



DEVELOPMENT PLAN REPORT

▶ **FILE #:** 10-A-23-DP

AGENDA ITEM #: 40

AGENDA DATE: 10/5/2023

▶ **APPLICANT:** MICHAEL A. BRABSTON, BRABSTON TRUCKING INC.

OWNER(S): Martin A. Brabston Brabston Properties Inc.

TAX ID NUMBER: 60 07908

[View map on KGIS](#)

JURISDICTION: County Commission District 8

STREET ADDRESS: 1455 HARRIS RD

▶ **LOCATION:** West side of Harris Rd, north of Parker Dr.

▶ **APPX. SIZE OF TRACT:** 3.33 acres

SECTOR PLAN: Northeast County

GROWTH POLICY PLAN: Urban Growth Area (Outside City Limits)

ACCESSIBILITY: Access is via Harris Road, a minor collector road with 20-ft of pavement within a 50-ft right-of-way.

UTILITIES: Water Source: Northeast Knox Utility District

Sewer Source: Knoxville Utilities Board

WATERSHED: Love Creek

▶ **ZONING:** PC(k) (Planned Commercial)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Trucking office and repair facility.

DENSITY PROPOSED: N/A

HISTORY OF ZONING: The property was rezoned in 2019 from RB to PC (10-I-19-RZ)

SURROUNDING LAND USE AND ZONING: North: Vacant land - PC (Planned Commercial)

South: Vacant land - PC (Planned Commercial)

East: Commercial - CB (Business and Manufacturing)

West: Single family residential - RB (General Residential)

NEIGHBORHOOD CONTEXT: The property is located in an area with a mix of uses which include single family residential to the west, and a mix of commercial and industrial uses located on the east side of Rutledge Pike.

STAFF RECOMMENDATION:

▶ **Approve the development plan for an 9,375 sqft office and trucking repair facility and a 37,500 sqft outdoor storage yard to the rear of the property, subject to 9 conditions. Meeting all applicable requirements of the Knox County Zoning Ordinance.**

1. Meeting all requirements of Article 4, Section 4.102 (Standards for the use-on-review approval of contractor's storage yards) in the Knox County Zoning Ordinance, with the exception of a 15 ft setback on the northern property line. .
2. Providing a detailed landscape plan during permitting for review and approval by Planning Commission staff.

Trees planted within KUB powerline and utility easements must be approved by KUB or moved to another location outside of the easement but adjacent to the parking lot.

3. The proposed trees along the residential homes to the rear must be outside of the utility easements. The landscape plan shall detail the species and trunk diameter of the existing trees to remain and the species of any new plantings to meet the Type A landscape screening guidelines that are required along the shared lot line with adjacent residential uses per the zoning condition placed on the PC (Planned Commercial) zoning by Knox County Commission (10-I-19-RZ).

4. Installing all required landscaping within six months of issuance of an occupancy permit for the project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.

5. Providing an opaque fence on all sides of the outdoor storage area with a minimum height of 8 feet.

6. All site lighting fixtures, pole mounted and attached to the building, shall be full cut-off fixtures or have housing shields to direct the light toward the ground and to restrict the light source from being visible from the adjacent residential properties. The revised lighting plan must be reviewed and approved by Planning Commission staff before building permits are issued.

7. Meeting all relevant requirements of the Knox County Department of Engineering and Public Works.

8. Meeting all applicable requirements of the Knox County Zoning Ordinance.

9. Extending the stone façade around the right and left elevations with the windows.

With the noted conditions, this plan meets the requirements for approval in the PC (Planned Commercial) district and the criteria for approval of a use-on-review development plan review.

COMMENTS:

The proposal is for a new office, maintenance shop, and storage yard for Brabston Trucking, which provides site preparation, site utility installation, and heavy equipment transport services. The proposal was previously approved subject to 8 conditions in September 2021 (Case # 9-A-21-UR). The applicant has since decided to increase the building size from 7,500 sqft to 9,375 sqft with 2,067 sqft of covered space.

The function of the building will act as Brabston's office & repair facility and the gravel area will house Brabston's equipment and storage for their operations.

In 2019, the property was rezoned (10-I-19-RZ) from RB (General Residential) to PC(k) (Planned Commercial) with the condition that a "Type A" landscaping screen be installed along any shared boundaries with residential zoning (see Exhibit A).

Contractor's storage yards have standards for use-on-review in the supplemental regulations of the Knox County zoning ordinance (Article 4, Section 4.102) that are specific to the CR (Rural Commercial) and CA (General Business) zones, but these can be used in other zones when the Planning Commission determines it is appropriate. There is a residential neighborhood to the rear of this property and in the Planning staff's opinion, applying the supplemental regulations in this location is appropriate to ensure the adjacent residential is adequately protected and the proposal meets the same standards as similar proposals in commercial zone districts that are also appropriate next to residential districts.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE PC(k) (Planned Commercial) with conditions.

A) The PC (Planned Commercial) zone is intended for a unified grouping of commercial buildings which do not require or desire a central business district location. It is the objective of this zone to achieve the highest quality site design, building arrangement, landscaping and traffic circulation patterns possible.

B) Knox County Commission placed a condition on the PC zoning for this site that requires a Type A landscape screening along the shared property line with adjacent residential uses. This screening is being provided along the rear property line.

C) With the required conditions, the contractor's storage yard meets the zoning standards and the condition of a 15 ft minimum setback along the northern property line.

D) The administrative procedures for the PC zone require the Planning Commission to approve revised development plans for any changes, alterations, amendments, or extensions to the development plan.

Approval of such changes may be granted if, in the opinion of the planning commission, the requested changes would be in keeping with the intent and provisions of this resolution. (Section 5.33.13 Administration (d).)

2) GENERAL PLAN - DEVELOPMENT POLICIES

a) General Plan, Policy 8.4: Protect residential areas from encroaching commercial development and other incompatible uses. - - The building will be 24-ft high, similar to a two-story single-family residential home. Design elements are incorporated to soften the appearance of the building.

B) General Plan, Policy 8.12: When commercial uses abut residential property, ordinance provisions or use-on-review conditions requiring fencing, landscaping screens, earth berms, height restrictions and/or deeper than usual building setbacks can improve land use transitions. - - The abutting residential homes will be screened with a Type A landscape buffer consisting of 23 Foster Holly evergreen trees and existing trees with a trunk caliper of 3" or more.

3) NORTHEAST COUNTY SECTOR PLAN

a) The property is designated O (Office) on the Northeast County Sector Plan. The O (Office) land use has the following description: This land use includes business and professional offices and office parks.

B) For this Use on Review application to be approved in the Office land use classification, the Planning Commission must find that the proposed use is consistent with, and not in conflict with the sector plan.

C) The PC (Planned Commercial) zone is permissible with covenants in the O (Office) land use classification. Covenants have not been created for this development since an overall business park has not been approved. The PC zone requires approval of all changes to a site to be approved by the Planning Commission via the development review process.

