



USE ON REVIEW REPORT

▶ **FILE #:** 11-B-23-UR

AGENDA ITEM #: 37

AGENDA DATE: 11/9/2023

▶ **APPLICANT:** SAMUEL HARWARD

OWNER(S): Samuel Harward

TAX ID NUMBER: 76 J B 002.01

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 8117 RIVER DR

▶ **LOCATION:** North side of River Dr at Burchfield Dr

▶ **APPX. SIZE OF TRACT:** 0.76 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via River Drive, a local street with a 15-ft pavement width within 51-ft of right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: Septic

WATERSHED: Clinch River

▶ **ZONING:** RA(k) (Low Density Residential) with conditions

▶ **EXISTING LAND USE:** Single Family Residential

▶ **PROPOSED USE:** Garage apartment

HISTORY OF ZONING: A rezoning from RAE to RA was approved in August 2023 (File# 8-J-23-RZ).

SURROUNDING LAND USE AND ZONING: North: Water - RAE (Exclusive Residential)

South: Single family residential - RAE (Exclusive Residential)

East: Water - RAE (Exclusive Residential)

West: Single family residential - RAE (Exclusive Residential)

NEIGHBORHOOD CONTEXT: This property is in a single family residential subdivision on the east side of Oak Ridge Highway along the Clinch River.

STAFF RECOMMENDATION:

▶ **Approve the use of a garage apartment as a secondary structure to the existing primary single family residential home, subject to 3 conditions.**

- 1) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 2) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 3) Meeting all requirements of the utility provider and/or the Knox County Health Department.

COMMENTS:

DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10 - SECTION 2)

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

1) THE PROPOSED USE IS CONSISTENT WITH THE ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND SECTOR PLAN.

A. The RA zone is consistent with the LDR (Low Density Residential) land use designation recommended in the Northwest County Sector Plan.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.

A. This residential zone provides for residential areas with low population densities. These areas are intended to be defined and protected from encroachment of uses not performing a function necessary to the residential environment. The proposed use of a garage apartment is consistent with the general purpose of the zoning ordinance.

B. The proposed development plans for the garage apartment secondary to the single family residential home are consistent with the standards of the RA zone.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. While there are no garage apartments in the existing neighborhood, the addition of a single dwelling in an accessory structure does not represent a significant increase in the density of the neighborhood. The proposed structure is situated next to the primary structure with a 95-ft front setback and 100-ft side yard setback. It will be largely obscured from view by existing vegetation that is to remain.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY.

A. The proposed single-family dwelling and garage apartment is not expected to injure the value of adjacent properties in the area since the proposed garage apartment does not significantly increase density.

5) THE USE WILL NOT DRAW ADDITIONAL TRAFFIC THROUGH RESIDENTIAL AREAS.

A. This proposed development will not draw a significant amount of additional traffic through residential areas.

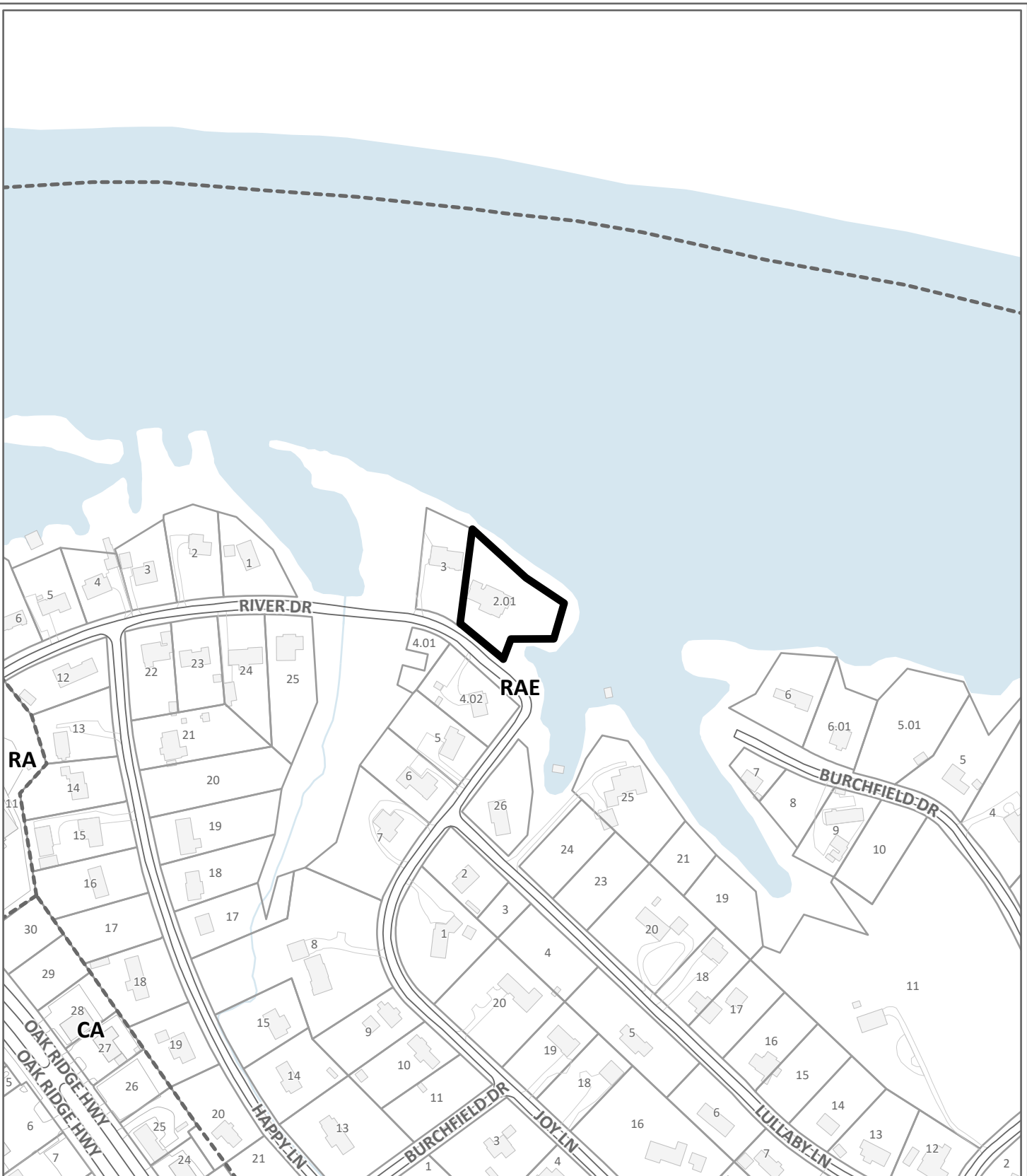
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses in the area that could cause a potential hazard or create an undesirable environment for the proposed use.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Commission. The date of the Knox County Commission hearing will depend on when the appeal application is filed.



USE ON REVIEW

11-B-23-UR

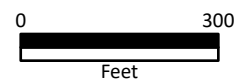
Petitioner: Samuel Harward



Garage apartment in RA (Low Density Residential)

