



SPECIAL USE REPORT

▶ **FILE #:** 4-D-23-SU **AGENDA ITEM #:** 10
 POSTPONEMENT(S): 4/19/2023 **AGENDA DATE:** 5/11/2023
 ▶ **APPLICANT:** TACO BELL OF AMERICA, LLC (ROBERT SULLIVAN)
 OWNER(S): Peoples Development Company, Inc. Peoples Development Company, Inc.

TAX ID NUMBER: 121 B B 035 **View map on KGIS**
 JURISDICTION: City Council District 2
 STREET ADDRESS: 5613 KINGSTON PIKE
 ▶ **LOCATION:** North side of Kingston Pike, west of Westwood Rd
 ▶ **APPX. SIZE OF TRACT:** 1.02 acres
 SECTOR PLAN: West City
 GROWTH POLICY PLAN: N/A (Within City Limits)
 ACCESSIBILITY: Access is via Kingston Pike, a major arterial with a pavement width of 55-ft within a right-of-way width ranging from 62 to 80-ft.
 UTILITIES: Water Source: Knoxville Utilities Board
 Sewer Source: Knoxville Utilities Board
 WATERSHED: Fourth Creek

▶ **ZONING:** C-G-1 (General Commercial)
 ▶ **EXISTING LAND USE:** Commercial
 ▶ **PROPOSED USE:** Restaurant with drive-through facility

HISTORY OF ZONING: None noted
 SURROUNDING LAND USE AND ZONING: North: Public/quasi-public, Single family residential -- INST (Institutional), RN-1 (Single-Family Residential Neighborhood)
 South: Kingston Pike, Commercial -- C-G-1 (General Commercial)
 East: Commercial -- C-G-1 (General Commercial)
 West: Public/quasi-public, Commercial -- INST (Institutional), C-G-1 (General Commercial)

NEIGHBORHOOD CONTEXT: This property is adjacent to the Bearden Elementary School campus and the Bearden Village Greenway runs along the north boundary. The development in the area include a mix of commercial and office along Kingston Pike, and low-density residential to the north.

STAFF RECOMMENDATION:

- ▶ **Approve the request for a drive-through facility in the C-G-1 zoning district, subject to 6 conditions.**
1. Meeting the requirements of principal use standards for drive-through facilities (Article 9.3.F) of the City of Knoxville Zoning Ordinance.
 2. Meeting the requirements of Article 13 (Signs) of the City of Knoxville Zoning Ordinance.

3. Installation of landscaping per the requirements of Article 12 (Landscaping) of the City of Knoxville Zoning Ordinance, including the Class B buffer yard required by the principal use standards for drive-through facilities (Article 9.3.F.5). The proposed landscape plan requires Alternative Landscape Design (ALD) approval because the required 20 ft width is not provided in all locations where it is required. If the ALD is not approved, the site design must be modified to accommodate the required buffer width and may require a new Special Use approval if the site design changes significantly.
4. Meeting all applicable requirements of the Knoxville Department of Engineering.
5. Meeting all applicable requirements of the Tennessee Department of Transportation.
6. Meeting all other applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of C-G-1 zoning, the principal use standards for drive-through facilities, and the criteria for approval of a special use.

COMMENTS:

This is a proposal to construct a drive-through facility for a new restaurant at this site. There are two existing structures; a large multi-tenant commercial building and a small single-tenant building. The larger building is proposed to be demolished, and the new parking lot will accommodate parking for the small commercial building as well as the new restaurant. The parking between the small building and Kingston Pike can be removed.

To the rear of the subject site are the Bearden Elementary School campus, Bearden Village Greenway, and the Century Court / Westwood residential neighborhoods. The subject site is approximately 10 ft lower in elevation than the referenced uses to the rear, which will help buffer the drive-through use from those properties. In addition, the principal use standards for drive-through facilities require a Class B buffer yard and a 6 to 8-ft tall opaque wall or fence when abutting a residential district, a public park, or a primary or secondary educational facility. The lower site and the required landscape buffer yard and fencing will help lessen nuisance issues from light and noise to nearby properties.

This section of Kingston Pike is congested and can be challenging to turn left onto when not at a controlled intersection. A transportation impact letter was provided by the applicant to evaluate the access point to Kingston Pike, as requested by staff (see Exhibit B). The study concludes that there are no horizontal or vertical intersection sight distance deficiencies when a driver is looking in both directions on Kingston Pike. No other deficiencies were identified.

An access to Bearden Elementary is along the western lot line of the subject property. The driveway for the proposed use is on the opposite side of the subject property, which will help reduce conflicts.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The One Year Plan and Sector Plan designation for this parcel is MU-SD, WC-1 (Bearden Village). This special mixed use district references the Bearden Village Opportunities Plan (2001), which recommends transitioning the Bearden area to a more pedestrian-oriented, mixed-use district. The recommendations for pedestrian-oriented development, however, were centered around the Homberg Place area to the east. The subject property is in the "Kingston Pike Commercial Corridor", which recommends orienting buildings toward the sidewalk with parking to the rear, incorporate a mix of uses, tree plantings along sidewalks and within parking lots, and reduce parking requirements (see Exhibit A). Since 2001, the zoning code has been updated and the tree plantings and reduced parking have been codified. The structure is oriented toward the street, as recommended, but the parking is to the side of the structure and the exit of the drive-through lane passes between the front of the building and Kingston Pike.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The C-G zoning district is intended to provide for a heterogeneous mix of retail, personal service, office and residential uses within and along Knoxville's commercial nodes and corridors. Drive-through facilities may be permitted as a special use approval.

B. With the recommended conditions, the drive-through facility meets the principal use standards for drive-through facilities (Article 9.3.F).

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

- A. The proposed 1-story structure is consistent with the other 1-story structures on this block of Kingston Pike.
- B. Three other auto-oriented commercial businesses are on the same blockface; two auto-repair facilities and a car wash.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. The proposed use is required to comply with Article 10 of the City of Knoxville Zoning Ordinance, which regulates impacts. Section 10.2 regulates lighting, while noise, dust and pollution, odors, fire hazards, and other similar concerns are regulated in Section 10.5.

C. The subject site is approximately 10 ft lower than the properties to the rear, and a Class B buffer yard and opaque fence or wall are required along the rear lot line and a portion of the west lot line.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The proposed drive-through facility only has access to Kingston Pike. The site does not have direct access to the residential area to the rear.

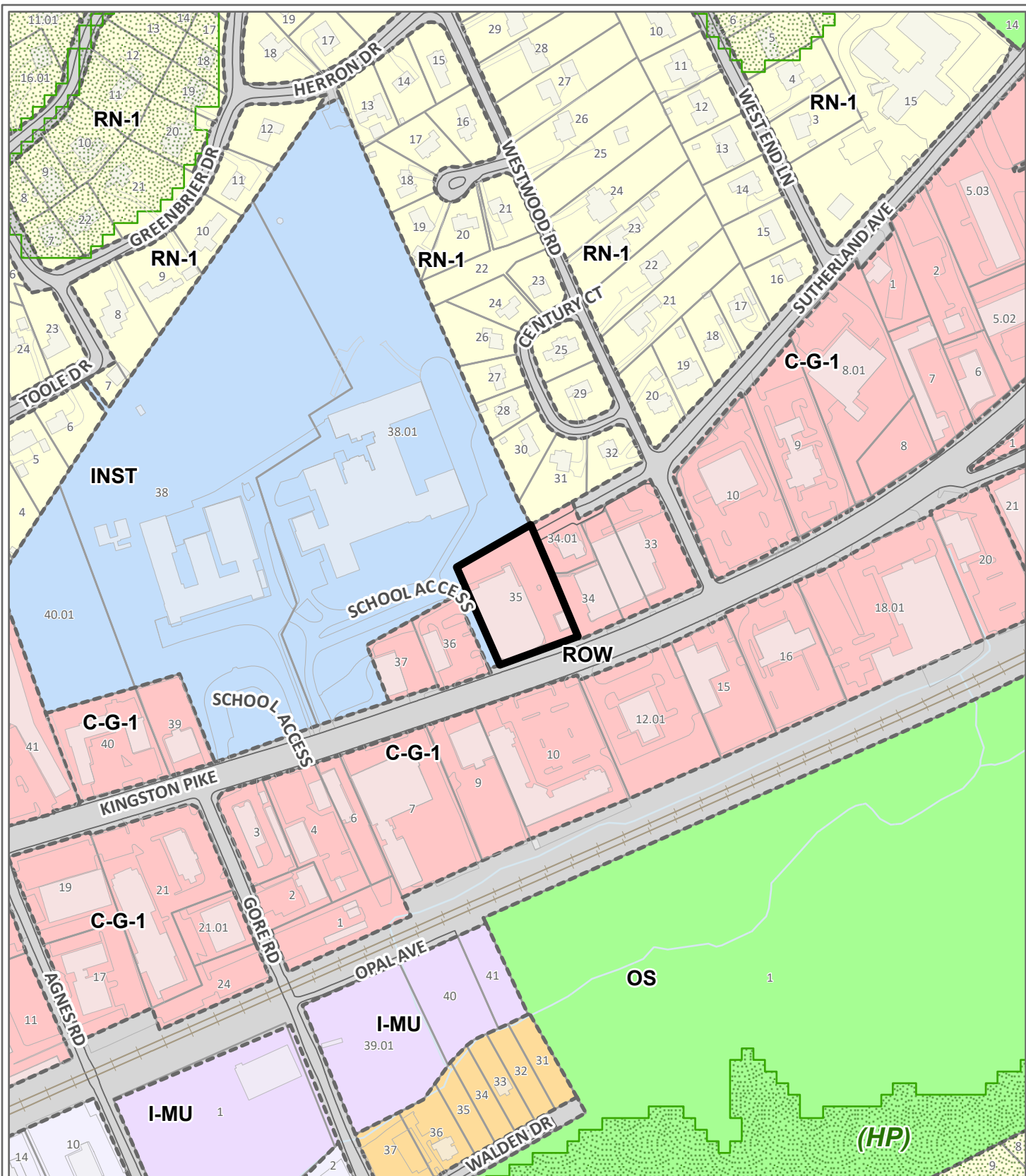
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. No known uses immediately surround the subject site that poses a potential hazard or undesirable environment for the proposed use.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

4-D-23-SU

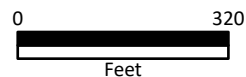
Petitioner: Taco Bell of America, LLC
(Robert Sullivan)



Restaurant with drive-through in C-G-1 (General Commercial)

Map No: 121
Jurisdiction: City

Original Print Date: 4/4/2023
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902





520 South Main Street, Suite 2011
Altoona, GA 31701
930.572.2100 Fax 930.572.2101



DATE	REMARKS

CONTRACT DATE: 04.13.22
 BUILDING TYPE: END. 80FT
 PLAN VERSION: MARCH 2021
 BRAND DESIGNER: DICKSON
 SITE NUMBER: 0
 STORE NUMBER: 0
 P/PM: SM
 DRAWN BY: NA
 JOB NO.: 2022208.36

TACO BELL
 5813 KINGSTON PIKE
 KNOXVILLE, TN 37919

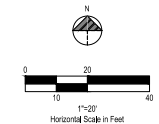


ENDEAVOR 20

SITE PLAN

C-111

PLOT DATE: 3/23/2023 9:06 AM



NOTE: LANDLORD IS RESPONSIBLE FOR EXISTING BUILDING DEMOLITION AND EXISTING RETAINING WALL REPLACEMENT AND/OR REPAIR.

PROPOSED LEGEND

- PROPOSED STANDARD DUTY ASPHALT PER ASPHALT PAVEMENT TABLE THIS SHEET.
- PROPOSED HEAVY DUTY ASPHALT PER ASPHALT PAVEMENT TABLE THIS SHEET.
- PROPOSED CONCRETE
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER
- PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS
- PROPOSED UTILITY STRUCTURES. REFER TO UTILITY PLAN FOR MORE INFORMATION.

EXISTING LEGEND

- STANDARD SYMBOLS**
- POWER POLE
 - GUY WIRE
 - POWER LINE
 - LIGHT POLE
 - ELECTRIC TRANSFORMER
 - WATER VAULT
 - GAS VALVE
 - GAS METER
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND COMMUNICATION LINE
 - UNDERGROUND WATER LINE
 - PHOTO POSITION INDICATOR
 - REGULAR PARKING SPACE COUNT
 - HANDICAP PARKING SPACE
 - TREE POSITION INDICATOR
 - SIEN

ASPHALT PAVEMENT

MATERIAL	LIGHT DUTY	HEAVY DUTY
ESAL VALUES	5,300	87,000
ASPHALT SURFACE COURSE	2" 1-1/2"	1-1/2" 1-1/2"
BINDER COURSE	--	2-1/2" 2-1/2"
SOIL CEMENT BASE	6"	8"
CRUSHED STONE BASE	--	8"

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR.

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT: KINGSTON PIKE	0	48
REAR: NORTH	0	115
SIDE: EAST	0	110
SIDE: WEST	0	42

PARKING SETBACKS

	REQUIRED	PROVIDED
FRONT: KINGSTON PIKE	10	14
REAR: NORTH	10	38
SIDE: EAST	10	14
SIDE: WEST	10	14

LANDSCAPE SETBACKS

	REQUIRED	PROVIDED
FRONT: OLD PENDERGRASS ROAD	10	15
REAR: NORTH	10	14
SIDE: EAST	10	38
SIDE: WEST	10	14

PARKING SPACES

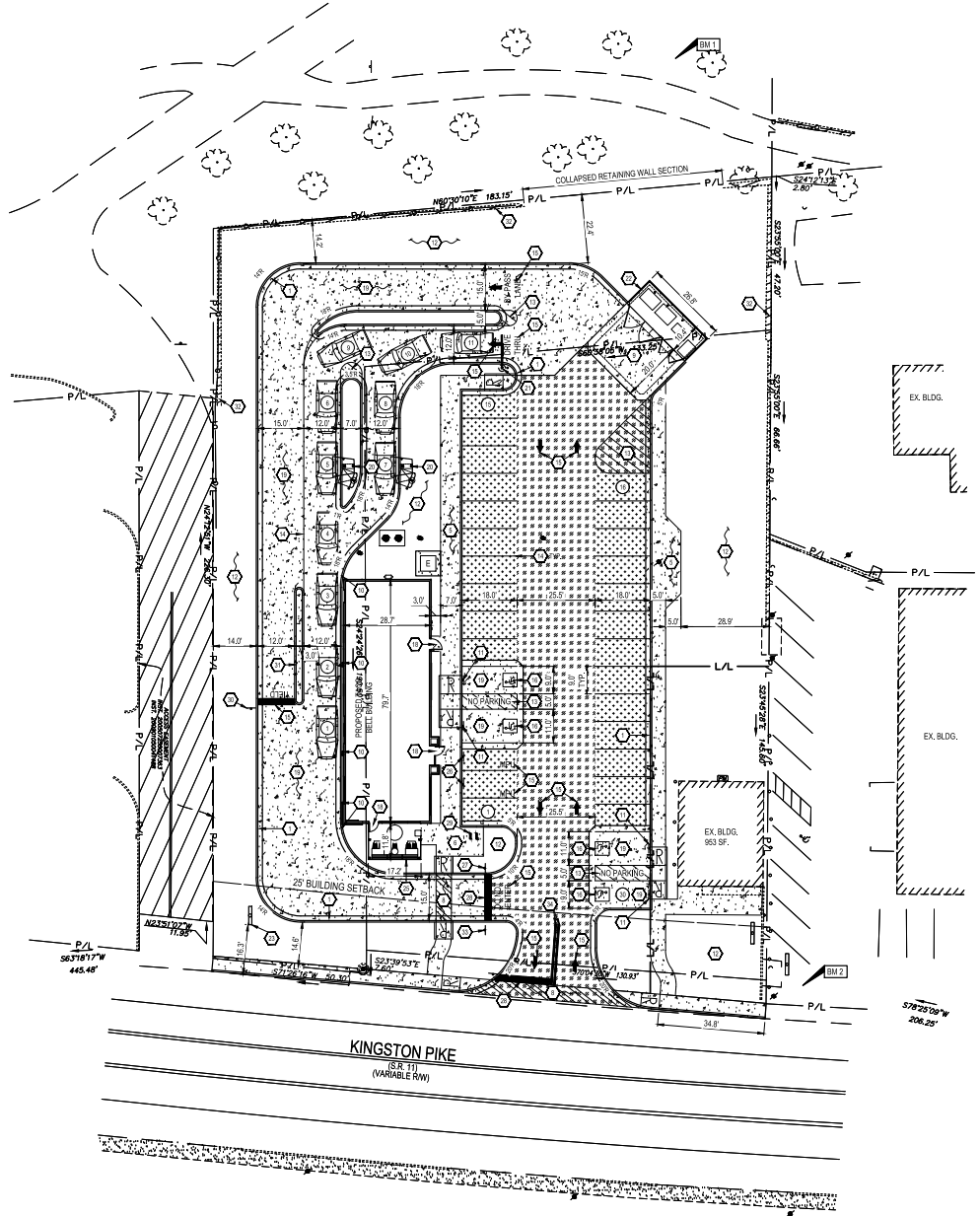
	REQUIRED	PROVIDED
NUMBER OF SPACES	14	30

PARKING REQUIREMENTS
 MINIMUM SIX (6) SPACES PER 1,000 SQUARE FEET
 MAXIMUM TWELVE (12) SPACES PER 1,000 SQUARE FEET
 TACO BELL BUILDING = 2,287 SF
 EXISTING BUILDING = 953 SF
 TOTAL SQUARE FOOTAGE = 3,240 SF
 MINIMUM PARKING SPACES REQUIRED:
 3,240 SF / (1000 / 6) = 19.44 = 20 SPACES
 MAXIMUM PARKING SPACES REQUIRED:
 3,240 SF / (1000 / 12) = 38.88 = 39 SPACES

LAND USE DATA

	% OF SITE AREA	AREA PROVIDED
PROPOSED BUILDING	5.77%	0.06 AC.
EXISTING BUILDING	1.92%	0.02 AC.
PAVEMENT/IMPERVIOUS	54.81%	0.57 AC.
LANDSCAPING	37.50%	0.39 AC.
TOTAL	100%	1.04 AC.

CURRENT ZONING: C-G-1 COMMERCIAL GENERAL



PLAN KEYNOTES

1. PROPOSED P.C.C. CURB AND GUTTER.
2. PROPOSED P.C.C. CURB AT DRIVE THRU.
3. PROPOSED P.C.C. CURB.
4. PROPOSED P.C.C. REVERSE CURB AND GUTTER.
5. PROPOSED P.C.C. CURBED WALK.
6. PROPOSED P.C.C. WALK.
7. PROPOSED P.C.C. FLUSH CURB WALK.
8. PROPOSED CROSSWALK.
9. PROPOSED 9" P.C.C. PAVEMENT W/ W.V.F. 6" x 6"-W/2.9 x W/2.9 (CONTROL JTS. 12'-0" O.C.) OVER 6" CRUSHED AGGREGATE BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
10. PROPOSED DETERRENT BOLLARD IN CURB.
11. PROPOSED ADA PARKING SIGN IN CRASH RATED BOLLARD.
12. PROPOSED LANDSCAPING AREA.
13. PROPOSED PAINTED TRANSVERSE STRIPING.
14. PROPOSED PAINTED 4" WIDE SOLID STRIPES - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE FOR ADA.
15. PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE.
16. PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS.
17. PROPOSED CONCRETE COLLAR.
18. PROPOSED FROST SLAB AT DOOR.
19. PROPOSED 5" P.C.C. PAVEMENT W/ W.V.F. 6" x 6"-W/2.9 x W/2.9 (CONTROL JTS. 12'-0" O.C.) OVER 6" CRUSHED AGGREGATE BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
20. PROPOSED MENU BOARD, CANOPY, SPEAKER POST, AND ORDER CONFIRMATION BOARD PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD, CANOPY, SPEAKER POST, AND ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL.
21. PROPOSED EVOLUTION PORTAL CLEARANCE BAR.
22. PROPOSED BRICK BUMPER ENCLOSURE.
23. PROPOSED 12'-0" O.A.H., 100 S.F. MONUMENT SIGN PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER SHALL DESIGN AND INSTALL FOUNDATION.
24. PROPOSED PATIO.
25. PROPOSED DECORATIVE PATIO FENCE.
26. PROPOSED MOBILE ORDER PICK-UP SIGN, IN BOLLARD, CONTRACTOR TO INSTALL SIGN POST AND BOLLARD PER THE HANDICAP SIGN DETAIL. SIGN TO BE PROVIDED BY SIGN VENDOR.
27. PROPOSED DO NOT ENTER AND STOP SIGN PER TDOT STANDARDS.
28. PROPOSED PAINTED STOP BAR PER TDOT STANDARDS.
29. PROPOSED BIKE RACK SPACES.
30. PROPOSED YIELD SIGN.
31. PROPOSED ROLLED CURB.
32. RETAINING WALL WITH A SOLID 6 FEET HIGH FENCE ON TOP OF THE RETAINING WALL SHALL BE PROVIDED BY THE LANDLORD UNDER A SEPARATE PERMIT.
33. PROPOSED 36 INCH STOP SIGN PER TDOT STANDARDS.
34. PROPOSED DOUBLE SOLID YELLOW LINES PER TDOT STANDARDS.

