION KEYNOTES

- ① REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- ② RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- ③ ITEM TO REMAIN.

XXXXXX SAWCUT LINE
X EXISTING TREE TO BE REMOVED



24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

LEGEND	
▲	CALCULATED POINT
●	EXISTING IRON PIPE
○	IRON PIPE SET
○	BORER HOLE
○	SANITARY SEWER MANHOLE
○	SANITARY SEWER CLEANOUT
○	WATER VALVE
○	WATER METER
○	FIRE HYDRANT
○	TELEPHONE PIEDestal
○	TELEPHONE MANHOLE
○	ELECTRIC BOX
○	LIGHT POLE
○	POWER POLE
○	CURB INLET
○	STORM DRAINAGE MANHOLE
○	YARD INLET
○	STORM DRAIN
○	OVERHEAD UTILITIES
○	UNDERGROUND ELECTRIC
○	UNDERGROUND TELEPHONE
○	WATER LINE
○	SANITARY SEWER LINE
○	Gas LINE
○	FENCE LINE
AC	ACRES
ACSM	AMERICAN CONGRESS ON SURVEYING AND MAPPING
ALTA	AMERICAN LAND TITLE ASSOCIATION
B.M.	BOOK OF MAPS
CB	CATCH BASIN
CBP	CORROBATED METAL PIPE
DEED	DEED BOOK
ESP	EXISTING IRON PIPES
ELEV	ELEVATION
E.M.	ELECTRIC METER
FIRM	FLOOD INSURANCE RATE MAP
GIS	GLOBAL POSITIONING SYSTEM
HUD	HOUSING URBAN DEVELOPMENT
HYD	FIRE HYDRANT
INV	INVERT
IPS	IRON PIPE SET
LLC	LIMITED LIABILITY COMPANY
MPH	MILES PER HOUR
M.S.L.	MEAN SEA LEVEL
NAD	NORTH AMERICAN DATUM
NAD	NOW OR FORMERLY
NCS	NORTH CAROLINA GEODESIC SURVEY
NAD	NATIONAL GEODETIC VERTICAL DATUM
NSPS	NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
NTS	NOT TO SCALE
PD.	PAGE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.O.L.	POINT ON LINE
R.C.P.	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
SF	SQUARE FOOT
SM	SANITARY SEWER MANHOLE
S.R.	STATE ROAD
T.C.	TEMPORARY BENCH MARK
TOWNSHIP	TOWNSHIP
TYP	TYPICAL
V.I.	VALVE INLET

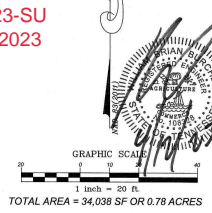
NO.	DATE	DESCRIPTION
1	2/23/2023	PER PRELIMINARY COMMENT

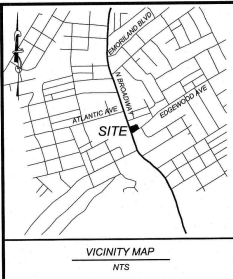
COMMERCIAL SITE DESIGN
A Sumbank Company
1999 PARKWAY EAST, SUITE 100
RALEIGH, NORTH CAROLINA 27608
WWW.COMMERCIALSITEDESIGN.COM

CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
KNOXVILLE, TENNESSEE 37925
TELEPHONE: (615) 275-9265
FAX: (615) 474-1849

COOKOUT FRESH HAMBURGERS
2900 N. BROADWAY
KNOXVILLE, TENNESSEE
EXISTING CONDITIONS / DEMOLITION PLAN

PROJECT NO.	OUT-3127
PLAN NO.	OUT2127-0P
DESIGNED BY	STH
DATE	11-20-2022
DATE	12-22-2022
DRAWN BY	C-1





CURVE TABLE								
CURVE	FIELD LENGTH	DEED LENGTH	RADIUS	DELTA	FIELD BEARING	DEED BEARING	CHORD	TANGENT
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L-4	N 70°15'53" E	20.00

SITE KEYNOTES:

- CONSTRUCT 3.0" STANDARD CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0" ROLLED CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0" STANDARD CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 3.0" ROLLED CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET, CONTRACTOR SHALL COORDINATE STAMPING PATTERN AND COLOR OF BUILDING ISLAND SIDEWALK WITH OWNER
- CONSTRUCT SIDEWALK PER DETAIL SHEET MATCH EXISTING WIDTH OF EXISTING SIDEWALKS
- CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- HANDICAP PARKING STALL
- INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- INSTALL "VA ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
- CONCRETE PAVEMENT (COLOR, SLABS) PER DETAIL SHEET
- ASPHALT PAVEMENT PER DETAIL SHEET
- TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- CONSTRUCT DIMASTER PAD, MINIMUM 4" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- CONCRETE WHEEL STOP PER DETAIL SHEET
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- PAINT 4" WIDE STRIPE, WHITE PAINT, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)
- PAINT 4" WIDE MINI-SKIP STRIPE, WHITE PAINT, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)
- PAINT TRAFFIC ARROWS PER DETAIL SHEET
- SITE IDENTIFICATION SIGN, CONTRACTOR SHALL COORDINATE WITH OWNER AND CITY.
- PAINT 34" STOP BAR PER DOT AND MUTCD STANDARDS
- MATCH EXISTING CURB & GUTTER
- ASPHALT/CONCRETE TRANSITION PER DETAIL SHEET
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- MATCH EXISTING ASPHALT PAVEMENT
- MATCH EXISTING CONCRETE SIDEWALK
- PAINT CROSSWALK PER DETAIL SHEET
- PREVIEW BOARD, COORDINATE WITH OWNER
- MENU BOARD, COORDINATE WITH OWNER
- INSTALL 42" HIGH SAFETY RAILING, FINISH POWDER COAT RED, SEE DETAIL SHEET
- NOSE DOWN CURB PER DETAIL SHEET
- INSTALL "STOP" SIGN AND "DO NOT ENTER" SIGN PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS
- CONSTRUCT CONCRETE CURB AND GUTTER PER DOT STANDARD AND SPECIFICATIONS

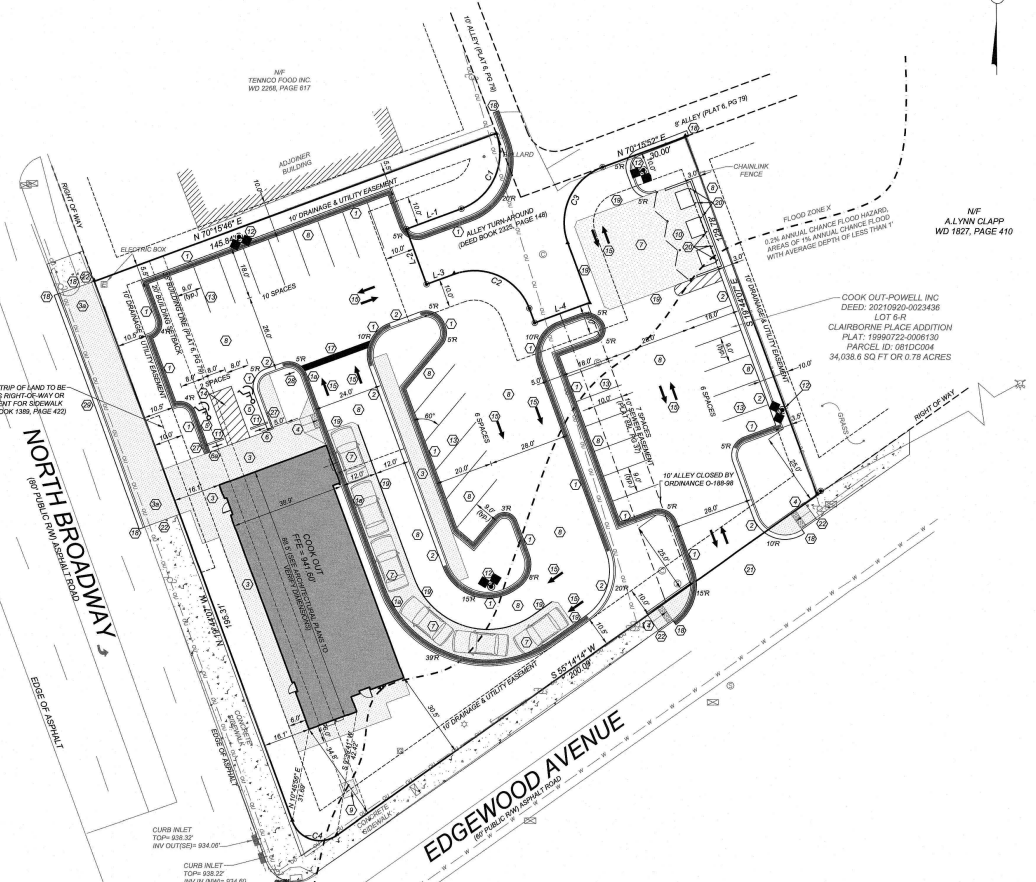
24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

SITE LEGEND

- SPILL CURB
- HANDICAP RAMP
- HANDICAP STALL
- CONCRETE
- PROPERTY LINE
- SIK
- BOLLARD
- EX FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- FINISH FLOOR ELEVATION

CURBING NOTE:
 STANDARD CURB AND GUTTER SHALL BE INSTALLED AT BUILDING ISLAND DIRECTLY ADJACENT TO BUILDING ONLY, AND AT THE FRONT OF ALL PARKING STALLS. ROLLED CURB AND GUTTER SHALL BE INSTALLED THROUGHOUT REMAINDER OF SITE.

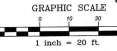
PAINT NOTE:
 ALL PAINT STRIPING SHALL BE APPLIED AT A MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)



GENERAL NOTES:

- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY COMMERCIAL SITE DESIGN, 8319 CRENSHAW ROAD, RALEIGH, NORTH CAROLINA 27613. PHONE: (919) 884-8121.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY COMPANY PRIOR TO CONSTRUCTION OPERATIONS.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DETACHES, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OF ANY KIND SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AGENCIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL, IN OR ON OUTSIDE PROPERTY DUE TO CONSTRUCTION OPERATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONE WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA UNDER THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- GENERAL CONTRACTOR SHALL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATIONS. COORDINATE LOCATION WITH OWNER'S SPECIFICATIONS.
- FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED OTHERWISE ON PLAN.
- CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
- ALL ROAD DIMENSIONS ARE TO FACE OF CURB.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
- ALL STREET SURFACES, DRIVEWAYS, CURBS AND GUTTERS, ROADWAYS IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDING AND MULCHING WITHIN SEVEN (7) DAYS.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT INDICATED. SHOW ON THESE PLANS AND WHITE SHOW ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON THE FIELD AND AT HIS OWN COSTS VERIFY LOCATION OF ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL BE MADE BY THE CONTRACTOR FROM THE PRESENCE OF SUCH OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL ADJACENT OWNERS OF UTILITIES. THE CONTRACTOR SHALL CALL THE TOLL FREE NUMBER "811" AT (800) 351-1111 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
- COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPANIED TO ACHIEVE THE PER STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
- THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL WORK PRIOR TO COMPLETION. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
- ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR FOR IRRIGATION SYSTEMS SEE FOR IRRIGATION SYSTEM.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

6-B-23-SU
4/24/2023



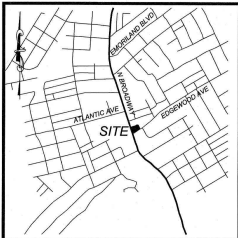
NO.	DATE	DESCRIPTION
1	27-3-2023	PER PRELIMINARY COMMENT

COMMERCIAL SITE DESIGN
 A Sustainable Company
 (919) 884-8021 FAX: (919) 884-8101
 WWW.COMMERCIALSITEDESIGN.COM
 802 CREEKWOOD ROAD
 RALEIGH, NORTH CAROLINA 27609

CLIENT/OWNER:
 COOK OUT, INC. SUITE 300
 2900 N. BROADWAY
 KNOXVILLE, TN 37736
 TELEPHONE: (336) 715-1025
 FAX: (336) 474-1849

COOKOUT
 FRESH TAWBARK
 2900 N. BROADWAY
 KNOXVILLE, TENNESSEE
SITE PLAN

PROJECT NO.	OUT-217
FILENAME	OUT1738.SP
DRAWN BY	STH
SCALE	1" = 20'
DATE	12-22-2022
SHEET NO.	C-2



CONTRACTOR TO INSTALL ROOF DRAINS AROUND BUILDING AND EXTEND TO OUTLET AT 2% MINIMUM. COORDINATE ACCURACIOUSLY LOCATIONS WITH ARCHITECT.

VICINITY MAP
NTS

MAINTENANCE NOTES:

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL EVENT. TO BE MAINTAINED AS NECESSARY. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

CONSTRUCTION ENTRANCE:
CONTRACTOR SHALL MAINTAIN AND PROVIDE AREAS PERMANENTLY FOR CONSTRUCTION OF SURFACE. TOP DRESS WITH NEW DRIVE. AS NEEDED, CHECK ROAD DITCHES AND OTHER SLOPED AREAS FOR EROSION AND SEDIMENTATION AFTER RAINFALL. PROVIDE AREAS WITH SLOPED AREAS WITH A MINIMUM OF 2% GRADE. SEDIMENT PROTECTED AREAS SHOULD BE TREATED IMMEDIATELY.