D) The size of the proposed structure is similar to an office building but the exterior will have an industrial look. To help soften the appearance of the structure, the exterior will be a combination of smooth-faced CMU and split faced CMU at the base of the building, and metal panels on the upper portion (see sheet A501).

4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

a) The property is within the urban grown area and is in close proximity to a wide range of zoning districts including residential, commercial, and industrial uses.

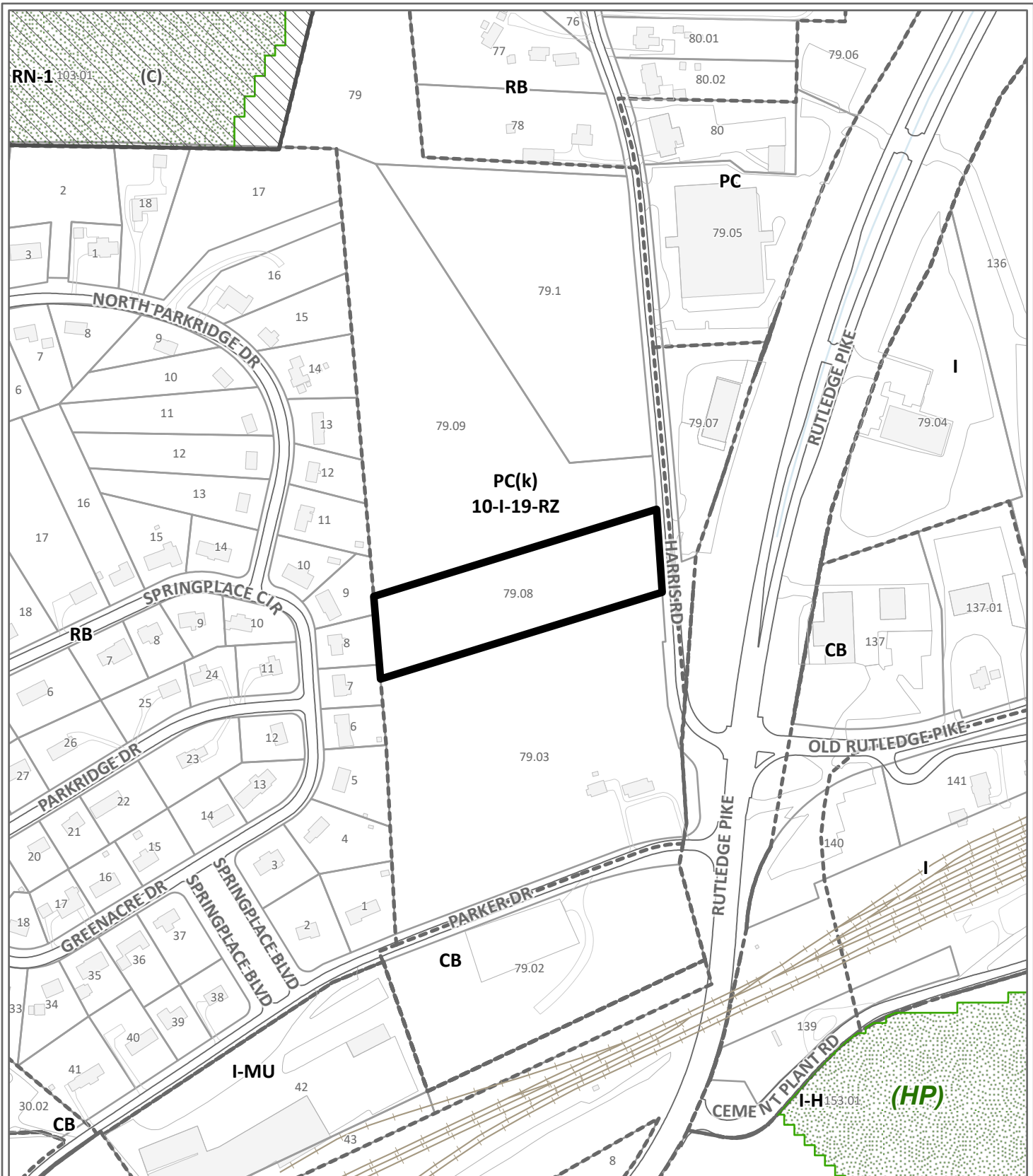
B) A type A landscaping buffer is required along the rear property line abutting residential homes.

ESTIMATED TRAFFIC IMPACT: 63 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).



DEVELOPMENT PLAN

10-A-23-DP

Petitioner: Michael A. Brabston, Brabston Trucking Inc.



Trucking office with contractor storage yard in PC(k) (Planned Commercial)

Map No: 60

Jurisdiction: County

Original Print Date: 8/24/2023

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

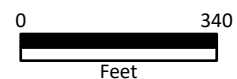
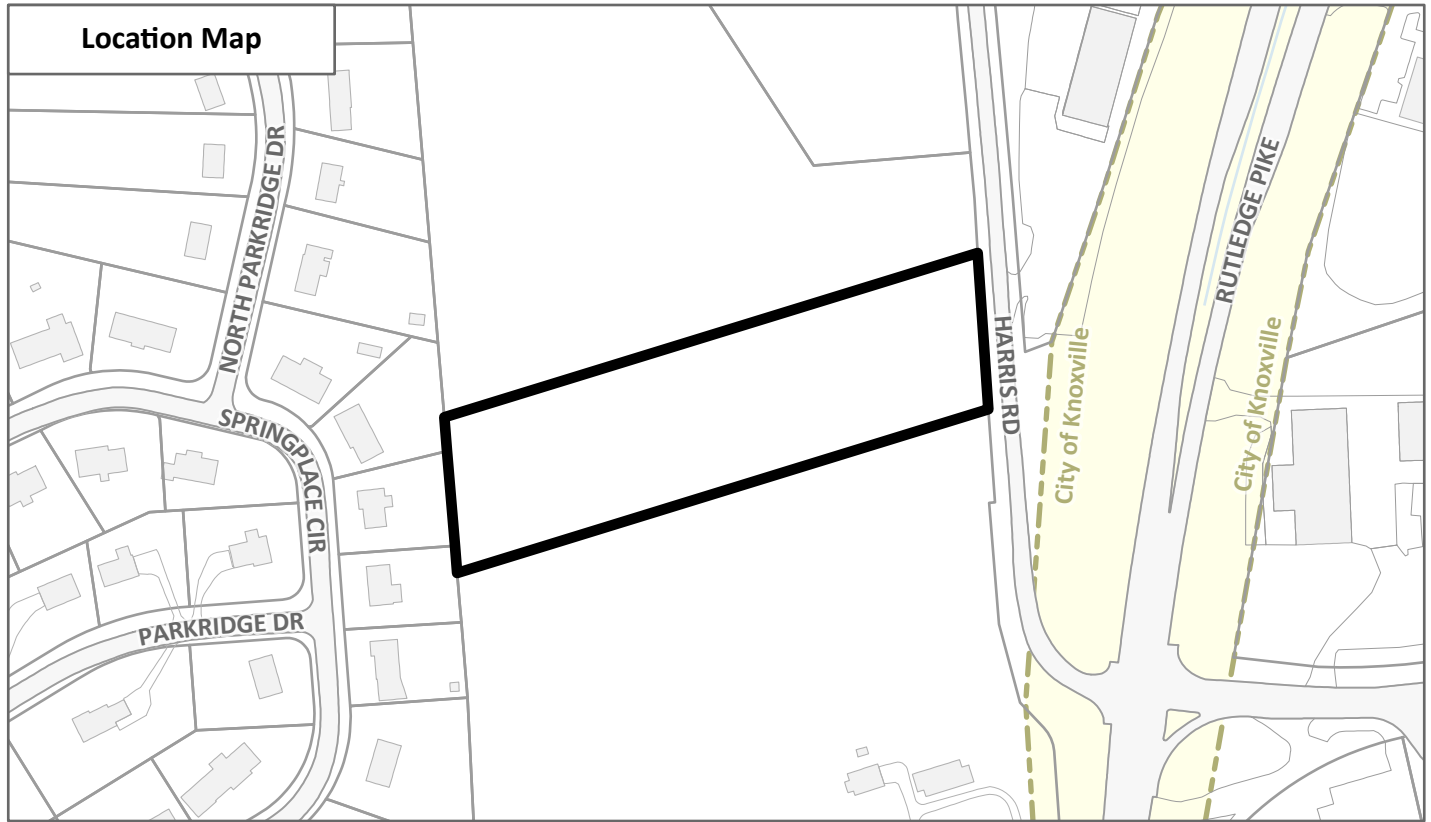