Map No: 76

Jurisdiction: County

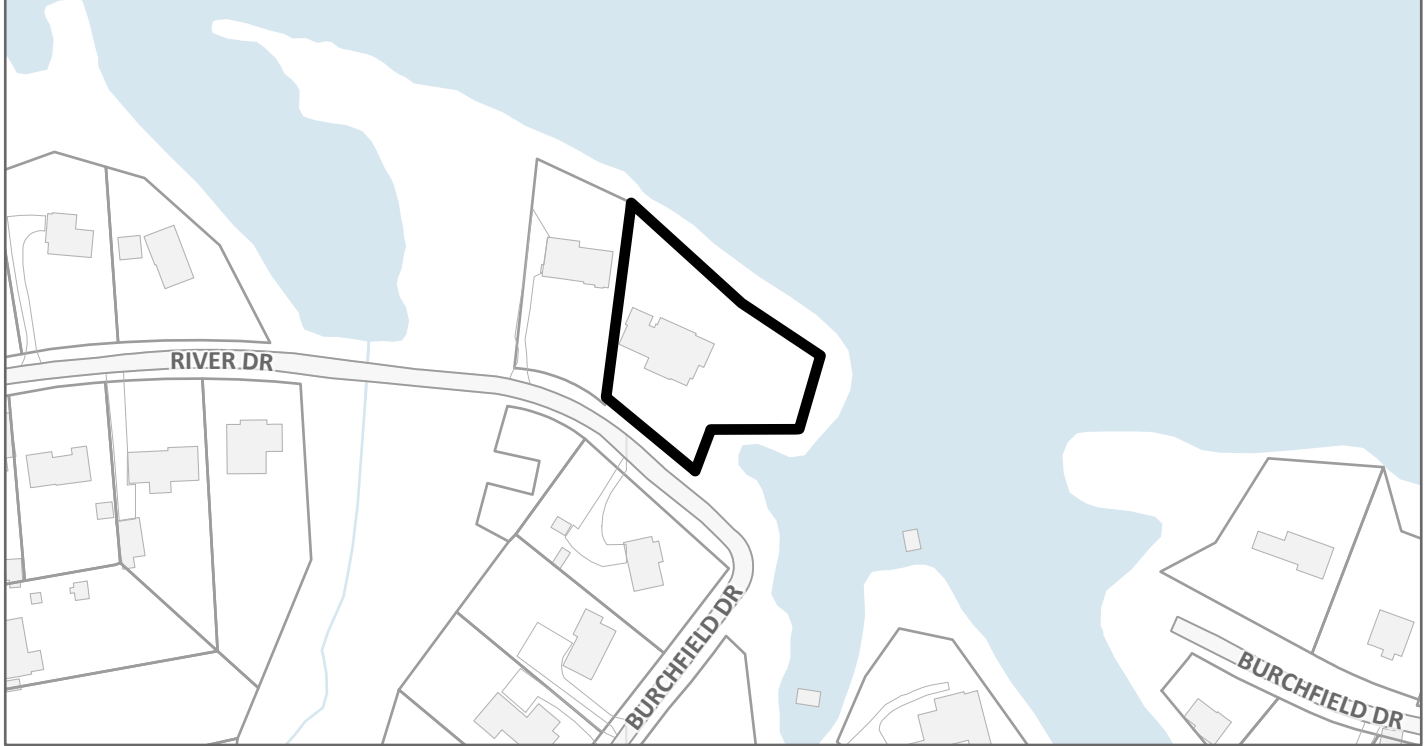


Original Print Date: 10/4/2023

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Exhibit A. Contextual Images

Location Map



Aerial Map

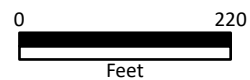


CONTEXTUAL MAPS 1

11-B-23-UR



Case boundary



**KNOX COUNTY HEALTH DEPARTMENT – DIVISION OF ENVIRONMENTAL HEALTH
PERMIT FOR CONSTRUCTION OF SUBSURFACE SEWAGE DISPOSAL**

Issued to: <u>SAM HAWARD</u> Owner, Developer, Contractor, Installer, Etc. Location: <u>8117 RIVER DR</u> <u>MAP 67 Pz 2.01</u> Acreage _____	Evaluation Based Upon: <input checked="" type="checkbox"/> 1. Soil typing by Soil Scientist <input type="checkbox"/> 2. Soil Percolation Tests <input type="checkbox"/> 3. Environmental Specialist Estimated Absorption Rate: <u>45</u> m.p.i.	Permit Requirements Based Upon: <input type="checkbox"/> Soil Texture/Structure <input type="checkbox"/> Soil Depth <input type="checkbox"/> Soil Drainage <input type="checkbox"/> Presence of Restrictive Layers <input type="checkbox"/> Position <input type="checkbox"/> TCA 68-221-403 Section
Installation: <input checked="" type="checkbox"/> 1. New Installation <input checked="" type="checkbox"/> 2. Repair to Existing System Establishment: <input checked="" type="checkbox"/> 1. Residential: # of Bedrooms <u>APT. W/ 1 BR</u> <input type="checkbox"/> 2. Other: _____ (specify) Gal/day _____	Conventional Systems: Type of Systems: <input checked="" type="checkbox"/> 1. Standard <input type="checkbox"/> 2. 1203 Easy Flow <input type="checkbox"/> 3. 1401 Easy Flow <input checked="" type="checkbox"/> 4. Chamber <u>2'</u> () 3' <input checked="" type="checkbox"/> 5. Large Diameter Gravelless Pipe <input type="checkbox"/> 6. Others _____	Alternative Systems: <input type="checkbox"/> 1. Low Pressure Pipe <input type="checkbox"/> 2. Mound <input type="checkbox"/> 3. Lagoon <input type="checkbox"/> 4. Other _____ See attached design package

This system shall consist of a two compartment septic tank holding 1000 gallons, with 100 linear feet in 3 trenches, 24" or 36" wide and 32" - 36" inches deep.
 * IF USING 2' CHAMBER. CALL BEFORE INSTALL

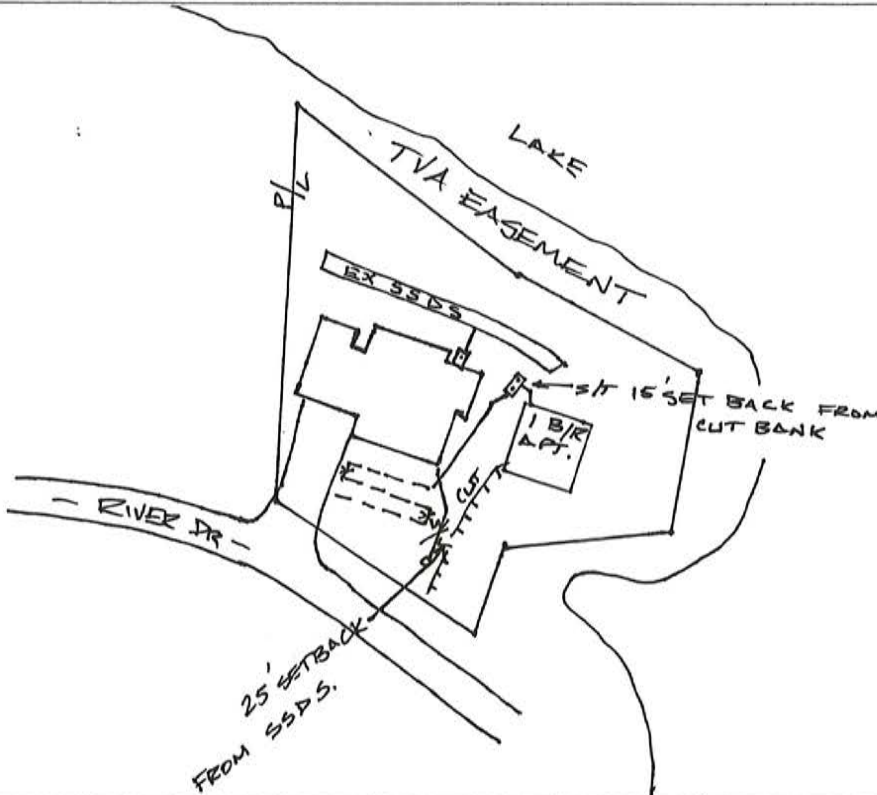
- Also required:
- 1. Curtain Drain
 - 2. Flow Diversion Valve
 - 3. Sewage Pump
 - 4. Other: _____

All installers of subsurface sewage disposal systems must hold a valid annual license from the Knox County Health Department.

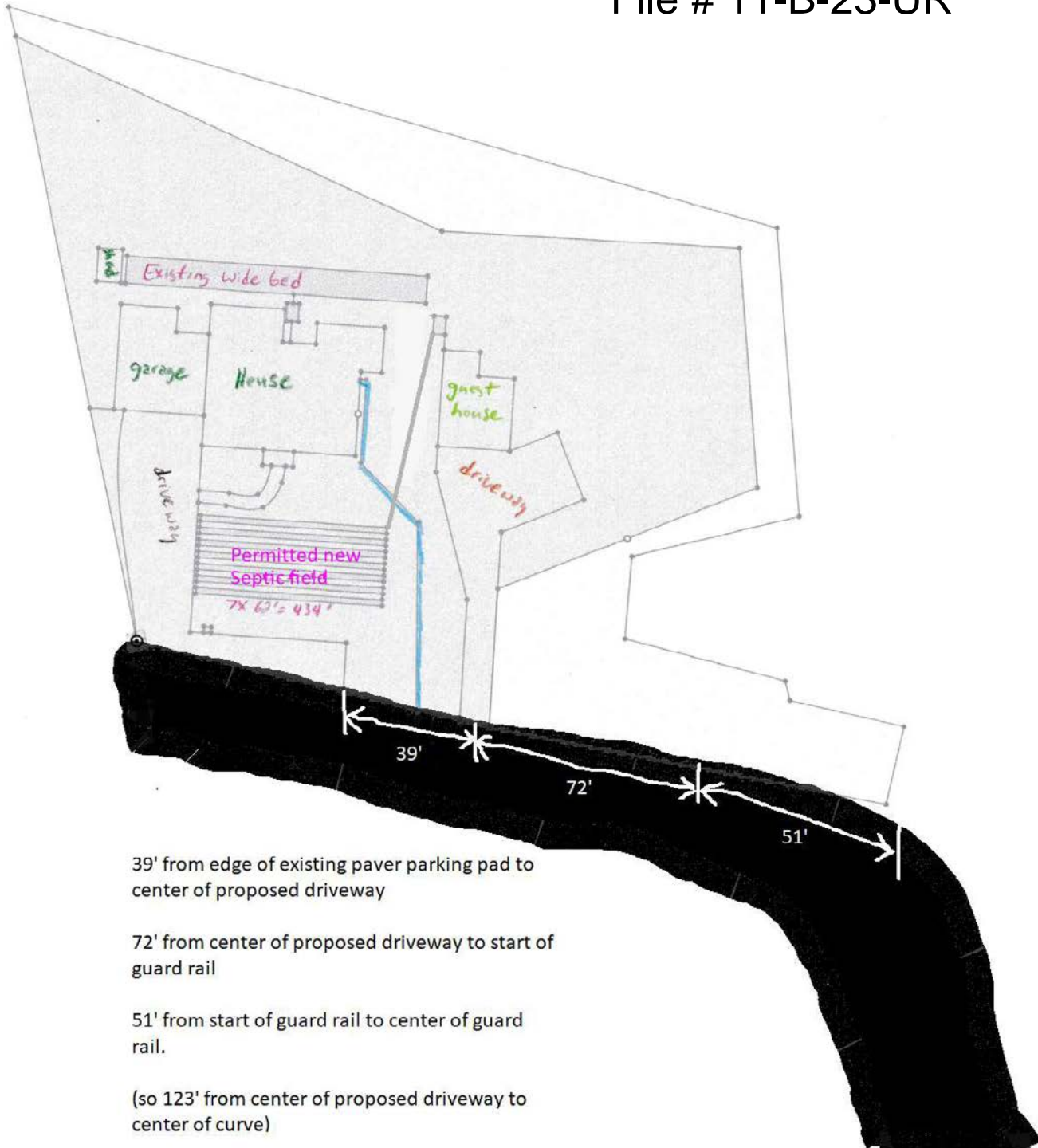
The recipient of this permit agrees to construct or have constructed the above described system in accordance with 68-13-401 et. seq. and The Regulations To Govern Subsurface Sewage Disposal Systems. If any part of the system is covered before being inspected and approved, it shall be uncovered by the recipient of the permit at the direction of personnel of the Knox County Health Department. Any cutting, filling or alterations of the soil condition on the aforementioned property after this day may render this approval null and void.

