



USE ON REVIEW REPORT

▶ **FILE #:** 5-D-23-UR

AGENDA ITEM #: 33

AGENDA DATE: 5/11/2023

▶ **APPLICANT:** STRAWBERRY PLAINS PIKE PICKLEBALL, LLC

OWNER(S): Wayne Hodge, Strawberry Plains Pike Pickleball, LLC

TAX ID NUMBER: 73 014.03

[View map on KGIS](#)

JURISDICTION: County Commission District 8

STREET ADDRESS: 7729 STRAWBERRY PLAINS PIKE

▶ **LOCATION:** Northwest side of Strawberry Plains Pike, northeast of Wooddale Church Rd, southwest of S Wooddale Rd

▶ **APPX. SIZE OF TRACT:** 6.42 acres

SECTOR PLAN: East County

GROWTH POLICY PLAN: Urban Growth Area (Outside City Limits)

ACCESSIBILITY: Access is via Strawberry Plains Pike, a minor arterial street with a 25-ft pavement width within a 100-ft to 105-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Sinking East Creek

▶ **ZONING:** A (Agricultural)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Indoor pickleball facility

HISTORY OF ZONING: A request to rezone the property from A (Agricultural) to PR (Planned Residential) was withdrawn in 2021. (10-O-21-RZ)

SURROUNDING LAND USE AND ZONING: North: Agriculture/forestry/vacant - A (Agricultural)

South: Agriculture/forestry/vacant - A (Agricultural)

East: Agriculture/forestry/vacant - A (Agricultural)

West: Agriculture/forestry/vacant, rural residential - A (Agricultural)

NEIGHBORHOOD CONTEXT: This property is surrounded by single family residential and agricultural properties among forest. Nearby to the southwest is a commercial node on Strawberry Plains Pike as it intersects with I-40.

STAFF RECOMMENDATION:

▶ **Approve the request for an indoor pickleball facility with an approximately 14,600 square foot floor area, subject to 3 conditions.**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.
2. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
3. Meeting all applicable requirements of the Knox County Fire Prevention Bureau.

With the conditions noted above, this request meets all requirements for approval in the A (Agricultural) zone, as well as the criteria for approval of a use on review.

COMMENTS:

This proposal is for an indoor pickleball facility with six courts. Operating hours would be 7 AM to 9 PM, Monday through Friday.

DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10 – SECTION 2).

The Planning Commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

1) THE USE IS CONSISTENT WITH THE ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND SECTOR PLAN.

A. The East County Sector Plan's land use classification for this area is MU-SD, ECO-2 (Mixed Use - Special District, Brakebill Road Area). This classification describes how the area can be developed more intensively, given its close proximity to the Strawberry Plains Pike/I-40 Interchange.

B. The General Plan's development policy 10.6 values the provision of recreational amenities by promoting site design flexibility for such uses.

C. The East County Community Plan identifies the Brakebill Road area as a development corridor, where it is reasonable to expect non-residential growth. This plan emphasizes growth that respects the area's traditions and natural, rural and historic features. Special attention was paid to the design of the indoor pickleball facility to ensure it maintained a rural aesthetic in its barn-style architecture and muted color scheme, as shown in the context images.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE

A. The A (Agricultural) zone is intended for agricultural, residential and other compatible uses that generally require large areas or open space.

B. The A zone permits consideration of sports playing fields as well as indoor paintball/airsoft ranges through the use on review process (Article 5.22.03.O). The proposed pickleball courts generally fit within the definition of a commercial sports playing field, though it is an indoor facility. Indoor recreation can be considered in the A zone, as demonstrated by the use on review status of indoor paintball/airsoft ranges.

C. Article 4.94 lists use on review requirements for a sports playing field. Although these requirements are designed for outdoor fields where there is potential for more nuisance with light and noise, the plans for the pickleball facility generally meet these requirements.

D. The sports playing field requirements include a 50-ft natural or landscaped periphery boundary for playing fields, equipment, off-street parking and accessory structures where the site abuts a zone permitting residential use. The Planning Commission may reduce this setback down to the minimum permitted in the subject property's zone. The site plan shows that the main building is set back 60 ft from the eastern side lot line where it abuts a property with a residence, though there is a gravel driveway and enclosed dumpster located 35 ft from that lot line. Natural vegetation would remain in the northeast corner of the developed area, and a Type A landscape screen with two rows of evergreen trees is proposed where there is no existing vegetation. Given the indoor and thereby less intensive nature of the proposed use, this periphery boundary is deemed sufficient.

E. The sports playing field guidance in Article 4.94 leaves parking requirements at the discretion of the Planning Commission, and the off-street parking requirement for a commercial recreation use in Article 3.50 is 1 space per 3 patrons. There will be 6 pickleball courts in the building, each with a maximum of 4 players. The 51 spaces provided will be ample parking for active and waiting players, staff and potential spectators.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. Highway commercial zoning is located approximately a quarter-mile to the southwest on Strawberry Plains Pike, and buildings in that node are comparable in size to the proposed single-story 14,600 square foot facility.

B. The building is similar in scale and appearance to an agricultural warehouse, which would be permitted by right in the A zone.

C. The front of the development will have a Type C landscape screen with evergreen trees.

D. The scale, size and character of the proposed use is compatible with the area.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY.

A. The proposed indoor pickleball facility would provide a recreational amenity to surrounding residents in a manner that does not cause undue noise or light pollution. The building design, the forest preservation and the

landscaping help maintain the rural character of the area. The use is not anticipated to injure the value of adjacent property.

5) THE USE WILL NOT DRAW ADDITIONAL TRAFFIC THROUGH RESIDENTIAL AREAS.

A. Strawberry Plains Pike, is a minor arterial street intended for intra-community through traffic.

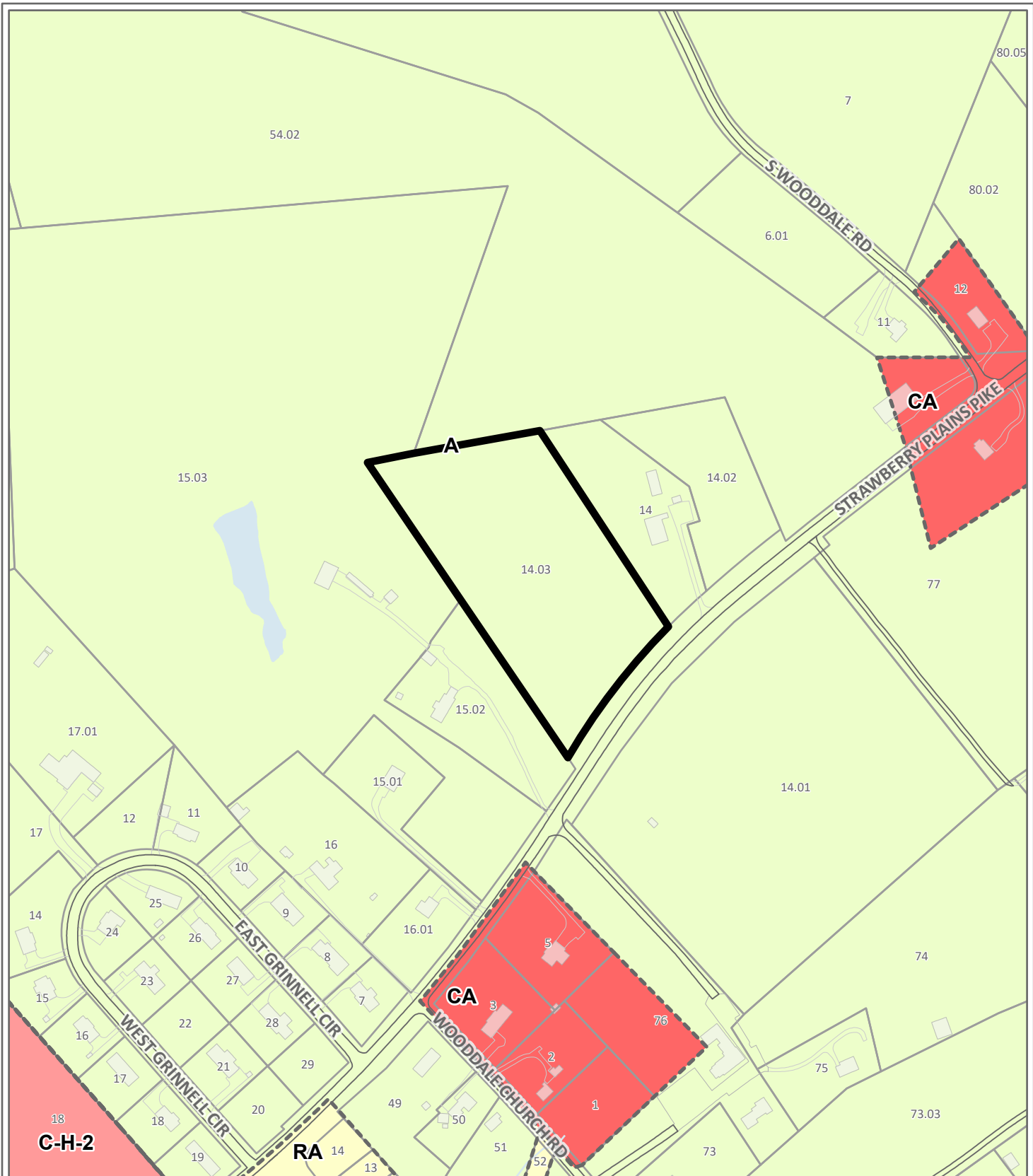
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. The proposal incorporates on-site stormwater management, which has been preliminarily reviewed by Knox County Engineering and Public Works. A more thorough review of best management practices will be conducted at the time of permitting to ensure the stream running through the property is properly accommodated.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