Exhibit A. Contextual Images

Location Map



Aerial Map

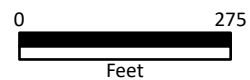


CONTEXTUAL MAPS 1

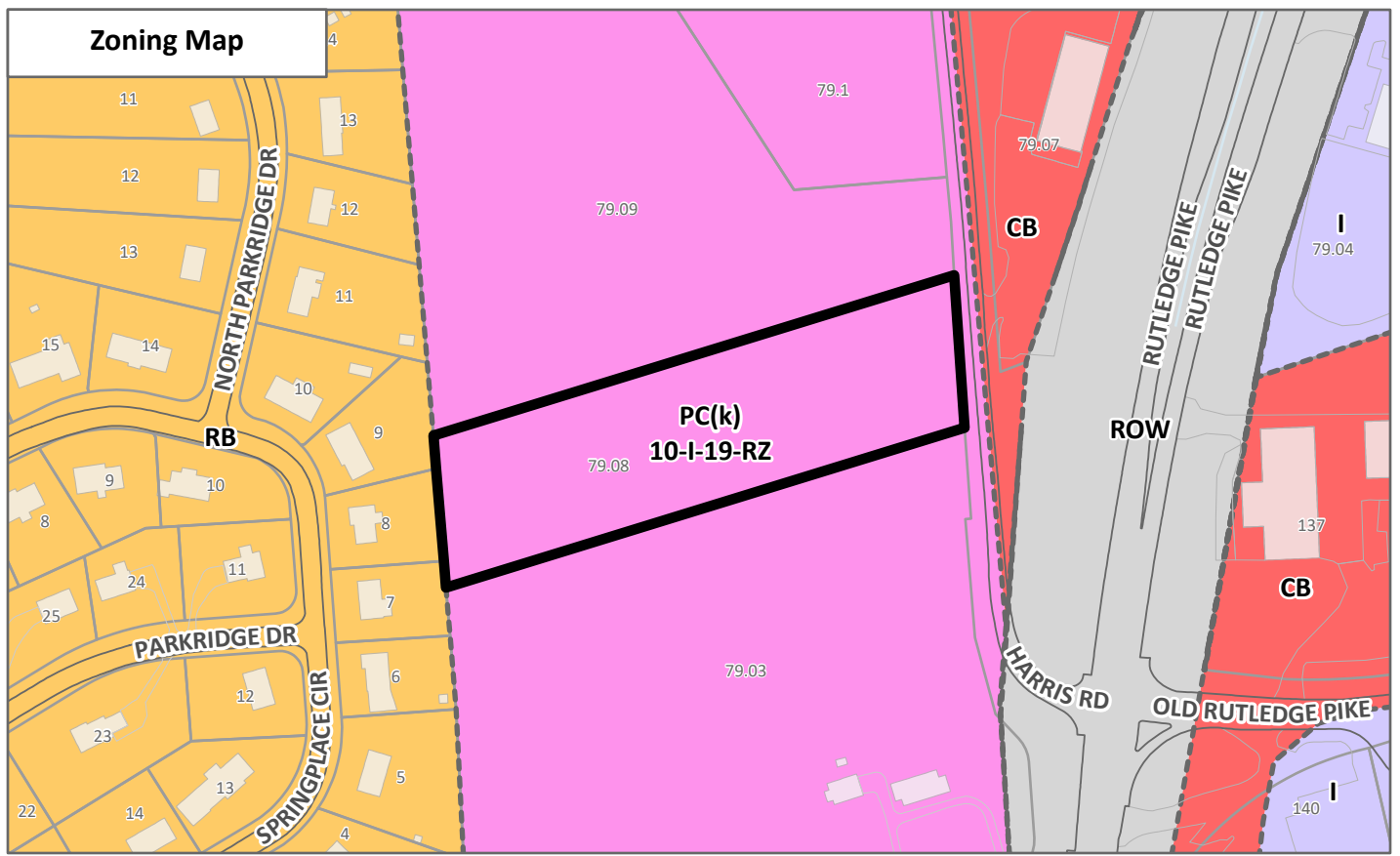
10-A-23-DP



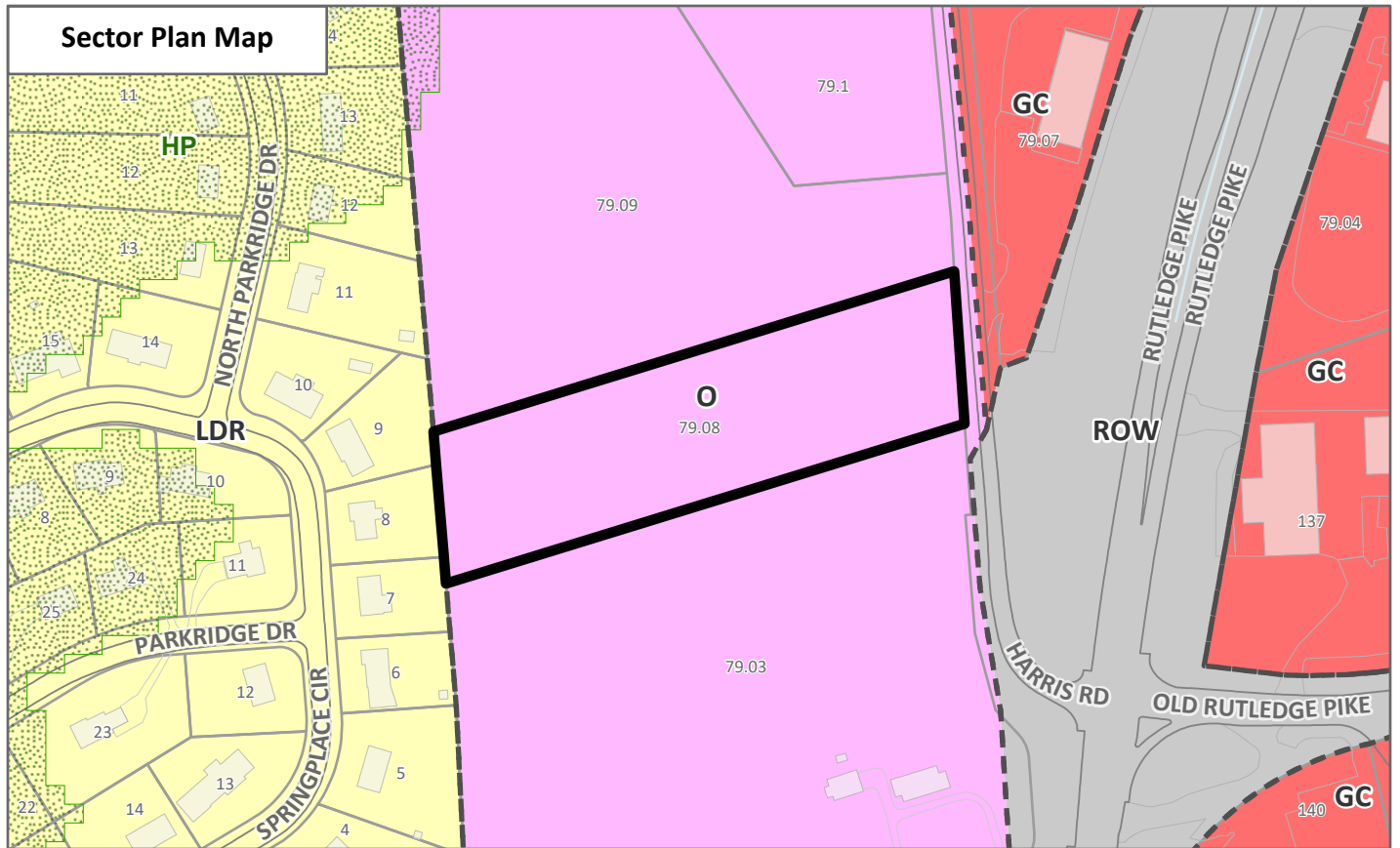