Signature of Recipient _____	Date _____
Issued in Knox County, Tennessee	By: <u>G. HARGIS ENV. SPEC. III</u> <u>10/31/22</u>
	Date Issued

- Notes:
- | | | |
|---|-----------------------------------|---|
| (1) Scale <u>NOT TO SCALE</u> | (5) 10' from property lines | (9) 25' from cut banks and natural drains |
| (2) Install trenches on contour of land | (6) 10' trenches from house | (10) Call 215-5200, 8:00-9:00 a.m. for inspection |
| (3) Maintain a 100% Reserve Area () | (7) 5' septic tank from house | |
| (4) Keep well 50 ft. or more from sewage system | (8) 15' septic tank from cut bank | |



This is a permit to construct and is not intended to imply approval of any work proposed or completed on this lot.
 THIS PERMIT IS VALID FOR 3 YEARS FROM DATE OF ISSUE



39' from edge of existing paver parking pad to center of proposed driveway

72' from center of proposed driveway to start of guard rail

51' from start of guard rail to center of guard rail.

(so 123' from center of proposed driveway to center of curve)

Garage/ Apartment Mr. Harward

8117 River Drive,
Oak Ridge, Tennessee 37830



678.591.6864

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March 24, 2023

general notes:

ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, RESTRICTIONS AND ORDINANCES ENFORCED BY THE CITY OF OAK RIDGE, STATE OF TENNESSEE.

A.I.A. DOCUMENT #201(1997) "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" IS HEREBY MADE PART OF THESE CONTRACT DOCUMENTS TO THE SAME EXTENT AS IF BOUND HEREIN.

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING REQUIRED BUILDING, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER APPLICABLE CONSTRUCTION PERMITS FOR ALL PHASES OF WORK PRIOR TO START OF CONSTRUCTION AND SHALL PROVIDE USE OCCUPANCY PERMIT AT COMPLETION OF THE PROJECT.

CONTRACTOR SHALL SUBMIT PLAN OF CONSTRUCTION SEQUENCE TO THE OWNER PRIOR TO BEGINNING CONSTRUCTION WORK.

THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS AND SHALL REQUEST CLARIFICATION OR DIRECTION, PRIOR TO START OF WORK AND IN SUFFICIENT TIME FOR DESIGNER TO RENDER A DECISION WITHOUT DELAYING PROGRESS.

DO NOT SCALE DOCUMENTS. REFER TO WRITTEN DIMENSIONS OR SPECIFICATIONS BELOW FOR DETAILED INFORMATION. SPECIFICATIONS SHALL HAVE PRECEDENCE OVER DRAWINGS. LARGE SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

DIMENSIONS INDICATED ARE FROM FACE OF STUD INTERIOR PARTITIONS AND TO FACE OF EXTERIOR AND BEARING WALLS UNLESS OTHERWISE NOTED ON PLAN. CLEAR DIMENSIONS ARE NOTED WHERE THEY ARE CRITICAL AND MUST BE MAINTAINED. VERTICAL DIMENSIONS TO FLOOR ARE TO TOP OF SLAB UNLESS OTHERWISE NOTED.

DETAILS ARE KEPT ONLY ON THE PLANS OR ELEVATIONS AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED. "TYPICAL" MEANS SIMILAR OR IDENTICAL FOR ALL LIKE CONDITIONS UNLESS OTHERWISE NOTED. "ALIGN" MEANS SIMILAR COMPONENTS OF CONSTRUCTION (WALLS, JAMBS, ETC.) SHALL ALIGN ACROSS VOIDS AND FACES OF DISSIMILAR ITEMS SHALL FALL IN THE SAME LINE AS INDICATED.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE INSTALLATION OF ALL DUCTWORK, PLUMBING LINES, ETC. TO AVOID INTERFERENCE OF THE VARIOUS SYSTEMS WITH ONE ANOTHER AND WITH THE STRUCTURE OF THE BUILDING.

FIELD CHANGES REQUESTED BY THE OWNER OR DESIGNER MUST BE PRICED BY THE CONTRACTOR AND AUTHORIZED BY CHANGE ORDER PRIOR TO IMPLEMENTATION. SOME CHANGES MAY AFFECT THE COMPLETION DATE AND PRICING.

ALL REQUESTS FOR SUBSTITUTION OF ITEMS SPECIFIED SHALL BE SUBMITTED TO THE OWNER IN WRITING AND WILL BE CONSIDERED ONLY IF IMPROVED SERVICE MORE ADVANTAGEOUS DELIVERY DATE OR LOWER PRICE (WITH CREDIT TO THE OWNER) ARE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE AND FUNCTION. UNDER NO CIRCUMSTANCES WILL IT BE THE OWNER'S RESPONSIBILITY TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL ITEMS AND REQUIREMENTS TO THE OWNER SHOP DRAWINGS SHALL INCLUDE DETAILED FABRICATION AND ERECTION DRAWINGS, SETTING DRAWINGS, DIAGRAMMATIC DRAWING AND MATERIAL SCHEDULES. LOCATION AND ORIENTATION OF ALL ITEMS SHALL BE CLEARLY INDICATED. FABRICATION SHALL BEGIN ONLY AFTER RECEIVING APPROVED SHOP DRAWINGS. SUBMITTAL OF SHOP DRAWINGS FOR OWNER'S APPROVAL IS REQUIRED PRIOR TO CONSTRUCTION OF ANY BUILT-IN CASEWORK OR SHELVEING. SUBCONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING DIMENSIONS FOR BUILT-IN ITEMS.

MATERIALS AND WORKMANSHIP ARE TO CONFORM TO THE MATERIALS AND WORKMANSHIP REQUIREMENTS OF THE SPECIFICATIONS. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.

EQUIPMENT AND APPLIANCES: CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND/OR APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED.

ALL FINISHED WORK SHALL BE PROTECTED FROM DAMAGE AND DIRT ± ALL RUBBISH AND DEBRIS SHALL BE REMOVED DAILY.

AT THE COMPLETION OF CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE CLEANING OF THE BUILDING. THIS SHALL INCLUDE THE CLEANING OF ALL HARDWARE, PLUMBING FIXTURES, GLASS AND GLAZING, CASEWORK (INCLUDING INTERIOR OF CABINETS & DRAWERS), REMOVAL OF PAINT SPOTS, CLEANING AND SEALING OF FLOOR MATERIALS AS RECOMMENDED BY MANUFACTURER. BUILDING SHALL BE READY FOR OCCUPANCY.

OBJECTS PROJECTING FROM WALLS, FREESTANDING, OVERHEAD, OVERHANGING OBJECTS, AND OBJECTS MOUNTED ON POSTS AND PYLONS SHALL BE INSTALLED IN COMPLIANCE WITH ALL APPLICABLE CODES.

THE DESIGNER IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY OF THIS PROJECT, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITIES.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.