VICINITY MAP

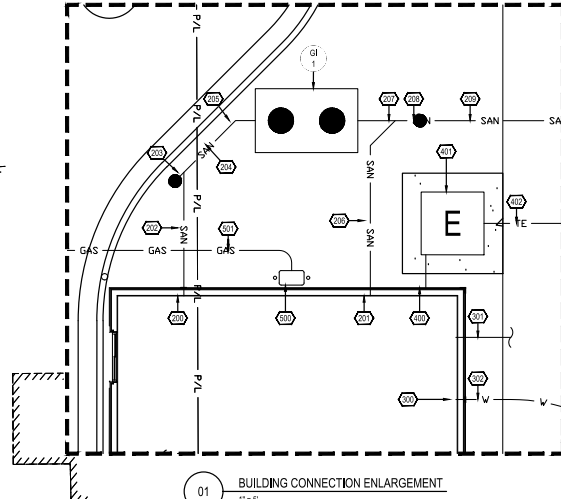
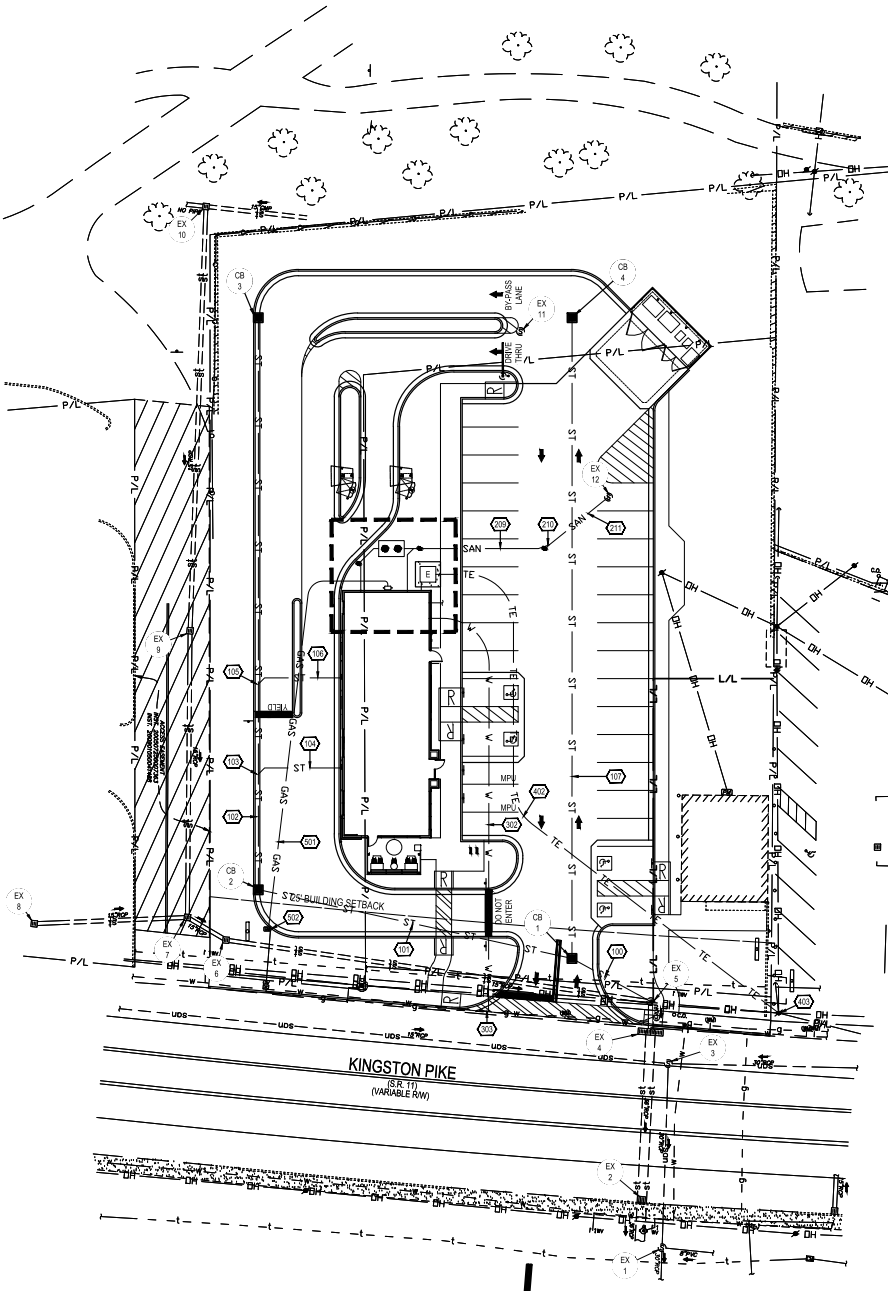
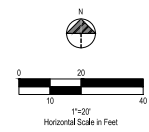


BENCHMARKS:
 BASIS OF BEARING:
 HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983(2011) - STATE PLANE COORDINATE SYSTEM OF GEORGIA - WEST ZONE. VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988.
 BENCHMARK #1 - 5/8" CAPPED RBR.
 N = 589,213.93
 E = 2,561,671.35
 ELEVATION = 914.89
 BENCHMARK #2 - NAIL IN ASPHALT
 N = 588,954.97
 E = 2,561,833.38
 ELEVATION = 892.02



4-D-23-SU
 Revised: 3/24/2023

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



01 BUILDING CONNECTION ENLARGEMENT
1" = 6'

PLAN KEYNOTES

- STORM**
- 100. PROPOSED 29' L.F. OF 15" HDPE STORM SEWER.
 - 101. PROPOSED 104' L.F. OF 15" HDPE STORM SEWER.
 - 102. PROPOSED 104' L.F. OF 15" HDPE STORM SEWER.
 - 103. PROPOSED WYE CONNECTION.
 - 104. PROPOSED 28' L.F. OF 6" SDR 35 STORM SEWER.
 - 105. PROPOSED WYE CONNECTION.
 - 106. PROPOSED 28' L.F. OF 6" SDR 35 STORM SEWER.
 - 107. PROPOSED 200' L.F. OF 15" HDPE STORM SEWER.
- SANITARY**
- 200. PROPOSED SANITARY LINE - GREASE LINE.
 - 201. PROPOSED SANITARY LINE - WASTE LINE.
 - 202. PROPOSED 10' L.F. OF 6" SDR 35 SANITARY SEWER.
 - 203. PROPOSED SANITARY CLEANOUT AND WYE CONNECTION.
 - 204. PROPOSED 8' L.F. OF 6" SDR 35 SANITARY SEWER.
 - 205. PROPOSED SANITARY 45° ELBOW CONNECTION.
 - 206. PROPOSED 15' L.F. OF 6" SDR 35 SANITARY SEWER.
 - 207. PROPOSED SANITARY WYE CONNECTION.
 - 208. PROPOSED SANITARY CLEANOUT.
 - 209. PROPOSED 47' L.F. OF 6" SDR 35 SANITARY SEWER.
 - 210. PROPOSED SANITARY CLEANOUT AND WYE CONNECTION.
 - 211. PROPOSED 27' L.F. OF 6" SDR 35 SANITARY SEWER.
- WATER**
- 300. PROPOSED WATER CONNECTION.
 - 301. PROPOSED 1" STUB FOR BRIGGATION.
 - 302. PROPOSED 150' L.F. 1.5" THICK 10' COPPER WATER SERVICE LINE.
 - 303. PROPOSED 1.5" WATER SERVICE TAP. CONTRACTOR SHALL SUPPORT THE EXISTING GAS LINE.
- ELECTRIC AND COMMUNICATIONS**
- 400. PROPOSED ELECTRIC METER.
 - 401. PROPOSED ELECTRICAL TRANSFORMER.
 - 402. PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE.
 - 403. PROPOSED CONNECTION TO EXISTING ELECTRICAL SERVICE.
- GAS**
- 500. PROPOSED GAS METER.
 - 501. PROPOSED 127' L.F. GAS SERVICE CONNECTION.
 - 502. PROPOSED GAS SERVICE CONNECTION TO EXISTING GAS MAIN.

PROPOSED STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS
CB 1	PROPOSED CATCH BASIN
CB 2	PROPOSED CATCH BASIN
CB 3	PROPOSED CATCH BASIN
CB 4	PROPOSED CATCH BASIN
GI 1	PROPOSED 1,000 GALLON EXTERIOR GREASE INTERCEPTOR

EXISTING STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS
EX 1	EXISTING SANITARY SEWER MANHOLE RM = 891.40 INV. 30" RCP (N) = 879.2 INV. 6" PVC (E) = 881.9 INV. 30" RCP (S) = 878.9
	EXISTING CURB INLET RM = 890.94 INV. 36" RCP (N) = 884.0 INV. 36" RCP (S) = 883.9
	EXISTING SANITARY SEWER MANHOLE RM = 891.55 INV. 15" RCP (W) = 882.6 INV. 30" RCP (E) = 879.5 INV. 30" RCP (S) = 879.3
EX 2	EXISTING DROP INLET RM = 890.95 INV. 18" RCP (N) = 884.6 INV. 36" RCP (S) = 884.2
	EXISTING JUNCTION BOX RM = 891.26 INV. 15" RCP (W) = 888.7 INV. 18" RCP (S) = 884.7
EX 3	EXISTING DROP INLET RM = 893.27 INV. 15" RCP (NW) = 890.0 INV. 15" RCP (E) = 889.9
	EXISTING DROP INLET RM = 894.36 INV. 15" RCP (W) = 890.9 INV. 15" RCP (N) = 890.5 INV. 15" RCP (SE) = 890.2
EX 4	EXISTING DROP INLET RM = 895.42 INV. 15" RCP (E) = 893.2 INV. 15" RCP (S) = 893.1
	EXISTING DROP INLET RM = 910.34 INV. SIZE UNKNOWN (W) = 906.6 INV. 15" CAP (E) = 906.8 INV. 15" RCP (S) = 906.6
EX 5	EXISTING SANITARY SEWER MANHOLE RM = 894.82 FULL OF WATER* BOTTOM = 887.8
	EXISTING SANITARY SEWER MANHOLE RM = 892.71 FULL OF WATER* BOTTOM = 885.2

LEGEND

- PROPOSED STORM SEWER (12" AND SMALLER)
- PROPOSED SANITARY SEWER
- PROPOSED WATER SERVICE
- PROPOSED GAS SERVICE
- PROPOSED UNDERGROUND ELECTRIC, TELEPHONE & CABLE SERVICE
- APPURTENANCES
- ⊙ UTILITY CONSTRUCTION KEYNOTE

4-D-23-SU
Revised: 3/24/2023

BENCHMARKS:
BASIS OF BEARING:
HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983(2011) - STATE PLANE COORDINATE SYSTEM OF GEORGIA-WEST ZONE. VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988.
BENCHMARK #1 - 5/8" CAPPED RBR.
N = 589,213.93
E = 2,561,871.38
ELEVATION = 914.89
BENCHMARK #2 - NAIL IN ASPHALT
N = 588,954.97
E = 2,561,833.38
ELEVATION = 892.02

* ALL DEBRIS SHALL BE CLEANED FROM SANITARY MANHOLES AND SEWER PIPES. SANITARY SEWER SHALL BE CLEANED AND TENSIVED TO ENSURE THERE ARE NO COLLAPSED SECTIONS UP TO THE MAIN.



DATE	REMARKS

CONTRACT DATE: 04.13.22
BUILDING TYPE: END. BOFT
PLAN VERSION: MARCH 2021
BRAND DESIGNER: DICKSON
SITE NUMBER: 0
STORE NUMBER: 0
PAF#: SM
DRAWN BY: NA
JOB NO.: 2022088.36

TACO BELL
5813 KINGSTON PIKE
KNOXVILLE, TN 37919



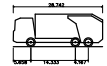
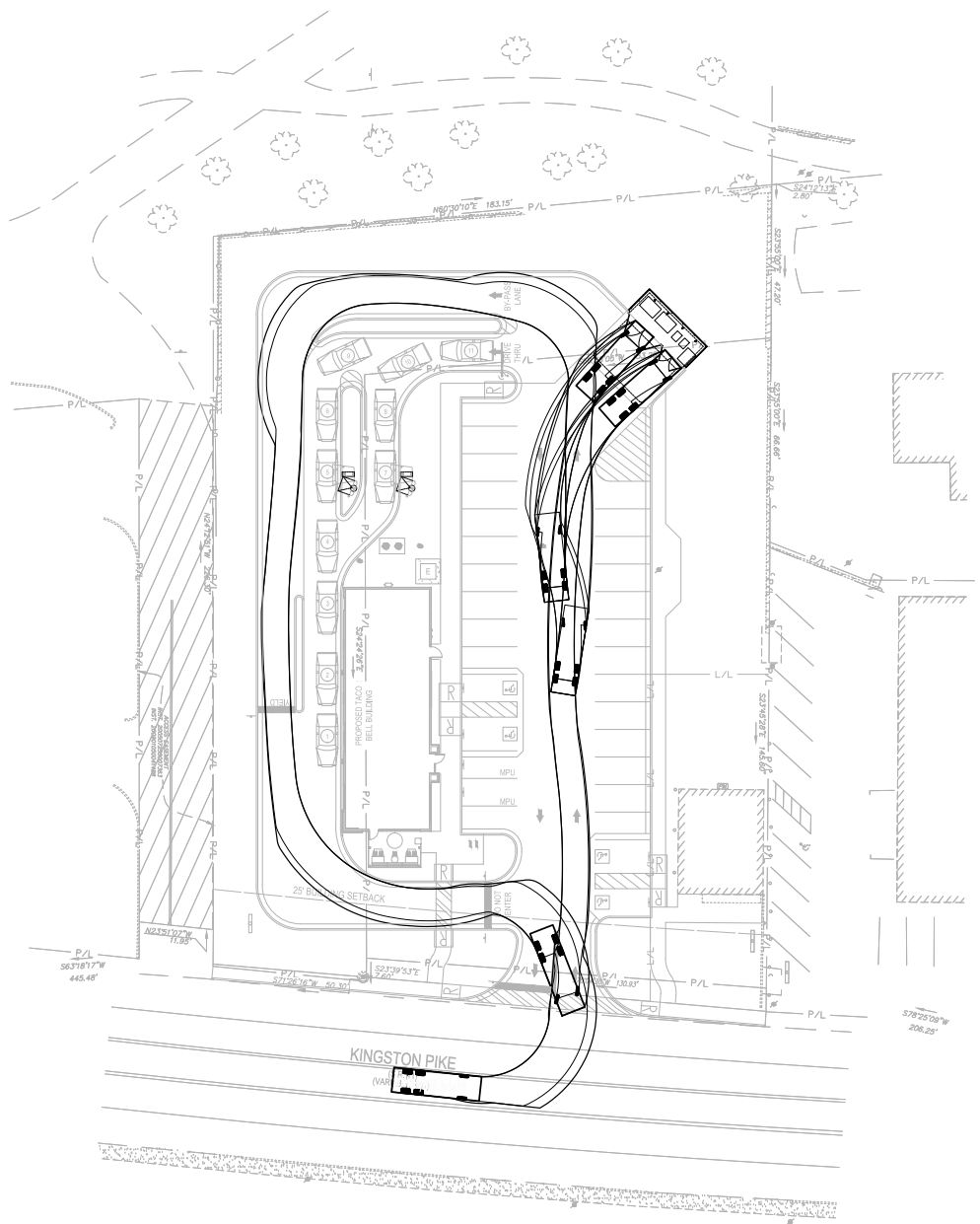
ENDEAVOR 20

UTILITY PLAN

C-131

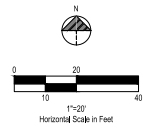
PLOT DATE: 3/22/2023 4:48 PM





Mack TerraPro Low Entry 6x4 LEU 613, + Wayne Phoenix III 25Y4
 Overall Length 28'-0"
 Overall Width 8'-0"
 Overall Height 10'-0"
 Min. Body Ground Clearance 6'-0"
 Rack Width 8'-0"
 Lock-to-lock time 5:00:00
 Curb to Curb Turning Radius 50'-0"

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



DATE	REMARKS

CONTRACT DATE: 04.13.22
 BUILDING TYPE: END. 80FT
 PLAN VERSION: MARCH 2021
 BRAND DESIGNER: DICKSON
 SITE NUMBER: 0
 STORE NUMBER: 0
 PA/PM: SM
 DRAWN BY: NA
 JOB NO.: 2022088.36

TACO BELL
 5813 KINGSTON PIKE
 KNOXVILLE, TN 37919



ENDEAVOR 20
 VEHICLE
 TRACKING
 EXHIBIT

VT-111

PLOT DATE: 3/22/2023 5:02 PM

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LANDSCAPE NOTES & PLANTING SPECIFICATIONS

SCOPE OF WORK

- THE WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTORS ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT OR RIGHT-OF-WAY LIMITS.

PRESERVATION/PROTECTION (IF APPLICABLE)

- CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 30 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION.

OTHER MATERIALS

- BED EDGING - EDGING SHALL BE 4" STEEL EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION. ALL MASS PLANTING BEDS SHALL BE EDGED PLACING BETWEEN MULCH AREA AND ANY ADJACENT TURF AREA.
- MULCH - ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND CONSISTING OF THE FOLLOWING:
 - RIVER ROCK MULCH AREA - AGGREGATE MULCH, 3/4" X 2" SIZE, WASHED AND ROUNDED. SHALL BE INSTALLED WITHIN THE RIVER ROCK MULCH AREA PER THE PLAN. RIVER ROCK MULCH SHALL BE INSTALLED AT 1" INCHES DEPTH.
 - NON-DYED, DOUBLE SHREDDED HARDWOOD SHALL BE INSTALLED IN ALL OTHER LANDSCAPE BEDS OUTSIDE OF THE RIVER ROCK MULCH AREA AT A DEPTH OF 3" INCHES.

GENERAL WORK PROCEDURES

- LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE TENNESSEE STANDARDIZED LANDSCAPE SPECIFICATIONS (AS) AND ANY LOCAL LANDSCAPE ORDINANCES.
- CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
- ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
- ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. IN WRITING, PRIOR TO INSTALLATION.

PLANT MATERIALS

- GENERAL: ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
- PLANTS - ALL PLANTS SHALL BE OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 AMERICAN STANDARDS FOR NURSERY STOCK.
- VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
- PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
- BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANTS SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM.
- PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPULINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY. IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOST UNIL PLANTING.
- DO NOT HANDLE, MOVE, BIND, OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

TOPSOIL

- TOPSOIL HAS BEEN OR WILL BE STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.
- PLANTING BACKFILL FOR PARRING LOT ISLANDS SHALL CONSIST OF A HOMOGENEOUS MIXTURE OF 3 PARTS TOPSOIL TO ONE PART SPAGNUM PEAT INSTALLED OVER A 6" THICKNESS OF NO. 37 AGGREGATE.

SOIL CONDITIONING

- DEFINITE LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL, COMPLETE WITH RECOMMENDATIONS FOR SOIL AMENDMENT.
- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
- MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL, AND MIX THOROUGHLY BEFORE PLANTING. MIX LINE WITH DRY SOIL PRIOR TO MIXING OF FERTILIZER.
- PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
- APPLY PHOSPHORIC ACID FERTILIZER OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.

PLANTING SOIL

- PLANTING SOIL MIX SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.

WEEDING

- BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTORS EXPENSE.

PLANTING

- POSITION TREES AND SHRUBS AT THE PLANTING LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- PLANTING PITS SHALL BE AS PER DETAILS.
- PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT, FILL WITH PLANTING SOIL AROUND BALL OF PLANT, COMPLETE BACKFILLING AND WATER THOROUGHLY.
- EACH TREE AND SHRUB SHALL RECEIVE THE LANDSCAPERS BONITATION (2-4-3) GRANULAR WITH MYCORRHIZAL TECHNOLOGY FERTILIZER OR APPROVED OTHER, APPLY FERTILIZER PER MANUFACTURERS SPECIFICATIONS.
- WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL, AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- INSTALL BED EDGING AND MULCH PER MATERIALS SPECIFICATION AND DETAILS.
- REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
- REMOVE ANY BROKEN, SUCKERING, DISEASED, CROSSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.

FINISH GRADING

- ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.

GROUND COVER

- SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
- MULCH GROUND COVER WITH 2" THICKNESS OF SPAGNUM PEAT.
- IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURERS RECOMMENDATION.

GUARANTEE

- CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

CLEANUP

- UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN ACCEPTABLE CONDITION SHALL BE AS DEMAND AND APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE.

IRRIGATION

- CONTRACTOR SHALL PROVIDE & INSTALL AN IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF THE SITE.
- IRRIGATED AREAS WITHIN 5 FEET OF BUILDING WALLS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR. CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER INSTALLATION OR POOR SELECTION OF FITURES.
- SYSTEM SHALL INCLUDE ALL SPRINKLER FITURES, DRIP TUBING, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL CONPLY WITH CITY CODE.
- IRRIGATION CONTRACTOR SHALL PROVIDE A METHOD FOR WINTERIZATION. WINTERIZATION SHALL BE PERFORMED BY CONTRACTOR UPON COMPLETION IF SYSTEM IS INSTALLED BETWEEN NOVEMBER 1 AND MARCH 31.
- PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.
- UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

MAINTENANCE

- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
- MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH, RESTORE PLANTING SALES TAGS, REST TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EXPOSED OR BARE AREAS.
- MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
- REPLACE ANY REQUIRED PLANTINGS, WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

SODDING

- SOD SHALL BE FIRST GRADE CERTIFIED BLENDS OF THE FOLLOWING SPECIES PER HARDNESS ZONE CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.
 - ZONES 3 & 4: 5 APPROVED BLUE GRASS BLEND
 - ZONE 6: APPROVED FESCUE BLEND
 - ZONES 7 & 8: APPROVED BERMAUDA BLEND
 - ZONES 9 & 10: APPROVED ST. AUGUSTINE FLORATAM BLEND
- SOD SHALL BE RECENTLY MOVED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES.
- SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS THAN 1 INCH.
- SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED WITHIN 48 HOURS AFTER BEING CUT.
- BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS PLACED THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE.
- NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL. WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15TH, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT).
- AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOIL INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS.
- THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING.
- THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING.
- THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

GENERAL NOTE

- ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO MAINTAIN POSITIVE DRAINAGE, HAVE A 4" LAYER OF TOPSOIL, APPLIED AND BE SEEDDED ACCORDING TO SPECIFICATIONS ON THE SHEET.