Case boundary



Zoning Map



Sector Plan Map

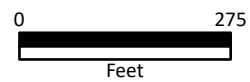


CONTEXTUAL MAPS 2

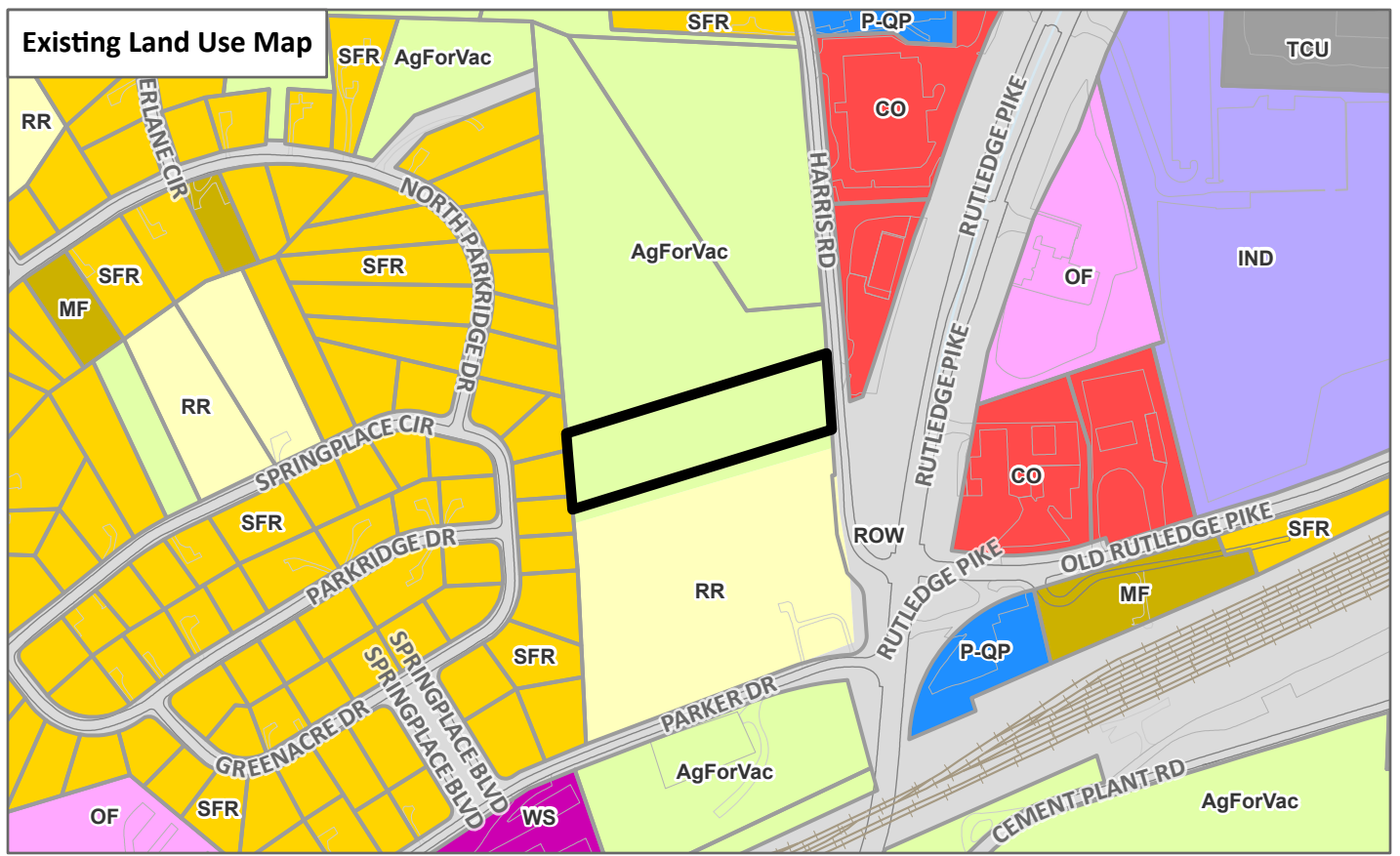
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Case boundary