NOTES:
1. CONTRACTOR TO PROVIDE THE OWNER WITH A 3 RING BINDER CONTAINING ALL PRODUCT INFORMATION, WARRANTIES, SERIAL NUMBERS, SOFTWARE LICENSES, SOFTWARE PASSWORDS, ETC. INCLUDED IN THE RESIDENCE. BINDER TO ALSO CONTAIN A LIST OF ALL CONTRACTORS WITH CONTACT INFORMATION INCLUDED WHO WORKED ON THE RESIDENCE.
2. OWNER WILL HAVE 30 DAYS TO REVIEW ALL PAY REQUESTS.
3. THESE DOCUMENTS TO BE INCLUDED AS PART OF THE OWNER/CONTRACTOR AGREEMENT.
4. ANY DEVIATION FROM THESE DOCUMENTS MUST BE APPROVED BY THE OWNER IN ADVANCE OF WORK BEING PERFORMED.
5. ALL COLORS TO BE APPROVED BY OWNER STONE, BRICK, PAINT, EXPOSED METALS, ETC.
6. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY.
7. CONTRACTOR TO VERIFY ALL STRUCTURAL MEMBERS. MEMBERS SHOWN ARE MINIMUMS.
8. CONTRACTOR TO PROVIDE BLOCKING IN ALL WALL RECEIVING ACCESSORIES TO BE HUNG ON WALLS IE. TOWEL BARS, GRAB BARS, ETC.
9. CONTRACTOR TO PROVIDE OWNER WITH A CERTIFICATE OF OCCUPANCY FROM THE LOCAL JURISDICTION.

CONSTRUCTION NOTES:

FRAMING:
SEE ROOF PLAN AND WALL SECTIONS FOR RAFTER SIZES.
ALL RIDGE BEAMS TO BE (1) 2X12 MEMBER OR 2 LUMBER SIZES LARGER THAN RAFTERS.
ALL VALLEY BEAMS TO BE (2) 2X WOOD MEMBERS ONE LUMBER SIZE LARGER THAN RAFTERS.
ROOF PLYWOOD TO BE ROOF ZIP SHEATHING PANELS WITH ZIP TAPE
SEE WALL SECTIONS FOR SIZE OF ROOF OVERHANGS.
PROVIDE 2X6 COLLAR TIES AT 16" O.C.
NO "LAY-ON" VALLEYS ARE ALLOWED WITHOUT THE OWNERS WRITTEN APPROVAL. ALL VALLEYS TO BE FRAMED WITH SLOPED FRAMING MEMBERS.
MAINTAIN 2" CLEARANCE TO COMBUSTIBLE FRAMING MEMBERS AT MASONRY FIREPLACES.

CONCRETE:
CAST-IN-PLACE CONCRETE SHALL BE POURED ON UNDISTURBED INORGANIC SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 PSF OR COMPACTED FILL APPROVED BY BUILDING DEPARTMENT. NOTIFY THE OWNER OF ANY UNSUBSTANDARD OR QUESTIONABLE SOIL CONDITIONS.
NO CONCRETE SHALL BE POURED SUBJECT TO FREEZING CONDITIONS OR ON FROZEN GROUND.
GENERAL:
WATER-CEMENT RATIO: 6 GALLONS PER BAG OF CEMENT, INCLUDING WATER IN AGGREGATES.
FOUNDATIONS, FOOTINGS, & INTERIOR SLABS:
MINIMUM COMPRESSIVE STRENGTH (AT 28 DAYS) 2500 PSI.
AIR ENTRAINMENT: 5% TO 7%
CEMENT CONTENT: 6 BAGS PER CUBIC YARD.
MAXIMUM SLUMP: 4 INCHES.

BACKFILLING:
BACKFILL ADJACENT TO THE WALL SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGED BY THE BACKFILL.
CHIMNEY FOOTINGS:
PROVIDE A 1'-0" DEEP CONCRETE FOOTING WITH 6" PROJECTIONS UNDER THE CHIMNEY FOUNDATION.
CONCRETE SLAB SHALL SLOPE TO ALL FLOOR DRAINS.
MASONRY:
HEARTH SLAB: PROVIDE A MINIMUM 4" CONCRETE HEARTH SLAB WITH #3 REBAR AND 6" O.C. IN BOTH DIRECTIONS.
LIMITS: ALL STEEL LIMITS SHALL BE 3/8"x3/8"x9/16" UNLESS NOTED OTHERWISE.
WOOD:
LUMBER: UNLESS OTHERWISE NOTED, ALL HORIZONTAL FRAMING MEMBERS WERE SIZED FOR SFF NO.2 OR BETTER. ALL VERTICAL FRAMING MEMBERS SHALL BE SFF STUD GRADE OR BETTER.

NOTICES: NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/4" OF THE DEPTH AND SHALL NOT BE ON THE ENDS, THE NOTCH SHALL NOT EXCEED 1/4" OF THE JOIST DEPTH.
HOLES: HOLES BORED IN THE JOIST SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM AND SHALL NOT EXCEED 1/4" OF THE JOIST DEPTH.
DOUBLE JOISTS: DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS AND UNDER BATHROOMS AND WHIRLPOOLS TUBS.
DOUBLE JOISTS THAT ARE SEPARATED FOR PIPING AND DUCTS SHALL HAVE BLOCKING @ 4'-0" O.C. MAXIMUM.
FIRESTOPPING: FIRESTOPPING SHALL BE PROVIDED IN CONGEALED PLACES OF STUD WALLS, CEILING, SOFFITS, MID-HEIGHT IN WALLS OVER 6'-0" HIGH AND BETWEEN STAIRS STRINGERS AT TOP AND BOTTOM OF RUN IF REQUIRED BY BUILDING DEPARTMENT.
HEADERS: ALL HEADERS ARE (2) 2X12 W/4" SPACERS, UNLESS NOTED OTHERWISE.

METAL HANGERS: USE GALVANIZED METAL JOIST HANGERS, USE JOIST HANGER WALLS WHEN FRAMING INTO HEADERS AND BEAMS.
FLITCH BEAMS, WHERE PERMITTED, FLITCH BEAMS SHALL BE BOLTED TOGETHER WITH 1/2" DIAMETER STEEL BOLTS @ 24" O.C. STAGGERED AT THE TOP AND BOTTOM . PROVIDE 2 BOLTS AT EACH END.
BRIDGING: PROVIDE 1X3 OR APPROVED METAL BRIDGING WITH MAXIMUM 8'-0" O.C.
BAY AND BOW WINDOWS: BOTTOMS SHALL HAVE DOUBLE 1/2" RIGID INSULATION WITH STAGGERED JOINTS, 1/2" PLYWOOD BOTTOM, ALL JOINTS TO BE CAULKED.

DRAWING LIST

- T1 TITLE SHEET
- A1 MAIN & LOWER LEVEL FLOOR PLANS
- A2 FLOOR PLANS
- A3 ELEVATIONS
- A4 BUILDING SECTIONS
- A5 FRAMING ELEVATIONS
- A6 FRAMING ELEVATION
- A7 FRAMING ELEVATION
- A8 WALL SECTION, DETAIL
- A9 WALL SECTION
- A10 WALL SECTION

E1 MAIN & LOWER LEVEL ELECTRICAL PLANS

Bid Notes:

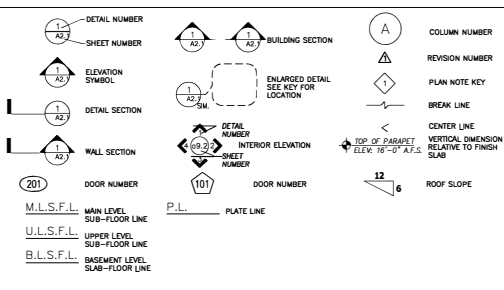
Structural Sizes are Considered Minimum Contractor to Verify.
These Documents Are Part of the Contract. Contractor Must Receive in Writing Permission From Owner Before Deviating From These Documents
Deviations From These Documents Without Owners Permission Will be Corrected By Contractor at Contractors Expense.

project no: 202302-01
drawn by:
checked by:
sheet no.:

T-01

Issued for Construction

drawing symbols:

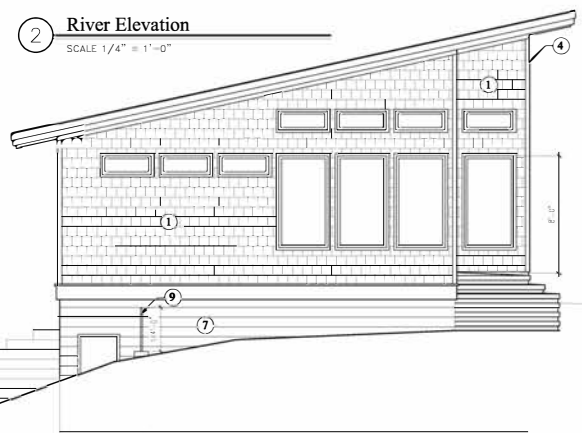


abbreviations:

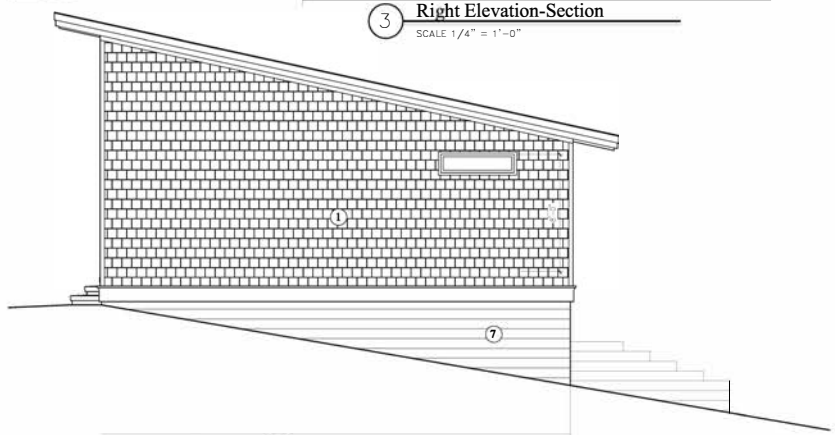
A.C.	AIR CONDITIONING	E.L.C.	ELECTRICAL	H.V.A.C.	HEATING/VENTILATION/	P.R.	PAINT
A.D.	AREA DRAIN	E.L.F.	ELECTRICAL RACK	L.F.L.	LOWER FINISH FLOOR LEVEL	P.D.	PAINTED
A.F.S.	ABOVE FLOOR SLAB	E.L.P.	ELECTRICAL PANEL	I.N.C.	INSULATION	R.D.	REQUIRED
A.H.C.	ARCH	E.L.T.	ELECTRICAL TRAY	I.N.T.	INTERIOR	R.E.S.	REQUIRED OR REUSED
B.F.	BOARD	F.D.	FLOOR DRAIN	M.A.N.	MANHOLE	R.O.	ROUGH OPENING
B.F.F.	BREKFAST FINISH FLOOR LEVEL	E.X.T.	EXTERIOR	M.F.M.	METAL BLOCK MANUFACTURER	R.S.	ROUGH SQUEEZE
B.L.D.G.	BUILDING	F.F.	FLOOR FINISH	M.E.C.H.	MECHANICAL	R.T.U.	ROOF TOP UNIT
B.M.	BROW	F.F.F.	FLOOR FINISH FACE	M.F.F.L.	MIN FINISH FLOOR LEVEL	S.A.B.	SOILING ATTENUATION
B.W.	BEARING	F.N.	FLOOR FINISH	M.I.N.	MINIMUM	S.B.T.	SOFT INSULATION
C.A.B.	CABINET	F.O.B.	FACE OF BLOCK	M.I.W.	MOUNTED	S.C.	SPACING
C.C.	CORNER	F.O.S.	FACE OF STEEL	M.L.	METAL	S.F.	SPECIFICATION
C.L.	CLOSURE	F.P.	FACE OF PLATE	M.N.F.	NON-FERROUS	S.S.	STAINLESS STEEL
C.L.R.	CLEAR	F.P.V.	FACE OF PLATE VERTICAL	M.C.	NON-COMBUSTIBLE	S.T.	SAND TRAP
C.M.U.	CONCRETE MASONRY UNIT	F.P.V.	FACE OF PLATE VERTICAL	M.C.	NON-COMBUSTIBLE	S.T.	SAND TRAP
C.O.	CONCRETE	G.E.N.	GENERAL	N.C.	NOT IN CONTACT	S.T.R.	STRUCTURAL
C.O.C.	CONCRETE JOINT	G.F.I.	GROUND FAULT INTERRUPT	N.C.	NOT IN CONTACT	S.T.R.	STRUCTURAL
D.F.	DRINKING FOUNTAIN	G.W.B.	Gypsum WALL BOARD	O.H.	OVERHEAD	T.S.	TUBE SHEET
D.N.	DRAIN	H.C.	HOLLOW CORE	O.P.	OPPOSITE	T.Y.	TYPICAL
D.N.	DRAIN	H.L.	HOLLOW METAL	O.P.D.	OPPOSITE SIDE	V.C.T.	VERTICAL COMPOSITION TILE
D.P.	DUSTING	H.M.	HOLLOW METAL	P.F.	PREFORMED EXPANSION JOINT	V.T.	VENT THROUGH ROOF
E.H.	EXHAUST	H.T.R.	HEATER	P.L.	PLATE	W.L.	WATER HEATER
E.F.	EXHAUST FAN			P.L.	PLATE	W.L.	WATER HEATER



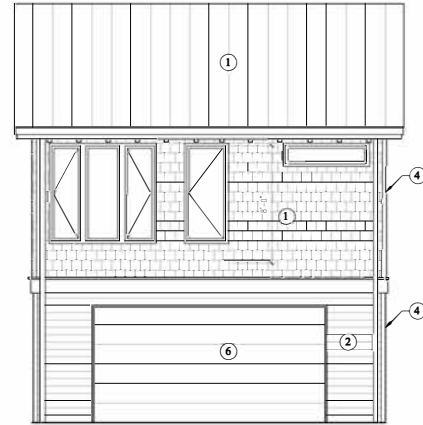
2 River Elevation
SCALE 1/4" = 1'-0"



3 Right Elevation-Section
SCALE 1/4" = 1'-0"

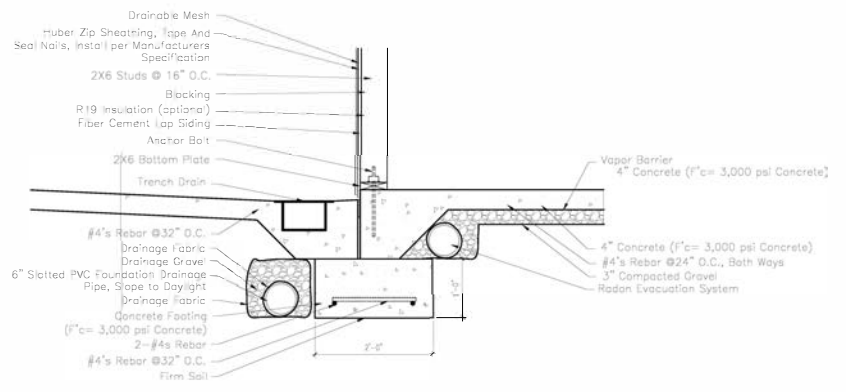


4 Left Elevation-Section
SCALE 1/4" = 1'-0"



1 Street Elevation
SCALE 1/4" = 1'-0"

- KEY NOTES:**
- ① Fiber Cement Shake Siding
 - ② Fiber Cement Lap Siding
 - ③ 1By Fiber Cement Trim
 - ④ 1X4 Fiber Cement Trim
 - ⑤ Metal Roof
 - ⑥ Garage Door
 - ⑦ (Optional) Split Faced Concrete Block Above Grade
 - ⑧ Decorative Lookouts
 - ⑨ Guardrail



5 Wall Detail
SCALE 1" = 1'-0"

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ISSUANCE:
May 01, 2023

Elevations

Garage/ Apartment

Mr. Harward

8117 River Drive,
Oak Ridge, Tennessee 37830

project no.: 202302-01
drawn by:
checked by:
sheet no.:

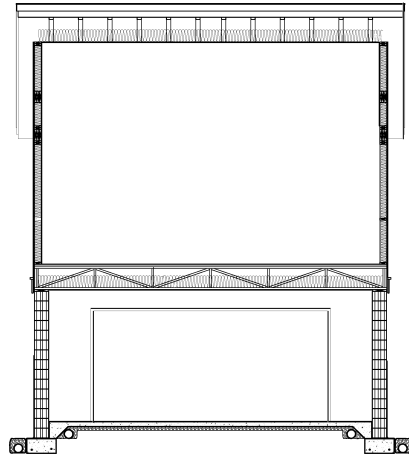
A3

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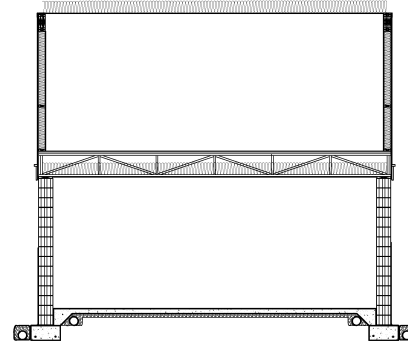
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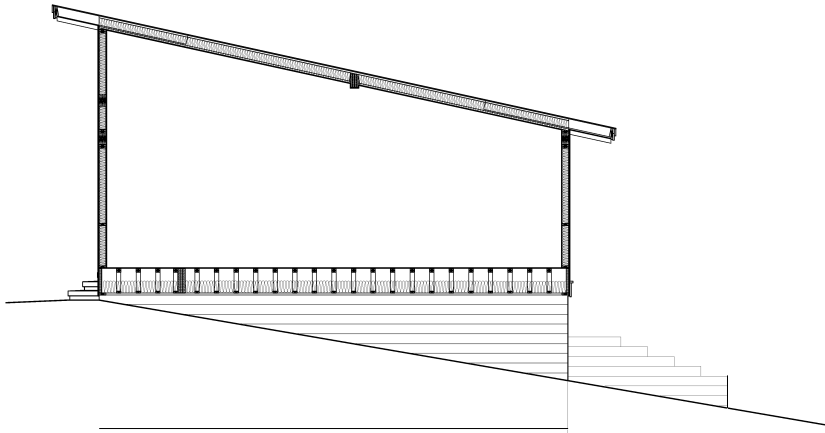
ISSUANCE:
May 01, 2023