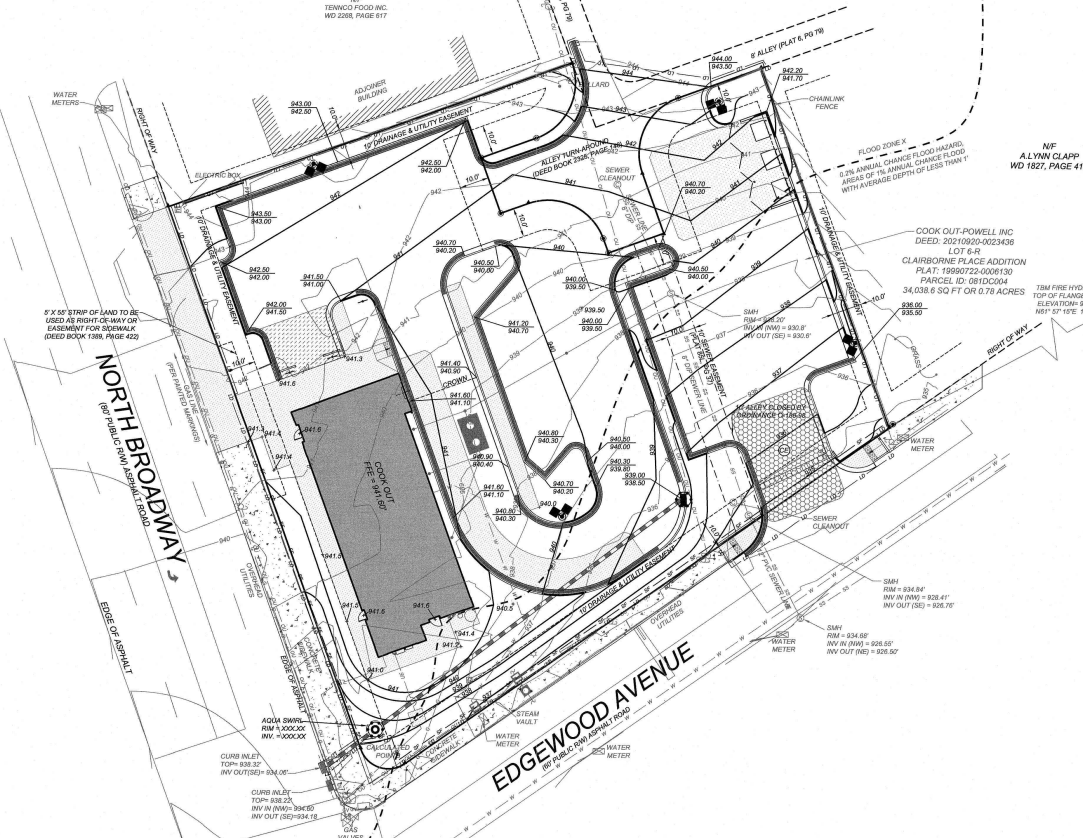
SILT FENCE:
INSTALL SILT FENCE AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. BRUSH THE FABRIC OF A SEDIMENT FENCE TO REMOVE ANY DEBRIS. TO MAINTAIN APPROPRIATE INFLUX OF WATER TO SEDIMENT FENCE. AS NECESSARY TO PROVIDE APPROPRIATE STORAGE VOLUME FOR THE NEXT RAINFALL TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIAL AND UNSTABLE SEDIMENT DEPOSITED AND WASH THE AREA TO DRAINAGE AND STABILIZE IT AFTER THE CONTROLLING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

PILE EROSION CONTROL:
RESPECT SEDIMENT FENCE DRAINAGE OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE APPROPRIATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RAINFALL DEPOSIT MUST BE REPAID ACCURATELY IMMEDIATELY.

OUTLET STABILIZATION STRUCTURE:
RESPECT RAINFALL DIVERSIONS. BEFORE AND AFTER SIGNIFICANT RAINFALL, CHECK THE BANNER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE APPROPRIATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONSTRUCTION DRAINAGE CHANNEL HAS BEEN ACCURATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. REMOVE THE DISTURBED AREA TO PROPER GRADE, TOP DRESS AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

BLOCK AND DRAINAGE INLET PROTECTION:
INSTALL FIBER OPTIC OUTLETS AT ALL LOW POINTS IN FENCE. IMPROVE THE BANNER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE APPROPRIATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONSTRUCTION DRAINAGE CHANNEL HAS BEEN ACCURATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. REMOVE THE DISTURBED AREA TO PROPER GRADE, TOP DRESS AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

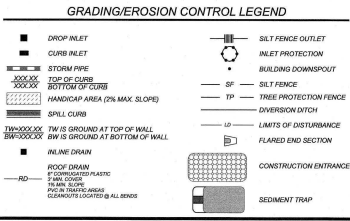
DISSECTION OUTLET:
RESPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION FENCE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE BARRIER AND CHANNEL, REBUILD WITH THE ORIGINAL DIMENSIONS AND APPROPRIATELY STABILIZE IT.



- CONSTRUCTION SEQUENCE:**
- OBTAIN A LAND DISTURBING PERMIT, SCHEDULE A PRE-CONSTRUCTION MEETING.
 - INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT TRAPS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. USE TEMPORARY DIVERSIONS, BARRIERS AND BASINS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEDIMENT SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY PASS DITCHES/BARRIERS.
 - BEFORE CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT EROSION CONTROL TO ALLOW FOR CONSTRUCTION. NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVELOPMENT TRAILS UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
 - BEFORE INSTALLING UPSTREAM STORM DRAINAGE SYSTEM, INSTALL APPROVED INLET PROTECTION. TERMINATE STORM DRAINAGE SYSTEM AT TEMPORARY SEDIMENT TRAP DEVICES UNTIL SUCH DEVICES HAVE BEEN APPROVED FOR REMOVAL. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROOTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS. NOTE: SEDIMENT BASINS SHALL BE FUNCTIONAL THROUGHOUT GRADING AND EXCAVATING.
 - STABILIZE ONE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH (DRAINAGE), ETC. SEED AND MULCH DEGRADED AREAS WITHIN PETERS (15) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION. NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDERSTRESS DURING CONSTRUCTION OF THE BUILDING PAD AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTROLLING DRAINAGE AREA HAS BEEN STABILIZED AND APPROVED.
 - WHEN EROSION IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCING, SEDIMENT BASINS, ETC., AND SEED OUT OR PAVE ANY RESULTING BARE AREAS. CONNECT UPSTREAM STORM DRAINAGE.

- GRADING/EROSION CONTROL NOTES:**
- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOLOGICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSMITTED TO THESE PLANS.
 - CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 800-932-6949 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
 - ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
 - ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
 - ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
 - ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LAID RINOFF TO ANY STORM DRAINAGE SYSTEM.
 - CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - PERMANENT TO S. 1134-0702, THE ANGLE FOR GRADED SLOPES AND FILL'S SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER CALCULATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PERMANENT TO S. 1134-0702, PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
 - ALL CUT AND FILL SLOPES AND CHANNEL SIDESLOPES WHICH ARE NOT TO BE PAVED, SHALL BE SEEDING UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:
 - 100 LBS PER 1,000 SQUARE FOOT GROUND LIMESTONE OR EQUIVALENT, NO SOIL TEST REQUIRED FOR INITIAL ESTABLISHMENT.
 - 20 LBS OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.
 - VARIOUS TO BE SEEDING:
 - SPRING SEEDING - MARCH - APRIL 30; SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.
 - SUMMER SEEDING - MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ PER SQUARE FOOT MIXED WITH 1 BUSH OF SANICHOET FOR LANTANA SEEDING.
 - ASPHALT MULCH 5 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.
 - SEE LANDSCAPE PLAN FOR PERMANENT SEEDING.
 - ALL FINISHED SURFACES SHOULD SLOPE AWAY FROM BUILDING, TOWARDS DRAINAGE OUTLETS FOR POSITIVE DRAINAGE AND TO AVOID STANDING WATER.

24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242



6-B-23-SU
4/24/2023



NO.	DATE	DESCRIPTION
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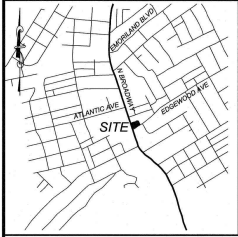
COMMERCIAL SITE DESIGN
A Stambak Company
(919) 484-4027 FAX: (919) 484-2111
WWW.CONSTRUCTION.COM

RED CREEK DAMOUR ROAD
KELLEY, NORTH CAROLINA 27560

CLIENT/TOWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27590
FAX: (336) 474-1849

COOKOUT FRESH HAMBURGERS
2000 N. BROADWAY
KNOXVILLE, TENNESSEE

PROJECT NO.	OUT-2127
DESIGN NO.	OUT2127-GP
DESIGNED BY	STH
SCALE	1" = 20'
DATE	12-22-2022
SHEET NO.	C-3

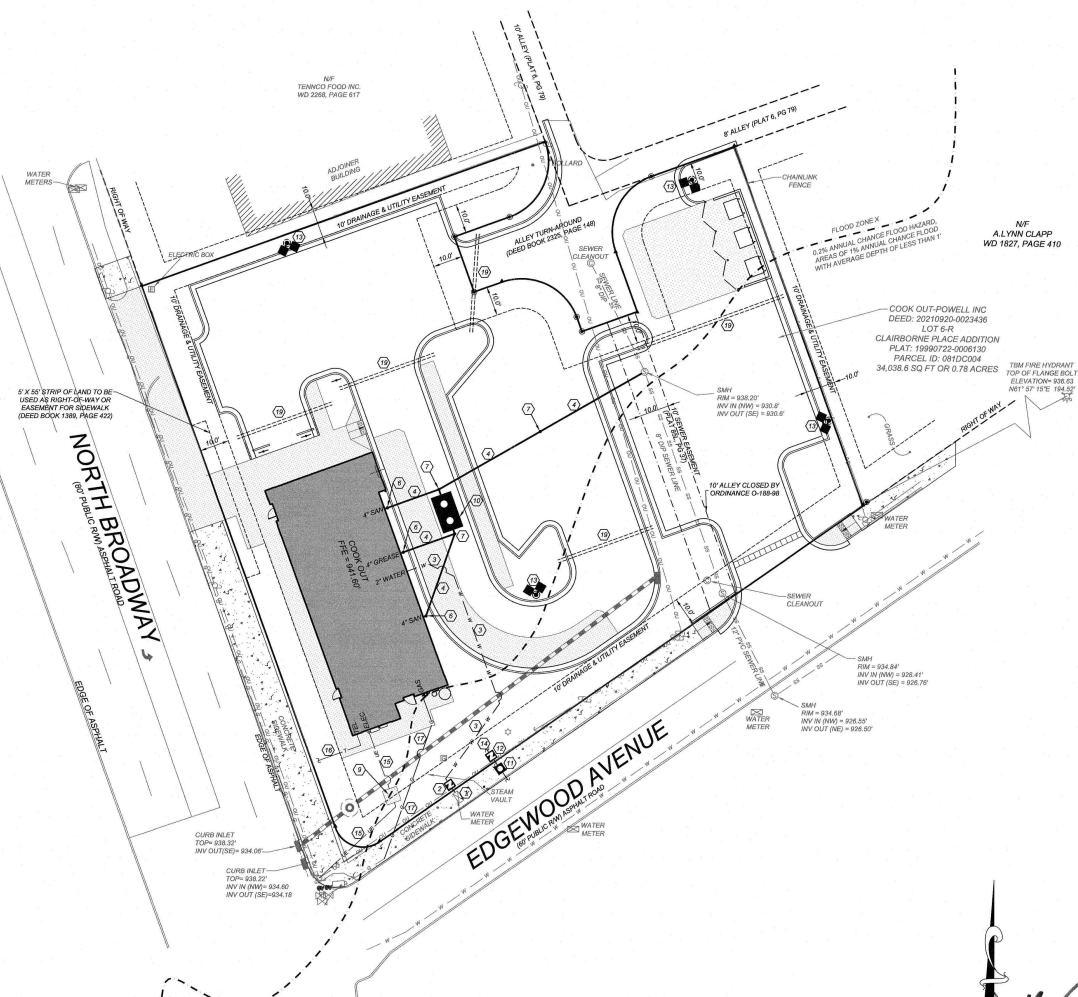


NOTE TO CONTRACTOR:
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.
UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.

VICINITY MAP
 NTS

UTILITY KEYNOTES:

- 1 REUSE WATER METER. CONTRACTOR SHALL CONFIRM SIZE AND LOCATION AND NOTIFY ENGINEER WITH ANY CONFLICTS. CONTRACTOR SHALL COORDINATE WITH CITY.
- 2 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GRADE HEATED, INSULATED ENCLOSURE.
- 3 2" DOMESTIC WATER SERVICE. CONTRACTOR SHALL COORDINATE WITH CITY.
- 4 4" PVC SANITARY SEWER LINE @ 1/4" PER LINEAR FOOT SLOPE (MINIMUM). CONTRACTOR SHALL COORDINATE WITH CITY.
- 5 8" SADDLE WITH 1" V" CORPORATION STOP. CONTRACTOR SHALL COORDINATE WITH CITY.
- 6 SANITARY SEWER CLEANOUT. SEE DETAIL SHEET.
- 7 TRAFFIC RATED SANITARY SEWER CLEANOUT. SEE DETAIL SHEET.
- 8 EXISTING FIRE HYDRANT.
- 9 TRANSFORMER PAD. CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
- 10 1500 GALLON GREASE TRAP. SEE DETAIL SHEETS.
- 11 1" IRRIGATION WATER METER. CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR.
- 12 IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GRADE HEATED, INSULATED ENCLOSURE. CONTRACTOR SHALL COORDINATE WITH CITY.
- 13 POLE MOUNTED AREA LIGHT. SEE LIGHTING PLAN.
- 14 COORDINATE IRRIGATION CONNECTION WITH IRRIGATION CONTRACTOR.
- 15 UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
- 16 UNDERGROUND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
- 17 GAS SERVICE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
- 18 INSTALL 2 PVC SLEEVES FOR ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH OWNER AND UTILITY COMPANY.
- 19 IRRIGATION SLEEVES PER UTILITY LEGEND.
- 20 SEALED GREASE EXTRACTION VAULT. CONTRACTOR TO COORDINATE MAKE AND MODEL WITH OWNER. SEE DETAIL SHEET.
- 21 CONNECT TO EXISTING SANITARY SEWER SERVICE PER CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND ELEVATION OF EXISTING SEWER SERVICE PRIOR TO ANY CONSTRUCTION TO ENSURE REQUIRED PIPE SLOPE, COVER AND CLEARANCES CAN BE ACHIEVED AND COORDINATE WITH CITY.