Existing Land Use Map

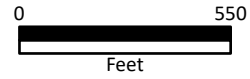


CONTEXTUAL MAPS 3

10-A-23-DP



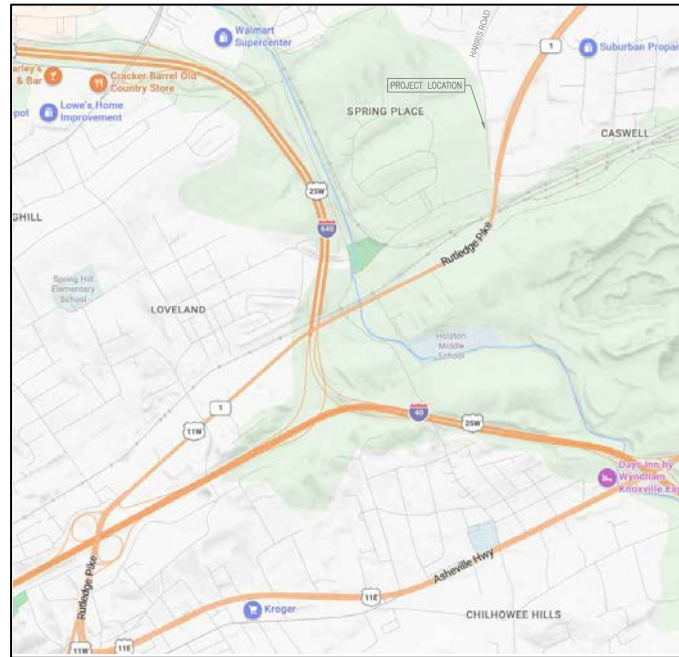
Case boundary



BRABSTON TRUCKING OFFICE SITE PLAN

1455 HARRIS ROAD, KNOX COUNTY, TENNESSEE

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
C-100	COVER SHEET
C-110	EXISTING CONDITIONS
C-120	SITE PLAN
C-121	GRADING AND DRAINAGE PLAN
C-122	UTILITY PLAN
C-123	LANDSCAPING PLAN
C-130	EROSION PREVENTION & SEDIMENT CONTROL PLAN
C-140	DETAILS
C-141	DETAILS
C-142	DETAILS
C-143	LANDSCAPING DETAILS



SITE LOCATION MAP
N.T.S.

10-A-23-DP
Revised Plans 9/19/2023

CONTRACT FOR:
SITE DESIGN FOR FUTURE HOME OF BRABSTON TRUCKING. WORK INCLUDES SITE LAYOUT, STORMWATER CONVEYANCE DESIGN, AND UTILITIES FOR NEW 75' X 150' BUILDING.



PREPARED UNDER THE SUPERVISION OF:



124544
Registration No.

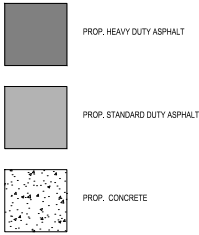
HARRISON HILT
Date

REVISIONS
9/13/23 - REVISION TO COUNTY

PROJECT NO.
2800-23-0020

SHEET NO.
C-100

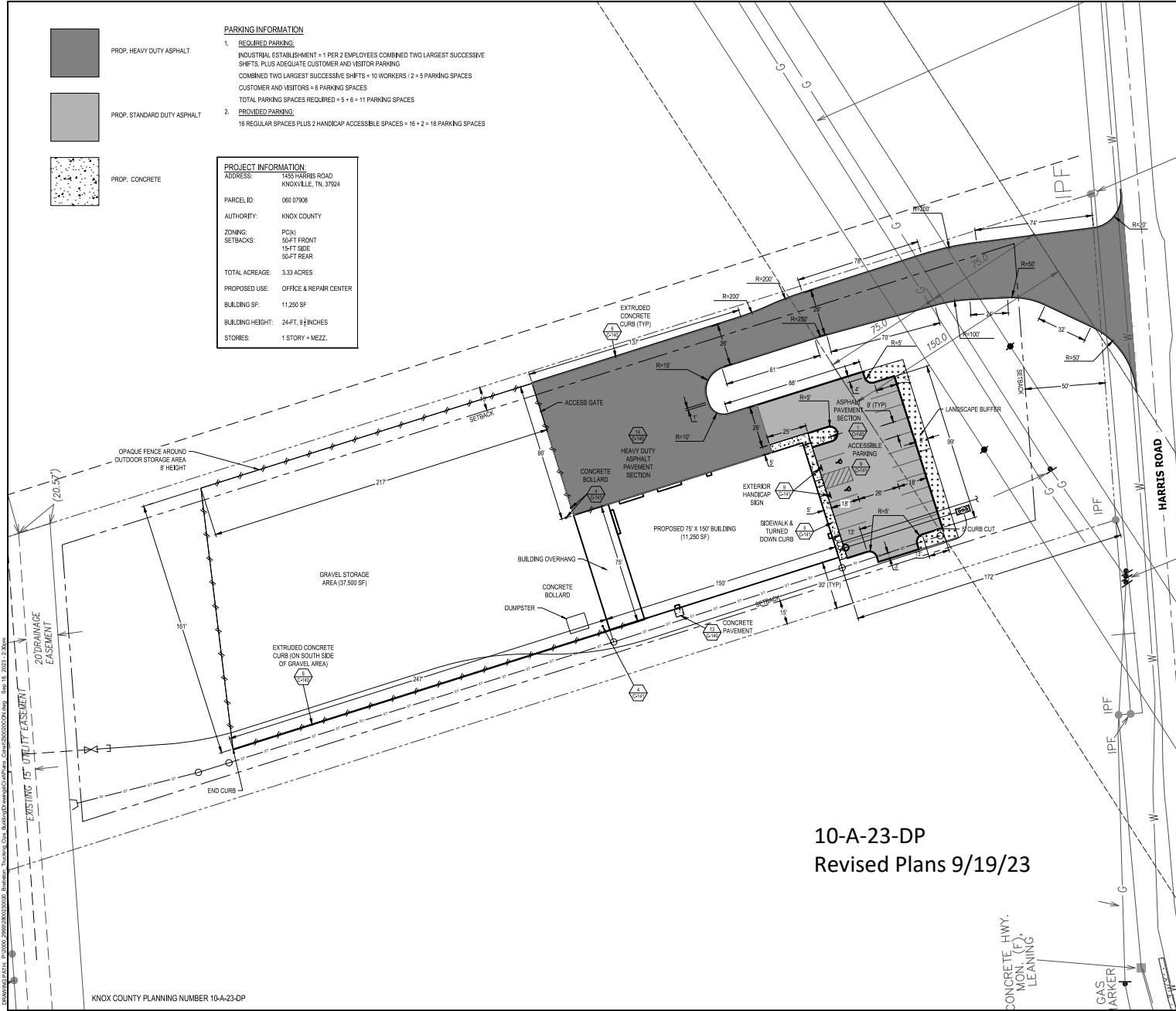




PARKING INFORMATION

- REQUIRED PARKING:**
INDUSTRIAL ESTABLISHMENT = 1 PER 2 EMPLOYEES COMBINED TWO LARGEST SUCCESSIVE SHIFTS, PLUS ADEQUATE CUSTOMER AND VISITOR PARKING
COMBINED TWO LARGEST SUCCESSIVE SHIFTS = 10 WORKERS / 2 = 5 PARKING SPACES
CUSTOMER AND VISITORS = 6 PARKING SPACES
TOTAL PARKING SPACES REQUIRED = 5 + 6 = 11 PARKING SPACES
- PROVIDED PARKING:**
16 REGULAR SPACES PLUS 2 HANDICAP ACCESSIBLE SPACES = 16 + 2 = 18 PARKING SPACES

PROJECT INFORMATION:	
ADDRESS:	1455 HARRIS ROAD KNOXVILLE, TN, 37924
PARCEL ID:	060 07906
AUTHORITY:	KNOX COUNTY
ZONING:	PCA1
SETBACKS:	50-FT FRONT 15-FT SIDE 50-FT REAR
TOTAL ACREAGE:	3.33 ACRES
PROPOSED USE:	OFFICE & REPAIR CENTER
BUILDING SF:	11,250 SF
BUILDING HEIGHT:	24-FT, 9 INCHES
STORIES:	1 STORY + MEZZ.