SEEDING

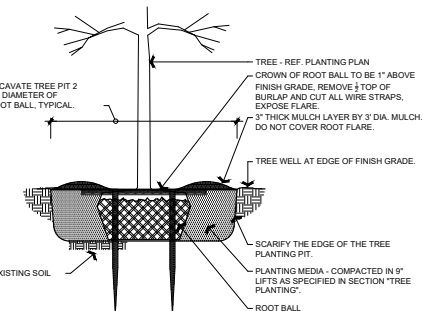
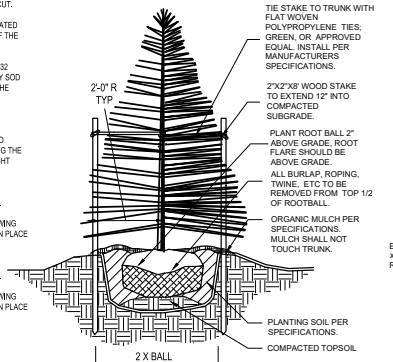
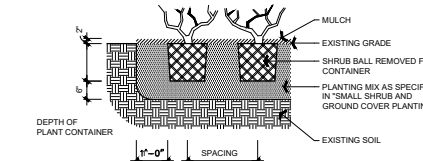
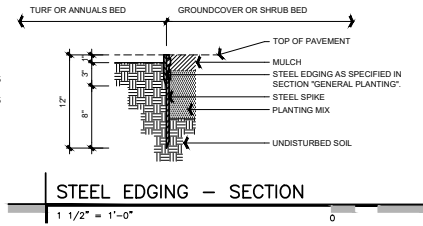
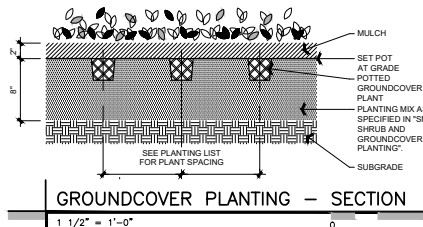
- GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED CONPLY WITH THE ASSOCIATION OF OFFICIAL SEED ANALYSTS' RULES FOR TESTING SEEDS FOR PURITY AND GERMINATION TOLERANCES.
- ALL AREAS TO BE SEEDDED SHALL RECEIVE NO LESS THAN FIVE POUNDS OF SEED PER ONE THOUSAND SQUARE FEET. APPLY SEED AND PROTECT WITH STRAW MULCH AS REQUIRED FOR NEW LAWNS. GRASS SEED MIX SHALL CONSIST OF THE FOLLOWING:

PROPORTION	NAME	MIN. GERM. %	PURE SEED MILLS	WEED SEED MAX.%
30%	KENTUCKY BLUEGRASS (POA-PRATENSIS)	80	85	0.50
30%	CREeping RED FESCUE (FESTUCA RUBRA)	85	90	0.50
20%	PERENNIAL RYE GRASS (LOLIUM PERENNE)	90	95	0.50
20%	ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)	85	92	1.00

PLANTING SCHEDULE

- ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES, WHEN PLANTING OUTSIDE THESE DATES, WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED, NO PLANTING SHALL BE DONE IN FROZEN SOIL.

NORMAL PLANTING SEASONS	SPRING	FALL
ALL TREES AND SHRUBS	MARCH 15-MAY 15	OCTOBER 1-DECEMBER 1
EVERGREENS	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15
GROUNDCOVERS	APRIL 1-JUNE 1	WHEN SOD IS WORKABLE
SEED AND MULCH	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15



GENERAL NOTES:

- IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER PLACED IN PIT. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.
- ALL EVERGREEN TREES SHALL HAVE HEAVY, SEMI-SHEARED WELL SHAPED CROWNS.



DATE	REMARKS

CONTRACT DATE: 04.13.22
 BUILDING TYPE: END. BOST
 PLAN VERSION: MARCH 2021
 BRAND DESIGNER: DICKSON
 SITE NUMBER: 0
 STORE NUMBER: 0
 P&P/M: SM
 DRAWN BY: NA
 JOB NO.: 2022068-36

TACO BELL
 5813 KINGSTON PIKE
 KNOXVILLE, TN 37919



ENDEAVOR 20

LANDSCAPE NOTES & DETAILS

L-001

PLOT DATE: 3/23/2023 3:29 PM

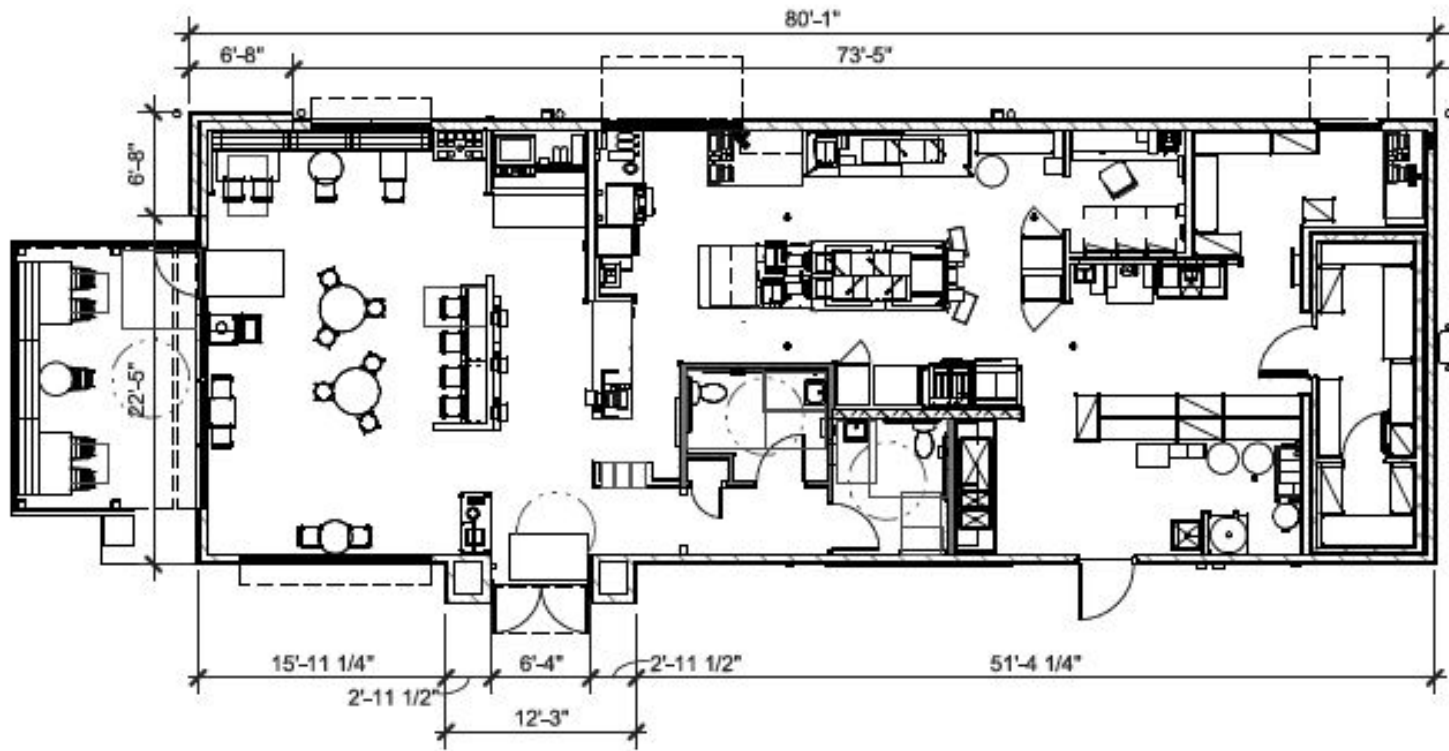
4-D-23-SU
 Revised: 3/24/2023



Store #041276
5613 Kingston Pike
Knoxville, TN
02/17/2023

FLOOR PLAN

4-D-23-SU
2/23/2023



Scale: 1/8"=1'

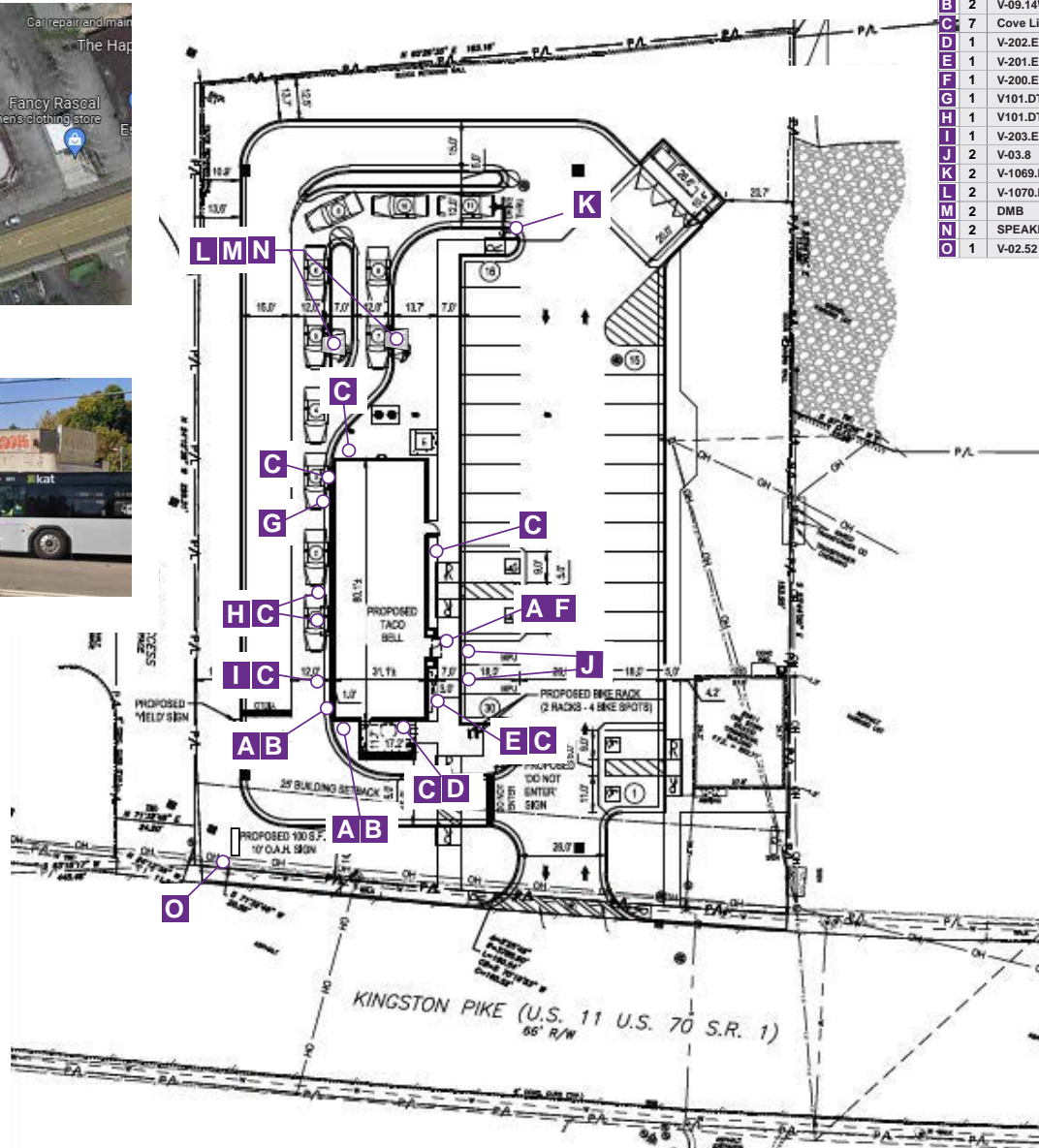
SITE PLAN



AERIAL VIEW



EXISTING BUILDING



Qty.	SIGN CODE	DESCRIPTION
A	3	V-04.42
B	2	V-09.14WSTK
C	7	Cove Lighting
D	1	V-202.EN-201
E	1	V-201.EN-99
F	1	V-200.EN-74
G	1	V101.DT.EN-60
H	1	V101.DT.EN-108
I	1	V-203.EN-92
J	2	V-03.8
K	2	V-1069.EN OPC
L	2	V-1070.EN OPC
M	2	DMB
N	2	SPEAKER POST
O	1	V-02.52

NOTE: GC to Confirm Awning Sizes.

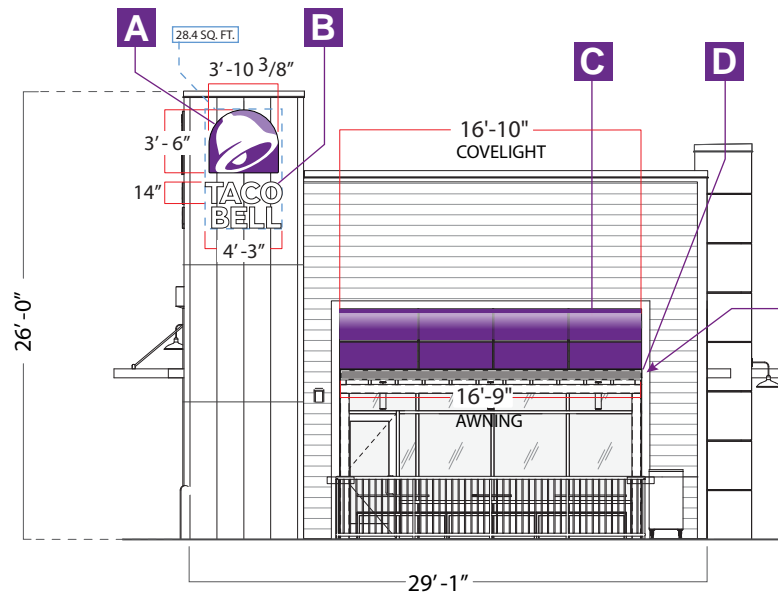


4-D-23-SU
2/23/2023

ELEVATIONS

	Qty.	SIGN CODE	DESCRIPTION
A	1	V-04.42	Large Swinging Bell - Purple, Face Lit - 3'-6" h x 3'-10 3/8" w
B	1	V-09.14WSTK	Medium TB 14" White Channel Letters, Wall Mount - Stacked
C	1	Cove Lighting	Cove Light Wall Downlighting, power supplies as necessary.
D	1	V-202.EN.200	Endeavor Eyebrow Awning - 16'-9" w x 1'-4" d - w/downlight - Black

NOTE: GC to Confirm Awning Sizes.



FRONT ELEVATION

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.

NOTE: FRONT ELEVATION EYEBROW AWNING SHOWN BEHIND PATIO CANOPY. 3" SPACE REQ.'D.



4-D-23-SU
2/23/2023

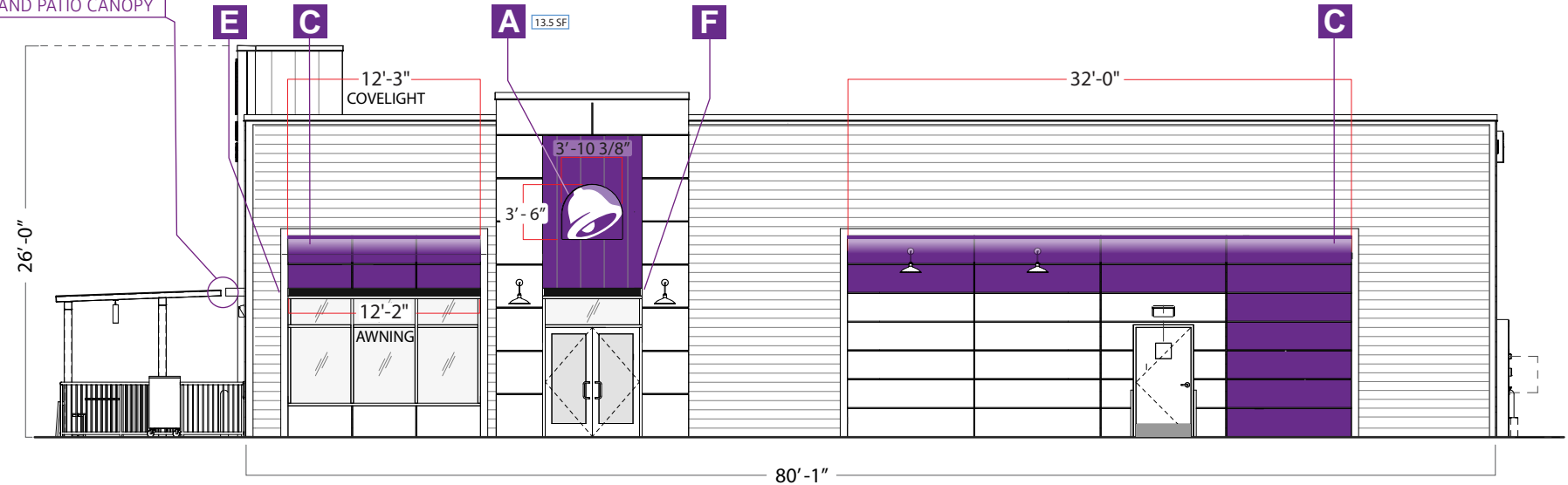
Scale: 3/32"=1'-0"

ELEVATIONS

	Qty.	SIGN CODE	DESCRIPTION
A	1	V-04.42	Large Swinging Bell - Purple, Face Lit - 3'-6" h x 3'-10 3/8" w
C	2	Cove Lighting	Cove Light Wall Downlighting, power supplies as necessary.
E	1	V-201.EN-146	Endeavor Eyebrow Awning - 12'-2" w x 1'-4" d - Black
F	1	V-200.EN-74	TAC-CANOPY-200- 6'2" L x 3'-0" D x 6" H Entrance Canopy w/downlight.

NOTE: GC to Confirm Awning Sizes.

NOTE: 3" SPACE REQ'D BETWEEN 16" DEEP EYEBROW AWNING AND PATIO CANOPY



PORTAL ELEVATION

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.
 NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



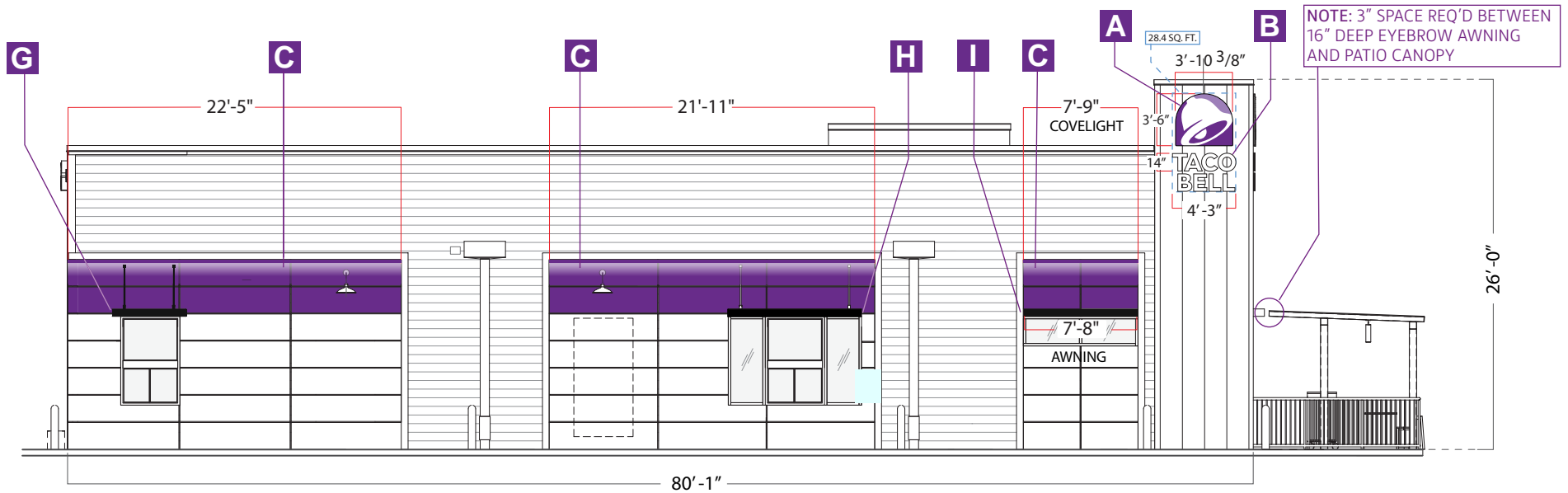
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2/23/2023

Scale: 3/32"=1'-0"

ELEVATIONS

	Qty.	SIGN CODE	DESCRIPTION
A	1	V-04.42	Large Swinging Bell - Purple, Face Lit - 3'-6" h x 3'-10 3/8" w
B	1	V-09.14WSTK	Medium TB 14" White Channel Letters, Wall Mount - Stacked
C	3	Cove Lighting	Cove Light Wall Downlighting, power supplies as necessary.
G	1	V-101.DT.EN-60	Endvr. Prepay DT Canopy - 5'-0" w x 4'-0" d - Turnbuckles/Downlight - Black
H	1	V-101.DT.EN-108	Endeavor DT Canopy - 9'-0" w x 4'-0" d - Turnbuckles/Downlight - Black
I	1	V-203.EN-92	Endeavor Eyebrow Awning - 7'-8" w x 1'-4" d - Black

NOTE: GC to Confirm Awning Sizes.