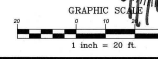


- UTILITY NOTES:**
1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE RECORDS AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES OR FOR ANY INJURY TO PERSONS OR PROPERTY HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
 2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
 3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
 4. NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. HOLES, FUTURES, ANCHOR BOLTS & HOOKS SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
 5. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
 6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
 7. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
 8. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
 9. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
 10. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDINANCE. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
 11. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1/4" SLOPE FOR 4" LINES AND 1/8" SLOPE FOR 6" LINES. CLEANOUTS SHALL BE PLACED AT 10' INTERVALS.
 12. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 30" IN NON TRAFFIC AREAS AND 42" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
 13. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4" IN NON TRAFFIC AREAS AND 60" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
 14. SANITARY SEWER SERVICES SHALL BE PVC 30R 30 TO RW. THEN PVC 30R 40 TO BUILDING. WATER SERVICES SHALL BE TYPE "C" COPPER.
 15. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN. CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
 16. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
 17. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, AND ADA ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
 18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC. THAT MAY BE REQUIRED.
 19. CONTRACTOR SHALL GUARANTEE, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF SYSTEMS BY OWNER, EACH AND EVERY PIECE OF APPARATUS WHICH HAS BEEN INSTALLED UNDER THIS CONTRACT.
 20. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONTRACTOR TO COORDINATE WITH AGENCIES ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
 21. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS SHALL BE OBSERVED FOR ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
 22. EXCAVATION EXCEEDING TWENTY (20) FEET DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
 23. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ANY ADDITIONAL COST RELATED TO THE INSTALLATION OF ALTERNATE EQUIPMENT.
 24. CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONSTRUCTION. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
 25. ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
 26. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 18" IN DIAMETER OR SMALLER SHALL BE SCH 40 PVC WITH ADHESIVE WELDED JOINTS, UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES FOR SANITARY SEWER SERVICES: 4" - 1/4" SLOPE, 6" - 1/8" SLOPE.
 27. BELOW GRADE WATER SERVICES PIPING SHALL BE TYPE "C" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDER CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT. SEWER PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB. IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
 28. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
 29. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
 30. CONTRACTOR SHALL NOTIFY TENNESSEE AT (800) 351-1111 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
 31. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
 32. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 4 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
 33. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 15 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
 34. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE CITY OF KNOXVILLE STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 1" x 12, 8" ABC OR BETTER.
 35. RELATION OF WATER MAINS TO SEWERS:
 A. LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAD AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
 1. THE WATER MAIN IS LAD IN A SEPARATE TRENCH WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
 2. THE WATER MAIN IS LAD IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BRANCH OF UNDISTURBED GATH AND ABOVE THE TOP OF THE SEWER.
 B. CROSSING A WATER MAIN OVER A SEWER MAIN:
 WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER MAIN THE WATER MAIN SHALL BE LAD AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FIBROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 C. CROSSING A WATER MAIN UNDER A SEWER MAIN:
 WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FIBROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 D. CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN:
 WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINES SHALL BE LAD AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 12 INCH CLEAR SEPARATION DISTANCES, OR ENCASED IN EITHER CONCRETE OR FLEXIBLE IRON PIPE FOR AT LEAST 3' ON EITHER SIDE OF THE CROSSING.
 36. UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC. SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE GENERAL IN NATURE. LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVEMENT AREAS.
 37. SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
 38. TRANSFORMER BY ELECTRIC COMPANY. GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONNECTION.

UTILITY LEGEND

—○—	OVERHEAD UTILITIES	—○—	SEWER CLEAN OUT
—○—	SANITARY SEWER	—○—	FIRE HYDRANT ASSEMBLY
—○—	UNDERGROUND ELECTRIC	—○—	SANITARY SEWER MANHOLE
—○—	TELEPHONE LINE	—○—	POLE MOUNTED AREA LIGHT
—○—	GAS LINE	—○—	WATER METER
—○—	WATER LINE	—○—	BACKFLOW PREVENTER
—○—	IRRIGATION SLEEVE	—○—	SIAMISE CONNECTION
—○—	IRrigation CONDUIT	—○—	WATER VALVE
—○—	UTILITY POLE	—○—	GREASE TRAP

6-B-23-SU
 4/24/2023



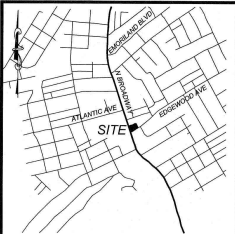
NO.	DATE	DESCRIPTION
1	2/3/2023	PER PRELIMINARY COMMENT

COMMERCIAL SITE DESIGN
 A Stambalik Company
 (979) 848-8021 FAX: (979) 848-5494
 WWW.STAMBALIK.COM

CLIENT/TOWNER:
 COOKOUT
 15 LAURA LANE, SUITE 300
 THOMASVILLE, NC 27460
 TEL: 712-71025
 FAX: (336) 474-1866

2000 N. BROADWAY
 KNOXVILLE, TENNESSEE
 UTILITY PLAN

PROJECT NO: OUT-1217
 FILENAME: OUT1217-UP
 DRAWN BY: STH
 DATE: 1/2/20
 SCALE: 1" = 20'
 DATE: 12-22-2022
 SHEET NO: C-4



24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

LANDSCAPE ISLAND NOTE:
CONTRACTOR TO ENSURE THAT THE GROUND SURFACE AROUND TREE AND SHRUB LOCATIONS SLOPES DOWNWARD AWAY FROM THESE SHRUB INSTALLATION LOCATIONS TO ALLOW FOR POSITIVE DRAINAGE. CONTRACTOR SHOULD ALSO ENSURE THAT THE GROUND SURFACE AT THE BACK OF CURB BE GRADED TO BE EVEN WITH THE CURB ELEVATION SUCH THAT POURING OF WATER DOES NOT OCCUR BEHIND THE CURB.

CONTRACTOR TO INSTALL 2 TO 3 INCH TENNESSEE RIVER ROCK WITH WEED FABRIC BARRIER IN ALL SHRUB AND TREE PLANTING AREAS.

LANDSCAPE CODE SUMMARY:

12.5 - PARKING LOT PERIMETER LANDSCAPE YARD
 EREMBT: BELOW 20,000 SF OF PARKING AREA
 PROVIDED VSA: 5.88 SF

12.8 - INTERIOR PARKING LOT LANDSCAPE
 A MINIMUM OF ONE SHADE TREE PER LANDSCAPE ISLAND (TWO IN A DOUBLE ROW) AND A MINIMUM OF 60% VEGETATED GROUND COVERAGE. REQUIRED: 3 TREES, PROPOSED: 3 TREES

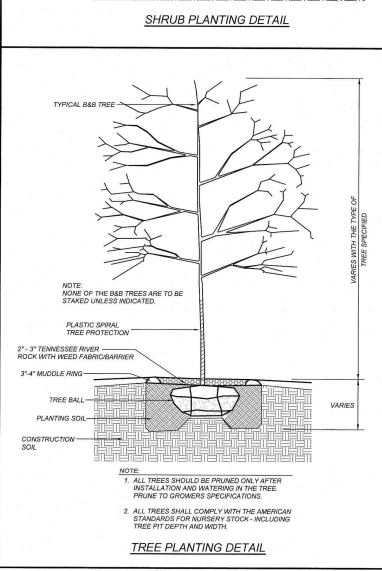
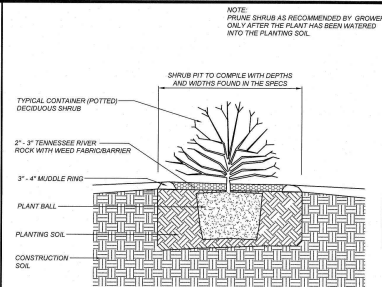
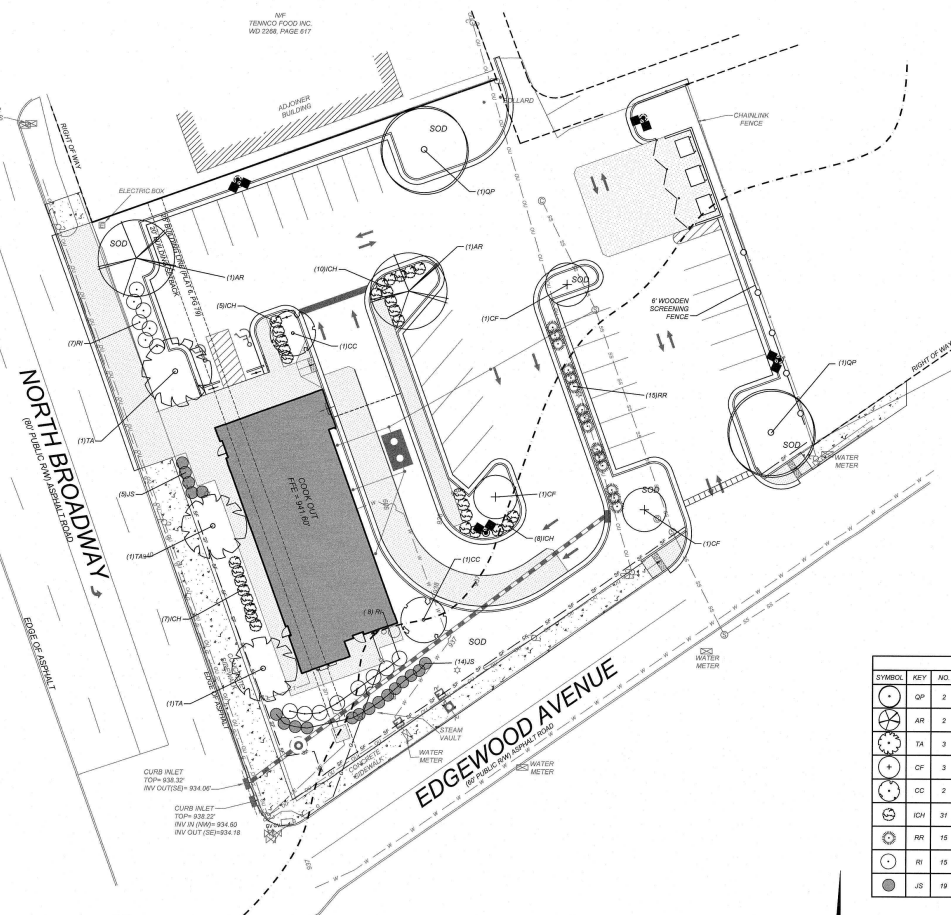
12.7 - SITE LANDSCAPE
 ONE SHRUB FOR EVERY THREE LINEAR FEET OF BUILDING FACADE ALONG STREET LOT LINE OR PARKING ADJUTMENT. REQUIRED: 4 PROPOSED, 4 SHADE TREES, 5 ORNAMENTAL TREES

ONE SHADE TREE (OR TWO ORNAMENTALS) FOR EVERY 50 FEET. REQUIRED: 120 FEET BUILDING LENGTH = 12 FEET OF PARKING LENGTH = 200 / 3 = 67 SHRUBS REQUIRED. PROPOSED: 79 SHRUBS

12.8 - BUFFER YARDS PER USE (ARTICLE 8)

- TURF NOTES:**
1. CHISEL COMPACTED AREAS AND SPRING TOP SOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 2. RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
 3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 4. APPLY AGRICULTURAL LIQUID FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
 5. CONTINUE TILLAGE UNTIL A WELL-AERIALIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED TO 10 INCHES DEEP.
 6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 7. INSTALL RIVER ROCK AND WEED FABRIC BARRIER IMMEDIATELY AFTER SEEDING.
 8. INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 9. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
 AGRICULTURAL LIMESTONE - 3 TONS/ACRE @ 3 TONS/ACRE IN CLAY SOILS
 FERTILIZER - 1,000 LBS/ACRE - 10-10-10
 SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS
 AMMONIA - 400 LBS/ACRE @ 30% GALS/ACRE
 10. SOIL PREPARATION:
 FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-8 ABOVE. IMMEDIATELY WATER SOIL UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
 11. CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
 12. ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
 13. AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
 14. AN ACCEPTABLE STAND OF GRASS SHALL BE 80% COVERAGE OR BETTER.

- LANDSCAPE NOTES:**
1. THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REMOVE GRASSES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
 2. PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
 3. ALL PLANTING SHALL BE PLACED WITHIN A RIVER ROCK PLANTING BED. ALL STRAPPING AND THE TOP 20% OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 4. ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS, DETAILS AND SPECIFICATIONS.
 5. ALL AREAS WITHOUT RIVER ROCK SHALL BE SEEDING OR SOODED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH TREES/IN HYBRID TALL REMOVE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET. IN COASTAL AREAS OR AREAS WITH MORE TEMPERATE CLIMATES, BERMUD SOIL SHOULD BE UTILIZED. IF THERE ARE QUESTIONS BY THE LANDSCAPE CONTRACTOR AS TO WHICH SEED/ SOIL TO USE, THE LANDSCAPE ARCHITECT OR ENGINEER SHOULD BE CONTACTED PRIOR TO INSTALLATION.
 6. SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
 7. TREE PROTECTION FENCINGS TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
 8. COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
 9. VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
 10. INSTALL 2 TO 3 INCH TENNESSEE RIVER ROCK WITH WEED FABRIC BARRIER TO ALL AREAS THAT ARE NOT SEEDING OR SOODED.
 11. THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARDS, DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
 12. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
 13. SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
 14. ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND PERMS AT ALL TIMES.
 15. TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED. AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM PLACING TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE CONNECTED HERE.
 16. THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.
 17. PLANTING SOIL TO BE USED SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 FERTILE, PERMEABLE NATURAL TOPSOIL OF LOAM CHARACTER WITHOUT ADMIXTURE OR SUBSOIL MATERIAL, OBTAINED FROM WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LIMES, COMBUSTIBLES, STONES 1 INCH AND LARGER, PLANTS, GRASS, WEEDS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS. TOPSOIL SHALL CONFORM TO ASTM D6003 WITH A PH RANGE OF 5.5 TO 7.1 AND A MIN. 4 PERCENT ORGANIC MATERIAL.

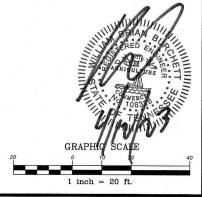


PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
Q1	Q1	2	QUERCUS PHELLOS	WILLOW OAK	2" MIN	14' MIN	B & B	
AR	AR	2	ACER RUBRUM	RED MAPLE	2" MIN	14' MIN	B & B	
TA	TA	3	TILIA AMERICANA	LITTLE LEAF LINDEN	2" MIN	8' MIN	B & B	
CF	CF	3	CORNUS FLORIDA	FLOWERING DOGWOOD	1" MIN	8' MIN	B & B	
CC	CC	2	CERCIS CANADENSIS	REDBUD	1" MIN	8' MIN	B & B	
HL	HL	31	ILEX CREMATA 'VELLERI'	HELLER HOLLY	-	18" - 24"	3 GAL	
RR	RR	15	ROSA 'X RAD RAZZ'	ROSA'S KNOCK OUT	-	18" - 24"	3 GAL	
RI	RI	15	RHAMNUS LEPTIS INDICA	INDIAN HAWTHORNE	-	18" - 24"	3 GAL	
JS	JS	19	JUNIPERUS SOJAMATA 'BLUE STAR'	RUBY RED	-	18" - 24"	3 GAL	

6-B-23-SU
4/24/2023

Know what's below.
Call before you dig.