ZONING MAP

5-D-23-UR

Petitioner: Strawberry Plains Pike Pickleball, LLC

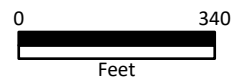


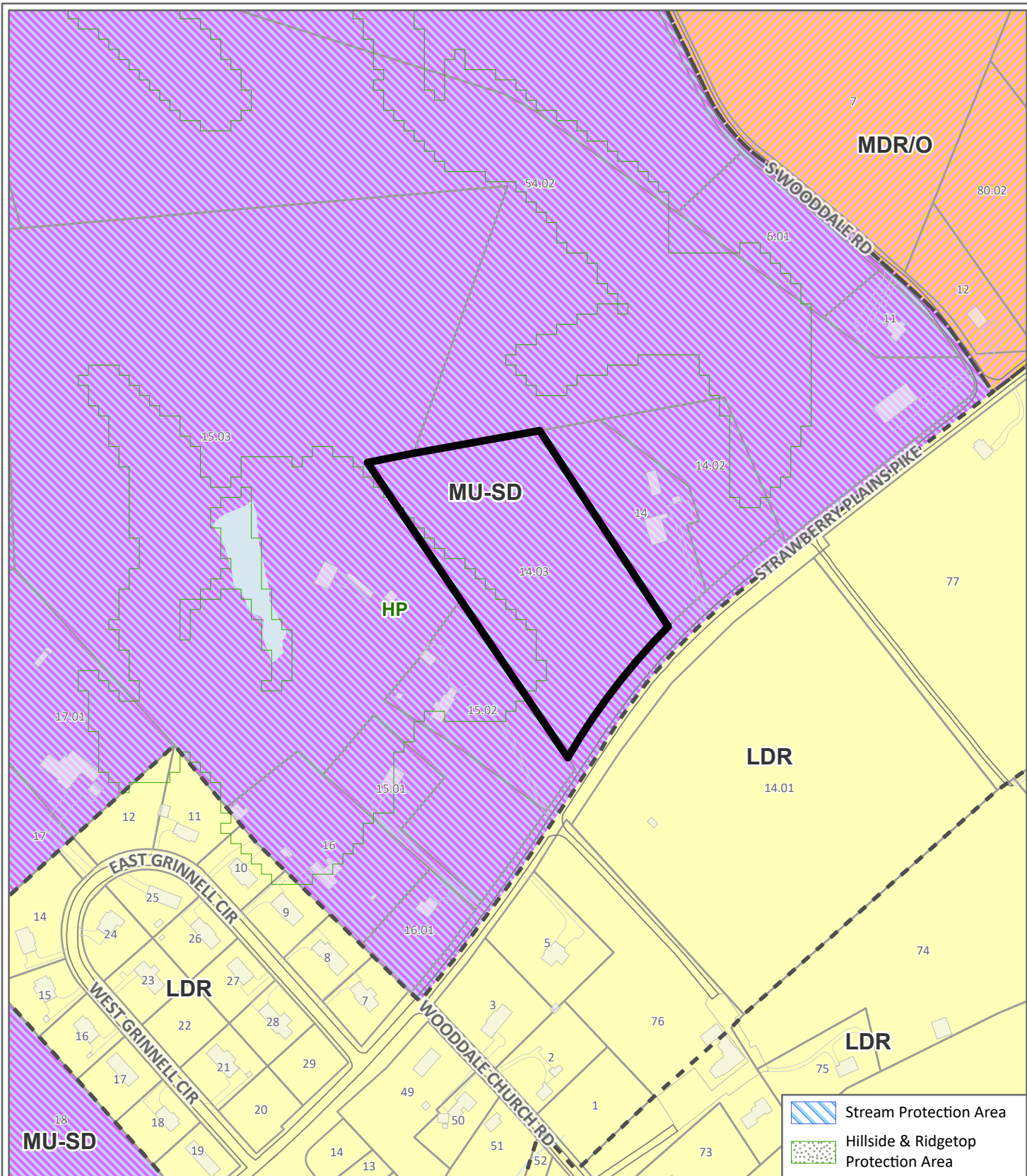
Indoor pickleball facility in A (Agricultural)

Map No: 73

Jurisdiction: County

Original Print Date: 4/17/2023
 Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902





EAST COUNTY SECTOR PLAN MAP

5-D-23-UR

Petitioner: Strawberry Plains Pike Pickleball, LLC

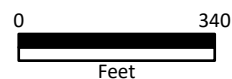


Case boundary

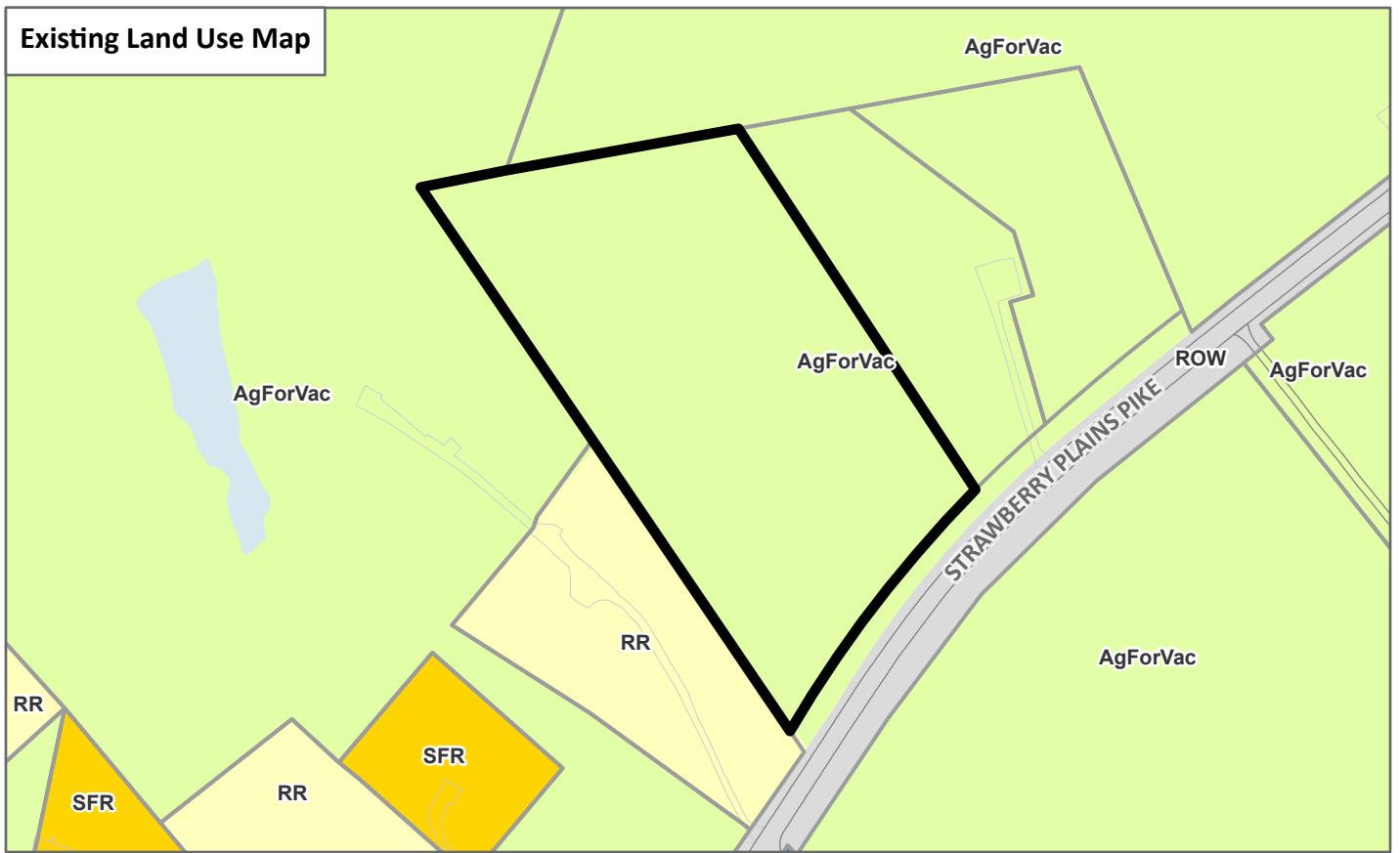
Map No: 73

Jurisdiction: County

Original Print Date: 5/3/2023
 Knoxville - Knoxville County Planning Commission * City / County Building * Knoxville, TN 37902