DRIVE-THRU ELEVATION

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



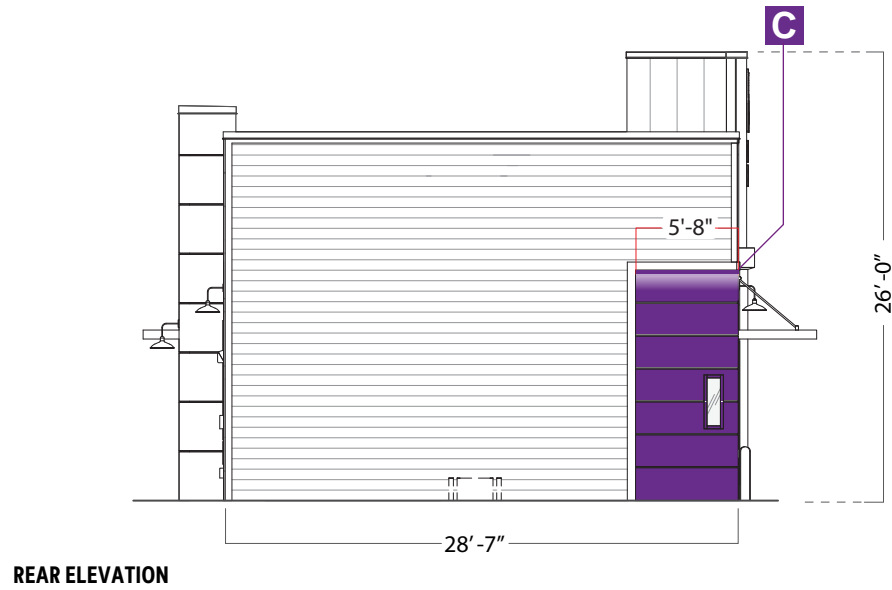
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ELEVATIONS

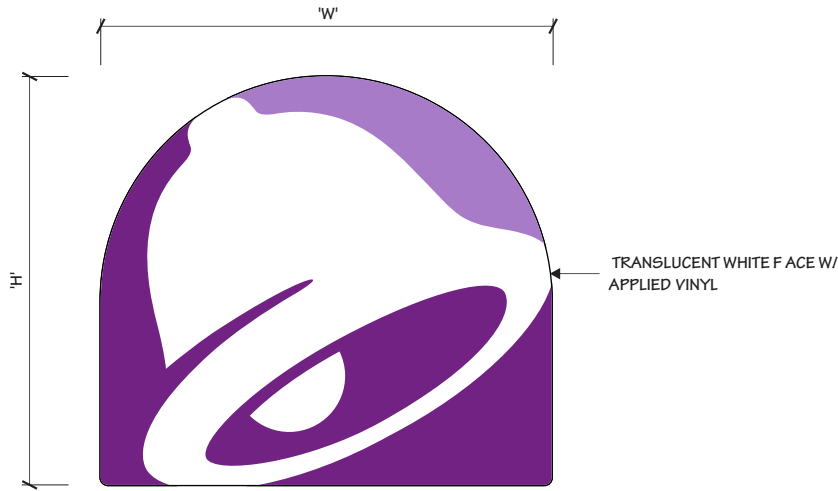
Qty.	SIGN CODE	DESCRIPTION
C 1	Cove Lighting	Cove Light Wall Downlighting, power supplies as necessary.



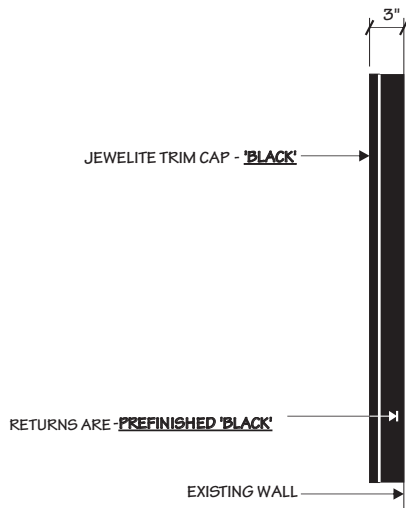
4-D-23-SU
2/23/2023

Scale: 3/32"=1'-0"

A TAC-BELL-42P-FL



FRONT ELEVATION
NTS



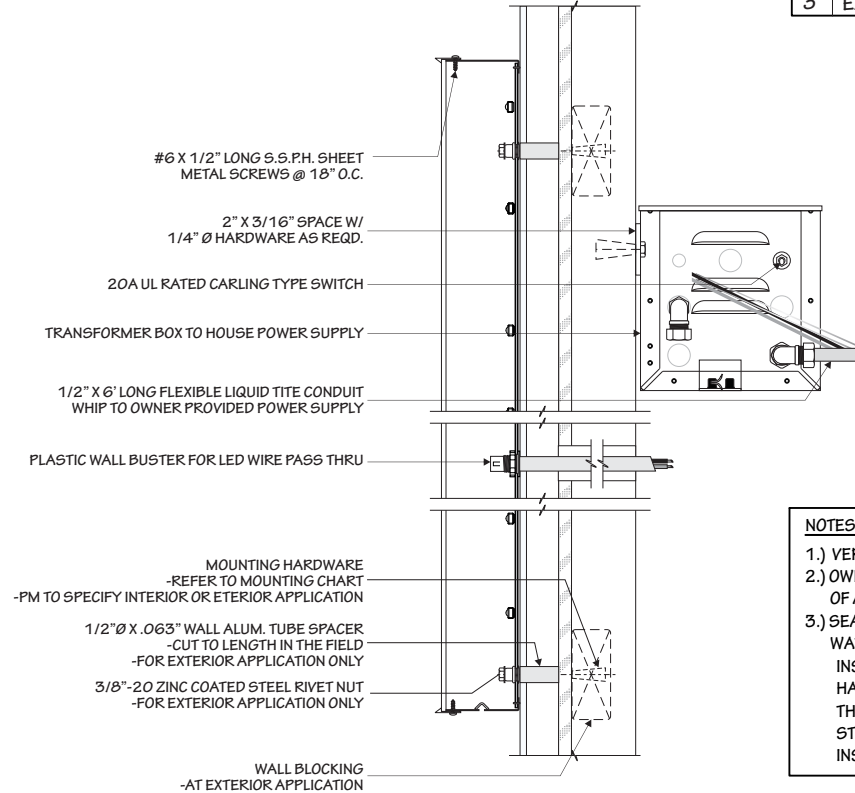
SIDE VIEW
NTS

NOTE:
1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.
2.) BELL SIZE VARIES PER LOCATION
3.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.

SIGN SCHEDULE				
QTY	INT/EXT	SIGN TYPE	'H'	'W'
		BELL-EX	2'-0 1/8"	± 2'-2 5/8"
		BELL-SM	2'-6"	± 2'-9 1/8"
		BELL-MD	3'-0"	± 3'-3 3/8"
3	EXT.	BELL-LG	3'-6"	± 3'-10 3/8"

MOUNTING HARDWARE	
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS
NOTES:	
1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.	
2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.	

SIGN SCHEDULE				
QTY	INT/EXT	SIGN TYPE	'H'	'W'
1	EXT.	BELL-EX	2'-0 1/8"	± 2'-2 5/8"
		BELL-SM	2'-6"	± 2'-9 1/8"
		BELL-MD	3'-0"	± 3'-3 3/8"
3	EXT.	BELL-LG	3'-6"	± 3'-10 3/8"



SECTION
NTS

NOTES:
1.) VERIFY MOUNTING CONDITION.
2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:
INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



4-D-23-SU
2/23/2023

B TAC-CL14W-ST

MOUNTING APPLICATION	
INTERIOR	EXTERIOR
	X

SIGN SCHEDULE				
QTY	SIGN TYPE	H'	W'	A'
	TB-10-W	10"	± 6'-1 1/16"	N/A
	TB-12-W	12"	± 7'-3 11/16"	N/A
	TB-14-W	14"	± 8'-6 5/16"	N/A
	TB-16-W	16"	± 9'-9"	N/A
	TB-10-W-ST	10"	± 3'-0 3/8"	± 1'-9 11/16"
	TB-12-W-ST	12"	± 3'-7 5/8"	± 2'-2"
2	TB-14-W-ST	14"	± 4'-2 7/8"	± 2'-6 5/16"
	TB-16-W-ST	16"	± 4'-10 1/8"	± 2'-10 11/16"

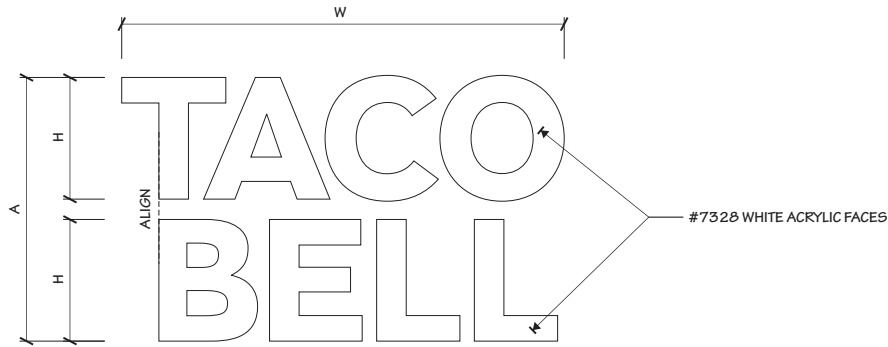
MOUNTING HARDWARE	
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS

NOTES:

- 1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.
- 2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.

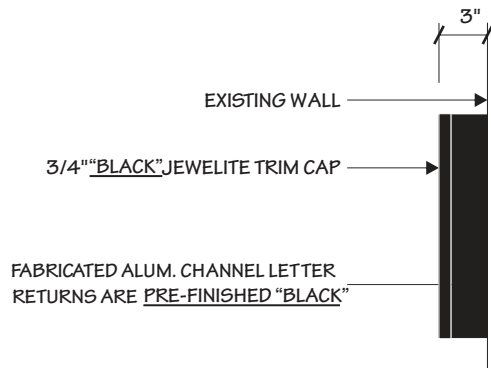
NOTES:

- 1.) VERIFY MOUNTING CONDITION.
- 2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
- 3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:
INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



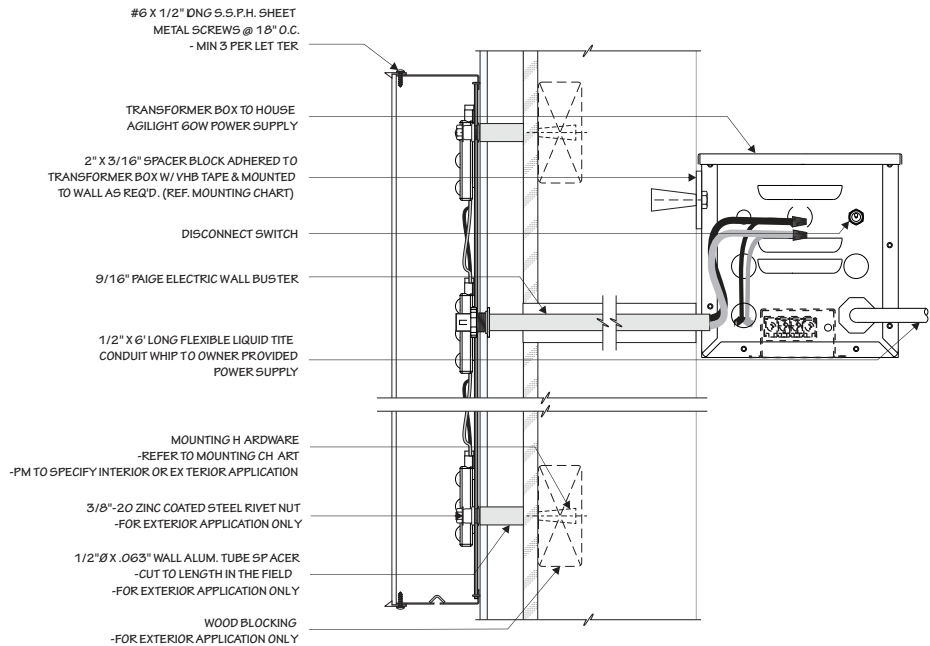
STACKED FRONT ELEVATION

NTS



CHANNEL LETTER SIDE VIEW TYP.

NTS



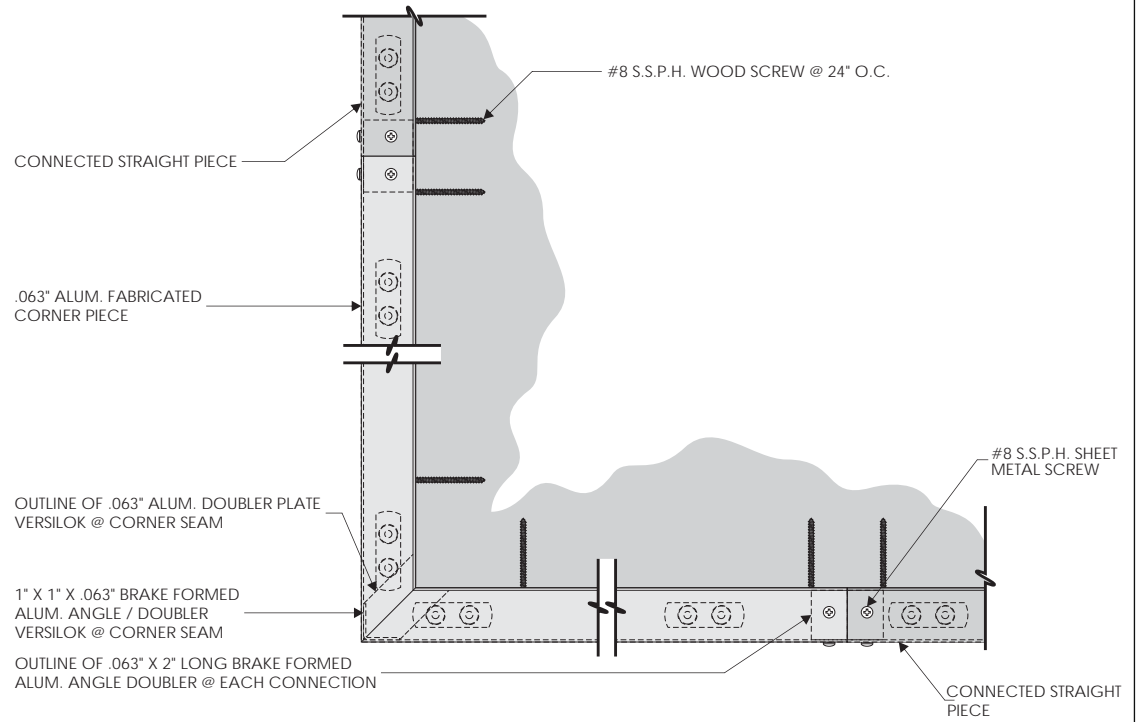
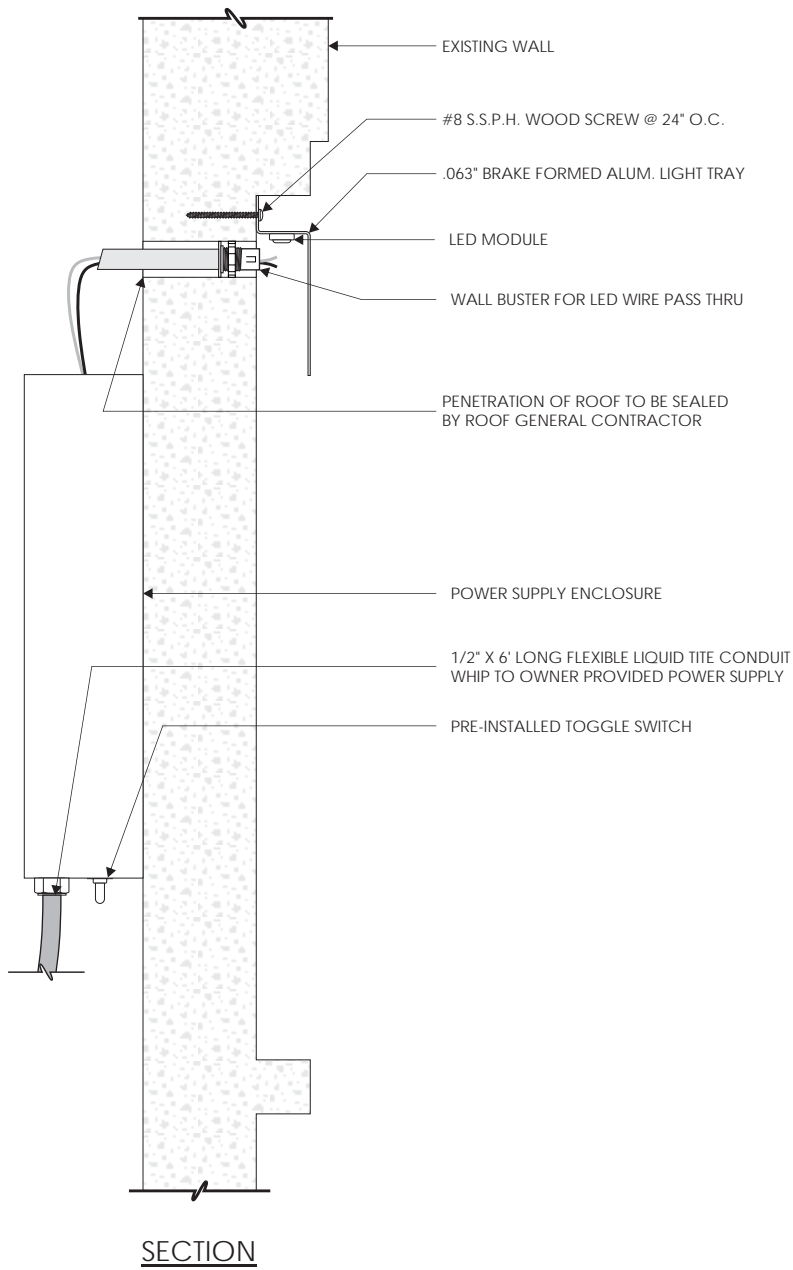
SIDE SECTION

NTS

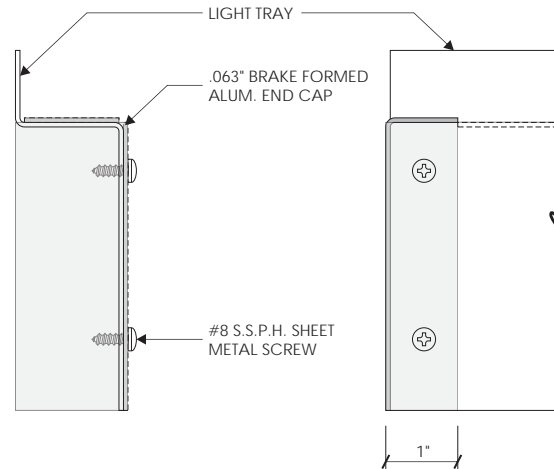


4-D-23-SU
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C PURPLE LED WALL DOWNLIGHTING