REVISIONS

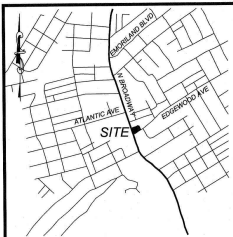
NO.	DATE	DESCRIPTION
1	2/23/2023	PER PRE-SUBMIT COMMENT

CLIENT/OWNER:
 COOKOUT
 15 CLAURA LANE, SUITE 300
 THOMASVILLE, NC 27480
 TELEPHONE: (336) 215-7025
 FAX: (336) 774-7649

COMMERCIAL SITE DESIGN
 A Sustainable Company
 (919) 884-821 FAX: (919) 884-9741
 WWW.COMSDSIGN.COM

2900 N. BROADWAY
KNOXVILLE, TENNESSEE
LANDSCAPE PLAN

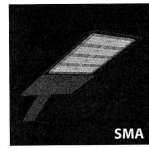
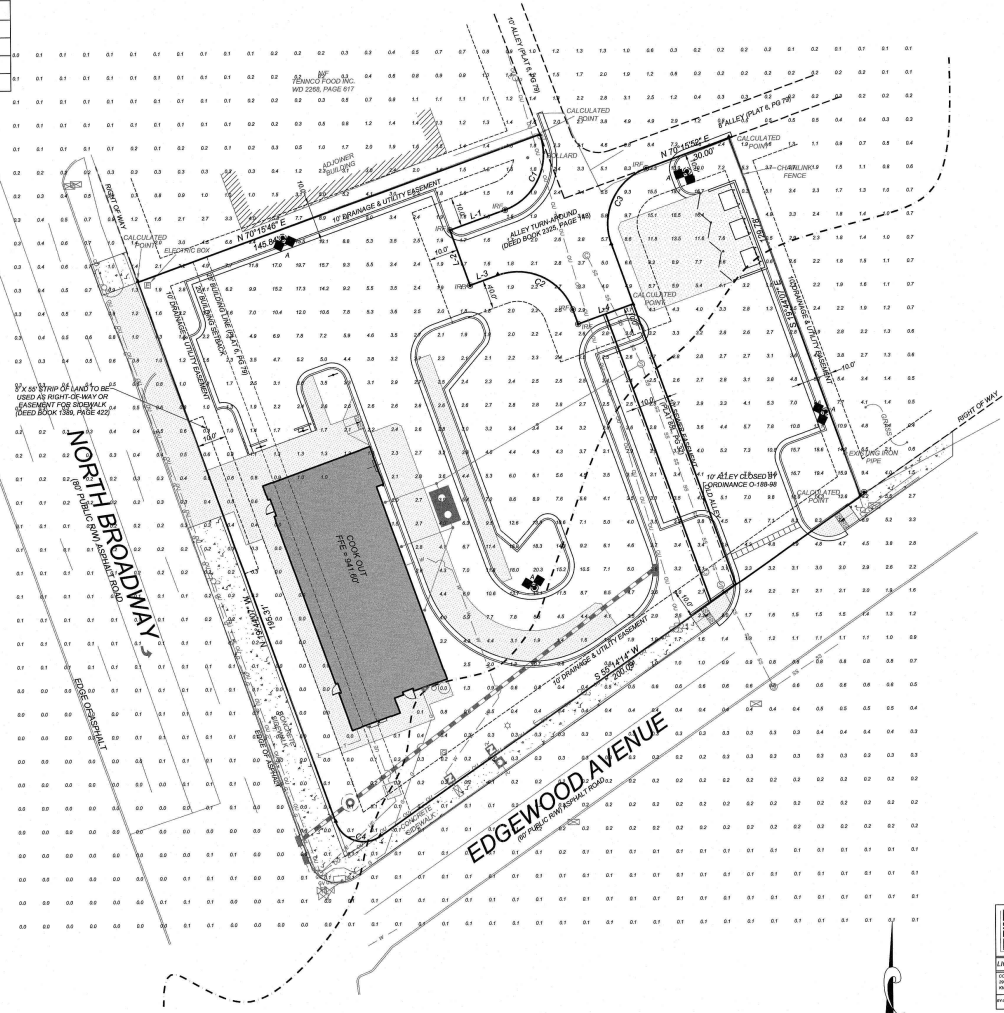
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 FILENAME: OUT2127-LS
 DRAWN BY: STW
 SCALE: 1" = 20'
 DATE: 12-22-2022
 SHEET NO: **C-5**



VICINITY MAP
NTS

CURVE TABLE								
CURVE	FIELD LENGTH	DEED LENGTH	RADIUS	DELTA	FIELD BEARING	DEED BEARING	CHORD	TANGENT
C1	31.41'	31.42'	20.00'	89.89°	S25°15'53"W	S25°17'41"W	28.28'	19.99'
C2	31.41'	31.42'	20.00'	89.89°	S64°44'07"E	S64°42'19"E	28.28'	19.99'
C3	31.41'	31.42'	20.00'	89.89°	N25°15'52"E	N25°17'40"E	28.28'	19.99'
C4	18.33'	18.33'	10.00'	105.03°	N72°14'56"W	N72°13'08"W	15.87'	13.04'

LINE TABLE		
Line #	Direction	Length
L-1	S 70°15'53"W	20.00
L-2	S 19°44'07"E	20.00
L-3	N 70°15'53"E	10.00
L-4	N 70°15'53"E	20.00



SMA

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaires location shown represent approximate conditions. The engineer and/or architect shall determine the applicability of the stated lighting or fixture location.

This lighting plan represents the best estimate of lighting conditions based on the information provided. It is not intended to be used as a contract document. The lighting engineer and/or architect shall determine the applicability of the stated lighting or fixture location.

Any change to the lighting plan shall be made in accordance with the Engineering and/or Architectural approval process. The lighting engineer and/or architect shall determine the applicability of the stated lighting or fixture location.

Any change to the lighting plan shall be made in accordance with the Engineering and/or Architectural approval process. The lighting engineer and/or architect shall determine the applicability of the stated lighting or fixture location.

24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CALCULATED POINTS @ GRADE	Maintenance	Fc	2.02	20.3	0.0	N/A	N/A
PARKING & DRIVING SUMMARY	Maintenance	Fc	5.57	20.3	1.0	5.57	20.30

Symbol	Qty	Label	Arrangement	Description	Mounting height	LLD	LLF	Ar. Lum. Lumens	Ar. Watts
☐	4	A	2 @ 90 degree	SMA-LED-42L-ACR-F-UNV-50-090-45° TILT	22.5'	1,000	1,000	79006	892

IDENTIFY PROPOSAL: LO-151825
PROJECT NO: 2024-001
DRAWN BY: ARMFIELD
DATE: 4/24/2023
SHEET: 1 OF 1

6-B-23-SU
4/24/2023



GRAPHIC SCALE
1 inch = 20 ft

NO.	DATE	DESCRIPTION	BY
1	2/3-2023	PER PRELIMINARY COMMENT	KL

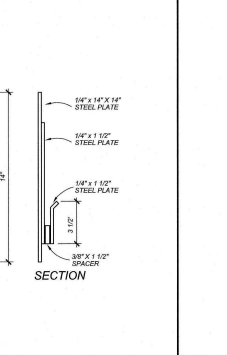
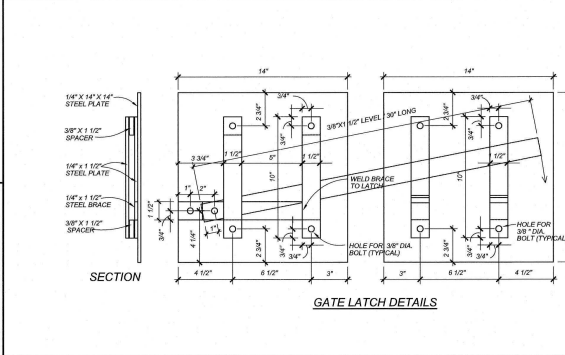
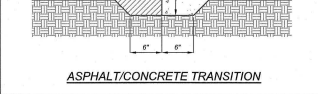
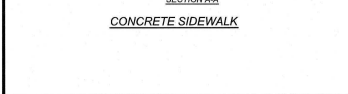
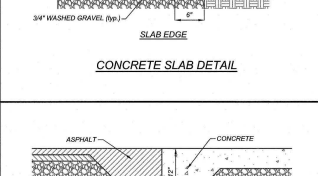
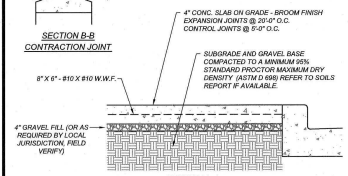
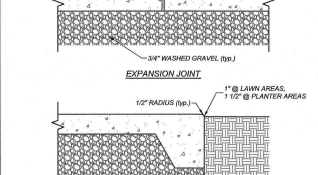
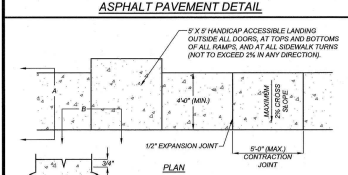
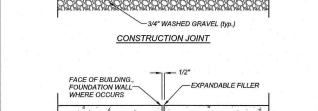
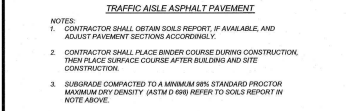
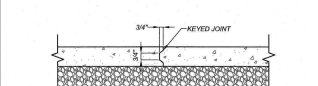
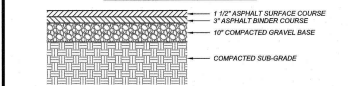
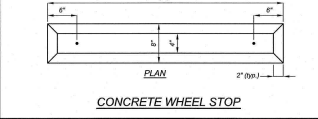
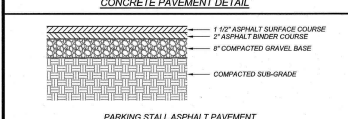
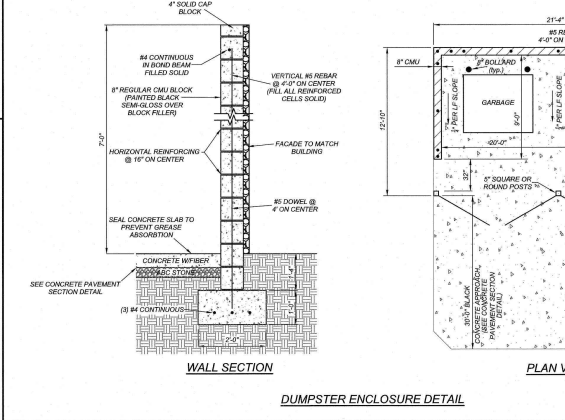
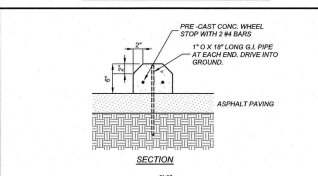
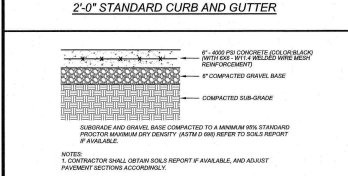
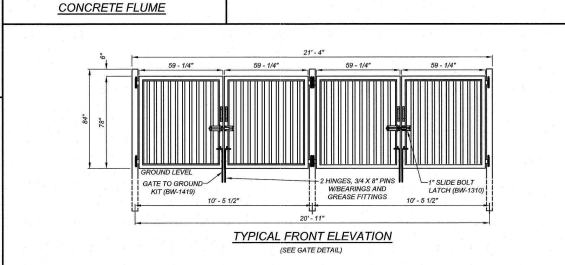
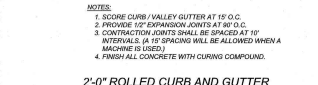
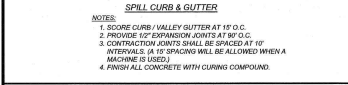
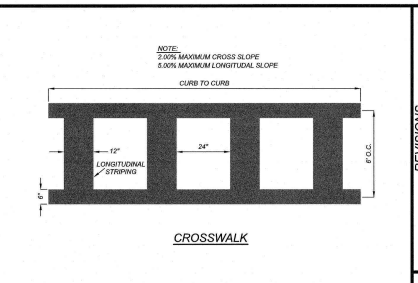
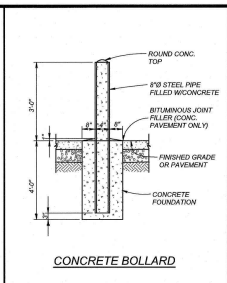
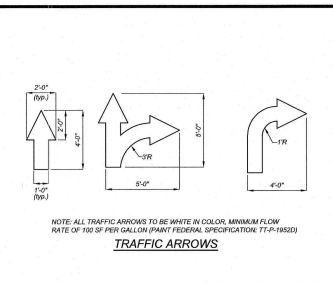
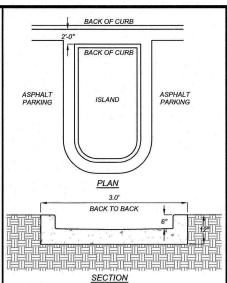
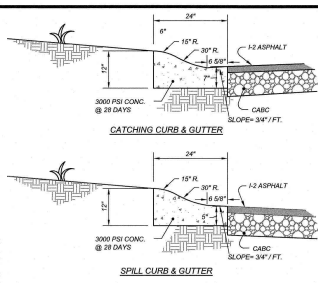
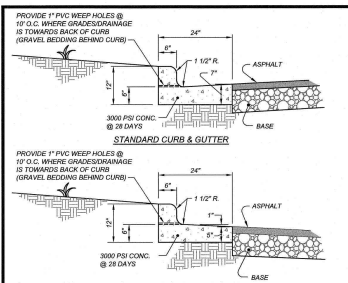
CLIENT OWNER:
COOK OUT
100 LAUREL BLVD SUITE 300
TUCKER, GA 30084
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

COMMERCIAL
SITE DESIGN
A Sustainable Company
(978) 684-8452 FAX: (978) 684-9241
WWW.CHITRESDCA.COM