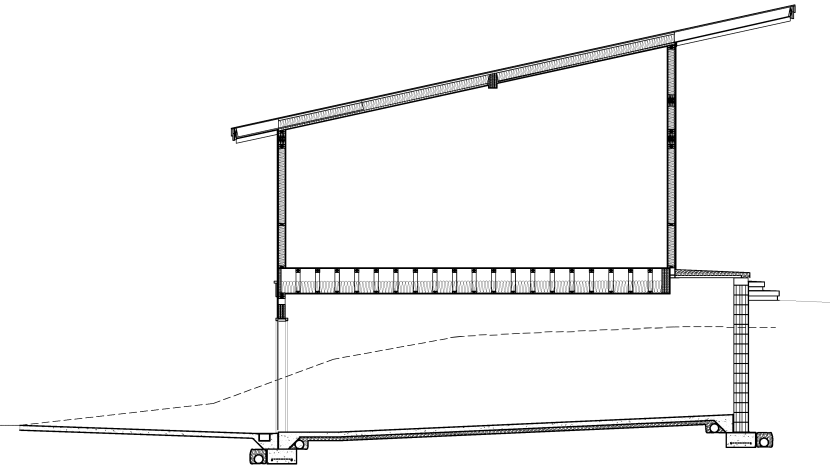
② Building Cross Section
SCALE 1/4" = 1'-0"



① Building Cross Section
SCALE 1/4" = 1'-0"



④ Building Longitudinal Section
SCALE 1/4" = 1'-0"



③ Building Longitudinal Section
SCALE 1/4" = 1'-0"

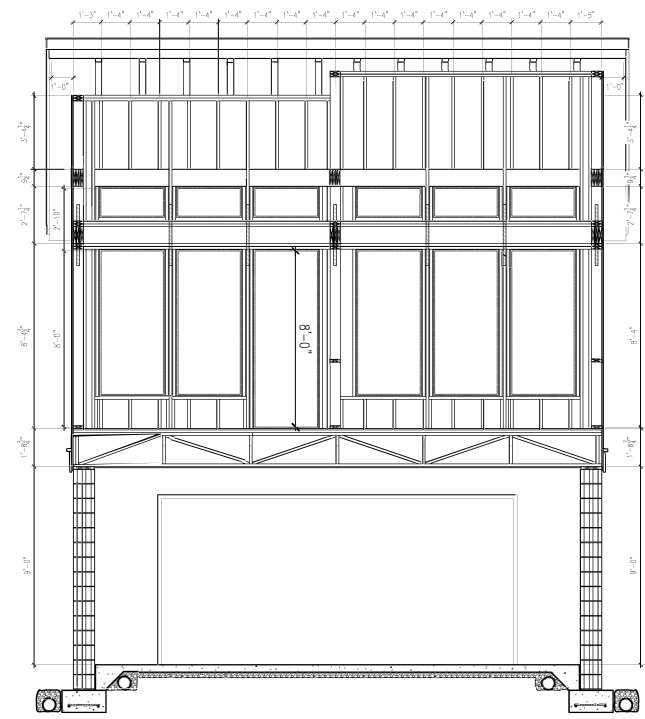
Building Sections
Garage/ Apartment
Mr. Harward
8117 River Drive,
Oak Ridge, Tennessee 37630

project no.: 202302-01
drawn by:
checked by:
sheet no.:

A4

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ISSUANCE:
 May 01, 2023



1 **Lake Framing Elevation**
 SCALE 3/8" = 1' - 0"

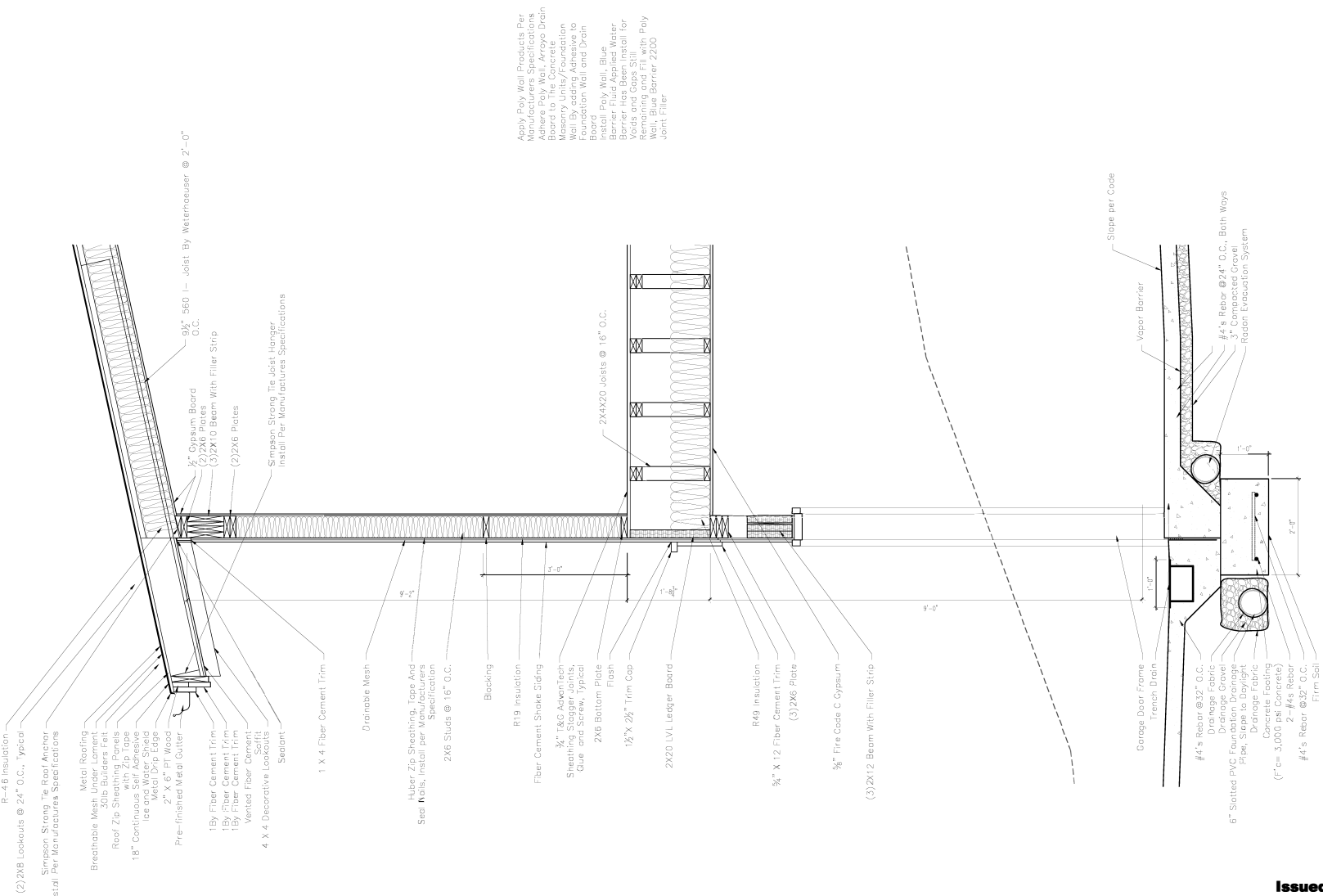
Framing Elevations
 Garage/ Apartment
Mr. Harward
 8117 River Drive,
 Oak Ridge, Tennessee 37830

project no.: 202302-01
 drawn by:
 checked by:
 sheet no.:

A5

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ISSUANCE:
May 01, 2023



Apply Poly Wall Products Per Manufacturers Specifications
 Adhere Poly Wall, Arroyo Drain Board to The Concrete Masonry Unit/Foundation
 Foundation Wall and Over Board
 Install Poly Wall, Blue Arroyo Drain Board
 Barrier Has Been Install for Voids and Gaps Still Remaining and Fill with Poly Wall, Plus Barrier 2200 Joint Filler