Existing Land Use Map



Aerial Map



CONTEXTUAL MAPS

5-D-23-UR



Case boundary



Rendering with final color selection





PARKING DATA		PAVING MATERIALS SCHEDULE	
NUMBER OF COURTS	6	STANDARD DUTY ASPHALT PAVING	
MAXIMUM NUMBER OF PATRONS	24	GRAVEL PARKING AREA	
REQUIRED NUMBER OF PARKING SPACES (1 SPACE PER 3 PATRONS)	8	HEAVY DUTY ASPHALT PAVING	
ACCESSIBLE PARKING SPACES PROVIDED (STANDARD PARKING SPACES PROVIDED)	3	HEAVY DUTY CONCRETE PAVING	
TOTAL PARKING SPACES PROVIDED	48		

BUSINESS SUMMARY:
 FACILITY TO BE OPEN DURING THE HOURS OF 7am TO 9pm MONDAY THROUGH FRIDAY AND HAS A MAXIMUM CAPACITY OF 134 PATRONS. ALL PICKLEBALL ACTIVITIES WILL BE CONDUCTED INSIDE OF THE BUILDING.
FILE NUMBER 5-D-23-UR

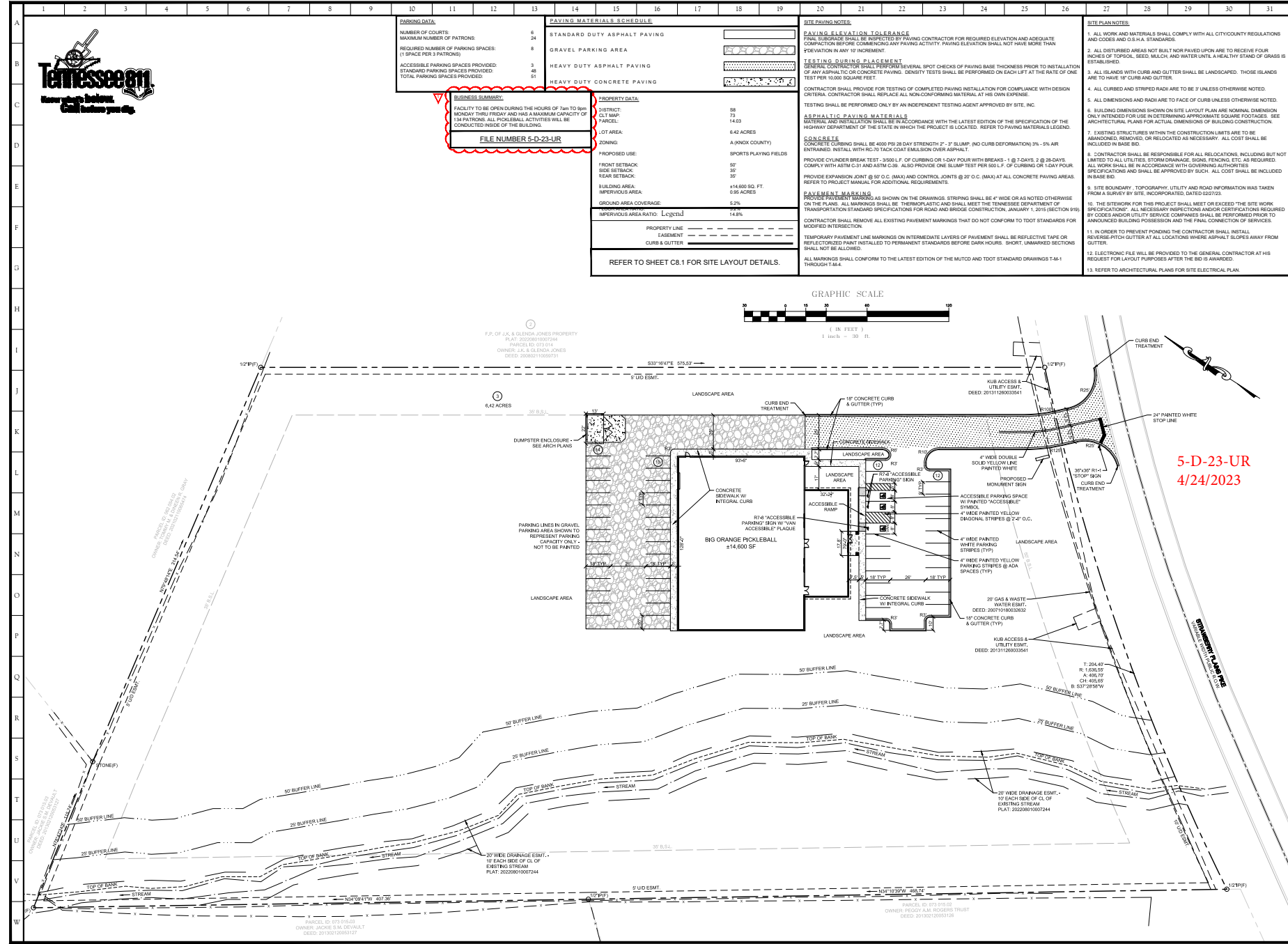
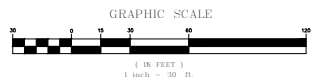
PROPERTY DATA	
DISTRICT:	18
CITY MAP:	73
PARCEL:	1403
LOT AREA:	6.42 ACRES
ZONING:	A (KNOX COUNTY)
PROPOSED USE:	SPORTS PLAYING FIELDS
FRONT SETBACK:	50'
SIDE SETBACK:	35'
REAR SETBACK:	35'
BUILDING AREA:	114,600 SQ. FT.
IMPERVIOUS AREA:	0.96 ACRES
GROUND AREA COVERAGE:	5.2%
IMPERVIOUS AREA RATIO:	14.8%

PROPERTY LINE
 EASEMENT
 CURB & GUTTER

REFER TO SHEET C8.1 FOR SITE LAYOUT DETAILS.

SITE PAVING NOTES:
PAVING ELEVATION TOLERANCE
 FINISH ELEVATION SHALL BE AS SPECIFIED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND APPROPRIATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/4" DEVIATION IN ANY 10' INCREMENT.
TESTING DURING PLACEMENT
 GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF AN ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

- SITE PLANNING:**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 2. ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 3. ALL ISLANDS WITH CURB AND GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 1" CURB AND GUTTER.
 4. ALL CURBED AND STRIPPED RADI ARE TO BE 3" UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS AND RADI ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 6. BUILDING DIMENSIONS SHOWN ON SITE LAYOUT PLAN ARE NOMINAL DIMENSION ONLY INTENDED FOR USE IN DETERMINING APPROXIMATE SQUARE FOOTAGE. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS OF BUILDING CONSTRUCTION.
 7. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 9. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY BY SITE, INCORPORATED, DATED 02/02/22.
 10. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
 11. IN ORDER TO PREVENT PONDING THE CONTRACTOR SHALL INSTALL REVERSE-PITCH GUTTER AT ALL LOCATIONS WHERE ASPHALT SLOPES AWAY FROM GUTTER.
 12. ELECTRONIC FILE WILL BE PROVIDED TO THE GENERAL CONTRACTOR AT HIS REQUEST FOR LAYOUT PURPOSES AFTER THE RCI IS AWARDED.
 13. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLAN.



5-D-23-UR
 4/24/2023



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Use on Review (5-D-23-UR) - Site Layout Plan
Big Orange Pickleball
 7729 Strawberry Plains Pike
 Knoxville, Tennessee 37924
 Strawberry Plains Pike Pickleball, LLC

NO.	DATE	COMMENTS
1	04/24/2023	ISSUED FOR REVIEW - KNOX COUNTY PERMIT COMMENTS

ORIGINAL ISSUE: 03/17/2023
 SITE PROJECT #: 2085

FILE: Layout

C4.0



ALL DISTURBED AREAS TO BE PLANTED ACCORDING TO PERMANENT GRASSING SCHEDULE

PERMANENT GRASSING SCHEDULE:

GRASS SEED SHALL BE AS FOLLOWS:

FEB-NOV. TALL FESCUE BLEND 6 LB/1000 SF
ANNUAL RYE 1 LB/1000 SF

SOD: TALL FESCUE BLEND

LIME: 150 LB/1000 SF
FERTILIZER: 20 LB/1000 SF
PHOSPHORUS: 20% SUPERPHOSPHATE 15 LB/1000 SF

MULCH: STRAW 75 LB/1000 SF
(COMPRESSED BROOKING CONTROL NET OR MULCH BRICKS ON SLOPES)

MIN SEED PURITY ANNUAL RYE ... 50% 50% 50%
MIN GERMINATION ANNUAL RYE ... 85% 85% 85%
MAX WEED SEED ANNUAL RYE ... 0.1% 0.1% 0.1%

PLANTING SHALL BE COMPLETE ON ALL AREAS NOT RECEIVING PAVING OR BE BUILT UPON WITHIN 14 WORKING DAYS OF COMPLETION OF GRADING (7 DAYS IF SLOPES ARE 5% OR GREATER)

ALL LIME, FERTILIZER, AND PHOSPHORUS AMOUNTS SHOWN IN THE SECTION ABOVE ARE MINIMUM. CONTRACTOR SHALL PERFORM SOIL ANALYSIS AND APPLY LIME, FERTILIZER, PHOSPHORUS, AND OTHER NUTRIENTS AS RECOMMENDED BY THE SOIL ANALYSIS.