GENERAL NOTES:

- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, ORDINANCES AND STATE LAWS, GIVE ALL NECESSARY NOTIFICATIONS, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, AND REPAIR DAMAGE ACCORDING TO CURRENT LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOTIFY TENNESSEE ONE CALL (CALL 811) A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION/UTILITY TRENCHING OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES AND RELOCATE LINES AS NECESSARY FOR CONSTRUCTION.
- ALL CONSTRUCTION RELATED DAMAGE TO EXISTING PAVEMENT, CURBS, OR OTHER ITEMS THAT ARE NOT CALLED OUT FOR REMOVAL SHALL BE REPLACED WITH LIKE MATERIALS AND CROSS SECTION AT CONTRACTOR'S EXPENSE.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF FINAL PAVEMENT.
- CONCRETE WALKS, APRONS, AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE 4000 P.S.I. UNLESS OTHERWISE NOTED. CURB RAMP SLOPES, SIDEWALK SLOPES, AND DRIVEWAY RAMP SLOPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT LOCAL REQUIREMENTS AND ADA REQUIREMENTS.
- CONSTRUCTION CONTROL JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1 THE CONCRETE THICKNESS AND SHALL UNIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS.
- FINISHING ARE TO THE FACE OF CURB EDGE OF CONCRETE, EDGE OF ASPHALT OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN A LEGAL MANNER AT THE CONTRACTOR'S EXPENSE.
- ALL STIPING SHALL BE 4" WIDE AND SOLID WHITE PAINT, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, GIVE ALL NECESSARY NOTIFICATIONS, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING GRADING AND DRAINAGE WORK.
- CONTRACTOR TO NOTIFY TENNESSEE ONE CALL (CALL 811) A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION/UTILITY TRENCHING OPERATIONS.
- INSTALL TEMPORARY EROSION CONTROL AS SHOWN ON THE APPROVED EPC DRAWINGS PRIOR TO BEGINNING GRADING OR OTHER EARTH DISTURBING OPERATIONS.
- CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND PROTECT UTILITIES TO REMAIN.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRAZED AREAS TO A MINIMUM DEPTH OF 3 INCHES. MAKE STOCKPILES FREE DRAINING AND PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES, IF NECESSARY.
- TOP OF CASTING ELEVATIONS FOR INLETS ARE GIVEN TO THE CENTER OF THE INLETS. THE GRATES SHALL SLOPE CONCORDANTLY WITH THE PAVEMENT GRADE.
- IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR UNFORSEEN CONDITIONS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- SIDEWALK MAX. RUNNING SLOPE SHALL BE 5% AND DRIVEWAY MAX. CROSS SLOPE SHALL BE 2% AT ADA PARKING SPACES AND ACCESSIBLE MAX. SLOPE IN ALL DIRECTIONS SHALL BE 2%.
- CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS TO POSITIVELY DRAIN. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THIS INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED PRIOR TO BEGINNING WORK.
- ALL PERMANENT CUT AND FILL SLOPES SHALL BE 3% MAXIMUM UNLESS INDICATED OTHERWISE. ON THE PLANS, TEMPORARY CUT SLOPES SHALL NOT EXCEED 3% MAXIMUM UNLESS TEMPORARY SHORINGS PROVIDED OR UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN A LEGAL MANNER AT THEIR EXPENSE. ALL CURBS AND SIDEWALKS SHALL BE BACKFILLED FLUSH WITH TOPSOIL, WHICH SHALL BE SEED AND MULCHED.
- ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE. ALL PIPES UNDER LAWN AREAS SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL COMPACTED TO 95% OF MAXIMUM PER ASTM D698 STANDARDS. PROCTOR SATISFACTORY MATERIAL SHALL BE CLEAN SOIL FREE OF TRASH AND SHALL NOT CONTAIN ROCK FRAGMENTS GREATER THAN 6 INCHES IN ANY ONE DIMENSION.
- PIPE LENGTHS AND COORDINATE VALUES ARE MEASURED CENTER-TO-CENTER OF STORM STRUCTURES.
- 4 TRAILER DUMP TRUCKS AND 2 LOW BOY TRAILERS WILL LEAVE AND RETURN TO THE SITE EACH WORKDAY. LARGE 52" TRACTOR-TRAILER VEHICLES (85" W/TH TRUCK) WILL RARELY VISIT THE SITE TO DELIVER EQUIPMENT FOR REPAIR, MAINTENANCE, AND STORAGE.
- A 1500 GALLON TANK OF OFF-ROAD FUEL WILL BE STORED ON-SITE. ALL OTHER ITEMS WILL BE EQUIPMENT AND TRAILERS.