800 CASTEROCK ROAD
RALEIGH, NORTH CAROLINA 27601

COOK OUT
FRESH HAMBURGERS
2900 N. BROADWAY
KNOXVILLE, TENNESSEE
LIGHTING PLAN

PROJECT NO:	OUT-2127
PLAN NAME:	OUT2127-LI
DRAWN BY:	STH
SCALE:	1" = 20'
DATE:	12-22-2022
SHEET NO:	C-6



6-B-23-SU
4/24/2023

24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

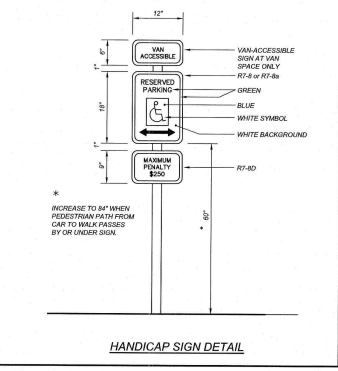
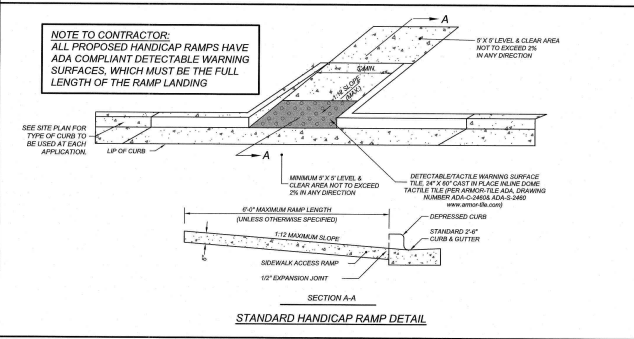
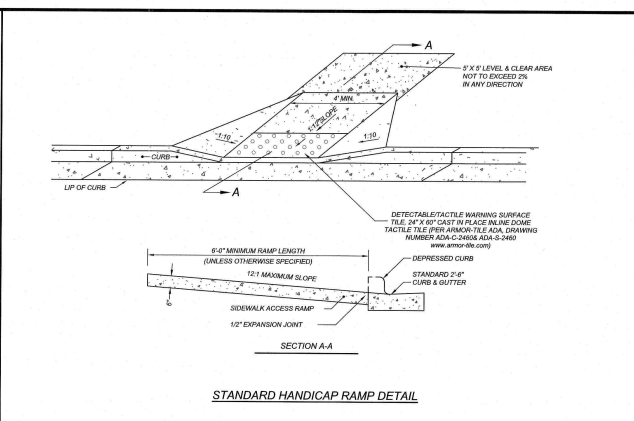
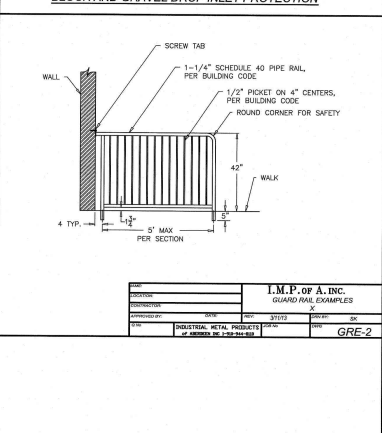
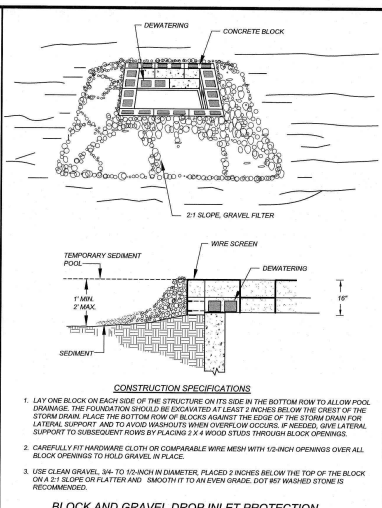
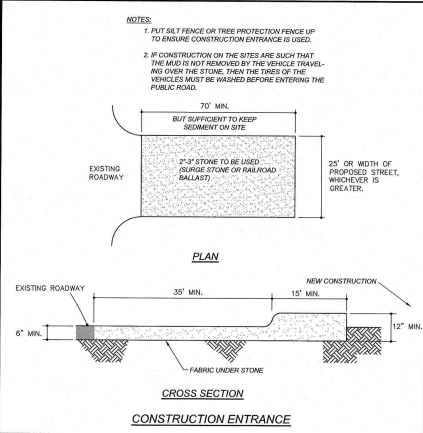
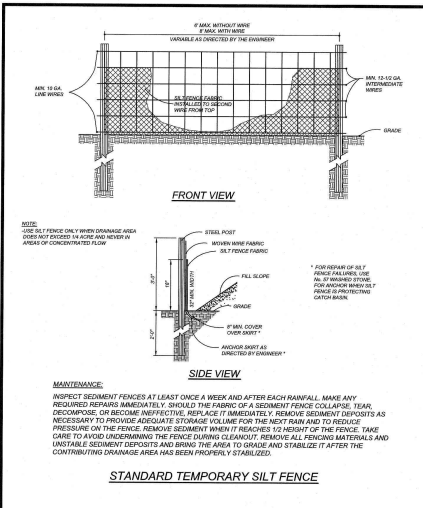
NO.	DATE	DESCRIPTION	BY

COMMERCIAL
SITE DESIGN
A Sumbank Company
800 CLEVELAND ROAD
RALEIGH, NORTH CAROLINA 27609
919 484-0212 FAX 919 484-9181
WWW.CSDESIGN.COM

CLIENT/TOWNER:
COOK OUT
PO BOX 100
THOMASVILLE, NC 27480
TELEPHONE: (336) 215-7923
FAX: (336) 474-1849

COOKOUT
FRESH HAMBURGERS
2800 N. BROADWAY
KNOXVILLE, TENNESSEE
DETAILS

PROJECT NO.	OUT-2127
FILENAME	OUT2127-DTL1
DRAWN BY	STW
SCALE	N.T.S.
DATE	12-22-2022
SHEET NO.	C-7



PERMANENT SEEDING IN NORTH CAROLINA (TABLE 6.11s)

SEEDING MIXTURE

SPECIES	RATE (lb/acre)
CENTPEEGRASS	10-20 (BROADCAST) OR 33 (BROADCAST)

SEEDING DATES:
MAR - JUNE (SPRIGGING CAN BE DONE THROUGH JULY WHERE WATER IS AVAILABLE FOR IRRIGATION.)

SOIL AMENDMENTS:
ADJUST FERTILIZER ACCORDING TO SOIL TESTS. OR APPLY 300 LB/ACRE 10-10-10.

SPRIGGING:
PLANT SPRIGS IN FURROWS WITH A TRACTOR-DRAWN TRANSLANTER OR BROADCAST BY HAND.

FURROWS: SHOULD BE 4 INCHES DEEP AND 3 FT APART. PLACE SPRIGS ABOUT 2 FT APART IN THE ROW WITH ONE SDG AT 1" ABOVE GROUND LEVEL.

BROADCAST: AT RATES SHOWN ABOVE. AND PRESS SPRIGS INTO THE TOP 1/2 - 2 INCHES OF SOIL WITH A DISK SET STRAIGHT SO THAT SPRIGS ARE NOT BROUGHT BACK TOWARD THE SURFACE.

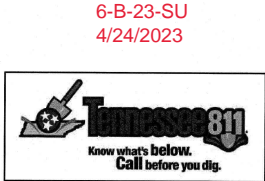
MULCH: DO NOT MULCH.

MAINTENANCE:
FERTILIZE SPRIGS SPRINGLY - 20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTPEEGRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

DRAINAGE STRUCTURE NOTES

- BOXES SHALL COMPLY WITH LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- ANY NONSTANDARD BOX IS TO BE DESIGNED BY A PROFESSIONAL ENGINEER.
- THE MAXIMUM HEIGHT OF AN UNREINFORCED MASONRY DRAINAGE STRUCTURE WITH 4" WALLS SHALL BE LIMITED TO 4'-0" FROM INVERT OF THE OUTLET PIPE TO THE TOP OF THE CASTING. DEPTHS GREATER THAN 4'-0" SHALL HAVE WALLS 1/2" THICK. BASINS OVER 12" IN TOTAL DEPTH SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. FOUR INCH WALLS ARE NOT ALLOWED ON DRAINAGE STRUCTURES. BOTTOM SLAB ON STRUCTURES SHALL BE REINFORCED WHEN BOX DEPTHS EXCEEDS 8 FT.
- STEPS ARE TO BE PROVIDED ON ALL BASINS DEEPER THAN 4'-0".
- STEPS ARE TO BE PROVIDED AS MANUFACTURED BY M.A. INDUSTRIES OR AN APPROVED EQUAL. LOCATE ON MAIN PIPE WALLS.
- CLAY BRICK STRUCTURES ARE NOT ALLOWED.
- CONCRETE PIPE IS TO BE MINIMUM CLASS III.
- CONCRETE BUILDING BRICK IS TO MEET ASTM C-55, GRADE TYPE 1.
- BASINS LOCATED IN WET AREAS, OR AS OTHERWISE REQUIRED BY THE TOWN ENGINEER, SHALL HAVE WEED HOLES AS SHOWN ON DETAILS.
- ALL CAST-IN-PLACE PRECAST CONCRETE DRAINAGE STRUCTURES LOCATED IN PAVED AREAS ACCESSIBLE TO TRUCK LOADINGS TO BE DESIGNED TO MEET ASHTO HS-20-44 LOADINGS. SEE MANUFACTURERS DETAILS FOR WALL, TOP AND BOTTOM THICKNESS.



REVISIONS

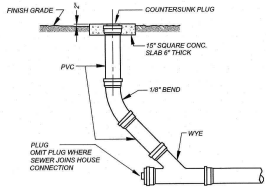
NO.	DATE	DESCRIPTION

CLIENT/TOWNER:
COOK OUT THE BURGER
 2900 N. BROADWAY
 KNOXVILLE, TENNESSEE
 PHONE: (336) 215-7025
 FAX: (336) 474-1849

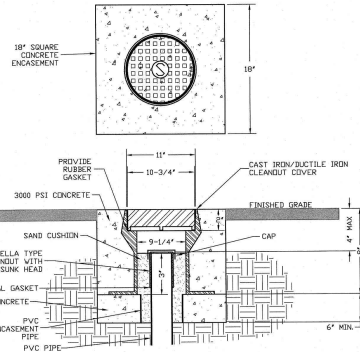
DETAILS

PROJECT NO: OUT-2127
PLAN NO: OUT2127-DTL2
DRAWN BY: STH
DATE: N.T.S.
SCALE: 1/2"=2'-00"
HEET NO: C-8

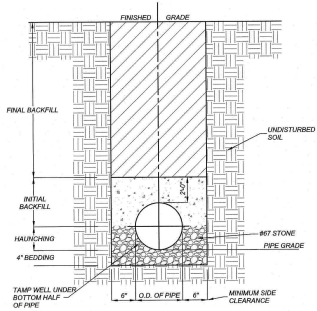
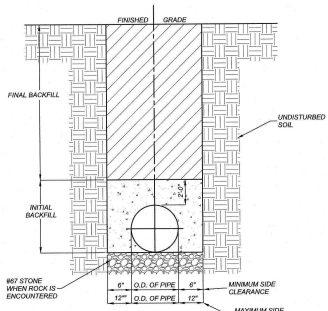
COMMERCIAL SITE DESIGN
 A Sustainable Company
 1000 W. HARRISON BLVD
 RALEIGH, NORTH CAROLINA, 27601
 WWW.CSDESIGN.COM



SANITARY SEWER CLEANOUT



CLEANOUT COVER ASSEMBLY TRAFFIC AREA



TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE

NOTES:

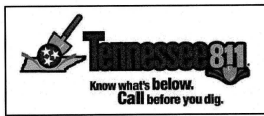
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR BOLLERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 8" - 10" IN NON-TRAFFIC AREAS.
5. ACHIEVE 8% COMPACTION IN NON-TRAFFIC AREAS AND 9% COMPACTION IN TRAFFIC AREAS.
6. IF IN EASEMENT 4" TOPSOIL, AND 12" CLEAN SELECT FILL IS REQUIRED.
7. NO BOLLERS 2" IN DIAMETER OR GREATER ALLOWED.

TYPICAL TRENCH BOTTOM DIMENSIONS FOR 8" OR 12" PVC GRAVITY PIPE

1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR BOLLERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 8" - 10" IN NON-TRAFFIC AREAS.

TRENCH DETAILS

6-B-23-SU
4/24/2023



24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

NO.	DATE	DESCRIPTION

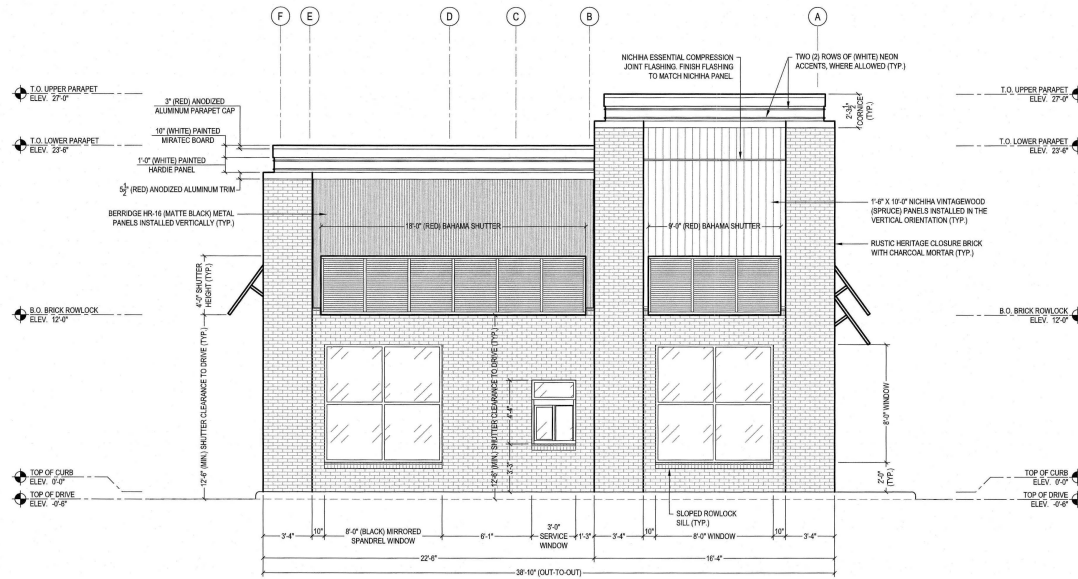
COMMERCIAL SITE DESIGN
A.S. ENGINEERS, INC.
1000 W. BROADWAY
Raleigh, North Carolina, 27601
(919) 844-8100 FAX: (919) 844-8101
WWW.CSDESIGN.COM