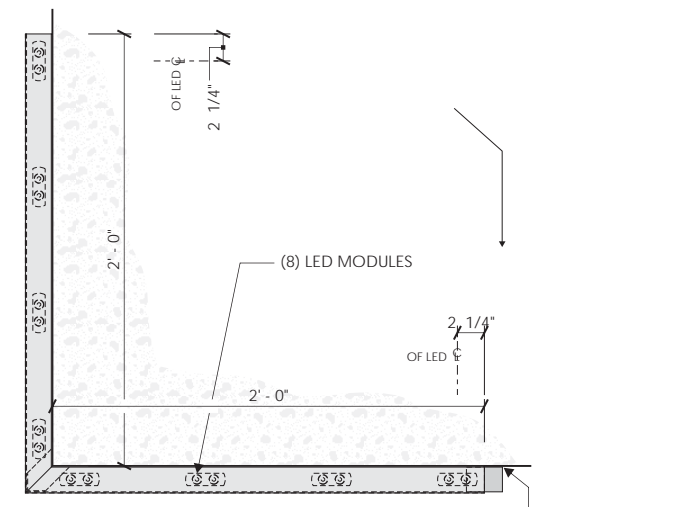
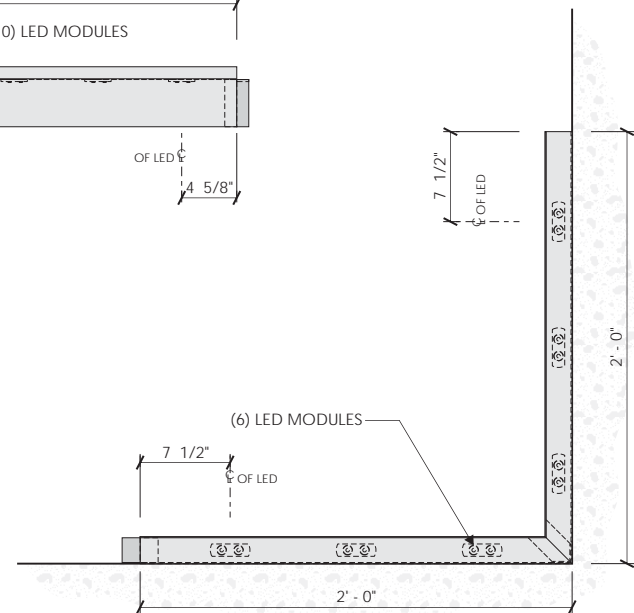
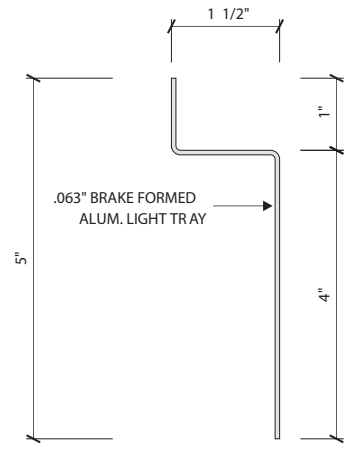
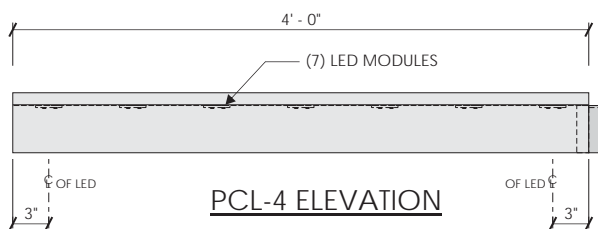
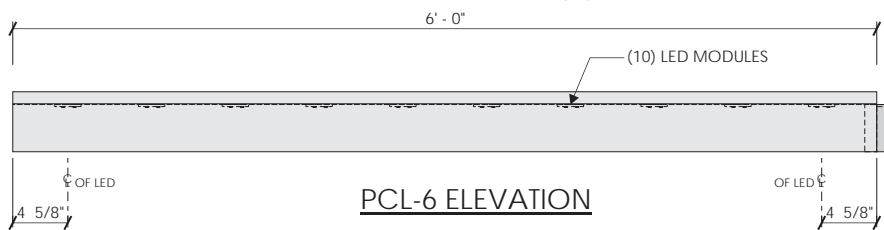
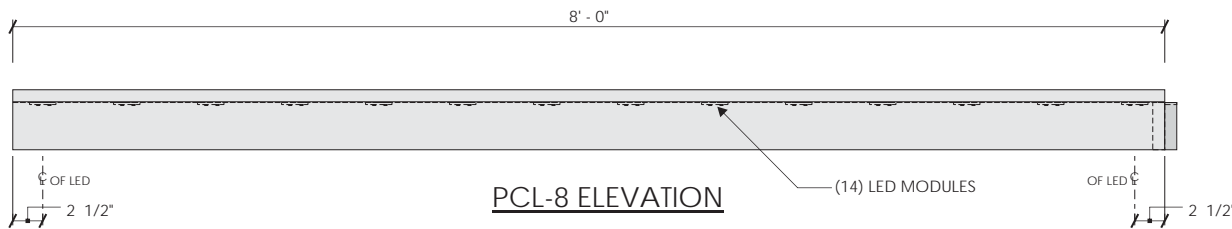
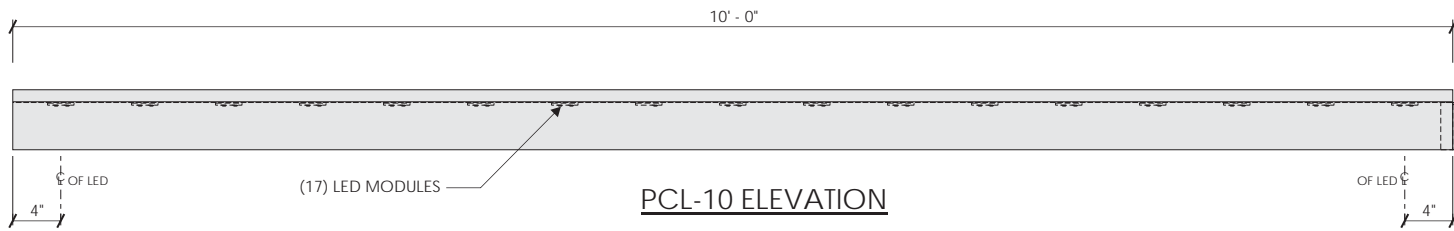
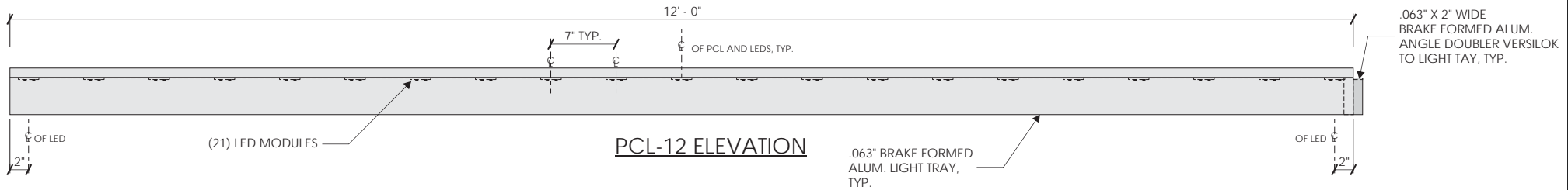
CORNER PIECE STRUCTURAL PLAN VIEW / CONNECTION DETAIL



END CAP
no scale

C PURPLE LED WALL DOWNLIGHTING

4-D-23-SU
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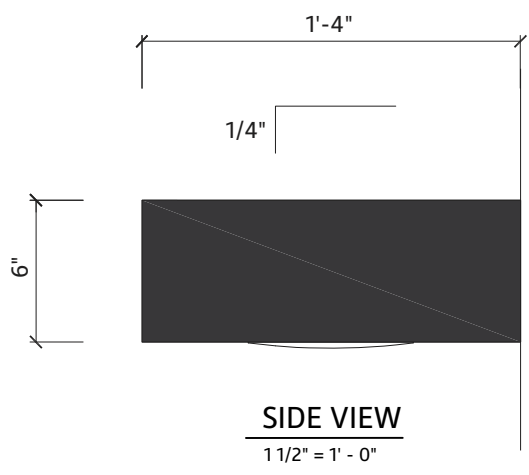
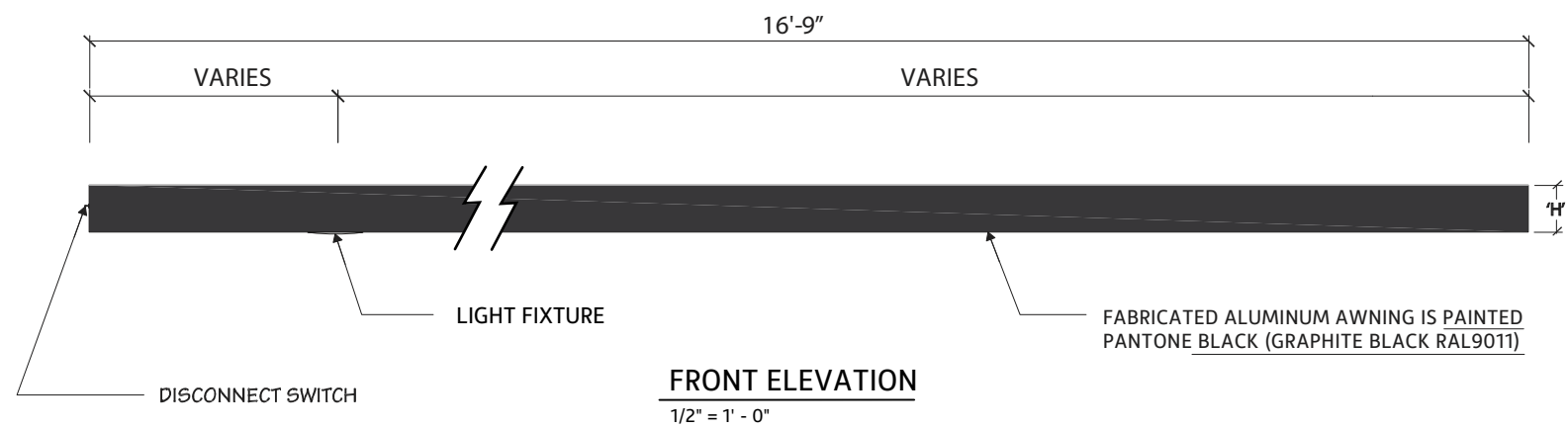
.063" X 2" WIDE BRAKE FORMED ALUM. ANGLE DOUBLER VERSILOK TO CORNER PIECE, TYP.



D TAC-C16-EN-201-DL-L

NOTE: Actual Width May Vary
Field verify dimension.

- NOTES:**
- 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
 - 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

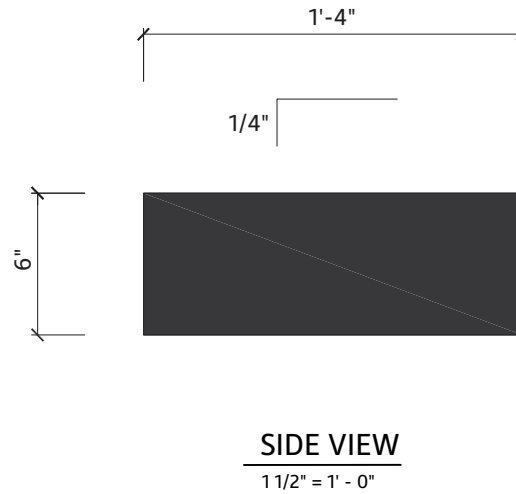
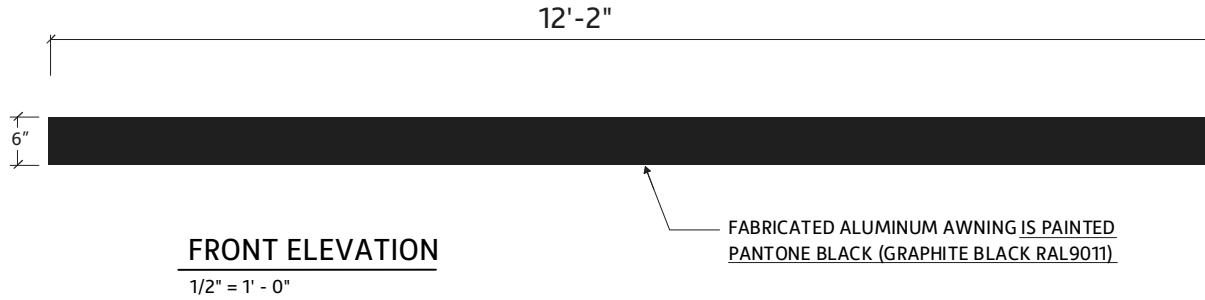


4-D-23-SU
2/23/2023

E TAC-A16-EN-99-NIL

NOTE: Actual Width May Vary
Field verify dimension.

NOTES:
1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

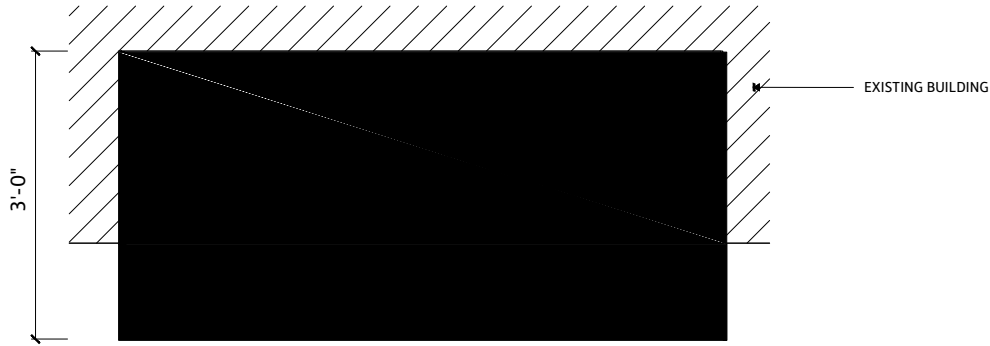


4-D-23-SU
2/23/2023

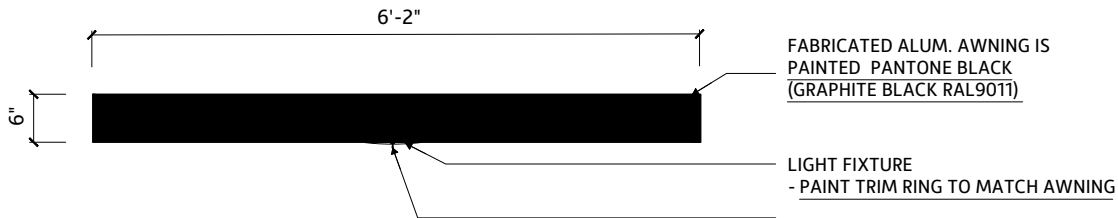
F TAC-C36-EN-74-DL

**NOTE: Actual Width May Vary
Field verify dimension.**

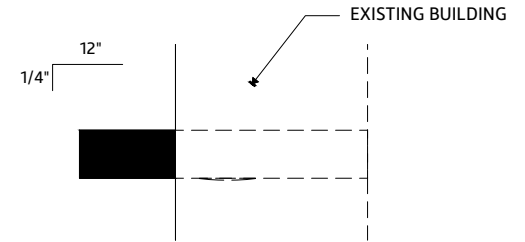
NOTES:
 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.



3 PLAN VIEW
 1 1/2" = 1' - 0"



1 FRONT ELEVATION
 1 1/2" = 1' - 0"



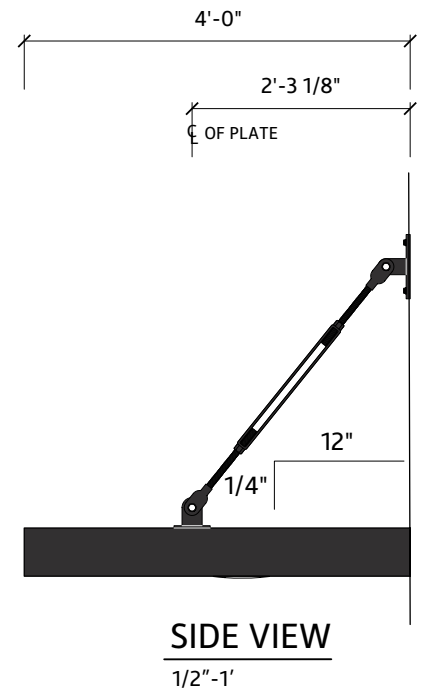
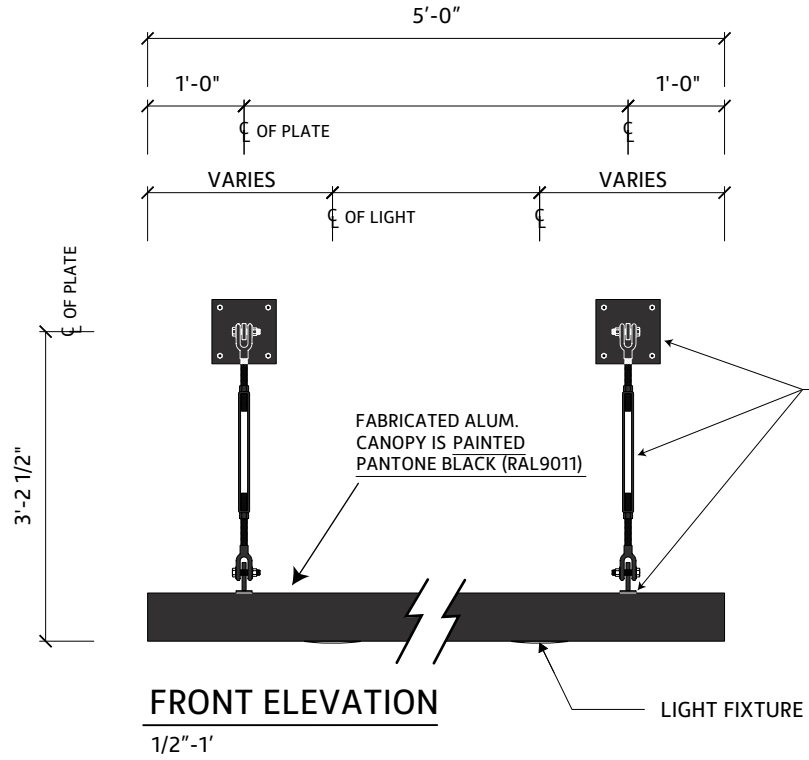
2 SIDE VIEW
 1 1/2" = 1' - 0"



4-D-23-SU
 2/23/2023

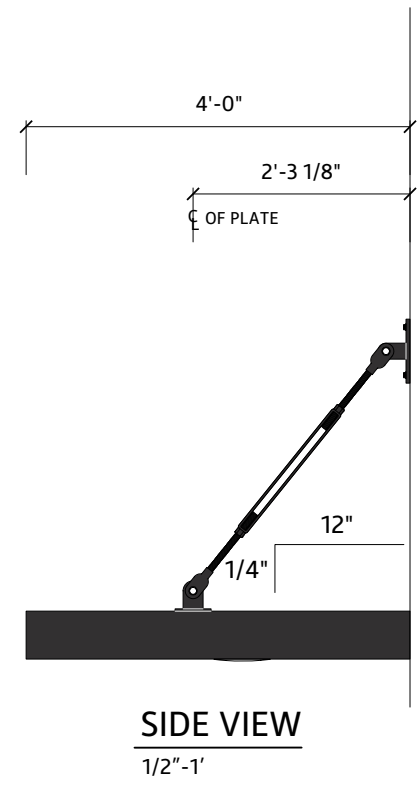
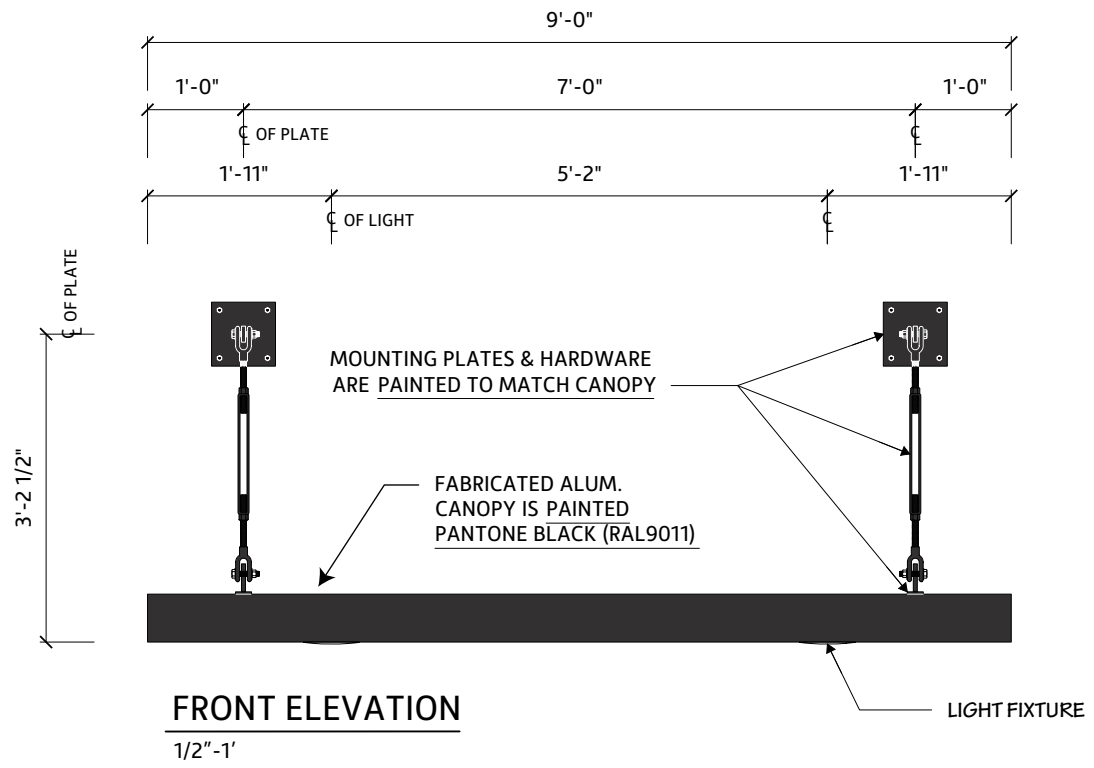
G TAC-C48-EN-60-DL-TBK

NOTES:
 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.



H TAC-C48-EN-108-DL-TBK

NOTES:
 1.) DRAWING IS FOR INSTALLATION PURPOSES ONLY.
 2.) SHOP TO PROVIDE TOUCH UP PAINT FOR INSTALLER.
 3.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.



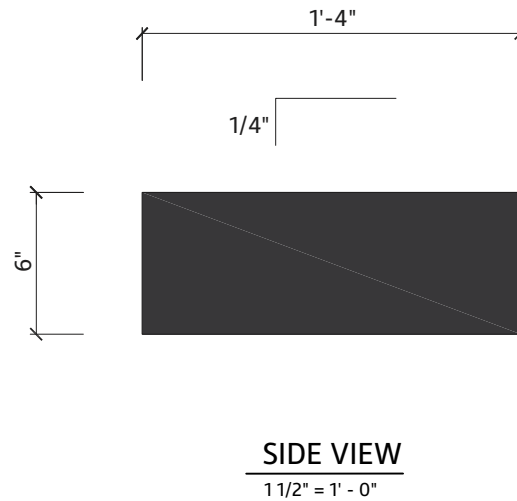
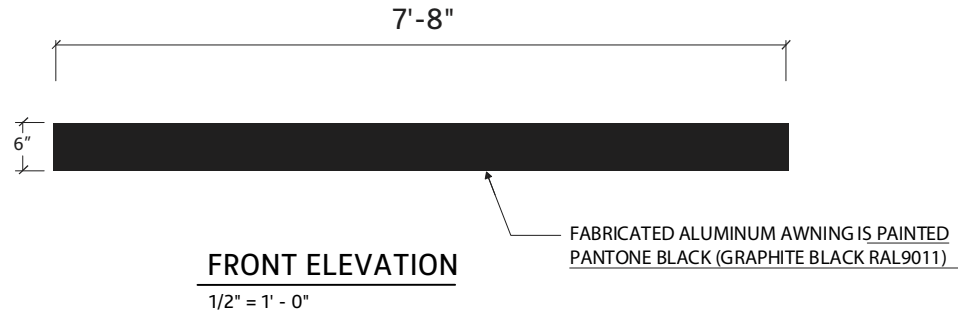
4-D-23-SU
 2/23/2023

1 TAC-A16-EN-92-NIL

NOTE: Actual Width May Vary
Field verify dimension.