REFER TO SHEET C8.0 FOR GRADING AND DRAINAGE DETAILS

ALL ELEVATIONS (RIM, THROAT, GRATE, TOP) AT STORM STRUCTURES ARE INTENDED TO INDICATE FLOW LINE ELEVATIONS

STORM WATER PIPES AND STRUCTURES

STORM STRUCTURE TABLE

ID	Type	Top Elev. (ft)	Line ID	Line Length (ft)	Slope (%)	Invert Elev. (ft)	Flow Pipe	Material
A0	HWED							HOPE-WT
A1	YV-HDU	948.00	A0-A1	15.6	12	3.65	944.43	945.00
A2	CI	951.42	A1-A2	26.9	12	12.82	945.00	948.32
A3	F1	954.50	A2-A3	137.2	12	5.81	948.42	948.42
A4	CI	954.00	A3-A4	43.5	12	0.51	949.55	949.77
A5	YI	953.50	A4-A5	12.0	0.00	949.87	950.50	HOPE-WT
AAA	YI	953.00	AAA-AAA	10.8	12	1.00	949.90	950.00
B0	HWED							HOPE-WT
B1	OS	947.50	B0-B1	26.3	18	3.53	944.36	943.50

SEE DETAIL SHEET FOR CLARIFICATION OF "TOP" FOR EACH STRUCTURE TYPE

LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- PROPOSED CURB AND GUTTER
- PROPOSED WATER QUALITY UNIT
- PROPOSED PRECAST HEADWALL
- PROPOSED OUTLET STRUCTURE
- PROPOSED YARD INLET
- PROPOSED CHUTE

STORM DRAIN GRATE SCHEDULE

TYPE	USE	MODEL
WQAF	WATER QUALITY UNIT	SEE DETAIL SHEET
OS	OUTLET STRUCTURE	SEE DETAIL SHEET
CI	CURB INLET	EJW 2100 W/TYPE M/ GRATE & T1 BACK
YI	YARD INLET	EJW 1005 W/TYPE O3 BEEHIVE GRATE
HWED	PRECAST HEADWALL	ENERGY DISSIPATER HEADWALL (SEE DETAIL SHEET)

STORM PIPE MATERIALS

ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP. ALL OTHER STORM PIPE SHALL BE HOPE-WT OR RCP UNLESS OTHERWISE NOTED ON THE PLAN. APPROVED STORM PIPE IS AS FOLLOWS:

- REINFORCED CONCRETE PIPE (RCP): ASTM C76, CLASS II UNLESS NOTED OTHERWISE ON DRAWINGS. INSTALLED WITH RUBBER GASKETS AT JOINTS.
- GASKETS: ASHITO M198 TYPE B OR ASTM C443, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FLARED END SECTIONS: ASTM C76 OR, FOR SECTIONS WITH TIE WALL, ASHITO H70.
- HIGH DENSITY POLYETHYLENE PIPE - WATER TIGHT (HOPE-WT): ASHITO M25 TYPE S, WJW TYPE 8, OR ASTM F2008 SMOOTH INTERIOR/ANNULAR EXTERIOR.
- RUBBER GASKET: ASTM F477
- RUBBER GASKET JOINTS: ASTM 3212

ALL STORM GRATES SHALL CONTAIN THE "NO DUMPING - DRAINS TO RIVER" OR SIMILAR ENVIRONMENTAL MESSAGE.

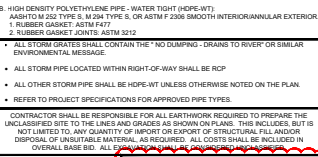
ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP.

ALL OTHER STORM PIPE SHALL BE HOPE-WT UNLESS OTHERWISE NOTED ON THE PLAN.

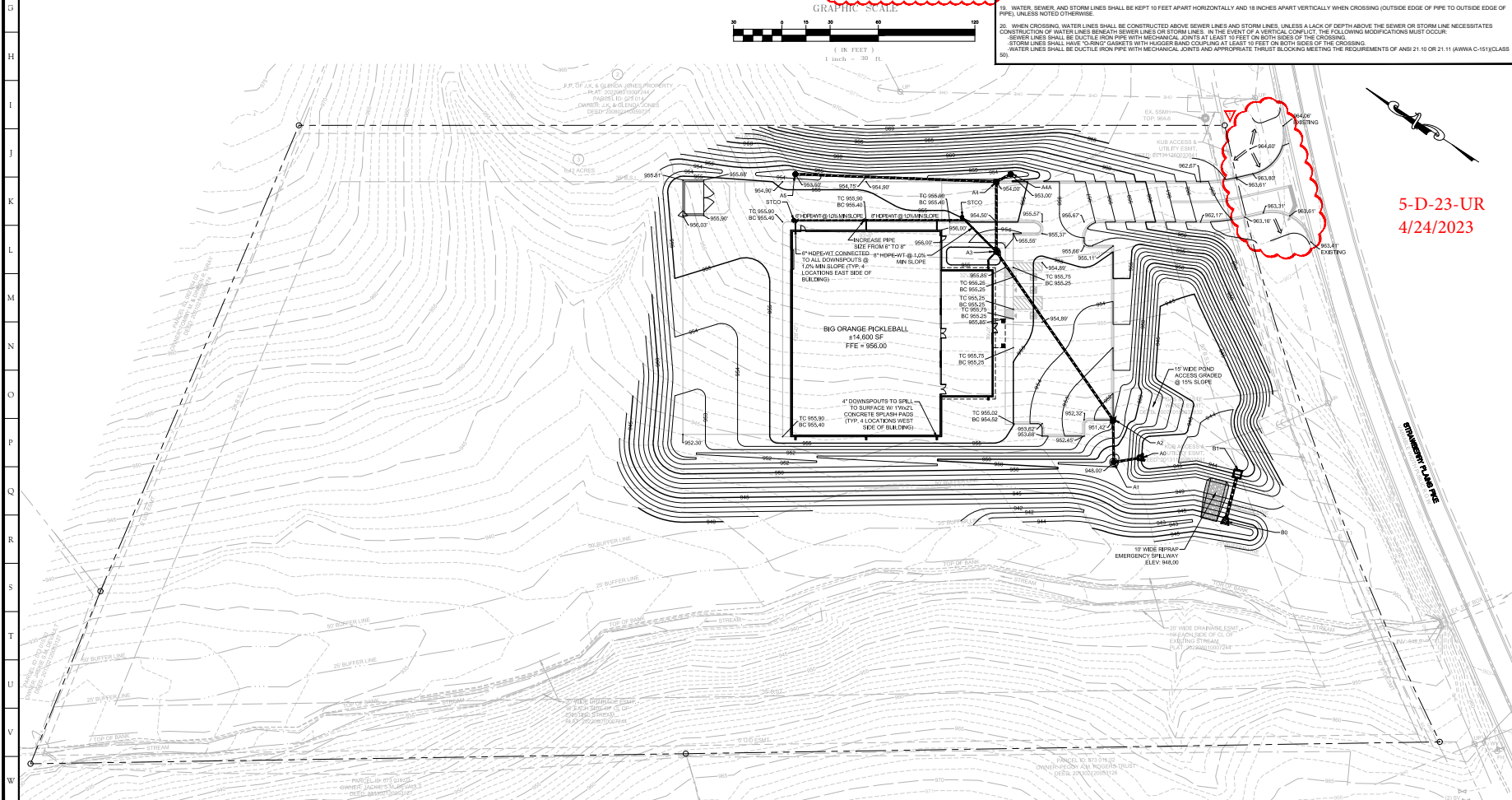
REFER TO PROJECT SPECIFICATIONS FOR APPROVED PIPE TYPES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE TO THE LINES AND GRACES AS SHOWN ON PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF IMPORT OR EXPORT OF STRUCTURAL FILL AND/OR DISPOSAL OF UNSUITABLE MATERIAL, AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL MATERIALS SHALL BE LABELED "STORM SEWER".

- SITE GRADING NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
 - THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING, AND AS A RESULT OF, CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURES TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - EXISTING CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRACE CONTOUR INTERVALS SHOWN AT 1 FOOT ON SLOPE AREAS AND 1 FOOT AROUND BUILDING AND PARKING AREAS.
 - ALL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - ALL LANDSCAPE AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY SITE, INCORPORATED, DATED 02/27/2023. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 - CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
 - ALL RCP STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED WITH NON-SHRINK GROUT. ALL HOPE STORM PIPE ENTERING STRUCTURES SHALL INSTALL HOPE WATER-TIGHT MANHOLE BOOT ADAPTERS. SEE DETAIL SHEET.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM FLOURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 3 FEET.
 - HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.
 - RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
 - WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE) UNLESS NOTED OTHERWISE.
 - WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR: SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING. STORM LINES SHALL HAVE "RING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING. WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-151/CASB 50).