CLIENT OWNER:
COOK OUT
2900 N. BROADWAY
KNOXVILLE, TN 37912
TELEPHONE: (336) 279-3242
FAX: (336) 474-1849

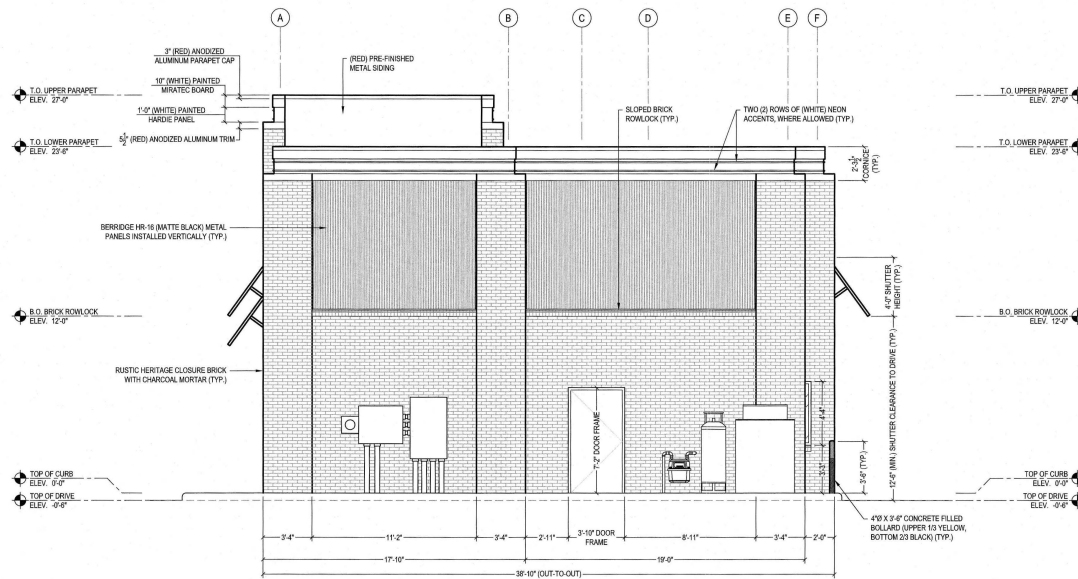
COOK OUT
FRESH HAMBURGERS
2900 N. BROADWAY
KNOXVILLE, TENNESSEE

PROJECT NO: OUT-2127
FILENAME: OUT2127-01L3
DRAWN BY: STH
SCALE: N.T.S.
DATE: 12-22-2022
SHEET NO: C-9





1 FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH DESIGNATIONS

BRICK VENEER SPECIFICATION:		
MANUFACTURER:	STATESVILLE BRICK CO.	
BRICK SERIES:	RUSTIC HERITAGE CLOSURE BRICK	
MORTAR COLOR:	AUTHENTIC TUMBLED SERIES CHARCOAL (TYPE S)	

NICHA ARCHITECTURAL WALL PANEL SPECIFICATION:		
PANEL SERIES:	VINTAGEWOOD	
FINISH / COLOR:	MATTE / SPRUCE	
PANEL ORIENTATION:	VERTICAL	
MATERIAL TYPE:	FIBER CEMENT	

BERRIDGE MANUF. CO. METAL WALL PANEL SPECIFICATION:		
PANEL SERIES:	BERRIDGE HR-16 PANEL	
FINISH / COLOR:	MATTE BLACK	
PANEL ORIENTATION:	VERTICAL	
MATERIAL TYPE:	7/8" 22 GAUGE CORRUGATED METAL	

PAINT COLOR DESIGNATIONS

PLAN COLOR:	BLACK	
MANUFACTURER:	SHERWIN-WILLIAMS	
PRODUCT NUMBER:	SW 6996	
PRODUCT NAME:	CHAR	
PANT FINISH:	FLAT	

PLAN COLOR:	WHITE	
MANUFACTURER:	SHERWIN-WILLIAMS	
PRODUCT NUMBER:	SW 7070	
PRODUCT NAME:	SITE WHITE	
PANT FINISH:	FLAT	

PLAN COLOR:	RED	
MANUFACTURER:	SHERWIN-WILLIAMS	
PRODUCT NUMBER:	SW 6888	
PRODUCT NAME:	REAL RED	
PANT FINISH:	FLAT	

PRODUCT CONTACT INFORMATION

NICHA:	
CONTACT NAME:	MATT STEPHENSON
EMAIL ADDRESS:	MSTEPHENSON@NICHA.COM
PHONE NUMBER:	770.762.828
WEBSITE:	WWW.NICHA.COM

SCOTT STONE, INC.:	
CONTACT NAME:	RANDY CLAYTON
EMAIL ADDRESS:	RANDY.CLAYTON@SCOTTSTONE.COM
PHONE NUMBER:	919.953.3469
WEBSITE:	WWW.SCOTTSTONE.COM

STATESVILLE BRICK CO.:	
CONTACT NAME:	SCOTT RANKIN
EMAIL ADDRESS:	BRICKSALES@STATESVILLEBRICK.COM
PHONE NUMBER:	704.872.4123
WEBSITE:	WWW.STATESVILLEBRICK.COM

- GENERAL NOTES**
- ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST REVISION.
 - GENERAL CONTRACTOR SHALL REMOVE ALL CURBS AND EQUIPMENT DAILY DURING PROJECT DURATION.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL PLANS FOR ADDITIONAL WORK THAT MAY OR MAY NOT BE SHOWN ON THIS DRAWING.
 - CONTRACTOR SHALL BE RESPONSIBLE TO INFORM OWNER OF ALL SPECIFIED MATERIALS THAT ARE UNAVAILABLE DUE TO SHORTAGES OR OTHER LACK OF MATERIAL ACCESSIBILITY.
 - CONTRACTOR SHALL BE RESPONSIBLE TO INFORM OWNER OF ALL SPECIFIED MATERIALS THAT ARE UNAVAILABLE DUE TO SHORTAGES OR OTHER LACK OF MATERIAL ACCESSIBILITY.
 - ALL WINDOW AND STOREFRONT FRAMES SHALL BE CLEAR ANODIZED (BLACK) ALUMINUM.

PROJECT LOCATION IS IN A WINDBORNE DERRIS REGION. CONTRACTOR IS TO ENSURE INSTALLED ACCORDINGLY.

6-B-23-SU
4/24/2023

BRIAN LATHROP, ARCHITECT
Healthcare Architecture Planning Project Analysis Interiors
2 Flower Hill Ln Palm Coast, FL 32137 (770) 993-7300

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832 CHEROKEE ROAD
P.O. BOX 1000
STATESVILLE, NC 27163-1000
PH: 704.872.4123
FAX: 704.872.4123
WWW.BLIARCHITECT.COM

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1000 W. WILSON ROAD
ASHEBORO, NC 27204 (336) 328-9002
WWW.PEASOCIATES.COM

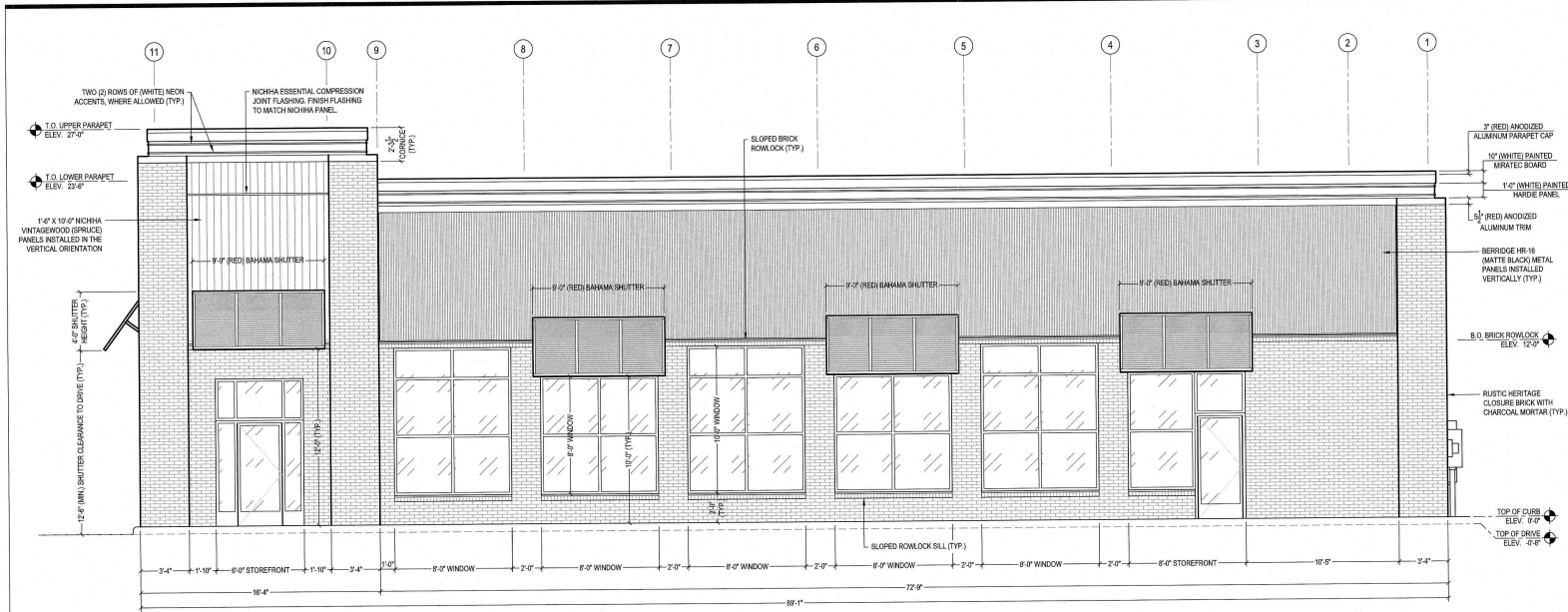
SUMNER ENGINEERING ASSOCIATES, P.L.L.C.
1000 W. WILSON ROAD
ASHEBORO, NC 27204 (336) 328-9002
WWW.SUMNERENGINEERING.COM

NEW BUILDING FOR COOK OUT RESTAURANTS
2600 BROADWAY
KNOXVILLE, TN 37912
KNOX COUNTY, KNOXVILLE TOWNSHIP, TENNESSEE

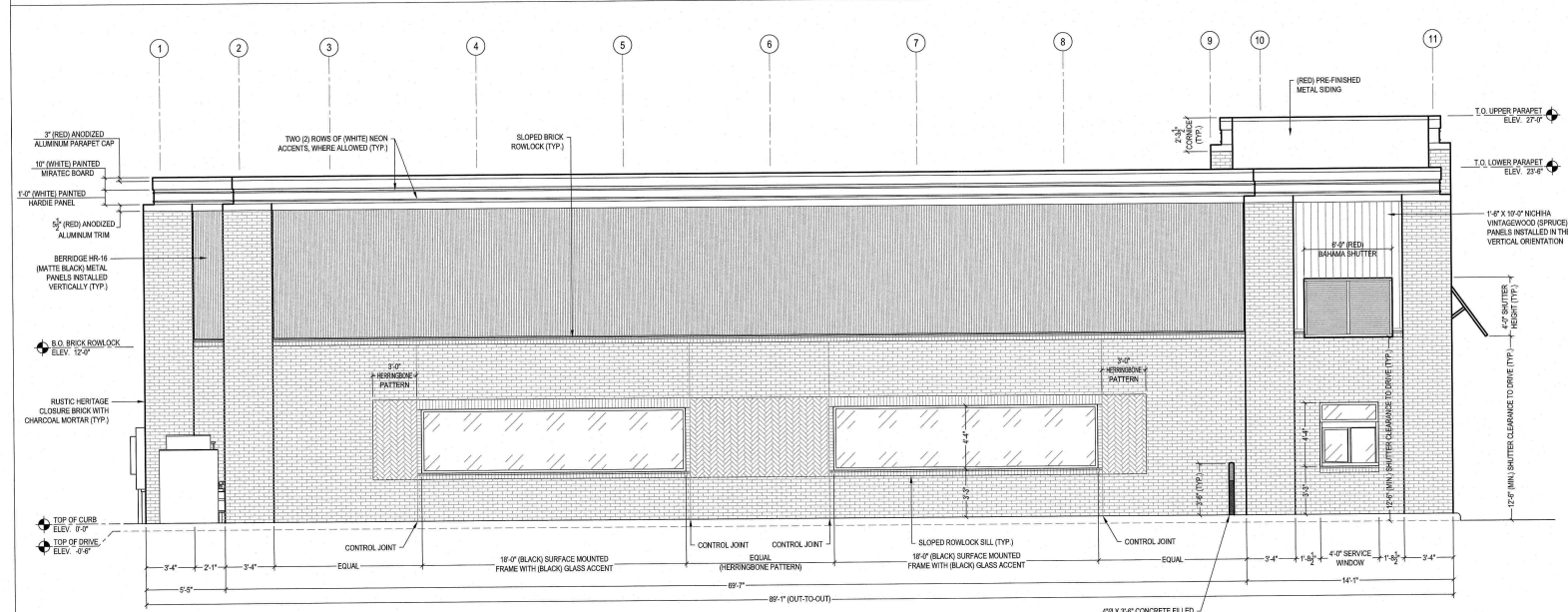
REV. PLAN: E-507
DRAWN: YBA
CHECKED: YBA
DATE: 03/2023

EXTERIOR ELEVATIONS

A2.1



1 RIGHT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH DESIGNATIONS

BRICK VENEER SPECIFICATION:	
MANUFACTURER:	STATESVILLE BRICK CO.
BRICK SERIES:	RUSTIC HERITAGE CLOSURE BRICK AUTHENTIC TUMBLER SERIES CHARCOAL (TYPE S)
MORTAR COLOR:	

NICHA ARCHITECTURAL WALL PANEL SPECIFICATION:	
PANEL SERIES:	VINTAGEWOOD
FRESH COLOR:	MATTE SPIRUE
PANEL ORIENTATION:	VERTICAL
MATERIAL TYPE:	FIBER CEMENT

BERRIDGE MANUF. CO. METAL WALL PANEL SPECIFICATION:	
PANEL SERIES:	BERRIDGE HR-16 PANEL
FINISH COLOR:	MATTE BLACK
PANEL ORIENTATION:	VERTICAL
MATERIAL TYPE:	7/8" 22 GAUGE CORRUGATED METAL

PAINT COLOR DESIGNATIONS

PLAN COLOR:	BLACK
MANUFACTURER:	SHERWIN-WILLIAMS
PRODUCT NUMBER:	SW 980
PRODUCT NAME:	CORVUS
PAINT FINISH:	FLAT

PLAN COLOR:	WHITE
MANUFACTURER:	SHERWIN-WILLIAMS
PRODUCT NUMBER:	SW 703
PRODUCT NAME:	SITE WHITE
PAINT FINISH:	FLAT

PLAN COLOR:	RED
MANUFACTURER:	SHERWIN-WILLIAMS
PRODUCT NUMBER:	SW 688
PRODUCT NAME:	REAL RED
PAINT FINISH:	FLAT

PRODUCT CONTACT INFORMATION

NICHA:	
CONTACT NAME:	MATT STEPHENSON
EMAIL ADDRESS:	MSTEPHENSON@NICHA.COM
PHONE NUMBER:	770.766.8222
WEBSITE:	WWW.NICHA.COM

SCOTT STONE, INC.:	
CONTACT NAME:	RANDY CLAYTON
EMAIL ADDRESS:	RCLAYTON@SCOTTSTONE.COM
PHONE NUMBER:	919.653.3868
WEBSITE:	WWW.SCOTTSTONE.COM

STATESVILLE BRICK CO.:	
CONTACT NAME:	SCOTT RANIN
EMAIL ADDRESS:	BRICKSALES@STATESVILLEBRICK.COM
PHONE NUMBER:	704.675.4123
WEBSITE:	WWW.STATESVILLEBRICK.COM

GENERAL NOTES

- ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST EDITION.
- GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS AND EQUIPMENT DAILY DURING PROJECT DURATION.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL PLANS FOR ADDITIONAL WORK THAT MAY OR MAY NOT BE SHOWN ON THIS DRAWING.
- VERIFY ALL FINISHES, PAINT COLORS, ETC. WITH OWNER PRIOR TO INSTALLATION OR APPLICATION.
- CONTRACTOR SHALL BE RESPONSIBLE TO INFORM OWNER OF ALL SPECIFIED MATERIALS THAT ARE UNAVAILABLE DUE TO SHORTAGES OR OTHER LACK OF MATERIAL ACCESSIBILITY.
- ALL WINDOW AND STOREFRONT FRAMES SHALL BE CLEAR ANODIZED (BLACK) ALUMINUM.