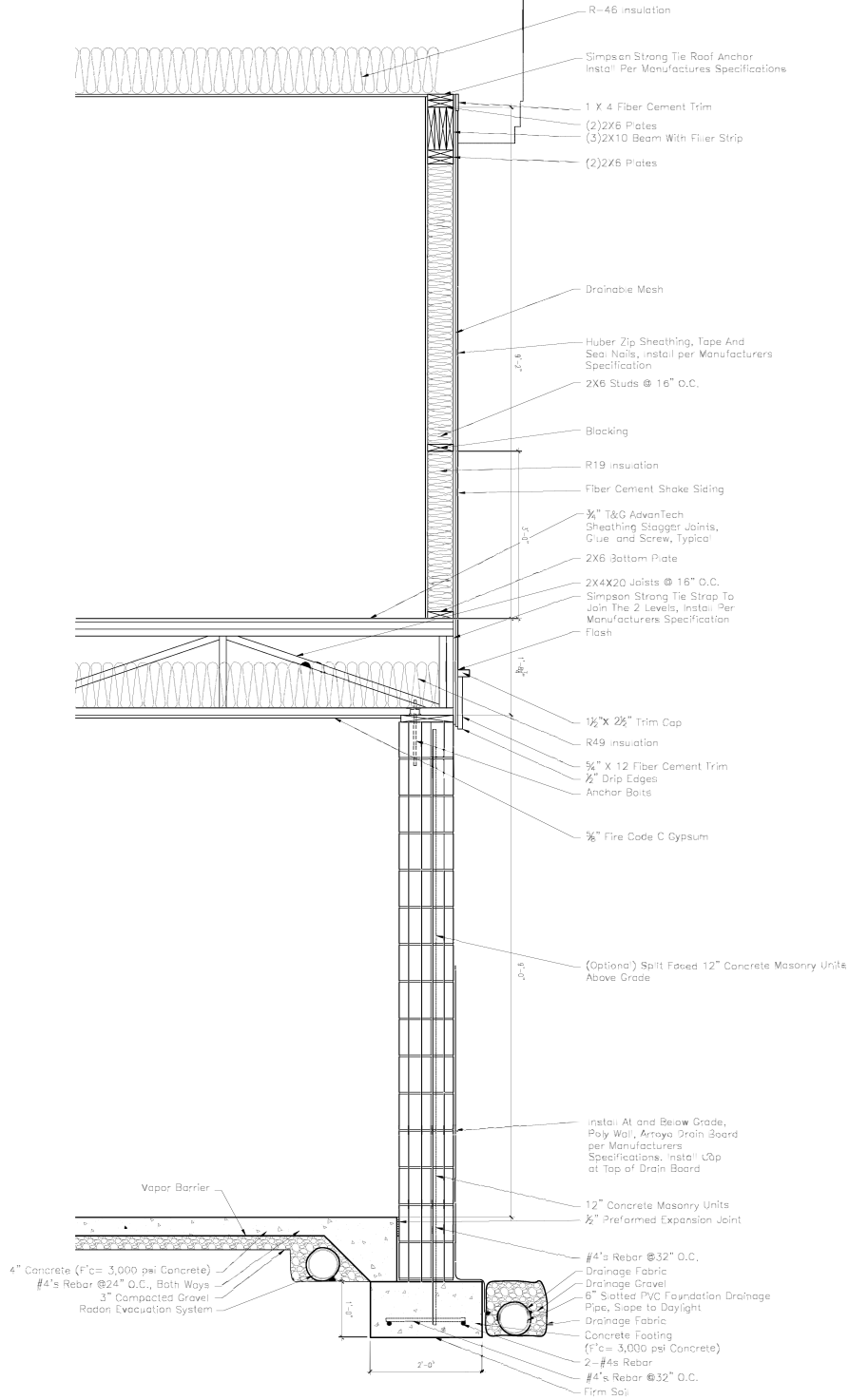
1 Wall Section
 SCALE 1" = 1'-0"

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Wall Section, Detail
 Garage/ Apartment
Mr. Harward
 8117 River Drive,
 Oak Ridge, Tennessee 37830

project no: 202302-01
 drawn by:
 checked by:
 sheet no.

A8



1 Wall Section
SCALE 1" = 1'-0"

Issued For Construction

A10

Project No.: 20230201
 Drawn By:
 Checked By:
 Date:

Wall Section
Garage/ Apartment
Mr. Harward
 8117 River Drive,
 Oak Ridge, Tennessee 37830

11/01/2023

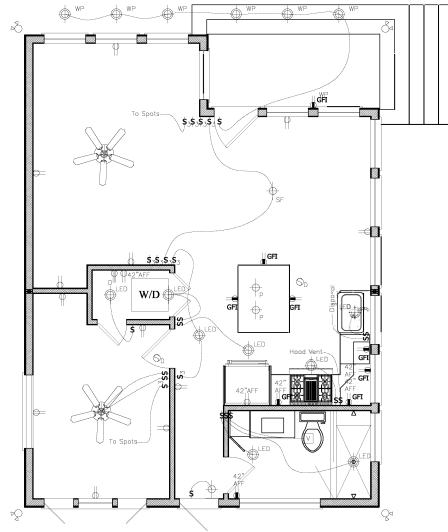
CONTRACT DOCUMENT
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Apple Design Company
APPLE DESIGN COMPANY
 678.591.6964

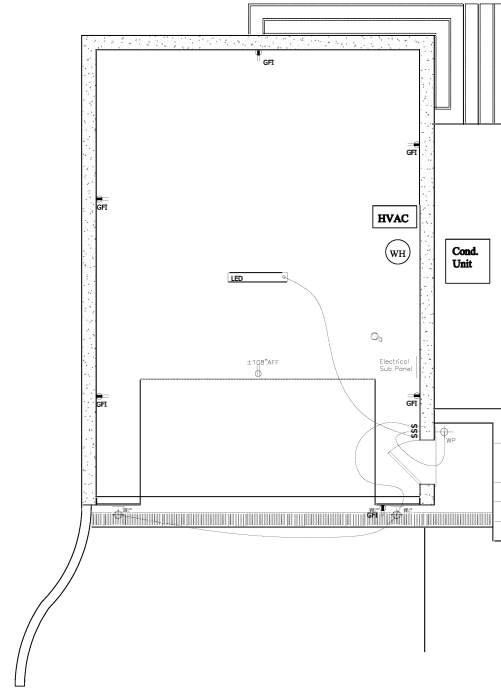
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ISSUANCE:
May 01, 2023



2 Main Level Electrical Plan
SCALE 1/4" = 1'-0"



1 Lower Garage Level Electrical Plan
SCALE 1/4" = 1'-0"

NOTES:

1. ELECTRICAL TO BE INSTALLED PER CURRENT NEC CODES AND LOCAL AMENDMENTS.

2. ALL DUPLEX OUTLET BOXES TO BE INSTALLED 18" TO THEIR CENTER LINES ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE.

3. ALL DUPLEX OUTLETS THAT ARE SWITCHED WILL ONLY HAVE THE LOWER OUTLET SWITCHED THE UPPER OUTLET WILL BE ON A SEPARATE CIRCUIT, UNLESS NOTED OTHERWISE WITH A 'SF' NOTATION WHICH INDICATE FULLY SWITCHED.

4. TELEPHONE OUTLETS TO BE "HOME-RUN" TO ELECTRICAL PANEL.

5. 'AFF' INDICATES THE CENTER LINE HEIGHT OF THE ELECTRICAL BOX INSTALLATION ABOVE FINISH FLOOR.

6. 'WP' INDICATES WEATHER PROOF FIXTURE

7. 'MR' INDICATES MOISTURE RESISTANT

8. INSTALL UNDER CABINET LOW VOLTAGE LIGHTING UNDER THE UPPER CABINETS IN THE KITCHEN AND THE LAUNDRY

9. ALL CAN LIGHTS TO BE LED

10. ALL BEDROOM CIRCUITS TO BE "ARC-FAULT" INTERRUPT PROTECTED

8. EXTERIOR SPOTLIGHT TO BE SWITCHED IN BEDROOM AND Foyer

9. ALL BATHROOMS TO BE GFCI PROTECTED

10. 110V SMOKE & CO2 DETECTORS TO BE INSTALLED IN ALL BEDROOMS

11. 1 - 110V SMOKE DETECTOR ON EACH LEVEL TO BE WIRED IN SERIES W/ BATTERY BACK-UP.

12. ALL EXTERIOR DUPLEX OUTLETS TO BE WP GFI PROTECTED

13. TV/CABLE OUTLETS TO BE "HOME-RUN" TO ELECTRICAL PANEL

ELECTRICAL LEGEND

- S SINGLE-POLE SWITCH
- S₃ 3-WAY SWITCH
- S_D DIMMER SWITCH
- S_{AFF} SWITCH, SPECIAL HEIGHT ABOVE FINISH FLOOR TO CENTER OF BOX
- ⊕ DUPLEX RECEPTACLE OUTLET
- ⊕ DUPLEX RECEPTACLE, SPECIAL HEIGHT ABOVE FINISH FLOOR TO CENTER OF BOX
- ⊕ GFI DUPLEX RECEPTACLE OUTLET
- ⊕ GFI DUPLEX RECEPTACLE OUTLET IN WEATHERPROOF BOX
- ⊕ RANGE OUTLET
- ⊕ DIMMER OUTLET
- ⊕ DUPLEX RECEPTACLE OUTLET WITH LOWER OUTLET SWITCHED
- ⊕ UNSPECIFIED WALL MOUNTED LIGHT FIXTURE

- ⊕ FLOOR MOUNTED DUPLEX RECEPTACLE OUTLET
- ⊕ UNSPECIFIED CEILING LIGHT FIXTURE
- ⊕ Exterior UNSPECIFIED CEILING LIGHT FIXTURE
- ⊕ PENDANT LIGHTING TO BE SELECTED BY OWNER
- ⊕ CHANDELIER TO BE SELECTED BY OWNER
- ⊕ REPLACE EXISTING LIGHT FIXTURE
- ⊕ SPECIAL FIXTURE SELECTED BY OWNER
- ⊕ UNSPECIFIED FLUORESCENT CEILING LIGHT FIXTURE
- ⊕ RECESSED WALL WASHER LIGHT FIXTURE
- ⊕ EXTERIOR GROUND UP SPOT LIGHT