NOTES:

- 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
- 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

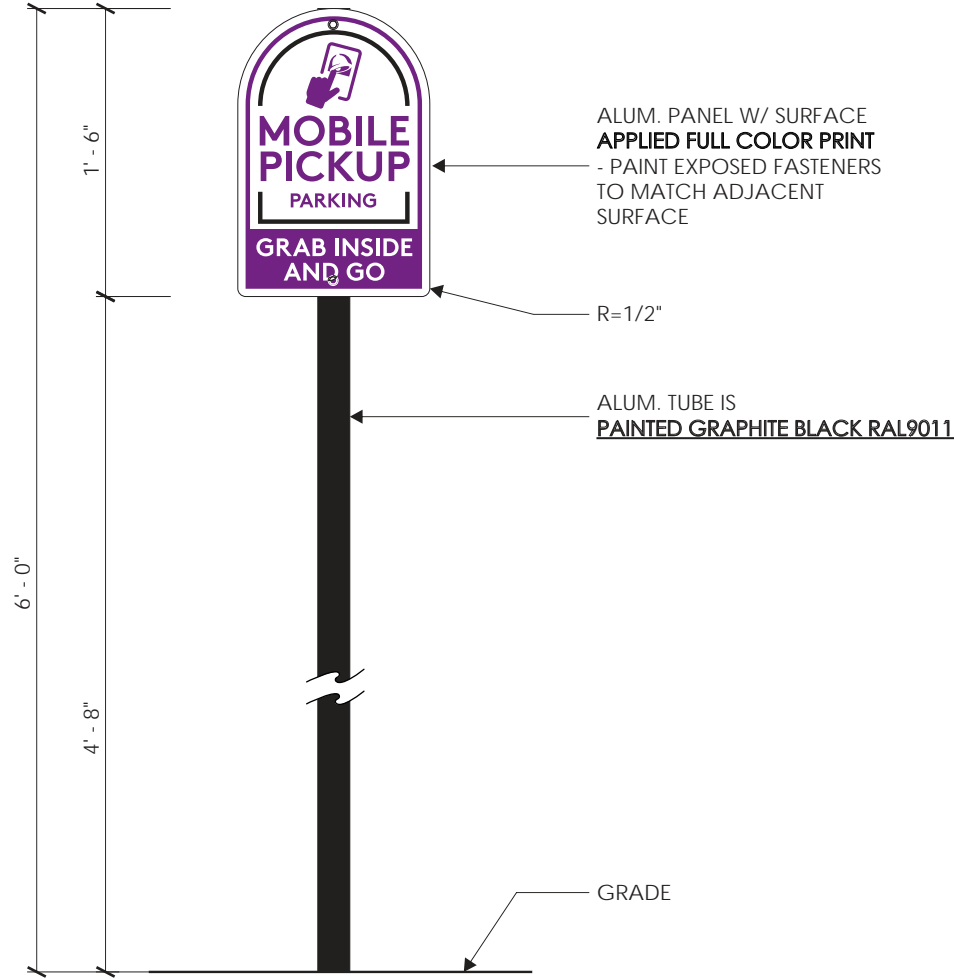
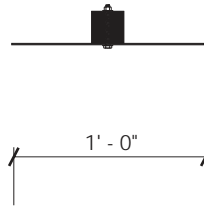


4-D-23-SU
2/23/2023

J TAC-DMP-OP

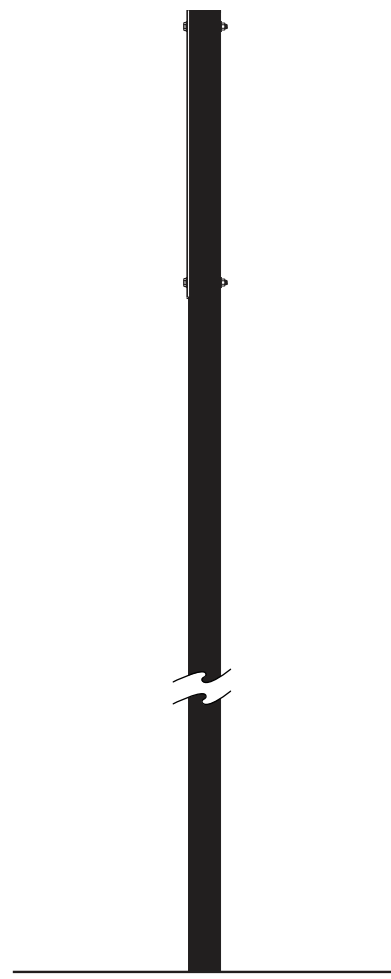
Qty. - 2

PLAN VIEW



FRONT ELEVATION

1" = 1' - 0"



SIDE VIEW

1" = 1' - 0"

4-D-23-SU
2/23/2023



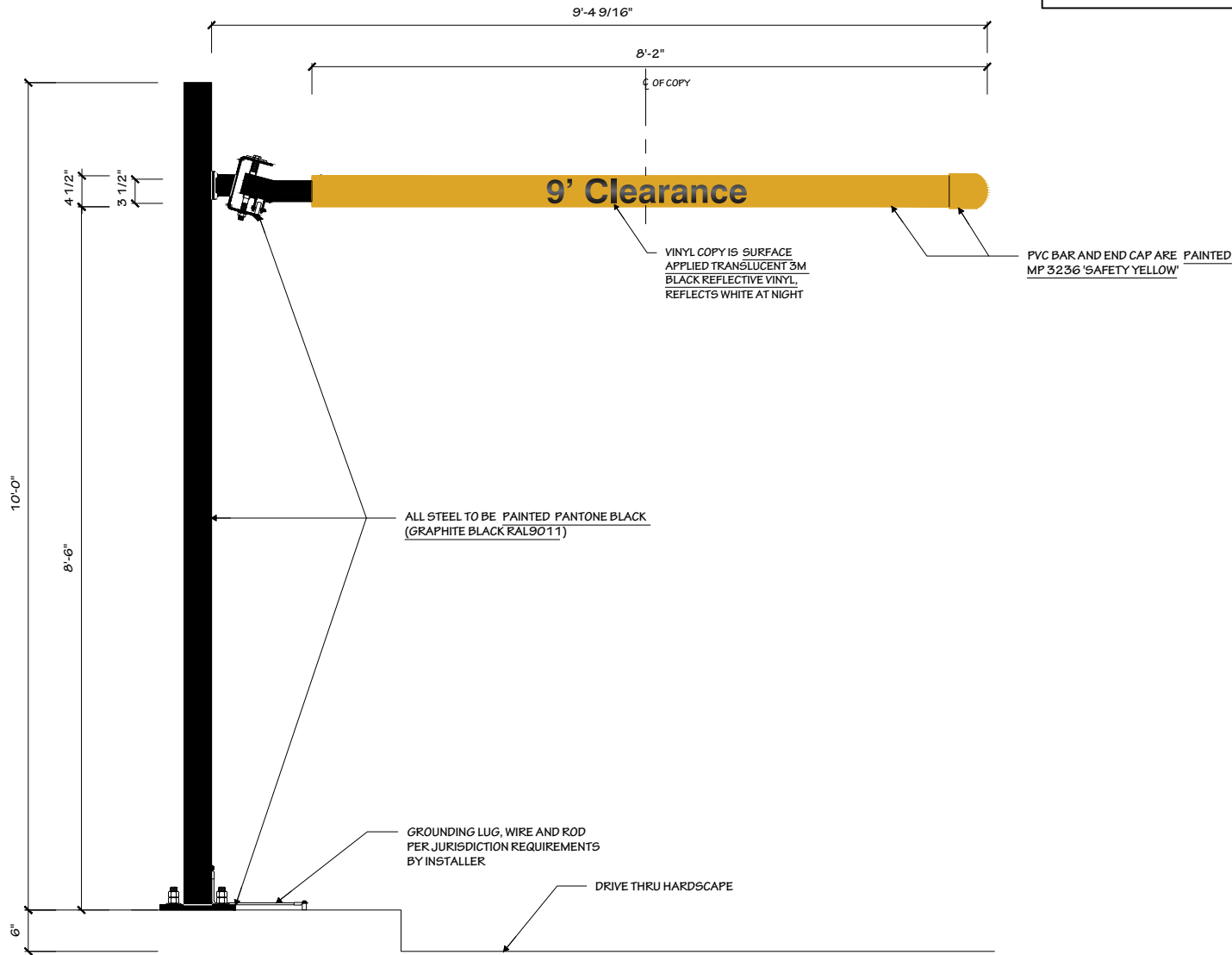
K TAC-CLB1

Qty. - 1

NOTES:

- 1.) PM TO SPECIFY COPY ORIENTATION PRIOR TO FABRICATION.
- 2.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

COPY ORIENTATION	
X	POLE ON LEFT
	POLE ON RIGHT



FRONT ELEVATION (COPY W/ POLE ON LEFT)

1/2" = 1' - 0"

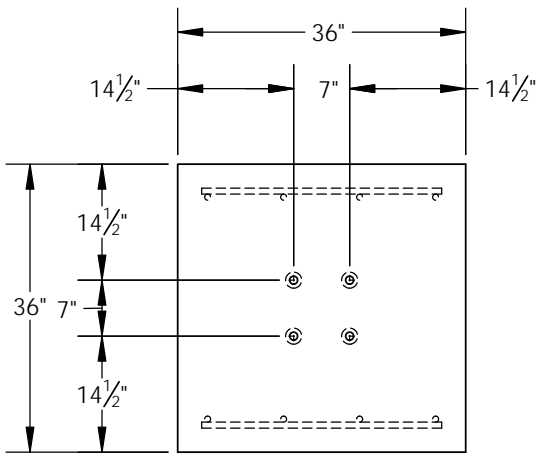


NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC

4-D-23-SU
2/23/2023

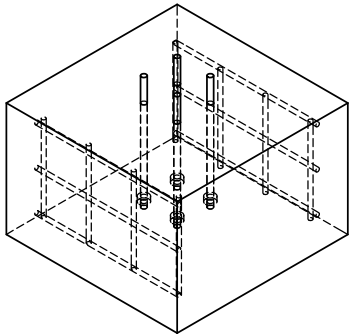
K TAC-CLEARANCE-EN - Foundation Types

NOTES:
1.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

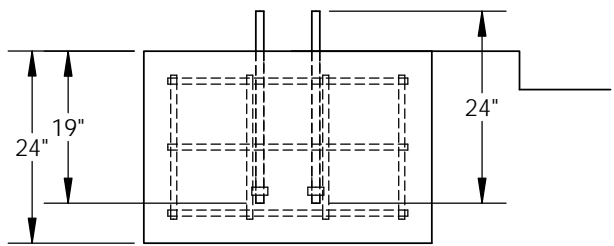


PLAN VIEW

NTS



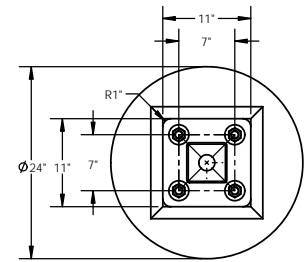
Isometric View



VERTICAL SLAB FOUNDATION

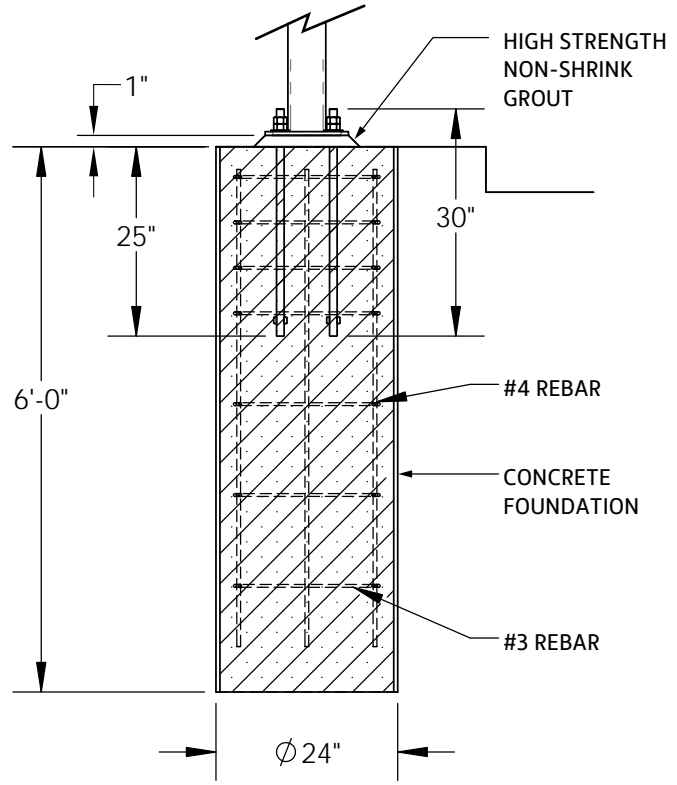
NTS

2,500 PSI CONCRETE FOUNDATION
REINFORCED WITH #6AT 12" O.C .
MAXIMUM, EACH WAY, EACH FACE.



PLAN VIEW

NTS



CAISSON FOUNDATION

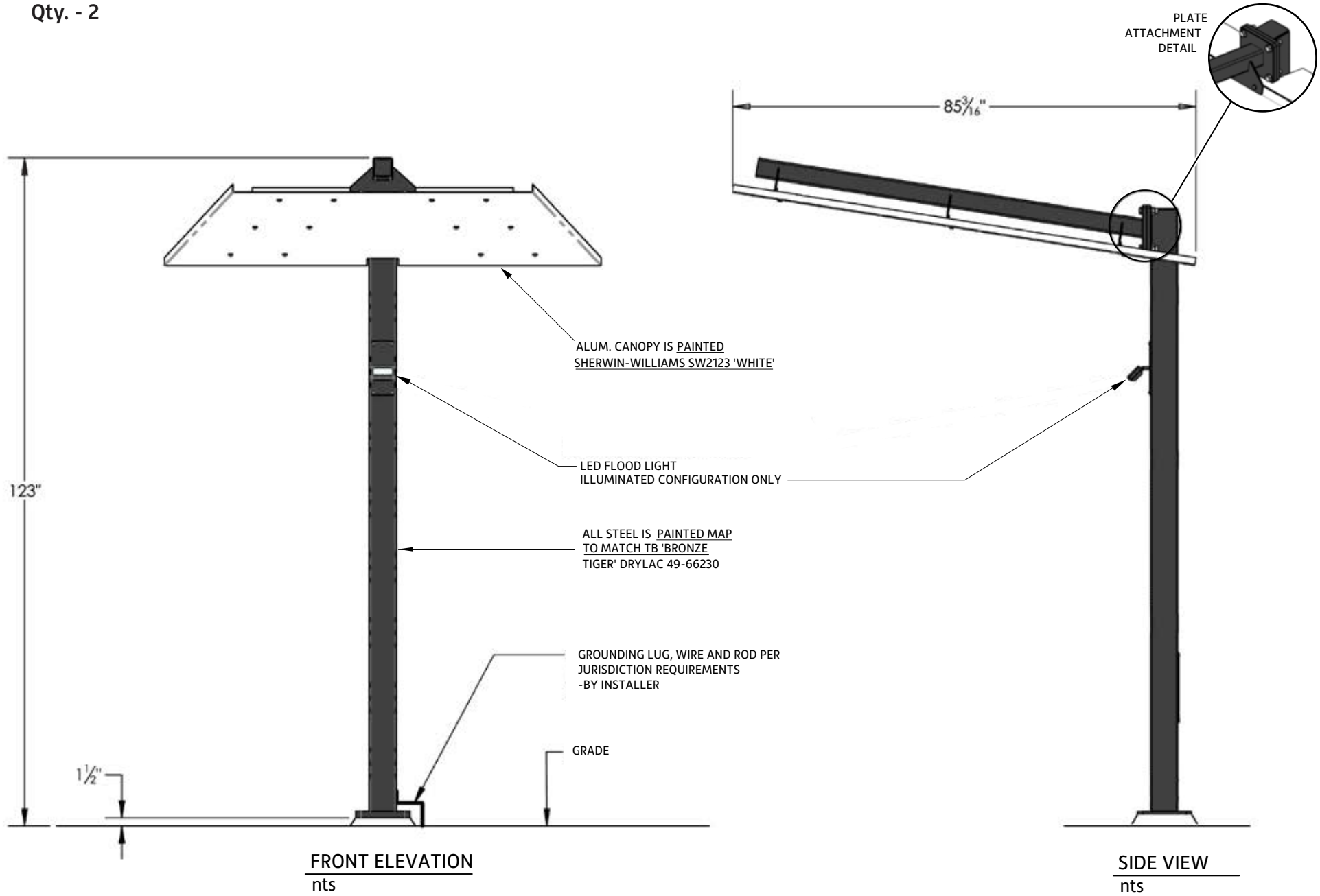
NTS

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2/23/2023



TAC-100-EN-OPC

Qty. - 2

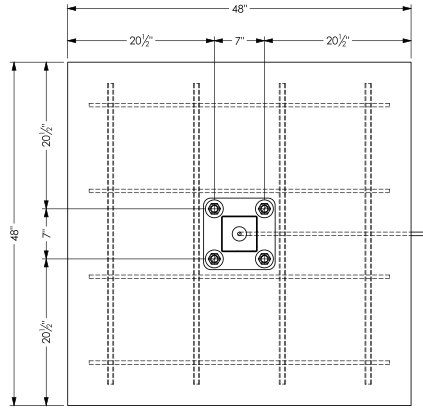


NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC

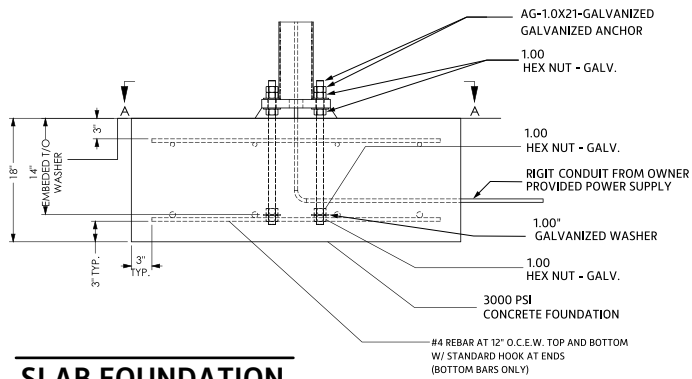
4-D-23-SU
2/23/2023

TAC-OPC-EN Foundation Types/Electrical Details

TAC100-EN-OPC-IL-FDN-S



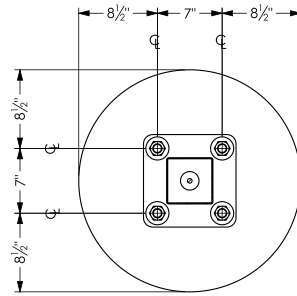
SECTION A-A



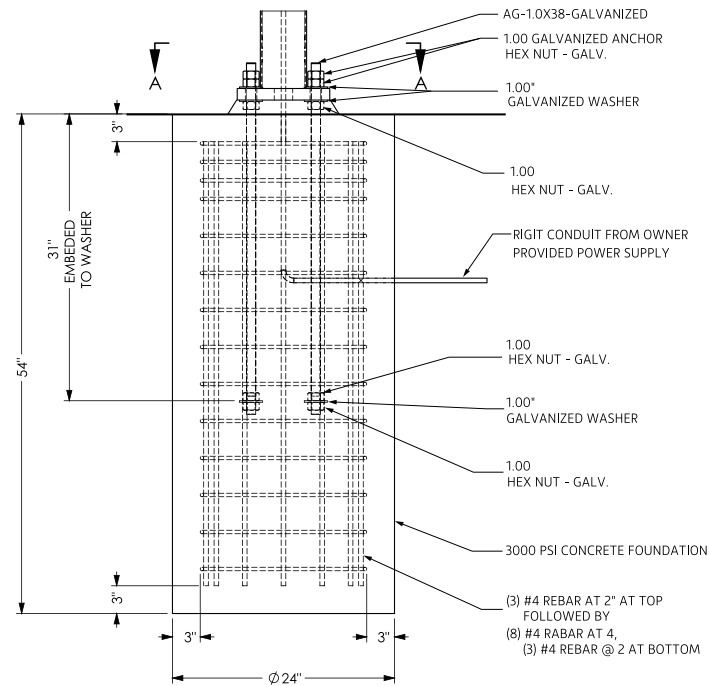
SLAB FOUNDATION

no scale

TAC100-EN-OPC-IL-FDN-C

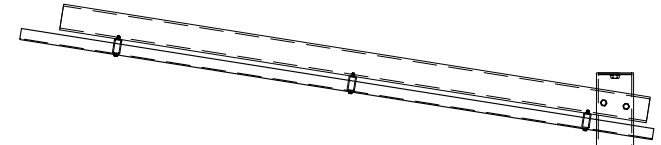


SECTION A-A



CAISSON FOUNDATION

no scale



MAX LITE LED FLOOD LIGHT
MSF15UW-40BKT (PREFERRED)