PROJECT LOCATION IS IN A WIND-BORNE DEBRIS REGION. CONTRACTOR IS TO ENSURE WINDOWS AND DOORS ARE RATED AND INSTALLED ACCORDINGLY.

6-B-23-SU
4/24/2023

BRIAN LATHROP, ARCHITECT
Headquarters: Architecture, Planning, Project Analysis, Interiors
2 Flower Hill Ln. Palm Coast, FL 32137 (770) 993-7300
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KNOXVILLE, TENNESSEE

COMMERCIAL SITE DESIGN
810 OREGON AVENUE, SUITE 100
KNOXVILLE, TN 37919
P.O. BOX 500
ASHEBORO, NC 27804 (919) 338-8992
WWW.COMMERCIALSITEDESIGN.COM

GENERAL CONTRACTOR
101 N. W. 10TH AVENUE, SUITE 100
MIAMI, FL 33136
P.O. BOX 500
ASHEBORO, NC 27804 (919) 338-8992
WWW.COMMERCIALSITEDESIGN.COM

BUILDING ELEVATIONS

NEW BUILDING FOR COOK OUT RESTAURANTS
9000 BROADWAY
KNOX COUNTY, KNOXVILLE TOWNSHIP - TENNESSEE

NO. DATE DESCRIPTION
1 03.2023 PRELIMINARY FOR REVIEW

DATE: 03.2023

PROJECT: EXTERIOR ELEVATIONS

NO. 12

NO. E-85547
DRAWN: WBA
CHECKED: []
DATE: 03.2023
TITLE: EXTERIOR ELEVATIONS
SHEET NO: A2.2

Exhibit A: KAT-Approved "Simme-Seat"



Standard Simme-Seat (SS1)
with Pole



Standard Simme-Seat (SS1)
with Divider

Exhibit B: Locations for Conditions #1-5

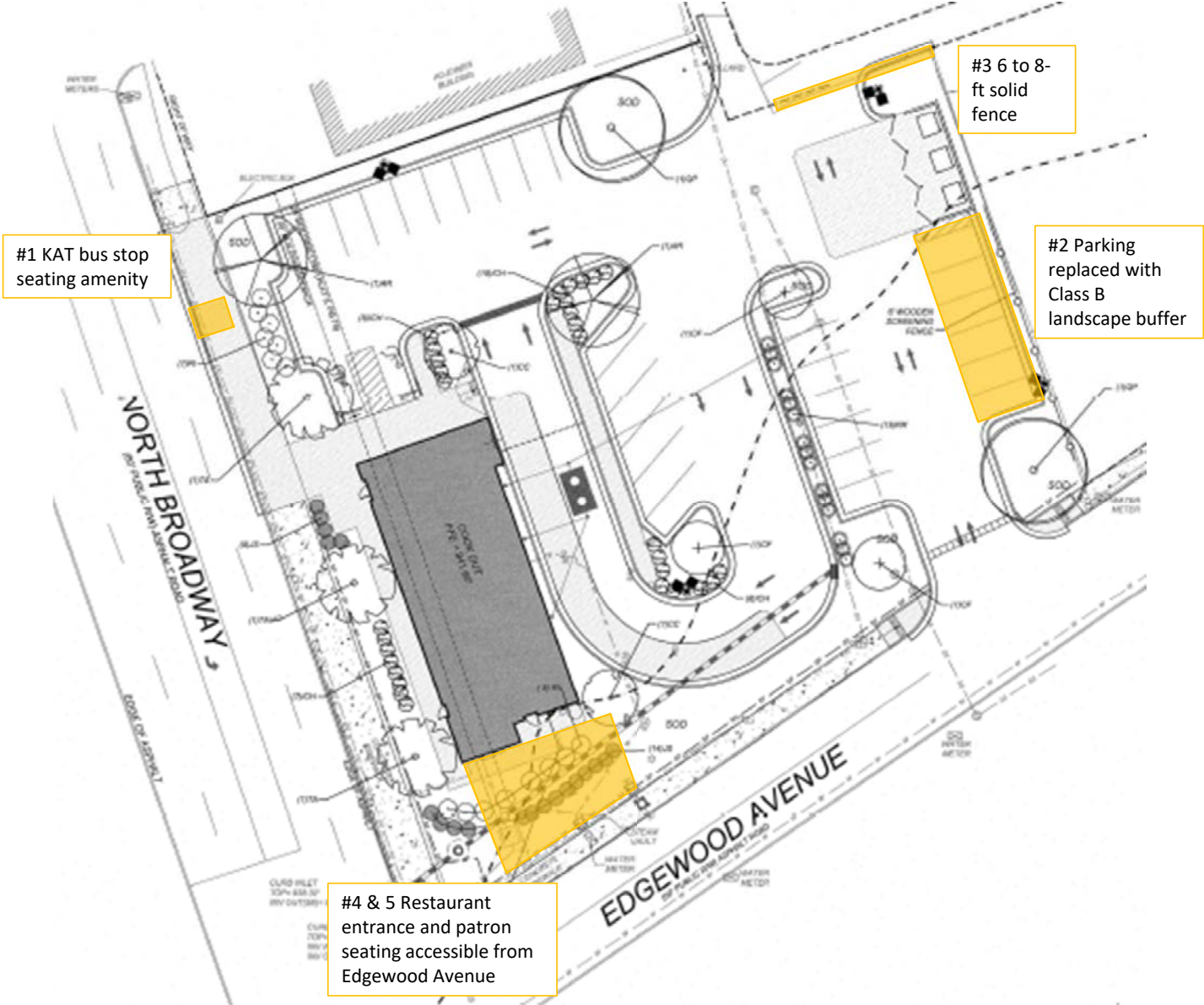


Exhibit C: Future Edgewood Avenue Traffic Calming Gateway Island



REVISIONS	
NO.	DATE

Exhibit C

W Gateway Island
Edgewood Ave, Knoxville, TN



Drawn by: SJG
 Designed by: SJG
 Approved by:
 Scale: 1" = 20'
 Date: 03/17/2023
 SHEET 2 OF 7

Queue Analysis

The 50% or average queue length reflects the capacity of the traffic signal and the 95% queue length is defined as the queue length that has only a 5-percent probability of being exceeded during the analysis time period. The 95% queue length is typically used to determine the length of turning lanes in order to minimize the risk of blockage.

The existing southbound left turn lane at the signalized intersection of North Broadway at Edgewood Avenue has an available storage length of 100 feet. The signalized intersection capacity analysis shows the full buildout 95% queue length for the southbound left turn lane (North Broadway) of 29 feet (1.1 vehicles) during the PM peak hour.

The existing westbound approach at the signalized intersection of North Broadway at Edgewood Avenue has an available storage length of 150 feet before the queue would block the driveway connection. The signalized intersection capacity analysis shows the full buildout 50% or average queue for the westbound approach (Edgewood Avenue) of 137.2 feet (5.4 vehicles) during the PM peak hour. The signalized intersection capacity analysis shows the background 95% queue for the westbound approach (Edgewood Avenue) of 187.8 feet (7.4 vehicles) during the PM peak hour and the full buildout 95% queue length of 234 feet (9.2 vehicles) during the PM peak hour.

The 95% queue length for the westbound approach (Edgewood Avenue) at the signalized intersection is expected to block the proposed Cook Out driveway connection; however, the queue length estimations may have inaccuracies due to the queue extending past the proposed driveway connection.

Conclusion and Recommendations

After the completion of the Cook Out Restaurant located at 2900 North Broadway the signalized intersection of North Broadway at Edgewood Avenue will continue to operate at an acceptable LOS B during the PM peak hour. There are no recommended modifications to the existing signal timing provided by the City of Knoxville.

The result of the queue analysis for the southbound left turn lane (North Broadway) is that the existing storage length of 100 feet is adequate and there are no recommended improvements to the southbound left turn lane on North Broadway.

The result of the queue analysis for the westbound approach (Edgewood Avenue) is that the queue from the signalized intersection will block the proposed Cook Out driveway less than 50% of the time during the PM peak hour. Under average conditions the queue should not impact the driveway connection but if it becomes an issue FMA recommends considering the installation of a "Do Not Block Driveway" sign on Edgewood Avenue prior to the driveway connection. All signs and pavement markings should be installed in accordance with the standards provided in the *Manual on Uniform Traffic Control Devices* (MUTCD).

The alley between Claiborne Place and the residential parcels does not have any directional signs or striping indicating which is the preferred direction of traffic. FMA recommends adding a "Do Not Enter" sign to the alley to eliminate potential wrong way trips from the

Mr. Conger
April 28, 2023
Page 6 of 6

Cook Out Restaurant to the existing KFC parking lot. In addition to the "Do Not Enter" sign, a "One-Way" sign or pavement striping may need to be installed to ensure that the direction of traffic is clearly marked. All signs and pavement markings should be installed in accordance with the standards provided in the *Manual on Uniform Traffic Control Devices* (MUTCD).

Consideration should also be made to re-opening the alley access to Edgewood Avenue and closing the ROW where the existing hammerhead cross-access protrudes into the existing parking lot. The preliminary site plan would need to be re-worked to show a dedicated access between the existing alley and Edgewood Avenue. FMA recommends any improvements to the alley between Claiborne Place and Edgewood Avenue including realignment, increased signage, striping, etc. be coordinated with the City of Knoxville Department of Engineering.

I hope that this is helpful. Please contact me if you have any questions.

Thank you,



Addie Kirkham, P.E.

Enclosure: Attachments



COOKOUT

Sign Package
2900 N Broadway
Knoxville, TN 37917



1465 Ladonia Church Road
Mt. Airy, NC 27030
336-352-4300
www.mmsigns.com
mmsigns@surry.net

6-B-23-SU
Received 6/1/2023

This and all artwork contained in this program is art and design created by M & M Signs and Awnings, Inc. It is submitted for your personal use in conjunction with the project being planned for by M & M Signs and Awnings, Inc. We retain all rights to the usage, reproduction, copies, and exhibition of this art and design in any fashion whatsoever. All or any part of this design (excluding registered trademarks) remains the property of M & M Signs and Awnings Inc.

Specifications:

One (1) 30" -34.1" H x 195.588" W Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.

Dimensions: 30" - 34.1" H x 195.588" W
Total Sq Ft: 40.75"

Spatula to be attached to channel letters as one continuous sign
Preliminary Drawings Only



1465 Ladonia Church Rd,
Mount Airy, NC 27030
336-352-4300

6-B-23-SU

Received 6/1/2023



Colors: (If Applicable)

	PMS 185c
	White
	3M 3630-131 Metallic Gold

Location:

N Broadway, Knoxville, TN

Drawn By:

Anthony Love

Date Issued:

3/20/2023

Sales:

Dale Golding

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Specifications:

One (1) 60' H x 104.4" W Stacked Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.

Dimensions: 60" H x 104.4" W
Total Sq Ft: 43.5"

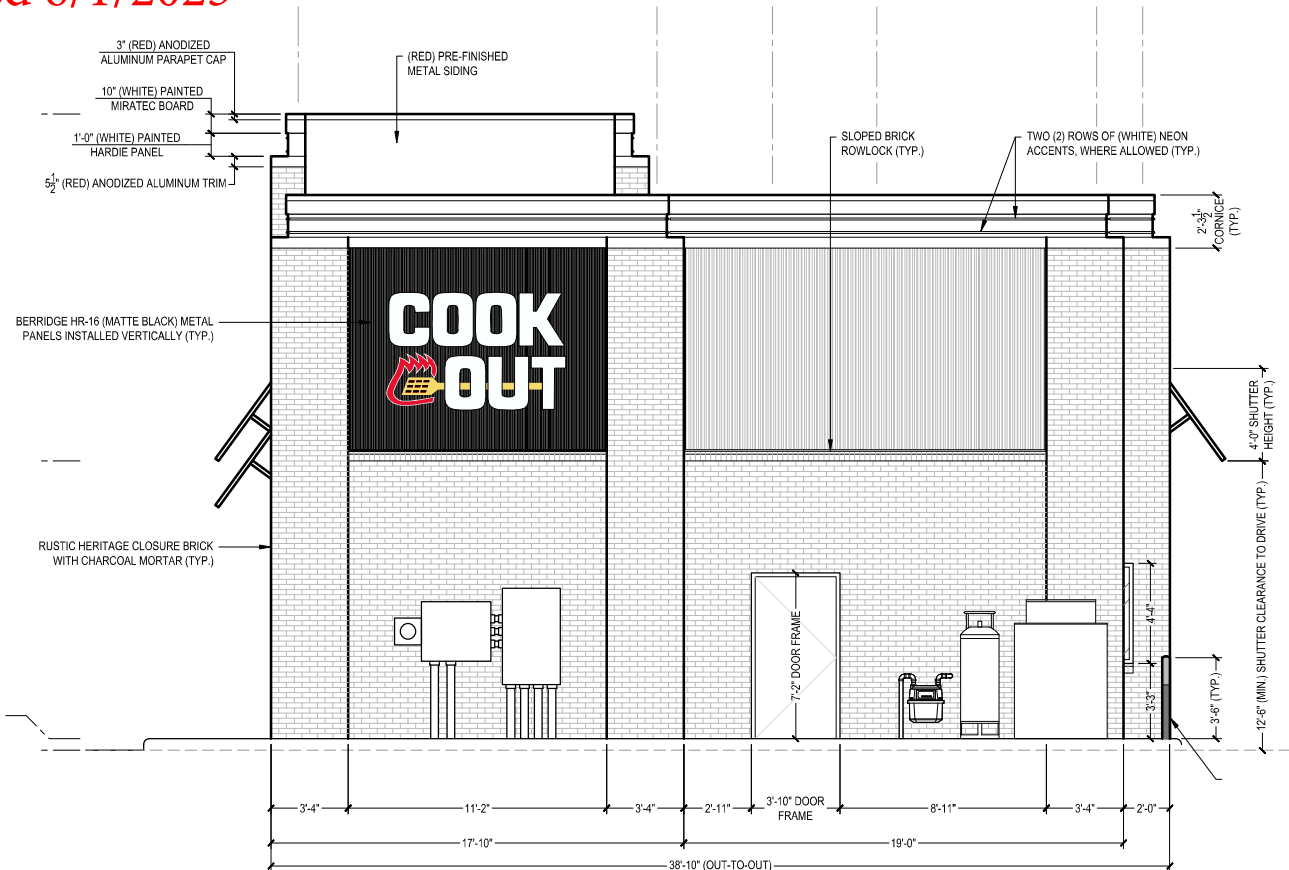
Spatula to be attached to channel letters as one continuous sign
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1465 Ladonia Church Rd,
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336-352-4300

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Specifications:

One (1) 37" - 42.05" H x 241.187" W Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.