FILE NUMBER 5-D-23-UR



5-D-23-UR
4/24/2023



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Use on Review (5-D-23-UR) - Site Grading and Drainage Plan

Big Orange Pickleball
7729 Strawberry Plains Pike
Knoxville, Tennessee 37924
Strawberry Plains Pike Pickleball, LLC

REVISIONS

NO.	DATE	COMMENTS
1	04/24/2023	ISSUED FOR REVIEW

ORIGINAL ISSUE: 03/17/2023
SITE PROJECT #: 2085
FILE: Drawings

C3.0

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

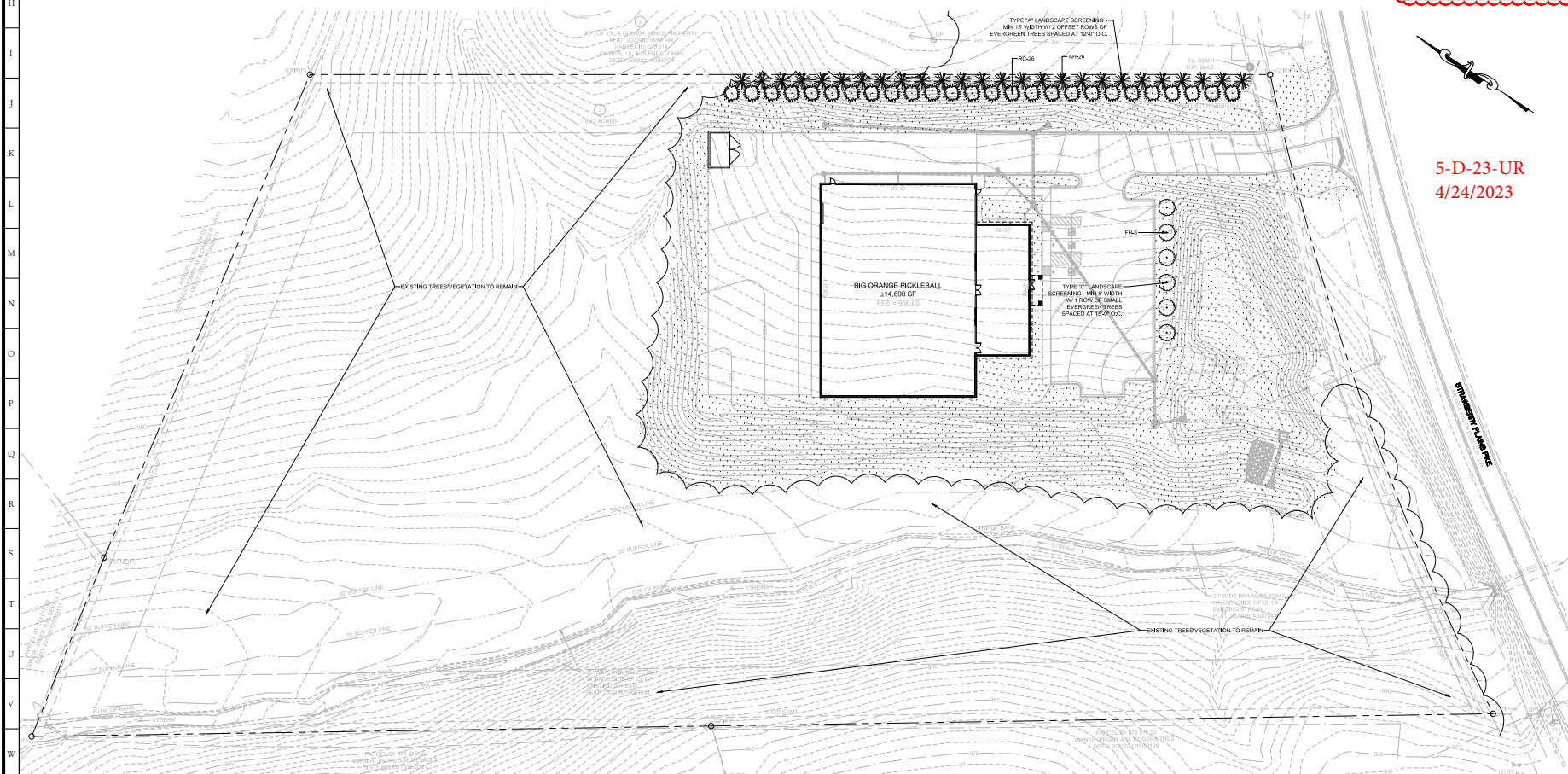
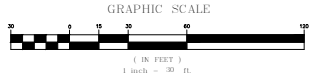
A
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W



PLANT MATERIAL SCHEDULE				
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE
TREES * TREE CALIPER SHALL BE MEASURED AT A POINT 6" ABOVE THE GROUND				
AN	25	Ilex opaca	American Holly	1-1/2" cal., @ 1/4 min at planting
RC	25	Juniper virginiana	Eastern Red Cedar	1-1/2" cal., @ 1/4 min at planting
PH	3	Ilex x alternate Foster?	Foster Holly	1-1/4" cal., @ 1/4 min at planting

PERMANENT GRASSING SCHEDULE			
GRASS SEED SHALL BE AS FOLLOWS:			
FEB-MOV	TALL FESCUE BLEND	6 LB/1000 SF	[Pattern]
	ANNUAL RYE	1 LB/1000 SF	
SOO: TALL FESCUE BLEND			
LIME	150 LB/1000 SF		
FERTILIZER	20 LB/1000 SF		
PHOSPHORUS	20% SUPERPHOSPHATE	15 LB/1000 SF	
MULCH: STRAW 75 LB/1000 SF			
[EROSION CONTROL NET OR MULCH BINDER ON SLOPES]			
	MIN SEED	MIN.	MAX.
	PURITY	95%	98%
	TALL FESCUE	85%	88%
	ANNUAL RYE	95%	98%

- LANDSCAPE NOTES:
1. ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
 2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURL APPLIED AS INDICATED IN THE PLANT LIST.
 4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
 5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 6. ALL TREES MUST BE SHAVED OR STAKED AS SHOWN IN THE DETAILS.
 7. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
 8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD; TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPEARANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN LINTS FINAL ACCEPTANCE OF WORK.
 12. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
 13. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON, AFTER BEING DUG AT THE NURSERY SOURCE. ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 15. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
 16. REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
 17. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 18. THESE PLANS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
 19. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SOODING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 20. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
 21. THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF INDIAN COUNTY AND MPC REGARDING THIS PROJECT.
 22. THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 23. BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES.
 24. THE SUBJECT PROPERTY IS ZONED A.



FILE NUMBER 5-D-23-UR

5-D-23-UR
4/24/2023



10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 277-4160
www.site-incorporated.com

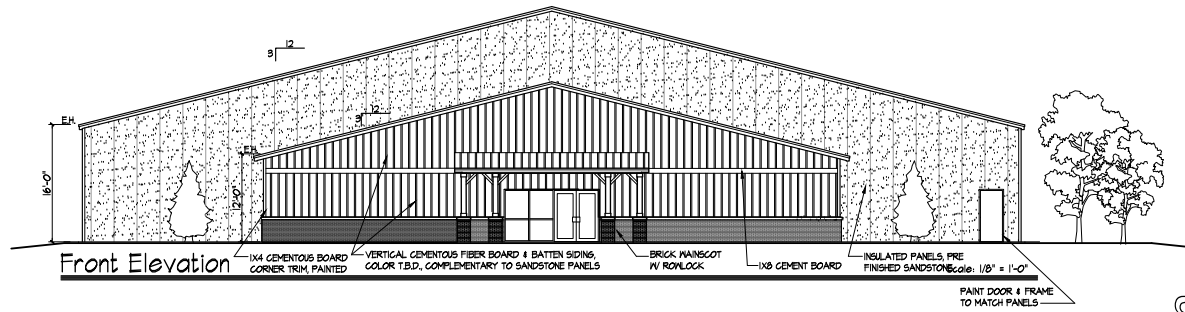


Use on Review (5-D-23-UR) - Landscape Plan
Big Orange Pickleball
7729 Strawberry Plains Pike
Knoxville, Tennessee 37924
Strawberry Plains Pike Pickleball, LLC

NO.	DATE	REVISIONS
1	03/27/2023	Revised per Knoxville zoning Ordinance Comments

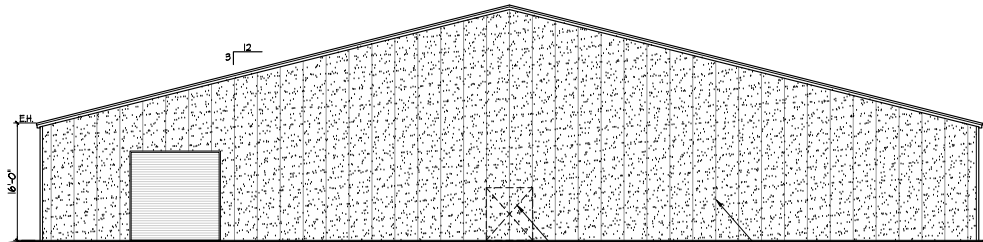
ORIGINAL ISSUE: 03/17/2023
SITE PROJECT #: 2085
FILE: Landscape