CONDUIT TO
LED LIGHT FIXTURE

WATERPROOF
JBOX

LIQUID TITE CONDUIT
TO OWNER PROVIDED
POWER SUPPLY

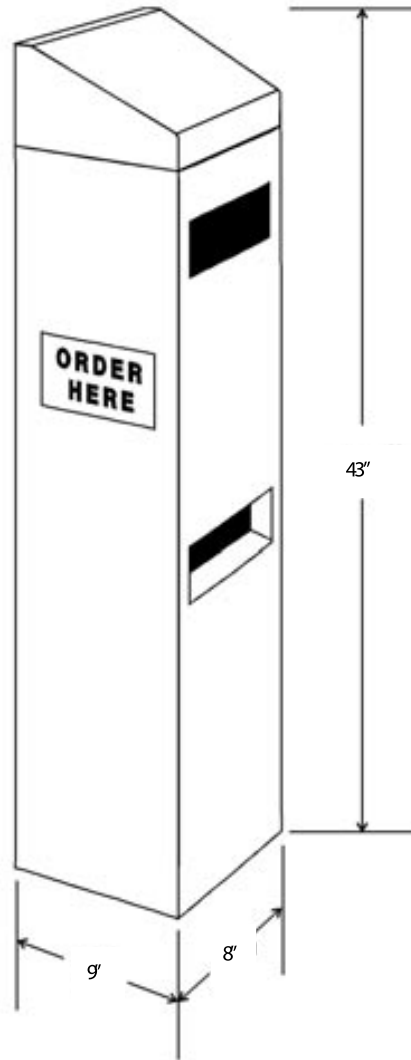
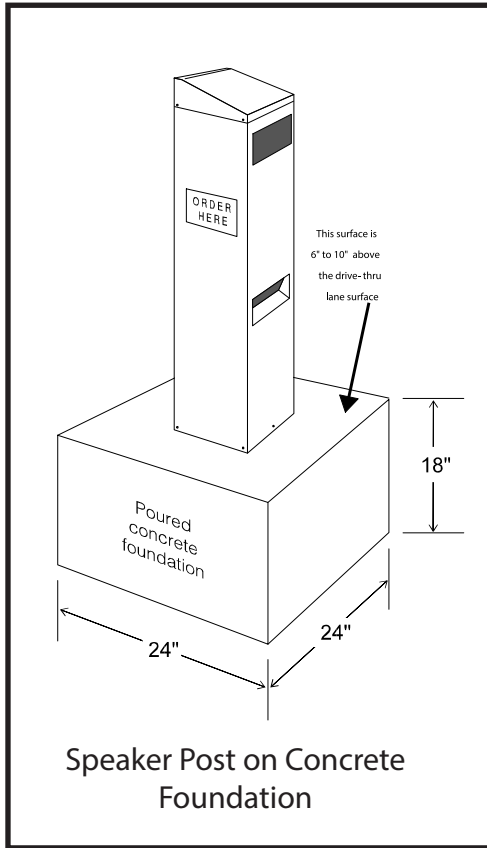
ELECTRICAL SIDE VIEW
NTS



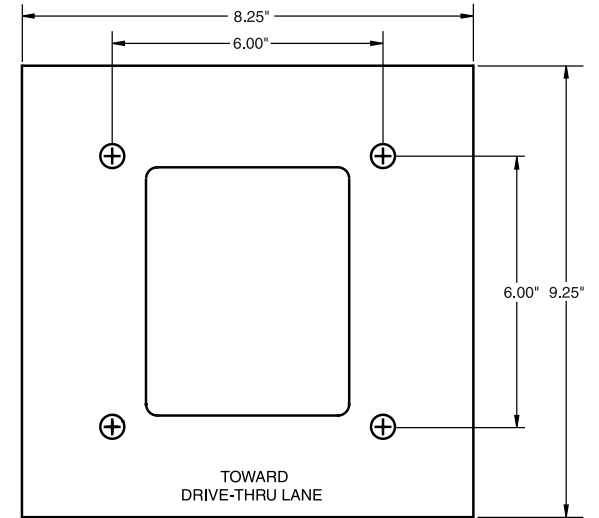
4-D-23-SU
2/23/2023

M HME SPP2 Speaker Post

Qty. - 2



Speaker Post Dimensions

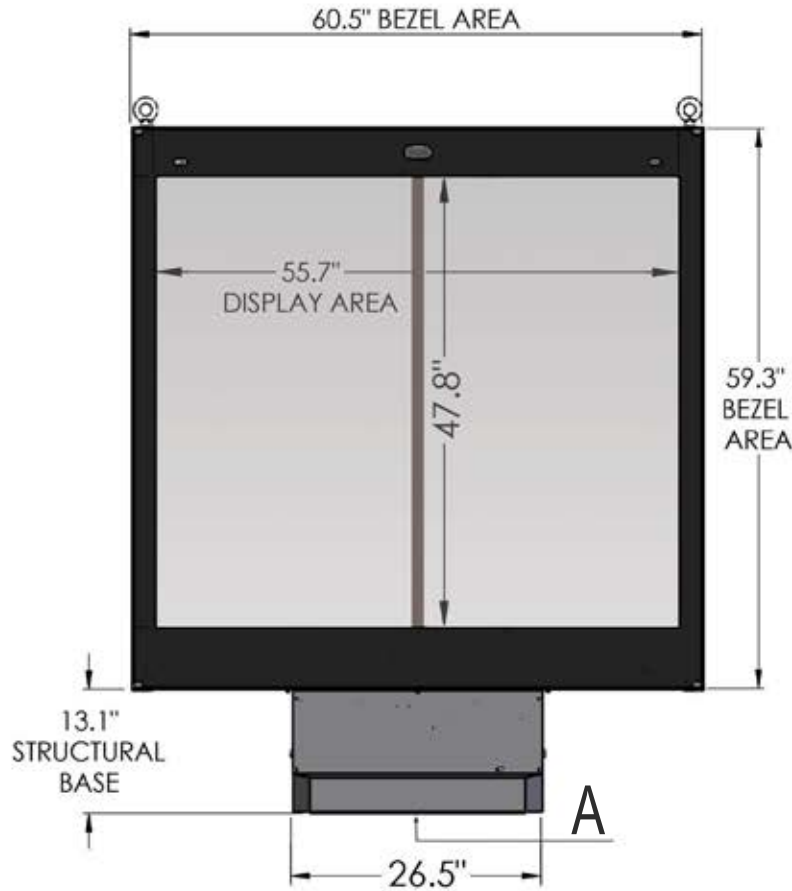


Mounting Template Diagram

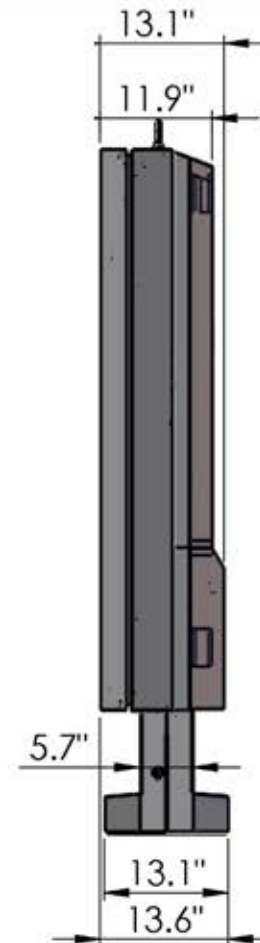
N TAC-DMB-EXT-INSTALL

Qty. - 2

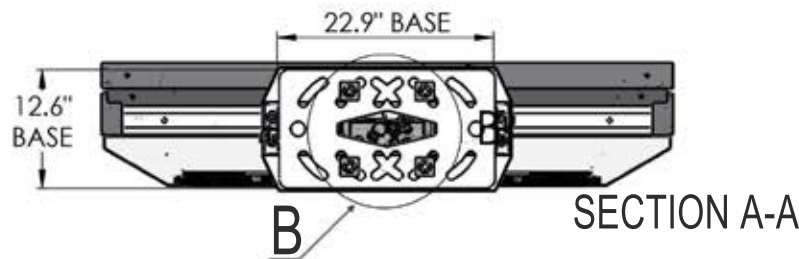
NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC



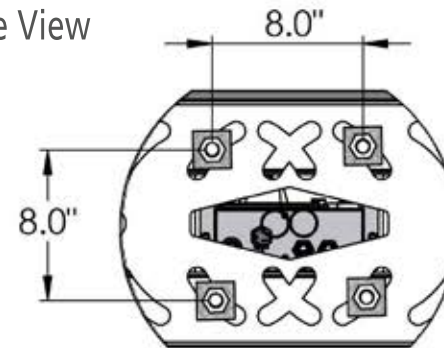
Front View



Side View



SECTION A-A



DETAIL B-B

GENERAL SPECS

Material: Aluminum exterior with tube steel inner frame.
Certified 180 MPH

Surface Treatment:
- Pretreatment - zinc primer & polyester powder coating

Surface Area:
- Display: 18.5 sq/ft
- Total surface: 24.9 sq/ft

Weight:
- Gross: 915 lbs / Net: 705 lbs

ELECTRICAL SPECS

Power:
- Hardwired AC Power
- 120/240V 50/60Hz
- 1150 W (@ max load)
- UL Rated @ 10 Amp

Backlight:
- LED Light Source
- 380 CD/M2 to 3,500 CD/M2
- Auto adjusting to outdoor ambient light levels

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2/23/2023



Product Model #: STR-D12-120
Project #:
Date: 2019-12-03



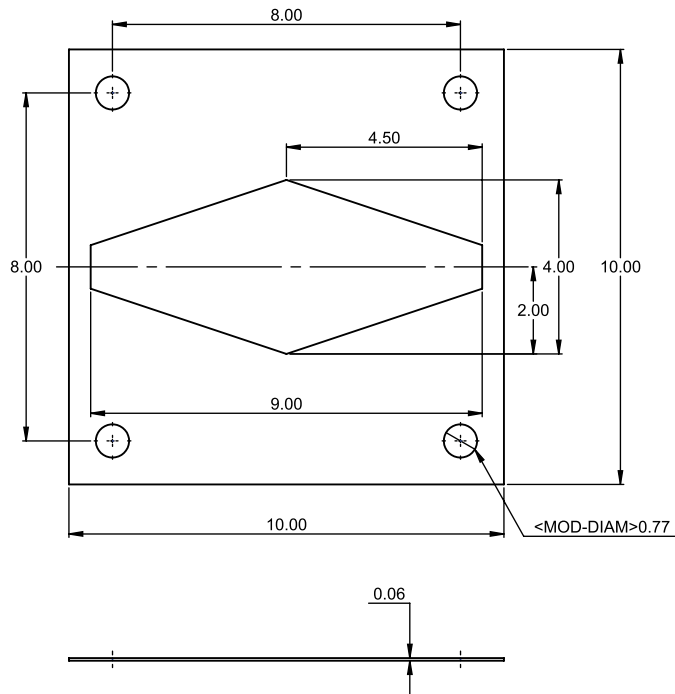
STRATACACHE
40 N. Main Street
Dayton, Ohio 45423
1-800-244-8915

Drawing #: STR-D12 v1.1
Date: 2019-12-03
Author: B. Pupo

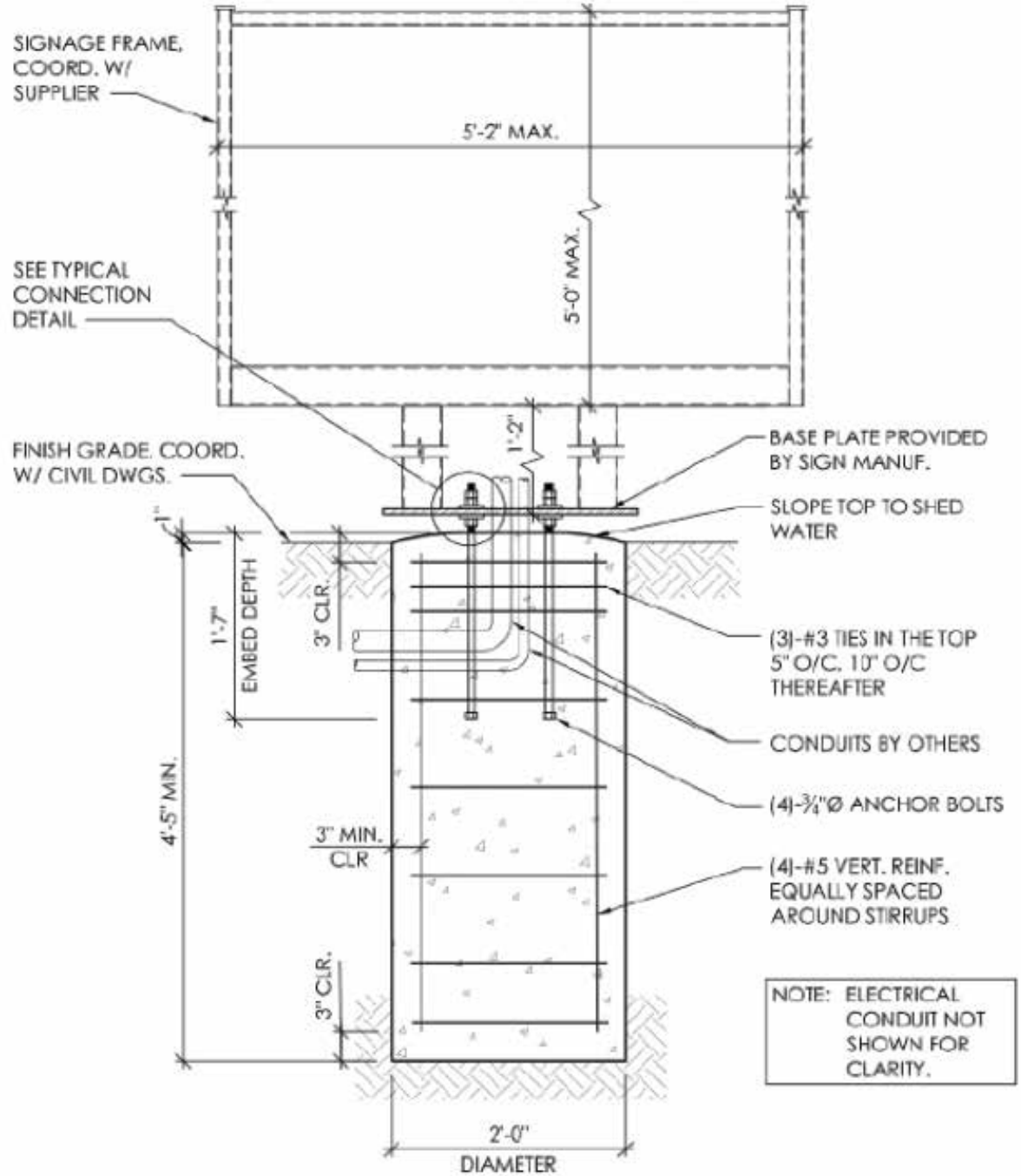
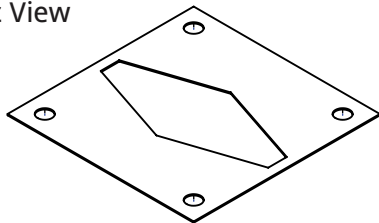
N TAC-DMB-EXT-INSTALL

Foundation

ROD TEMPLATE



ROD TEMPLATE Isometric View



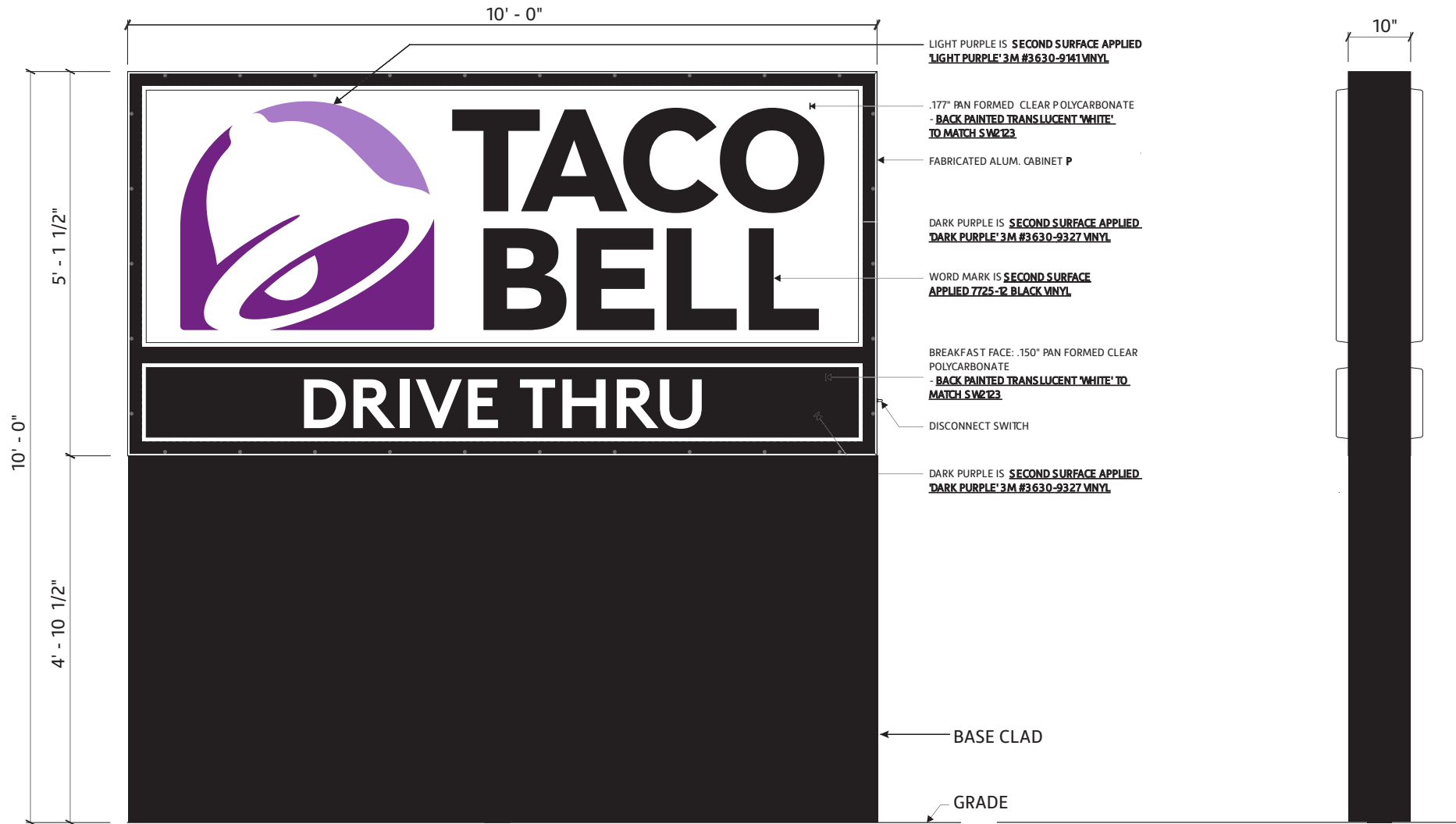
FOUNDATION SECTION
(MENU BOARD)

4-D-23-SU
2/23/2023

V-02.52 - Large Monument

NOTE:

1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER



FRONT ELEVATION

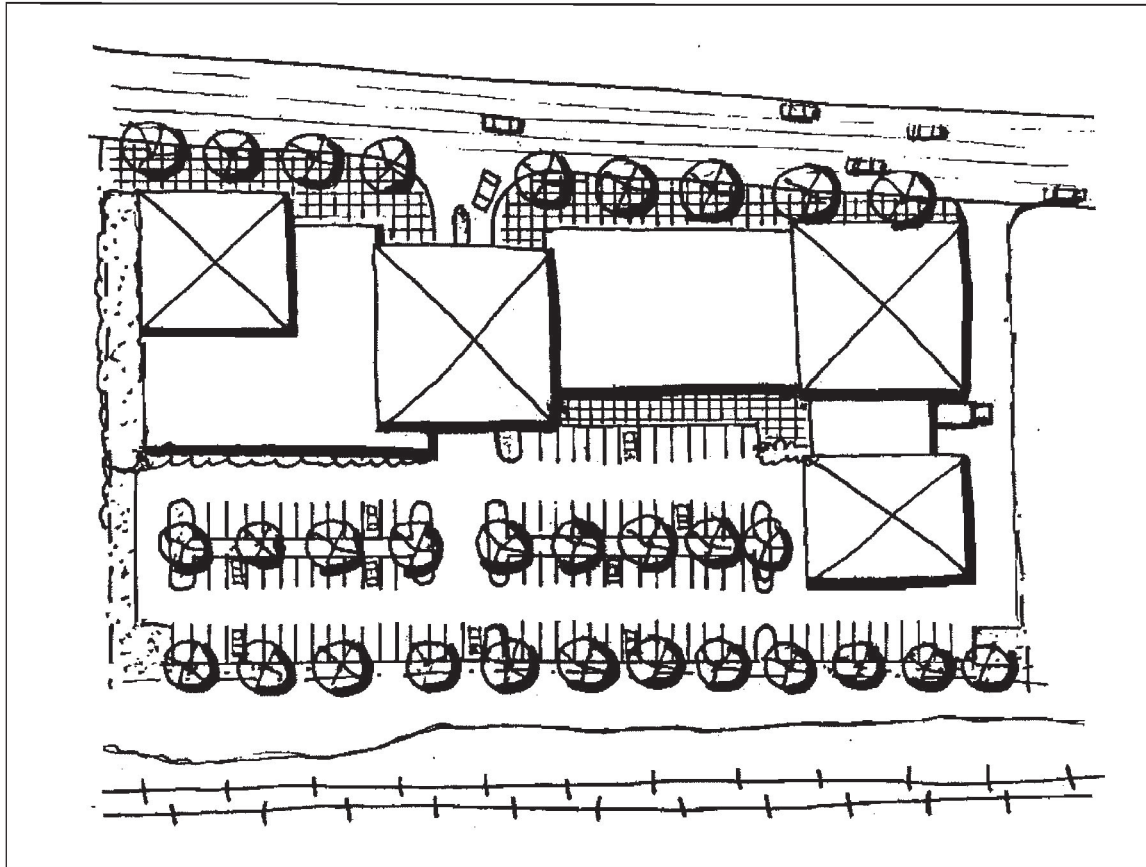
1/2" = 1' - 0"

SIDE VIEW

1/2" = 1' - 0"



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2/23/2023



Kingston Pike Commercial Corridor

Development along Kingston Pike east and west of the Homberg Drive corridor consists of offices and larger-scaled commercial centers containing fast food restaurants and strip malls. However, most of these establishments are stable commercial

centers and complete redevelopment does not seem likely within the next 5 years. For these areas to become more pedestrian friendly and fit into the urban village theme, the recommendations (at right) should be considered.