Dimensions: 37" - 42.05" H x 241.187" W
Total Sq Ft: 61.97"

Spatula to be attached to channel letters as one continuous sign
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Mount Airy, NC 27030
336-352-4300

6-B-23-SU

Received 6/1/2023



Colors: (If Applicable)

	PMS 185c
	Black
	White
	3M 3630-131 Metallic Gold

Location:

N Broadway, Knoxville, TN

Drawn By:

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Date Issued:

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6-B-23-SU

Received 6/1/2023

Colors: (If Applicable)

	PMS 185c
	Black
	White
	3M 3630-131 Metallic Gold

Location:

N Broadway, Knoxville, TN

Drawn By:

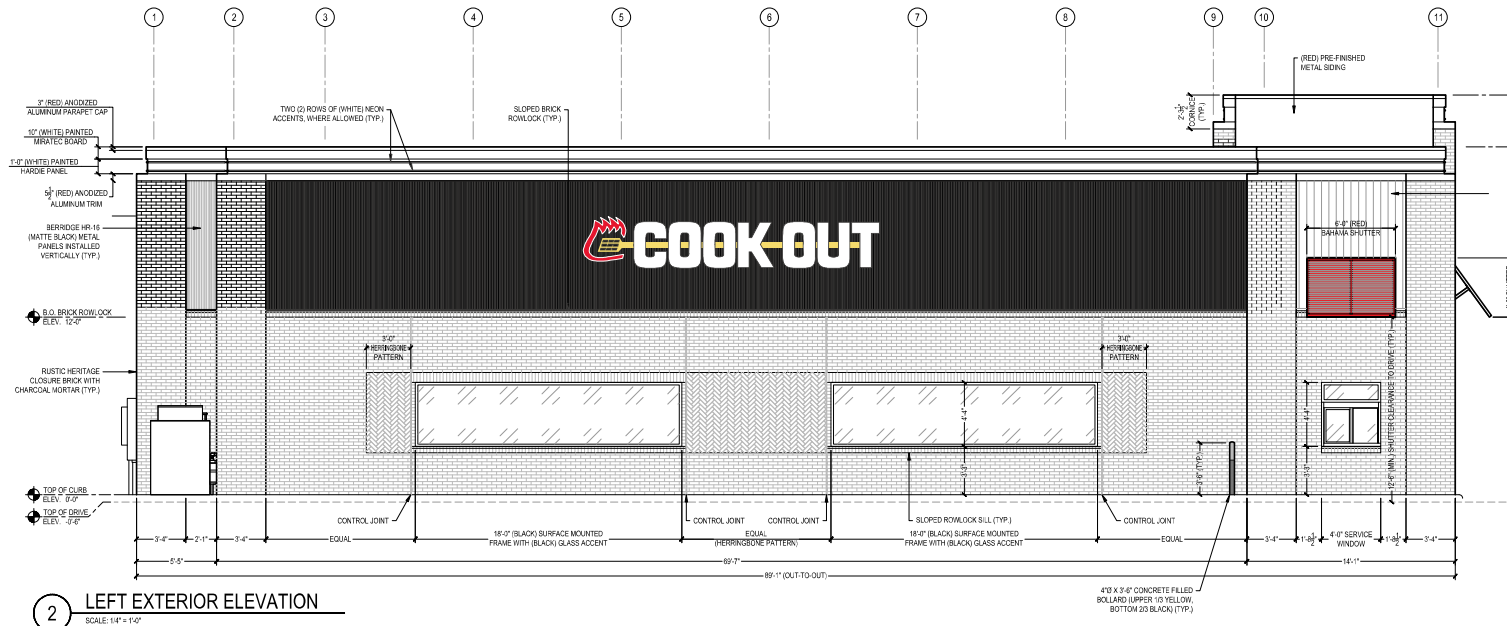
Anthony Love

Date Issued:

3/20/2023

Sales:

Dale Golding



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 Dimensions: 30" - 34.1" H x 195.588" W
 Total Sq Ft: 40.75"

One (2) 37" - 42.05" H x 241.187" W Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.
 Dimensions: 37" - 42.05" H x 241.187" W
 Total Sq Ft: 61.97"

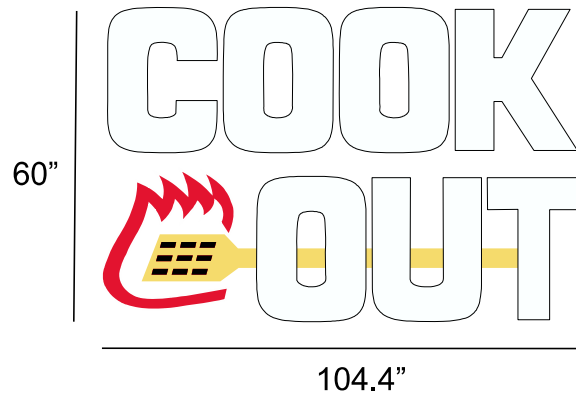
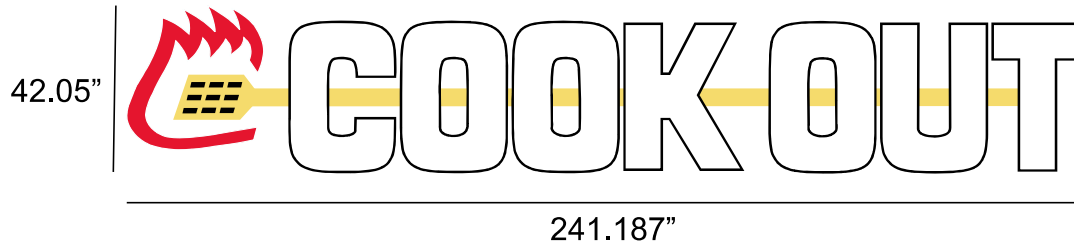
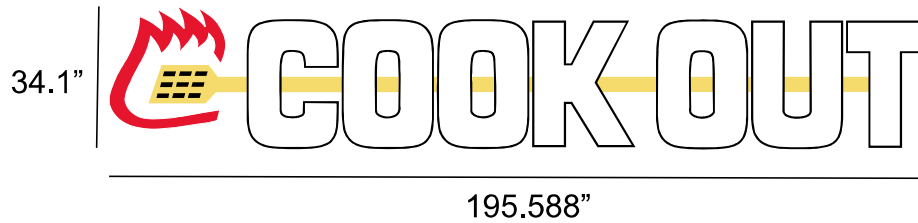
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 Total Sq Ft: 43.5"



1465 Ladonia Church Rd,
 Mount Airy, NC 27030
 336-352-4300

Spatula to be attached to channel letters as one continuous sign

Preliminary Drawings Only



Colors:
(If Applicable)

	PMS 185c
	Black
	White
	3M 3630-131 Metallic Gold

Location:

N Broadway, Knoxville, TN

Drawn By:

Anthony Love

Date Issued:

3/20/2023

Sales:

Dale Golding

6-B-23-SU
Received 6/1/2023



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Commercial Site Design, Sambatek PC NC

Applicant Name		Affiliation
4/24/2023	6/8/2023	6-B-23-SU
Date Filed	Meeting Date (if applicable)	File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Michael Hicks Commercial Site Design, Sambatek PC NC

Name / Company

8312 Creedmoor Rd Raleigh NC 27613

Address

919-848-6121 / mhicks@sambatek.com

Phone / Email

CURRENT PROPERTY INFO

Cook Out- Powell Inc.	15 Laura Ln Ste 300 THOMASVILLE NC 27360	336-279-3242
Owner Name (if different)	Owner Address	Owner Phone / Email
2900 N BROADWAY		
Property Address		
81 D C 004		0.78 acres
Parcel ID	Part of Parcel (Y/N)?	Tract Size
Knoxville Utilities Board	Knoxville Utilities Board	
Sewer Provider	Water Provider	Septic (Y/N)

STAFF USE ONLY

East side of N. Broadway, north side of Edgewood Ave

General Location

<input checked="" type="checkbox"/> City	Council District 4	C-G-2 (General Commercial), IH (Infill Housing Overlay)	Office
<input type="checkbox"/> County	District	Zoning District	Existing Land Use
East City	MU-SD (Mixed Use Special District), TDR (Traditional Neig	N/A (Within City Limits)	
Planning Sector	Sector Plan Land Use Classification	Growth Policy Plan Designation	

DEVELOPMENT REQUEST

- Development Plan Planned Development Use on Review / Special Use
 Hillside Protection COA Residential Non-residential

Related City Permit Number(s)

Home Occupation (specify) _____

Other (specify) **Drive-through facility for a restaurant**

SUBDIVISION REQUEST

Proposed Subdivision Name _____

Related Rezoning File Number

Unit / Phase Number _____

Total Number of Lots Created _____

Additional Information _____

- Attachments / Additional Requirements

ZONING REQUEST

- Zoning Change

Proposed Zoning _____

Pending Plat File Number

- Plan

Amendment

Proposed Plan Designation(s) _____

Proposed Density (units/acre) _____ Previous Zoning Requests _____

Additional Information _____

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)
 Design Plan Certification (Final Plat)
 Site Plan (Development Request)
 Traffic Impact Study
 Use on Review / Special Use (Concept Plan)

Fee 1

\$1,600.00

Total

Fee 2

Fee 3

AUTHORIZATION

- I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature _____
Commercial Site Design, Sambatek PC NC
Please Print

4/24/2023

Date

Phone / Email _____

Property Owner Signature _____
Cook Out- Powell Inc.
Please Print

4/24/2023

Date



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- SP OYP
- Rezoning

Commercial Site Design, Sambatek PC NC

Designer of Record

Applicant Name

Affiliation

~~2/28/2023~~ 4/21/2023

6/8/2023

File Number(s)

Date Filed

Meeting Date (if applicable)

6-B-23-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Michael Hicks

Sambatek PC NC

Name

Company

8312 Creedmoor Road

Raleigh

NC

27613

Address

City

State

ZIP

919-848-6121

mhicks@sambatek.com

Phone

Email

CURRENT PROPERTY INFO

Cook Out- Powell Inc.

2900 N. Broadway

336-279-3242

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

2900 N. Broadway
Knoxville, TN 37917

081DC004

Property Address

Parcel ID

Knoxville Utilities Board

Knoxville Utilities Board

No

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

East side of N. Broadway, north side of Edgewood Ave

0.78 acres

General Location

Tract Size

City County 4th District

C-G-2 (General Commercial) Zoning District

Office Existing Land Use

East City

MU-SD, EC-3

N/A

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

August 29, 2022

DEVELOPMENT REQUEST

- Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential

Related City Permit Number(s)

Home Occupation (specify) _____
 Eating establishment with drive-through.
 Other (specify) _____

SUBDIVISION REQUEST

N/A
 Proposed Subdivision Name

Related Rezoning File Number

Unit / Phase Number
 Combine Parcels
 Divide Parcel
 Total Number of Lots Created

- Other (specify) _____
 Attachments / Additional Requirements

ZONING REQUEST

- Zoning Change
 N/A
 Proposed Zoning

Pending Plat File Number

- Plan Amendment Change
 Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests
 Other (specify) _____

STAFF USE ONLY

- PLAT TYPE**
 Staff Review
 Planning Commission
ATTACHMENTS
 Property Owners / Option Holders
 Variance Request
ADDITIONAL REQUIREMENTS
 Design Plan Certification (Final Plat)
 Use on Review / Special Use (Concept Plan)
 Traffic Impact Study
 COA Checklist (Hillside Protection)

Fee 1	Special Use - nonresidential	Total
0405		\$1,600
Fee 2		
Fee 3		

MR

AUTHORIZATION

Michael Hicks
 Applicant Signature

Commercial Site Design, Sambatek PC NC
 Please Print

2/24/23
 Date

919-848-6121
 Phone Number

mhicks@sambatek.com
 Email

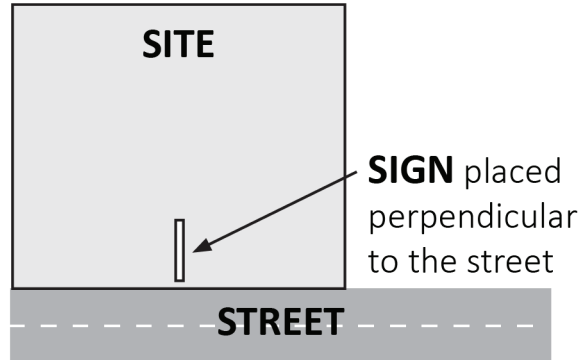
2127123

JAM
 Property Owner Signature

Jeremy A Reaves, President of Cook Out-Powell, Inc. 02/27/23
 Please Print Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/ore the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ May 26, 2023 _____ and _____ June 9, 2023 _____
(applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Commercial Site Design, Sambatek Pl

Date: 4/24/2023

File Number: 6-B-23-SU



Sign posted by Staff



Sign posted by Applicant