- ⊕ MOUNTED LIGHT LOW VOLTAGE FIXTURE
- ⊕ PHONE, DATA, CABLE OUTLET
- ⊕ LED FIXTURE
- ⊕ CEILING FAN
- ⊕ VENT FAN
- ⊕ EXTERIOR SPOT LIGHT
- ⊕ OVERHEAD INFRARED HEATER

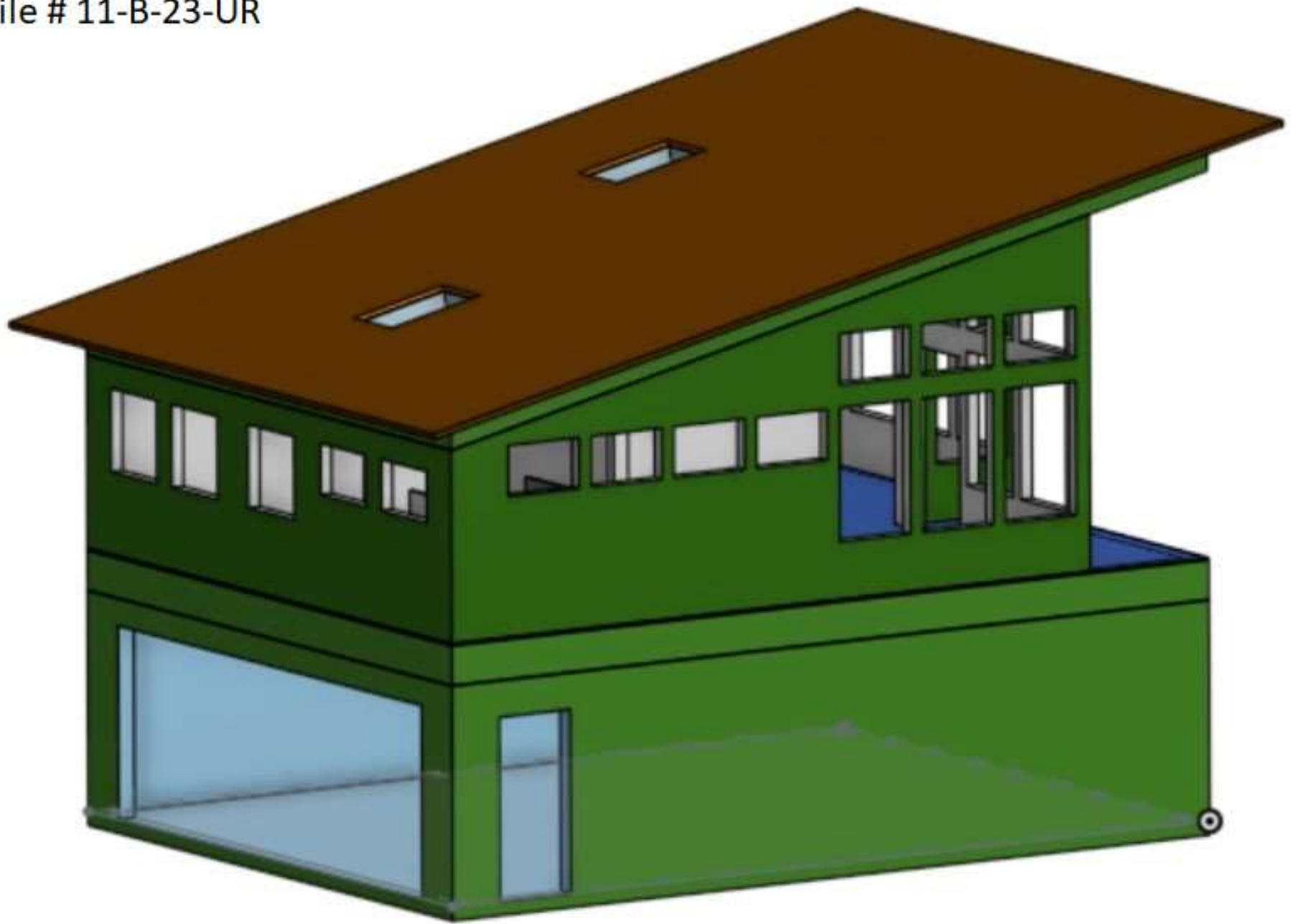
- ⊕ LED UNDER CABINET LIGHTING
- ⊕ SPECIAL WALL MOUNTED LIGHT FIXTURE SELECTED BY OWNER
- ⊕ MOISTURE RESISTANT UNSPECIFIED RECESSED LIGHT FIXTURE
- ⊕ EXTERIOR UNSPECIFIED RECESSED LIGHT FIXTURE
- ⊕ SMOKE & CARBON MONOXIDE DETECTOR
- ⊕ Speaker
- ⊕ LED RECESSED LIGHT FIXTURE

KEY NOTES:

- 1 Install Light Switch (S) and Light in Attic

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File # 11-B-23-UR







Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Samuel Harward

Homeowner

Applicant Name

Affiliation

November 9, 2023

File Number(s)

Date Filed

Meeting Date (if applicable)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Samuel Harward

N/A

Name

Company

8117 River Drive

Oak Ridge

TN

37830

Address

City

State

ZIP

919-389-6077

sdharwar@hotmail.com

Phone

Email

CURRENT PROPERTY INFO

same as above

same as above

same as above

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

8117 River Drive

076JB00201

Property Address

Parcel ID

septic

WKUD

Y

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

City County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

DEVELOPMENT REQUEST

- Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential

Related City Permit Number(s)

Home Occupation (specify) _____

Permission to build a garage apartment in RA zone.

Other (specify) _____

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name _____

Combine Parcels
 Divide Parcel
 _____ Total Number of Lots Created

Other (specify) _____

Attachments / Additional Requirements _____

ZONING REQUEST

Pending Plat File Number

Zoning Change
 _____ Proposed Zoning

Plan Amendment Change
 _____ Proposed Plan Designation(s)

Proposed Density (units/acre) _____

Previous Rezoning Requests _____

Other (specify) _____

STAFF USE ONLY

PLAT TYPE

- Staff Review
 Planning Commission

ATTACHMENTS

- Property Owners / Option Holders
 Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)
 Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1	Total
Fee 2	
Fee 3	

AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct:

1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent


Applicant Signature

Samuel Harward

Please Print

9/26/2023
Date

(919) 389-6077
Phone Number

sdharwar@hotmail.com
Email


Property Owner Signature

same as above
Please Print

Date Paid



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Samuel Harward

Applicant Name

Affiliation

9/26/2023

Date Filed

11/9/2023

Meeting Date (if applicable)

11-B-23-UR

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Samuel Harward

Name / Company

8117 River Dr Oak Ridge TN 37830

Address

919-389-6077 / sdharwar@hotmail.com

Phone / Email

CURRENT PROPERTY INFO

Samuel Harward

Owner Name (if different)

8117 River Dr Oak Ridge TN 37830

Owner Address

919-389-6077 / sdharwar@hot

Owner Phone / Email

8117 RIVER DR

Property Address

76 J B 002.01

Parcel ID

0.76 acres

Tract Size

Part of Parcel (Y/N)?

West Knox Utility District

Sewer Provider

West Knox Utility District

Water Provider

Septic (Y/N)

STAFF USE ONLY

River Dr and Burchfield Dr

General Location

City

Commission District 6

RA (Low Density Residential)

Single Family Residential

County District

Zoning District

Existing Land Use

Northwest County

Planning Sector

LDR (Low Density Residential), HP (Hillside Protection), S

Sector Plan Land Use Classification

Planned Growth Area

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) Garage apartment	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Additional Information	Total Number of Lots Created
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre) Previous Zoning Requests		
Additional Information		

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)
 Design Plan Certification (Final Plat)
 Site Plan (Development Request)
 Traffic Impact Study
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
\$450.00	
Fee 2	
Fee 3	

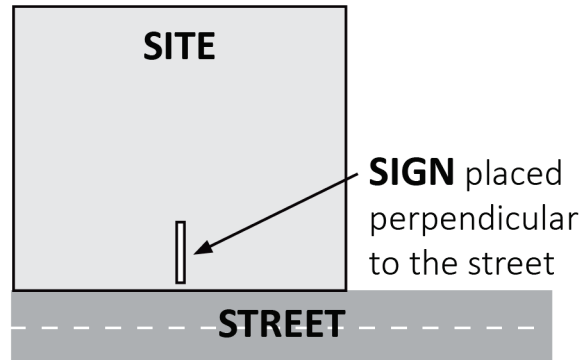
AUTHORIZATION

- I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	Samuel Harward Please Print	9/26/2023 Date
---------------------	---------------------------------------	--------------------------

Phone / Email		
Property Owner Signature	Samuel Harward Please Print	9/26/2023 Date

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ and _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Samuel Harward

Date: 9/26/2023

File Number: 11-B-23-UR

- Sign posted by Staff
- Sign posted by Applicant