10-A-23-DP
Revised Plans 9/19/23



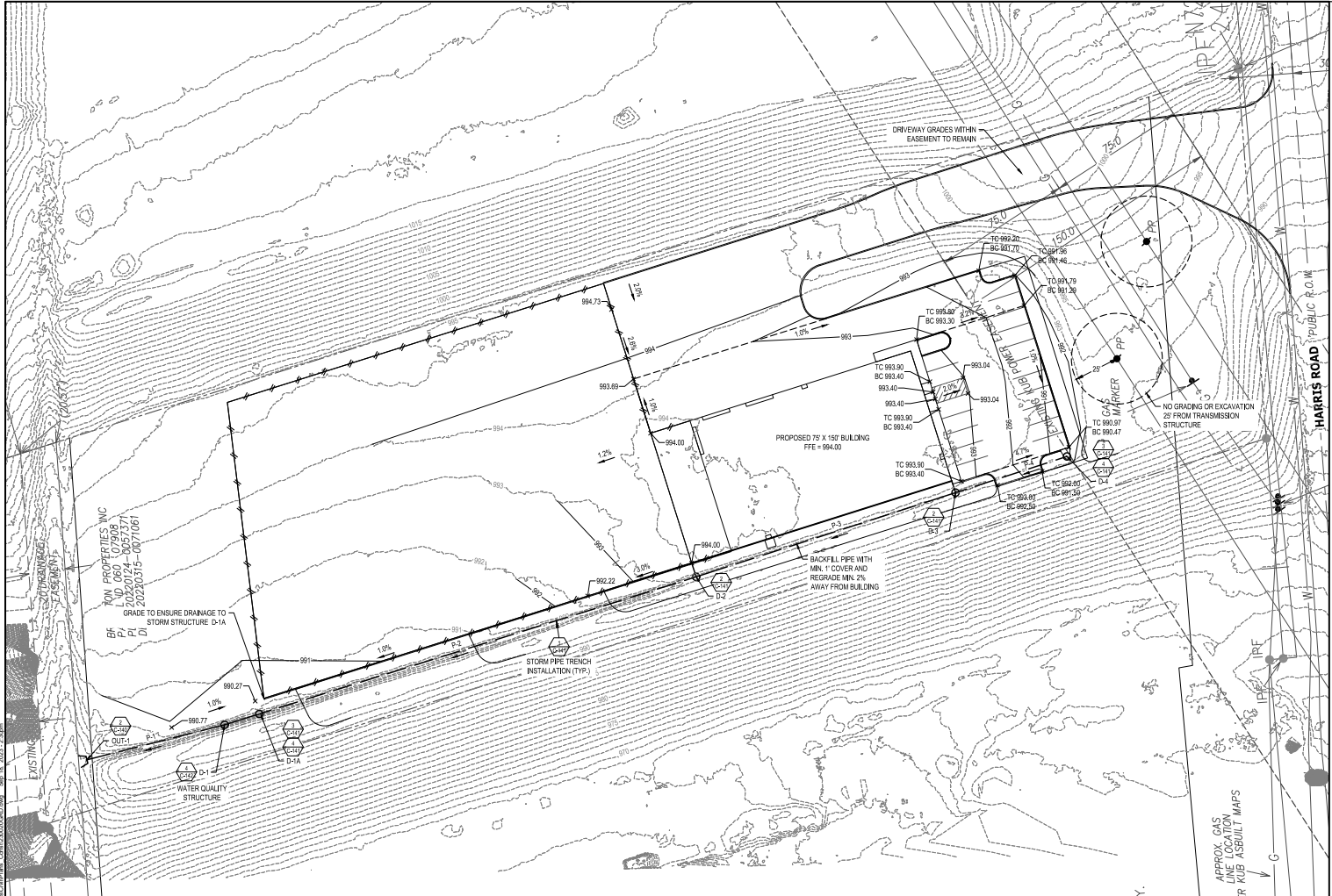
REVISION	DATE
SELECTED FOR FINAL TO COUNTY	2/23/2023
REVISION	
9/19/23-REVISION TO COUNTY	

PROJECT NUMBER: 2892-23-0007
 SHEET NO.: 11
 DISCIPLINE LEAD: CLIENT/FRONT END
 DATE: 9/19/23
BRABSTON TRUCKING
BRABSTON TRUCKING OFFICE SITE PLAN
 1455 HARRIS ROAD, KNOX COUNTY, TENNESSEE
 SITE PLAN

C-120

DRAWING DATE: 9/19/2023 9:00:00 AM; PLOT DATE: 9/19/2023 9:00:00 AM; PLOT TIME: 9:00:00 AM; PLOT USER: C:\Users\jgibson\OneDrive\Documents\10-A-23-DP.dwg; PLOT DEVICE: HP DesignJet T1100; PLOT SCALE: 1.0000; PLOT SHEET: 11 OF 11; PLOT STATUS: SUCCESS; PLOT MESSAGE: PLOTTING SUCCESSFULLY COMPLETED.

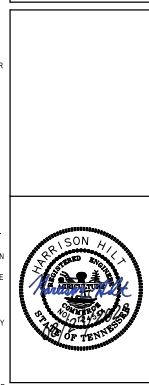
KNOX COUNTY PLANNING NUMBER 10-A-23-DP



GRAPHIC SCALE: FEET 0 15 30 45 60 75 90

GENERAL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, ORDINANCES AND STATE LAWS, GIVE ALL NECESSARY NOTIFICATIONS, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING WORK.
2. CONTRACTOR TO NOTIFY TENNESSEE ONE CALL (CALL 811) A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION/UTILITY TRENCHING OPERATIONS.
3. INSTALL TEMPORARY EROSION CONTROL, AS SHOWN ON THE APPROVED EPSC DRAWINGS PRIOR TO BEGINNING GRADING OR OTHER EARTH DISTURBING OPERATIONS.
4. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND PROTECT UTILITIES TO REMAIN.
5. TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDEPOSITED OVER GRADED AREAS TO A MINIMUM DEPTH OF 3 INCHES. MAKE STOCKPILES FREE DRAINING AND PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES, IF NECESSARY.
6. TOP OF CASTING ELEVATIONS FOR INLETS ARE GIVEN TO THE CENTER OF THE INLETS. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADE.
7. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR UNFORSEEN CONDITIONS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
8. SKEWALK MAX. FINISHING SLOPE SHALL BE 5% AND SIDEWALK MAX. CROSS SLOPE SHALL BE 2% AT ADA PARKING SPACES AND ACCESSIBLES. MAX. SLOPE IN ALL DIRECTIONS SHALL BE 2%.
9. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS TO POSITIVELY DRAIN. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THIS INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRASSES, THE ENGINEER SHALL BE CONTACTED PRIOR TO BEGINNING WORK.
10. ALL PERMANENT CUT AND FILL SLOPES SHALL BE 3:1 MAXIMUM UNLESS INDICATED OTHERWISE ON THE PLANS. TEMPORARY CUT SLOPES SHALL NOT EXCEED 2:1 MAXIMUM UNLESS TEMPORARY SHORING IS PROVIDED OR UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
11. CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN A LEGAL MANNER AT THEIR EXPENSE.
12. ALL CURBS AND SIDEWALKS SHALL BE BACKFILLED FLUSH WITH TOPSOIL, WHICH SHALL BE SEEDER AND MULCHED.
13. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL, COMPACTED TO 95% OF MAXIMUM PER ASTM D698 STANDARD PROCTOR. SATISFACTORY MATERIAL SHALL BE CLEAN SOIL, FREE OF TRASH AND SHALL NOT CONTAIN ROCK FRAGMENTS GREATER THAN INCHES IN ANY ONE DIMENSION.
14. PIPE LENGTHS AND COORDINATE VALUES ARE MEASURED CENTER-TO-CENTER OF STORM STRUCTURES.
15. THIS PROJECT IS A PORTION OF THE BRABSTON PROPERTIES INDUSTRIAL DEVELOPMENTS AT PARKER & HARRIS. DRAINAGE CALCULATIONS WERE PERFORMED AND ORIGINALLY SUBMITTED TO THE COUNTY BY CANNON & CANNON ON AUGUST 19, 2022.