C7.0



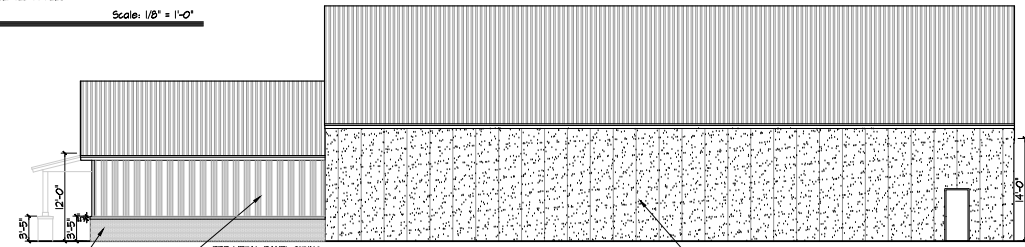
Front Elevation

1/4" GEMENTOUS BOARD CORNER TRIM, PAINTED
 VERTICAL GEMENTOUS FIBER BOARD & BATTEN SIDING, COLOR T.B.D., COMPLEMENTARY TO SANDSTONE PANELS
 BRICK MAINECOT W/ ROYLOCK
 1x8 CEMENT BOARD
 INSULATED PANELS, PRE FINISHED SANDSTONE Scale: 1/8" = 1'-0"
 PAINT DOOR & FRAME TO MATCH PANELS



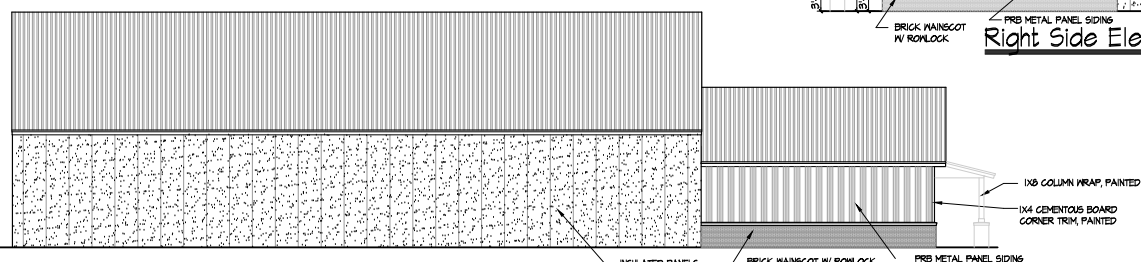
Rear Elevation

1/2" ROLLING DOOR
 FRAME FOR FUTURE 6'-4"x1'-2" OPENING
 INSULATED PANELS
 Scale: 1/8" = 1'-0"



Right Side Elevation

BRICK MAINECOT W/ ROYLOCK
 PRB METAL PANEL SIDING
 INSULATED PANELS
 Scale: 1/8" = 1'-0"



Left Side Elevation

INSULATED PANELS
 BRICK MAINECOT W/ ROYLOCK
 PRB METAL PANEL SIDING
 1x8 COLUMN WRAP, PAINTED
 Scale: 1/8" = 1'-0"

5-D-23-UR
 4/24/2023

PROJECT TITLE:
 description
PICKLE BALL OF KNOXVILLE TN
 Strawberry Plains Pike, TN

E.G. SMITHSON & ASSOCIATES, INC.
 A PROFESSIONAL CORPORATION
 116 S. GUY
 PHONE: (252) 877-2525
 FAX: (252) 865-2864
 WWW: WWW.ESMITHSON.COM

PROFESSIONAL ADDRESS: 1661 SOUTH WHEATON BLVD., RALEIGH, NC 27603
 MAILING ADDRESS: 1661 SOUTH WHEATON BLVD., RALEIGH, NC 27603
 NORTH CAROLINA 27603

CLIENT:

 General Contractor Design Builder
 P.O. Box 1133
 1661 South Wheaton Blvd.
 Rocky Mount, North Carolina 27852
 Phone: (252) 877-2525 Fax: (252) 965-2864
 E-MAIL: ESMITHSON.COM



KEY PLAN:



DRAWING SET:

	DATE
X PRELIMINARY	
X PRELIMINARY BID SET	
X ISSUED FOR PERMIT	
X ISSUED FOR CONSTRUCTION	

REVISIONS:

NO.	DATE	DESCRIPTION
1		
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DRAWING TITLE:
Exterior Elevations

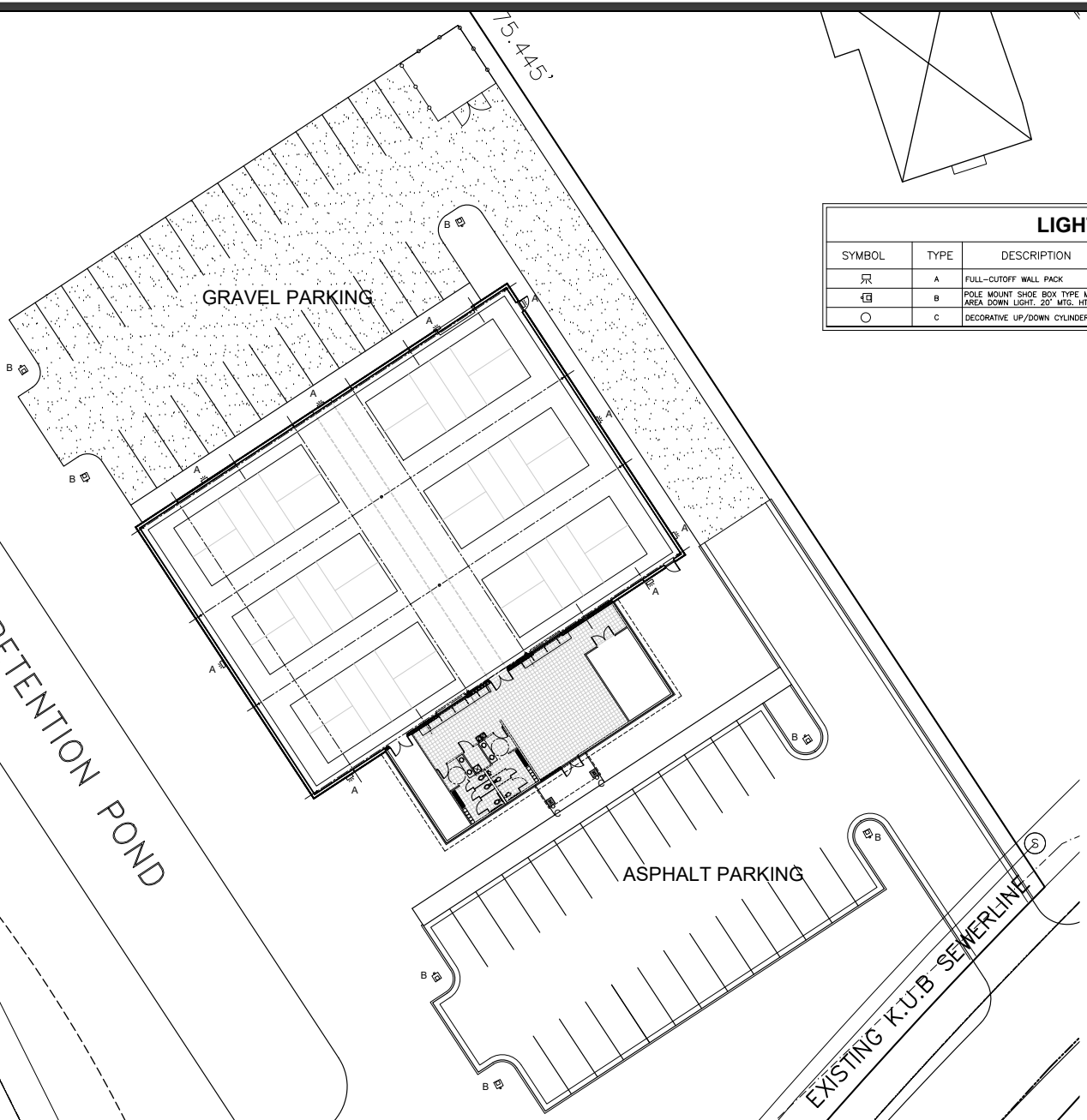
DRAWN BY: Lisha Y.
 SCALE: As Shown
 ISSUE DATE: 09/28/2022
 PROJECT NO.: 2881 Job No. 22

A2

Preliminary-Not for construction

FILE NAME: S:\CAD\DRAWINGS - PICKLEBALL\KNOXVILLE\DRAWINGS\BUILDING\PLAT DATE: 4/24/2023 8:21 AM

FILE NAME: S:\CADD\188\POLE BALL KNOXVILLE TRISTAR\PLANS\DRWG\PLN\DATE: 3/23/2023 2:05 PM



LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	DESCRIPTION	MANFTR.	STYLE	LUMENS	VOLTS/BALLAST	POWER CONSUMPTION
⌘	A	FULL-CUTOFF WALL PACK	ORION	LSWF1-B1 (OR EQUAL)	9,881	120V	70W
⊞	B	POLE MOUNT SHOE BOX TYPE MEDIUM AREA DOWN LIGHT, 20' MTG. HT.	ILP	AL-110W-U-40-T4-UPMB-BLK	17,000	120V	110W
○	C	DECORATIVE UP/DOWN CYLINDER	NUVO	NUV062-1144R1	1,800	120V	20W