RECOMMENDATIONS

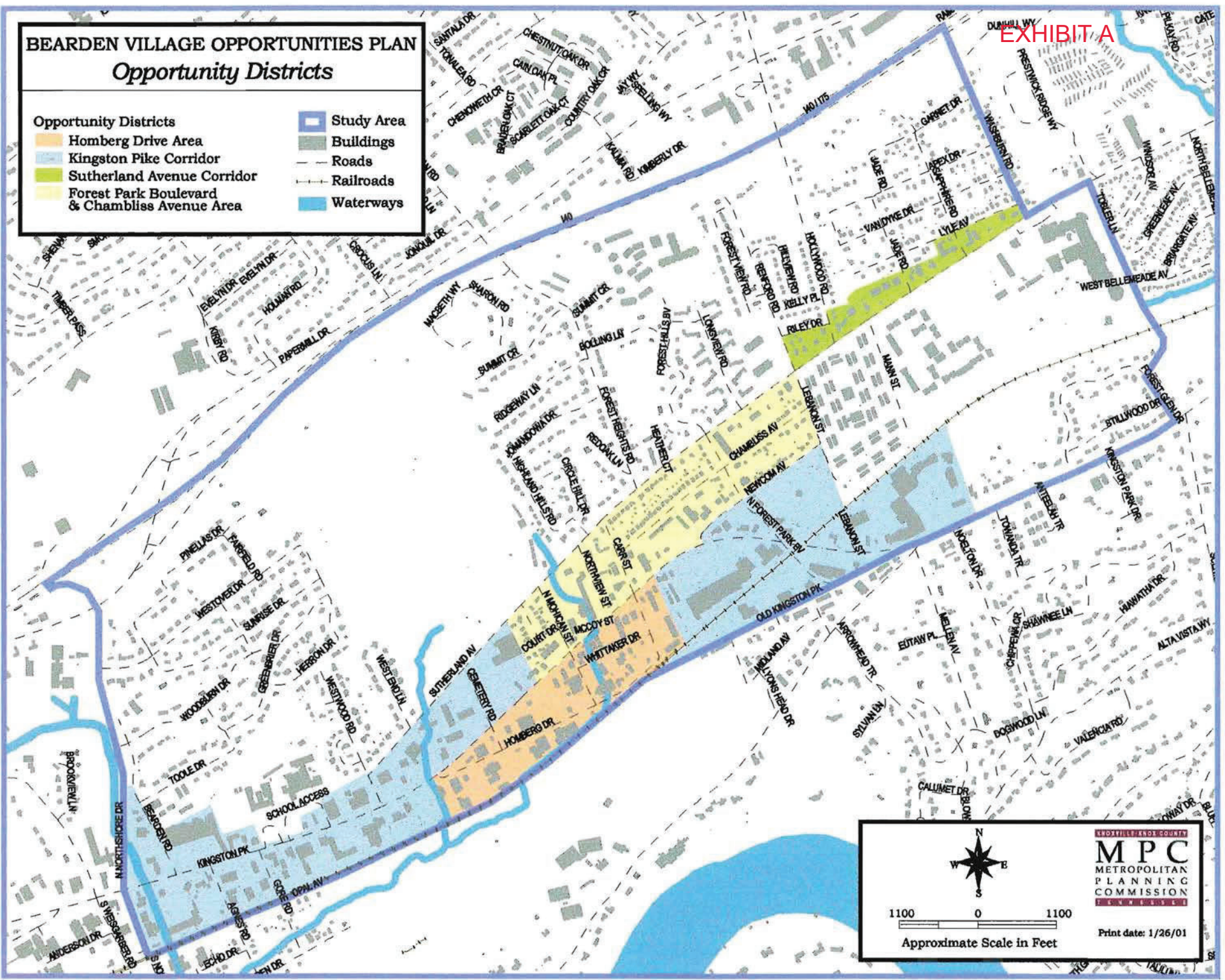
- Orient buildings toward sidewalks with parking at back of buildings.
- Incorporate mixed use between floors of buildings with commercial/retail on first floors and office/residential on subsequent floors.
- Require formal tree plantings along sidewalks and within parking lots.
- Reduce parking requirements.



BEARDEN VILLAGE OPPORTUNITIES PLAN

Opportunity Districts

	Homberg Drive Area		Study Area
	Kingston Pike Corridor		Buildings
	Sutherland Avenue Corridor		Roads
	Forest Park Boulevard & Chambliss Avenue Area		Railroads
			Waterways





Mr. Mike Conger, P.E.
Knoxville – Knox County Planning
400 Main Street, Suite 403
Knoxville, TN 37902

Driveway Evaluation Proposed Taco Bell – 5613 Kingston Pike City of Knoxville, Knox County, Tennessee

Dear Mr. Conger,

The purpose of this letter is to provide a Driveway Evaluation for the proposed Taco Bell Fast Food restaurant to be located along the north side of Kingston Pike (State Route 1), west of Westwood Road in the City of Knoxville, Tennessee, as shown in **Figure 1**. This evaluation will analyze the sight distance at the proposed driveway location along Kingston Pike to determine if vehicles attempting to enter and exit the site have adequate site distance to safely make the turning movements. Additionally, this analysis will discuss an assessment of the on-site circulation, bike/ped accommodations and driveway throat depth.



Figure 1: Aerial Photograph

The proposed Taco Bell will consist of a 2,287 square foot restaurant with one proposed access drive onto Kingston Pike on the east side of the building. See **Attachment A** for a preliminary site plan.

Sight Distance Evaluation

Intersections generally have a higher potential for vehicular crashes than a continuous section of roadway due to a higher frequency of conflicting traffic movements. By providing adequate vertical and horizontal sight distance at an intersection, the likelihood of these crashes is greatly reduced. GPD Group Professional Corporation personnel performed a site visit on Monday, November 28th, 2022 to take

pictures of the existing property and roadway conditions and these pictures, combined with a site distance evaluation figure, to verify that adequate sight distance will be provided at the proposed site drive location along Kingston Pike in accordance with TDOT's Standard Drawing Series RD11-SD, specifically drawing RD11-SD4 'Intersection Sight Distance 4-Lane and 5-Lane Undivided Roadways'.

Intersection sight distance (ISD) is the distance in which a motorist must have an unobstructed view of the entire intersection for the purpose of anticipating and avoiding potential collisions. Moreover, drivers in a stopped position should be able to observe traffic at a distance that will allow them to safely make the desired movement. Sight distance evaluations are based on the design speed of the roadway, which is typically 5 mph above the posted speed limit. Based on a design speed of 50 mph for Kingston Pike, vehicles exiting the site drive will require an unobstructed view of 625 feet to safely make a right turn and 625 feet to safely make a left turn.

An ISD analysis was performed at the proposed location of the site driveway along Kingston Pike to determine if any horizontal or vertical sight deficiencies exist. The sight distance evaluation determined that there are no horizontal or vertical intersection sight distance deficiencies for the proposed site drive approach when a driver is looking either to the west (right) or to the east (left). See **Pictures 1 and 2** combined with the sight distance evaluation exhibit in **Attachment B**.



Picture 1: Looking west (right) from the proposed site driveway approach towards the eastbound approach of Kingston Pike



Picture 2: Looking east (left) from the proposed site driveway approach towards the westbound approach of Kingston Pike

As can be seen in **Pictures 1** and **Picture 2**, an approaching vehicle driving eastbound or westbound on Kingston Pike can be seen by a vehicle exiting the site at the proposed location of the site driveway as there are no horizontal or vertical roadway curves interfering with the driver's line of sight to an approaching vehicle from either direction.

On-Site Circulation

As shown on the preliminary site plan in **Attachment A**, the proposed site will be served by a single access point with a two-way main driveway with parking on both sides of the main drive. The drive-thru will operate in a counter-clockwise circulation pattern with a bypass lane for traffic to circulate the building or exit the drive-thru, if desired. The current site plan shows enough storage for eleven (11) vehicles before any parking spaces would be blocked and approximately eighteen (18) vehicles before the queue would spill onto Kingston Pike. The circulation for this site appears to provide acceptable circulation for all vehicles (including trash and delivery trucks) and adequate drive-thru storage which should not interfere with the operations along Kingston Pike.

Bicycle / Pedestrian Accommodations

The preliminary site plan shows that no changes are proposed from a pedestrian accommodation perspective. The sidewalk is proposed to be reconstructed along Kingston Pike and the roadway does not include any dedicated bicycle facilities. Bicycle parking is being provided at the proposed Taco Bell, as required, as shown in Callout 29 on the preliminary site plan. The construction of the proposed Taco Bell should not have any adverse impacts on bicycle / pedestrian accommodations as all existing facilities are going to remain the same and bicycle parking is being added at the proposed restaurant.

Throat Depth

The existing site does not provide any throat depth between Kingston Pike and the parking lot. The proposed Taco Bell will provide approximately 20' of throat depth between the parking lot and Kingston Pike, which is a significant improvement over the existing conditions. No issues related to throat depth are anticipated with this proposed driveway.

Summary and Conclusions

The sight distance evaluation determined that there are no horizontal or vertical intersection sight distance deficiencies for the proposed site drive approach when a driver is looking either to the west (right) or to the east (left). Additionally, the on-site circulation, bicycle/pedestrian accommodations and throat depth were evaluated with no issues noted or anticipated.

If you have any questions regarding this Driveway Evaluation, please feel free to contact me at (330) 572-2214 or via email at mhobbs@gpdgroup.com.

Respectfully Submitted,
GPD Group Professional Corporation

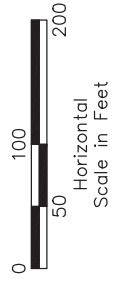
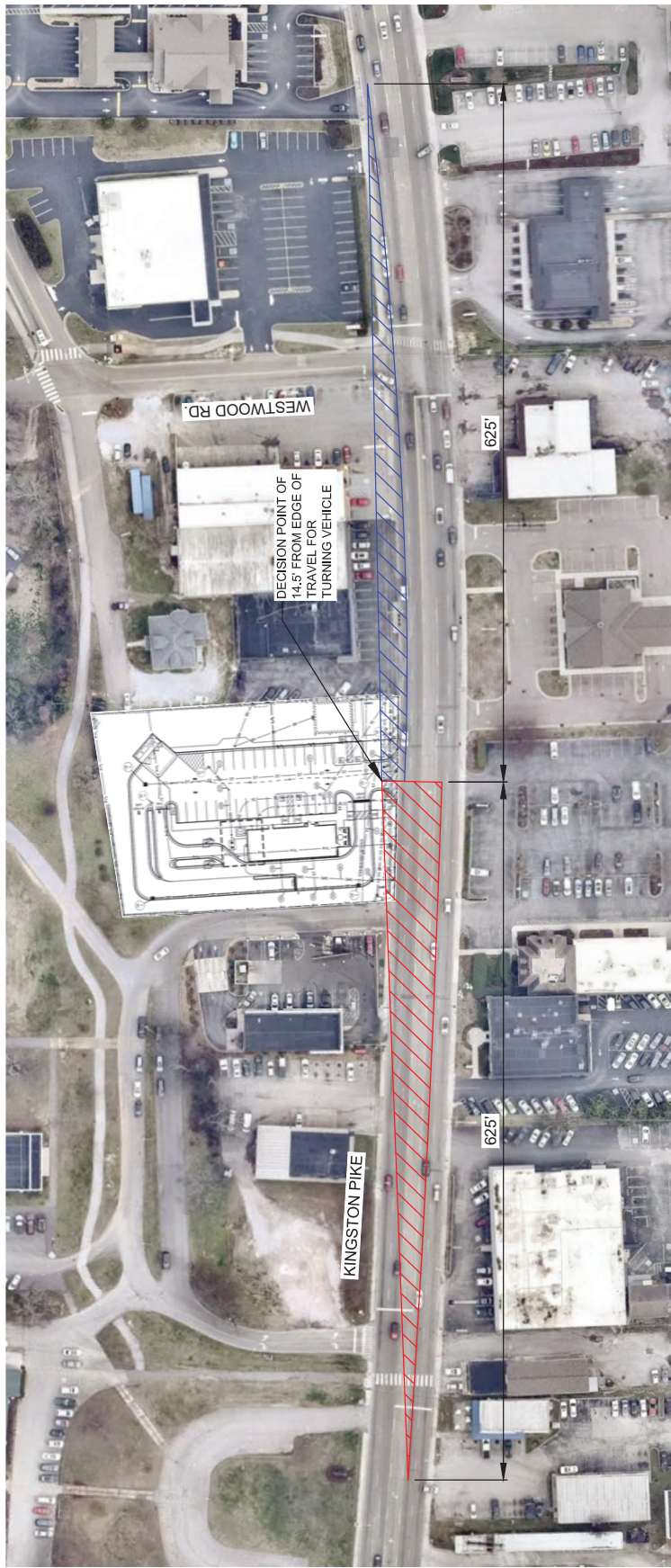


Michael A. Hobbs, P.E., PTOE
Senior Director
TN P.E. #125709

CC: Curtis J. Deibel, P.E., RSP2 (GPD Group Professional Corporation)
Sarah McGowan (GPD Group Professional Corporation)
File

ATTACHMENT A

ATTACHMENT B



LEGEND



LEFT TURN SIGHT DISTANCE TRIANGLE



RIGHT TURN SIGHT DISTANCE TRIANGLE



ATTACHMENT B

SIGHT DISTANCE EVALUATION

FEBRUARY 2023



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Taco Bell of America, LLC (Robert Sullivan)

Applicant Name

Affiliation

2/23/2023

Date Filed

4/13/2023

Meeting Date (if applicable)

4-D-23-SU

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Sarah McGowan GPD Group, Inc.

Name / Company

520 S Main St Ste 2531 Akron OH 44311

Address

678-781-5074 / smcgowan@gpdgroup.com

Phone / Email

CURRENT PROPERTY INFO

Peoples Development Company, Inc. Pe 135 S Forest Park Blvd Knoxville TN 37939

Owner Name (if different)

Owner Address

Owner Phone / Email

5613 KINGSTON PIKE

Property Address

121 B B 035

Parcel ID

1.02 acres

Part of Parcel (Y/N)?

Tract Size

Knoxville Utilities Board

Sewer Provider

Knoxville Utilities Board

Water Provider

Septic (Y/N)

STAFF USE ONLY

N of Kingston Pk, west of N Northshore Dr

General Location

City

Council District 2

C-G-1 (General Commercial)

Commercial

County District

Zoning District

Existing Land Use

West City

Planning Sector

MU-SD (Mixed Use Special District)

Sector Plan Land Use Classification

N/A (Within City Limits)

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) Restaurant with drive-through	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information _____	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre) Previous Zoning Requests		
Additional Information _____		

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)
 Design Plan Certification (Final Plat)
 Site Plan (Development Request)
 Traffic Impact Study
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
\$1,600.00	
Fee 2	
Fee 3	

AUTHORIZATION

Applicant Signature: **Taco Bell of America, LLC (Robert Sullivan)** Date: **2/23/2023**
Please Print

Phone / Email _____
Property Owner Signature: **Peoples Development Company, Inc. Peoples Development Company** Date: **2/23/2023**
Please Print

I declare under penalty of perjury the foregoing (i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent) is true and correct.



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Taco Bell of America, LLC (Robert Sullivan)

Leasee

Applicant Name

Affiliation

4/13/2023

File Number(s)

Date Filed

Meeting Date (if applicable)

4-D-23-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Sarah McGowan

GPD Group, Inc.

Name

Company

520 S. Main Street, Suite 2531

Akron

OH

44311

Address

City

State

ZIP

678.781.5074

smcgowan@gpdgroup.com (Please use this for communication)

Phone

Email

CURRENT PROPERTY INFO

Peoples Development Company, Inc.

135 S. Forest Park Blvd, Knoxville, TN

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

5613 Kingston Pike, Knoxville, TN 37919

121BB035

Property Address

Parcel ID

Knoxville Utility Board

Knoxville Utility Board

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

City County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

August 29, 2022

DEVELOPMENT REQUEST

Development Plan Use on Review / Special Use Hillside Protection COA

Residential Non-Residential

Home Occupation (specify) N/A

Other (specify) Restaurant with drive thru

Related City Permit Number(s)

**Not submitted
yet**

SUBDIVISION REQUEST

N/A

Proposed Subdivision Name

N/A

Unit / Phase Number

Combine Parcels Divide Parcel

N/A

Total Number of Lots Created

Related Rezoning File Number

N/A

Other (specify) _____

Attachments / Additional Requirements

ZONING REQUEST

Zoning Change

N/A

Proposed Zoning

Plan Amendment Change

N/A

Proposed Plan Designation(s)

N/A

N/A

Proposed Density (units/acre)

Previous Rezoning Requests

Other (specify) _____

Pending Plat File Number

N/A

STAFF USE ONLY

PLAT TYPE

Staff Review Planning Commission

ATTACHMENTS

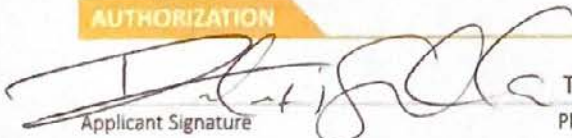
Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)
- Use on Review / Special Use (*Concept Plan*)
- Traffic Impact Study
- COA Checklist (*Hillside Protection*)

Fee 1		Total
Fee 2		
Fee 3		

AUTHORIZATION



Applicant Signature

Taco Bell of America, LLC (Robert Sullivan)

Please Print

2/17/23
Date

949.233.8598

Phone Number

robert.sullivan@yum.com

Email

PEOPLES DEVELOPMENT COMPANY, INC.

By: 

Property Owner Signature

Title: President

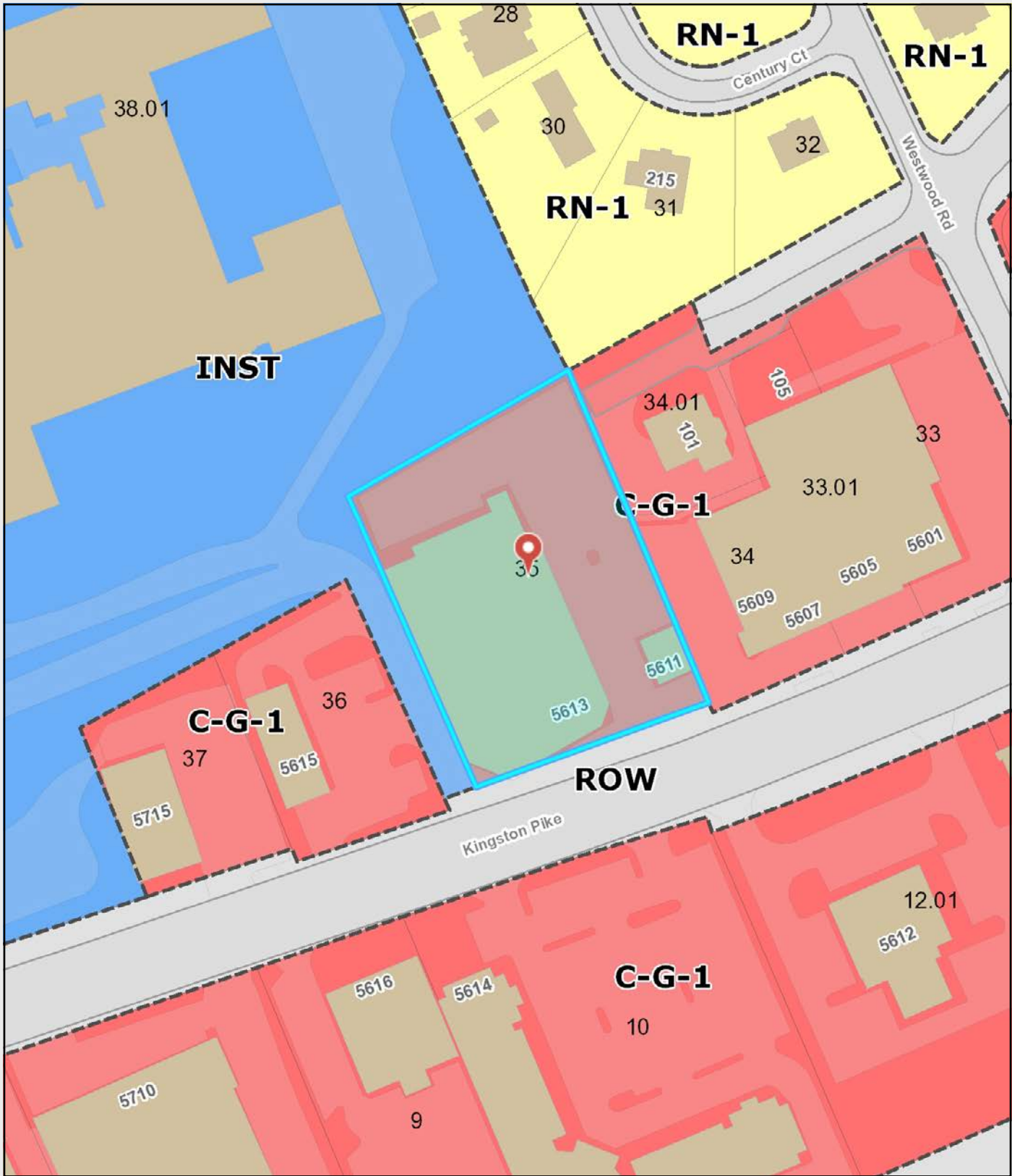
Anthony P. Cappiello, Jr.

February 15, 2023

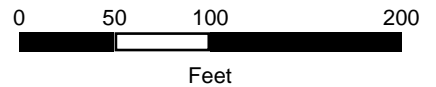
Please Print

Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.



5613 Kingston Pike



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