PROJECT TITLE:
description

PICKLE BALL OF KNOXVILLE TN
Strawberry Plains Pike, TN

E. D. SMITHSONY & ASSOCIATES, INC.
A PROFESSIONAL CORPORATION
INC. 044, 85278
PHONE: (615) 477-2255
FAX: (615) 486-2858
WWW.EDSMITHSONY.COM

REGISTERED PROFESSIONAL ENGINEER
1981 SOUTH WALKER BLVD. SUITE 200
KNOXVILLE, TN 37921
MEMBER: 0002707885 Fax: (252) 945-3864
C.E.L.C. #1151330

CLIENT:
SMITHSON
General Contractor Design Builder
P.O. Box 1733
1681 South Walker Blvd
Knoxville, TN 37921
C.E.L.C. #1151330

PROJECT NORTH

DRAWING SET: _____ DATE _____

<input checked="" type="checkbox"/>	PRELIMINARY
<input checked="" type="checkbox"/>	PRELIMINARY BID SET
<input type="checkbox"/>	ISSUED FOR PERMIT
<input type="checkbox"/>	ISSUED FOR CONSTRUCTION

REVISIONS:

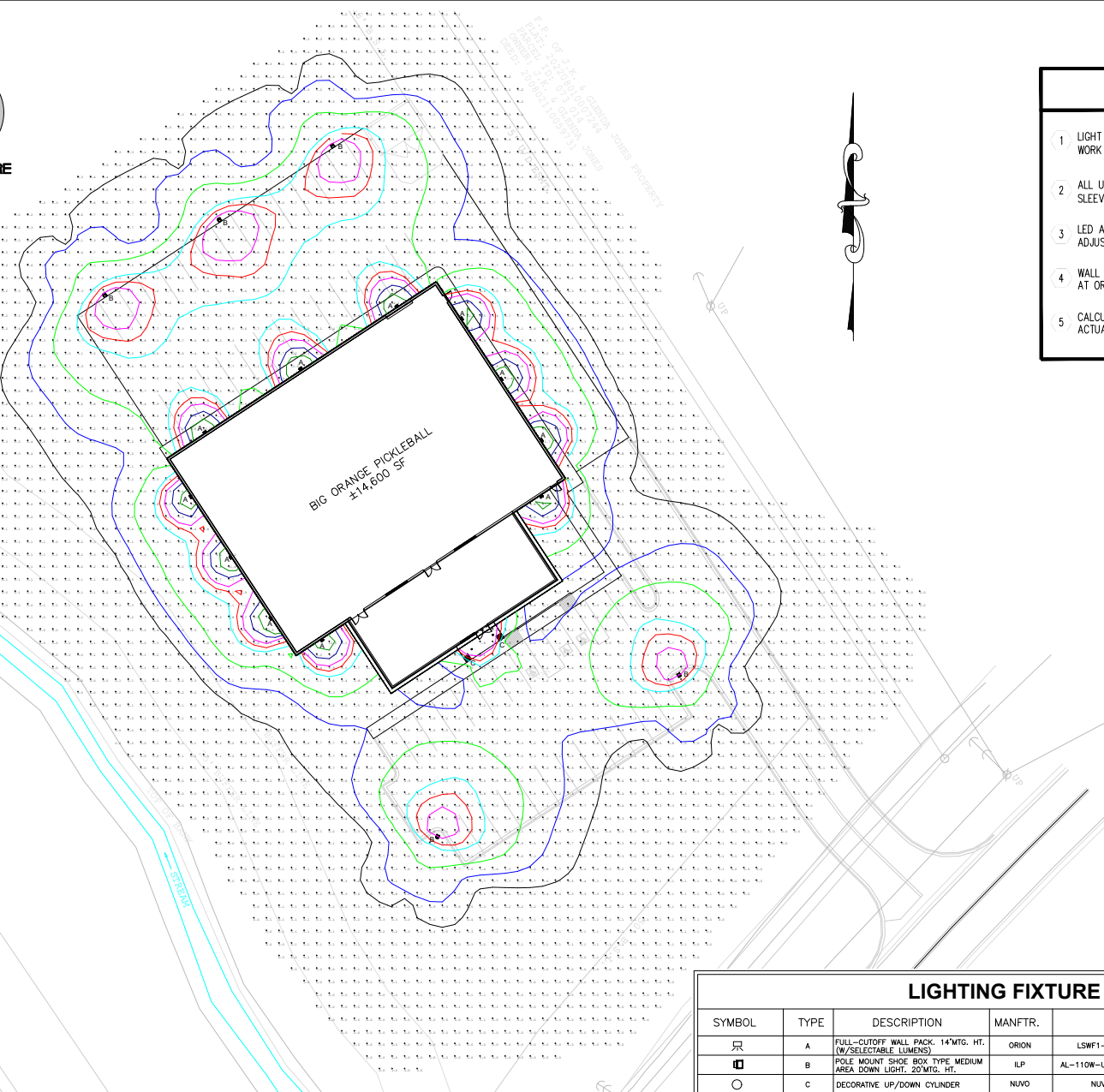
NO.	DATE	DESCRIPTION
1		
2		
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DRAWING TITLE:
Site Lighting Plan

DRAWN BY: Coleman
SCALE: As Shown
ISSUE DATE: 09/28/2022
PROJECT NO.: J861 Job No: 22-

5-D-23-UR
3/23/2023

E-



SITE LIGHTING NOTES

- 1 LIGHT LEVELS ARE SHOWN IN FOOTCANDLES WITH GROUND LEVEL WORK PLANE.
- 2 ALL UNDERGROUND CONDUIT SHALL BE PVC. PROVIDE GALVANIZED STEEL SLEEVE WHEN PASSING THROUGH CONCRETE.
- 3 LED AREA FIXTURES SHOWN ARE TO BE MOUNTED ON POLE BY DIRECT, ADJUSTABLE ARM SLIPFITTER OR KNUCKLE – MOUNTED HORIZONTALLY.
- 4 WALL PACKS TO BE FULL CUTOFF HAVING ZERO INTENSITY AT OR ABOVE HORIZONTAL.
- 5 CALCULATIONS ARE BASED UPON A COMPUTER SIMULATION. ACTUAL FIELD CALCULATIONS MAY VARY.

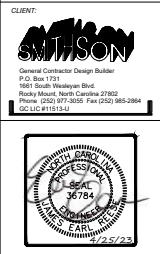
Isoline Legend	
Illuminance (Fc)	
Color	Value
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	1
	2
	4
	5
	6
	8
	10



LIGHTING FIXTURE SCHEDULE							
SYMBOL	TYPE	DESCRIPTION	MANFTR.	STYLE	LUMENS	VOLTS/BALLAST	POWER CONSUMPTION
⊠	A	FULL-CUTOFF WALL PACK 14"MTG. HT. (W/SELECTABLE LUMENS)	ORION	LSWF1-B1 (OR EQUAL)	6,000-9,881	120V	70W
□	B	POLE MOUNT SHOE BOX TYPE MEDIUM AREA DOWN LIGHT, 20"MTG. HT.	ILP	AL-110W-U-40-T4-UPMB-BLK	17,000	120V	110W
○	C	DECORATIVE UP/DOWN CYLINDER	NUVO	NUV06Z-1144RI	1,800	120V	20W

PROJECT TITLE:
Description
PICKLEBALL OF KNOXVILLE TN
Strawberry Plains Pike, TN

E.G. SMITHSON & ASSOCIATES, INC. A PROFESSIONAL CORPORATION
191 SOUTH WASHINGTON BLVD. SUITE 200
RANDOLPH, NORTH CAROLINA 27840
PHONE: (252) 877-3055 FAX: (252) 865-2804
WWW.SMITHSON-LLC.COM



CLIENT:
SMITHSON
General Contractor Design Builder
P.O. Box 1731
1681 South Washington Blvd.
Randy Mount, North Carolina 27802
Phone: (252) 877-3055 Fax: (252) 865-2804
CELL: 813.813.8342

KEY PLAN:

DRAWING SET:	DATE
X PRELIMINARY	
X PRELIMINARY BID SET	
X ISSUED FOR PERMIT	
X ISSUED FOR CONSTRUCTION	

REVISIONS:

NO.	DATE	DESCRIPTION
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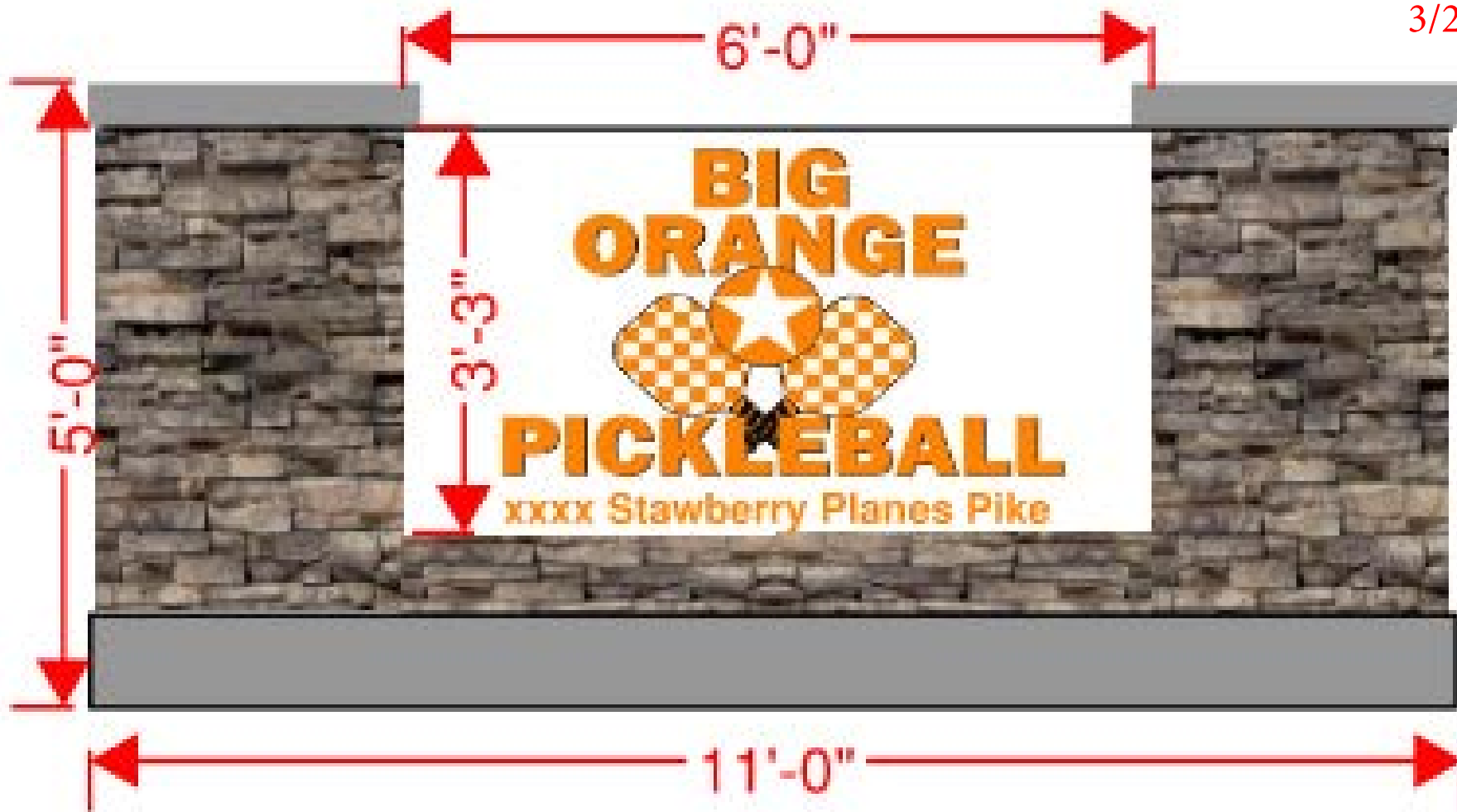
DRAWING TITLE:
Site Lighting Photometric

DRAWN BY: Earl
SCALE: as noted
ISSUE DATE: 09/28/2022
PROJECT NO.: JB61 Job No. 22



FILE NAME: S:\C:\P\HARD\000 - PICKLEBALL KNOXVILLE\ELECTRICAL\PROJECT\KNOX TN\BIG ORANGE PICKLEBALL.dwg PLOT DATE: 09/28/2022 8:11 PM

5-D-23-UR
3/27/2023





Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Strawberry Plains Pike Pickleball, LLC

Applicant Name

Affiliation

3/28/2023

Date Filed

5/11/2023

Meeting Date (if applicable)

5-D-23-UR

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

John R. Anderson, PE SITE, Inc.

Name / Company

10215 Technology Dr. Dr. Suite 304 Knoxville TN 37932

Address

865-777-4175 / janderson@site-incorporated.com

Phone / Email

CURRENT PROPERTY INFO

Wayne Hodge Strawberry Plains Pike Pic 8037 Strawberry Plains Pike Knoxville TN 37924

Owner Name (if different)

Owner Address

423-676-6821 / waynehodge14

Owner Phone / Email

7729 STRAWBERRY PLAINS PIKE

Property Address

73 014.03

Parcel ID

6.42 acres

Tract Size

Part of Parcel (Y/N)?

Knoxville Utilities Board

Sewer Provider

Knoxville Utilities Board

Water Provider

Septic (Y/N)

STAFF USE ONLY

Northwest side of Strawberry Plains Pike, northeast of Wooddale Church Rd

General Location

City **Commission District 8 A (Agricultural)**

Agriculture/Forestry/Vacant Land

County District Zoning District

Existing Land Use

East County

Planning Sector

MU-SD (Mixed Use Special District), ECO-2; HP (Hillside Pr

Sector Plan Land Use Classification

Urban Growth Area (Outside City Limit

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) Indoor pickleball facility	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Additional Information	Total Number of Lots Created
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre) Previous Zoning Requests		
Additional Information		

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)
 Design Plan Certification (Final Plat)
 Site Plan (Development Request)
 Traffic Impact Study
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
\$1,600.00	
Fee 2	
Fee 3	

AUTHORIZATION

Applicant Signature: **Strawberry Plains Pike Pickleball, LLC** Date: **3/28/2023**
Please Print

Phone / Email

Property Owner Signature: **Wayne Hodge Strawberry Plains Pike Pickleball, LLC** Date: **3/28/2023**
Please Print

I declare under penalty of perjury the foregoing (i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent) is true and correct.



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Strawberry Plains Pike Pickleball, LLC

Owner

Applicant Name

Affiliation

03/27/2023

05/11/2023

File Number(s)

Date Filed

Meeting Date (if applicable)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

John R. Anderson, P.E.

SITE, Incorporated

Name

Company

10215 Technology Drive, Suite 304

Knoxville

TN

37932

Address

City

State

ZIP

865-777-4165

janderson@site-incorporated.com

Phone

Email

CURRENT PROPERTY INFO

Strawberry Plains Pike Pickleball, LLC

8037 Strawberry Plains Pike 37924

423-676-6821

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

7729 Strawberry Plains Pike 37924

073 01403

Property Address

Parcel ID

KUB

KUB

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

Northwest side of Strawberry Plains Pike, northeast of Wooddale Church Rd

6.42 acres

General Location

Tract Size

- City
- County

8th

A

Agricultural/Forestry/Vacant

District

Zoning District

Existing Land Use

East County

MU-SD, ECO-2

Urban Growth

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

DEVELOPMENT REQUEST

- Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential

Related City Permit Number(s)

Home Occupation (specify) _____

Other (specify) Indoor pickleball facility

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name _____

Combine Parcels
 Divide Parcel
 _____ Total Number of Lots Created

Other (specify) _____

Attachments / Additional Requirements

ZONING REQUEST

Pending Plat File Number

Zoning Change
 _____ Proposed Zoning

Plan Amendment Change
 _____ Proposed Plan Designation(s)

Proposed Density (units/acre) _____ Previous Rezoning Requests _____

Other (specify) _____

STAFF USE ONLY

PLAT TYPE

- Staff Review
 Planning Commission

ATTACHMENTS

- Property Owners / Option Holders
 Variance Request



ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)
 Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1	0405	UOR - nonresidential	Total \$1,600
Fee 2			
Fee 3			

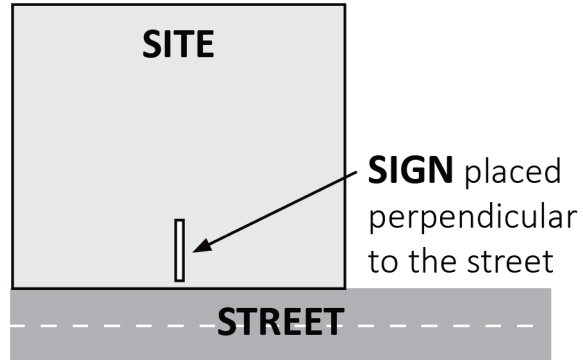
MR

AUTHORIZATION

	Strawberry Plains Pike Pickleball, LLC	3/16/2023
Applicant Signature	Please Print	Date
Wayne Hodge	Wayne Hodge	waynehodge14@gmail.com
Phone Number	Email	
	Wayne Hodge	3/16/2023
Property Owner Signature	Please Print	Date
	waynehodge14@gmail.com	

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ April 28, 2023 _____ and _____ May 12, 2023 _____
(applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Strawberry Plains Pike Pickleball, LLC

Date: 3/28/2023

File Number: 5-D-23-UR

- Sign posted by Staff
- Sign posted by Applicant