PROJECT NUMBER	2022-02-0007
DATE	9/19/23
REVISION	DESCRIPTION
1	FINAL TO COUNTY
2	REVISION TO COUNTY

10-A-23-DP
Revised Plans 9/19/23



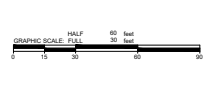
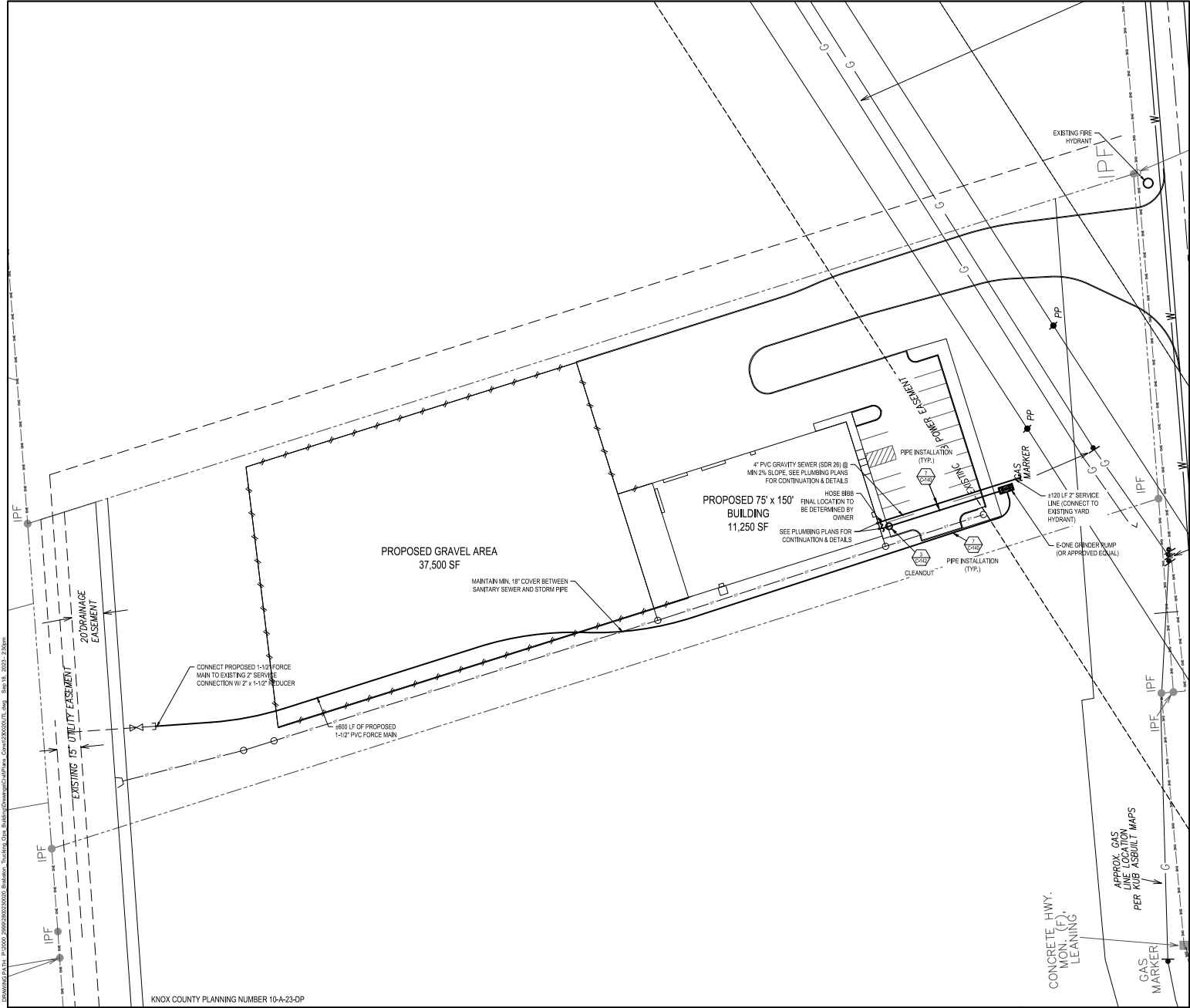
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BRABSTON TRUCKING
BRABSTON TRUCKING OFFICE SITE PLAN
1455 HARRIS ROAD, KNOX COUNTY, TENNESSEE
GRADING AND DRAINAGE PLAN

C-121

NAME	NO. RING	FASTENING	RAFI	NO. IN FT.	INVERT FL.	GRADE	STRUCTURE ID
D-1	022777-38	26032945-72	56A	N/A	995	OUTFALL	OUTFALL (15' x 15' x 1.5' TIGHT CLASS A - BRAPRA)
D-1	022778-37	26033014-70	56C-43	585-33	985-33	MANHOLE & COVER	W/18" DIA. TY-C-MK-TL-UP
D-1A	022802-30	26033343-54	56E-12	585-42	985-42	2' X 3' ROAD & HIGHWAY	24" DRAIN BASIN
D-2	022877-75	26035650-84	573-84	536-50	980-50	N/A	RUSH DRAINAGE ANCHOR
D-3	022904-13	26037213-53	561-86	581-14	987-14	N/A	RUSH DRAINAGE ANCHOR
D-4	022944-32	26037567-74	596-62	531-42	987-42	2' X 3' ROAD & HIGHWAY	24" DRAIN BASIN

NAME	DN STR	UP STR	DN ANZ L	UP ANZ L	CONTRACT SLOPE (%)	SLOPE (%)	MATERIAL	D.A.M.
P-1A	D-1	U-1A	985-33	955-42	20.00	0.43	ADS N-12	24
P-2	D-1A	D-2	985-42	965-50	29.87	0.43	ADS N-12	24
P-3	D-2	D-3	985-50	987-14	145.82	0.43	ADS N-12	24
P-4	D-3	D-4	987-14	961-42	73.71	0.43	ADS N-12	24



- UTILITY PLAN NOTES**
1. SANITARY SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY STANDARDS AND SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTS BETWEEN THE REQUIREMENTS ON THE UTILITY PLANS AND/OR DETAIL DRAWINGS, THE LOCAL UTILITY AUTHORITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
 2. DOMESTIC WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY AUTHORITY STANDARDS AND SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTS BETWEEN THE REQUIREMENTS ON THE UTILITY PLANS AND/OR DETAIL DRAWINGS, THE LOCAL UTILITY AUTHORITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
 3. IN ADDITION TO LOCAL UTILITY AUTHORITY SPECIFICATIONS, THE CONTRACTOR SHALL REFER TO THE LATEST EDITION OF TDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS, AS APPLICABLE.
 4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY AUTHORITIES REGARDING REQUIRED STANDARDS AND SPECIFICATIONS.
 5. PIPE LENGTHS AND COORDINATES ARE MEASURED CENTER-TO-CENTER OF STRUCTURES.



PROJECT NUMBER	20230202
DATE	2/2/23
ISSUED FOR	FINAL TO COUNTY
REVISION	DESCRIPTION
9/19/23	REVISION TO COUNTY

PROJECT NUMBER	FM	DISCIPLINE LEAD	CLIENT PROJECT NO.
2023-23-002	SM		
BRABSTON TRUCKING OFFICE SITE PLAN 145 HARRIS ROAD, KNOX COUNTY, TENNESSEE UTILITY PLAN			

10-A-23-DP
Revised Plans 9/19/23

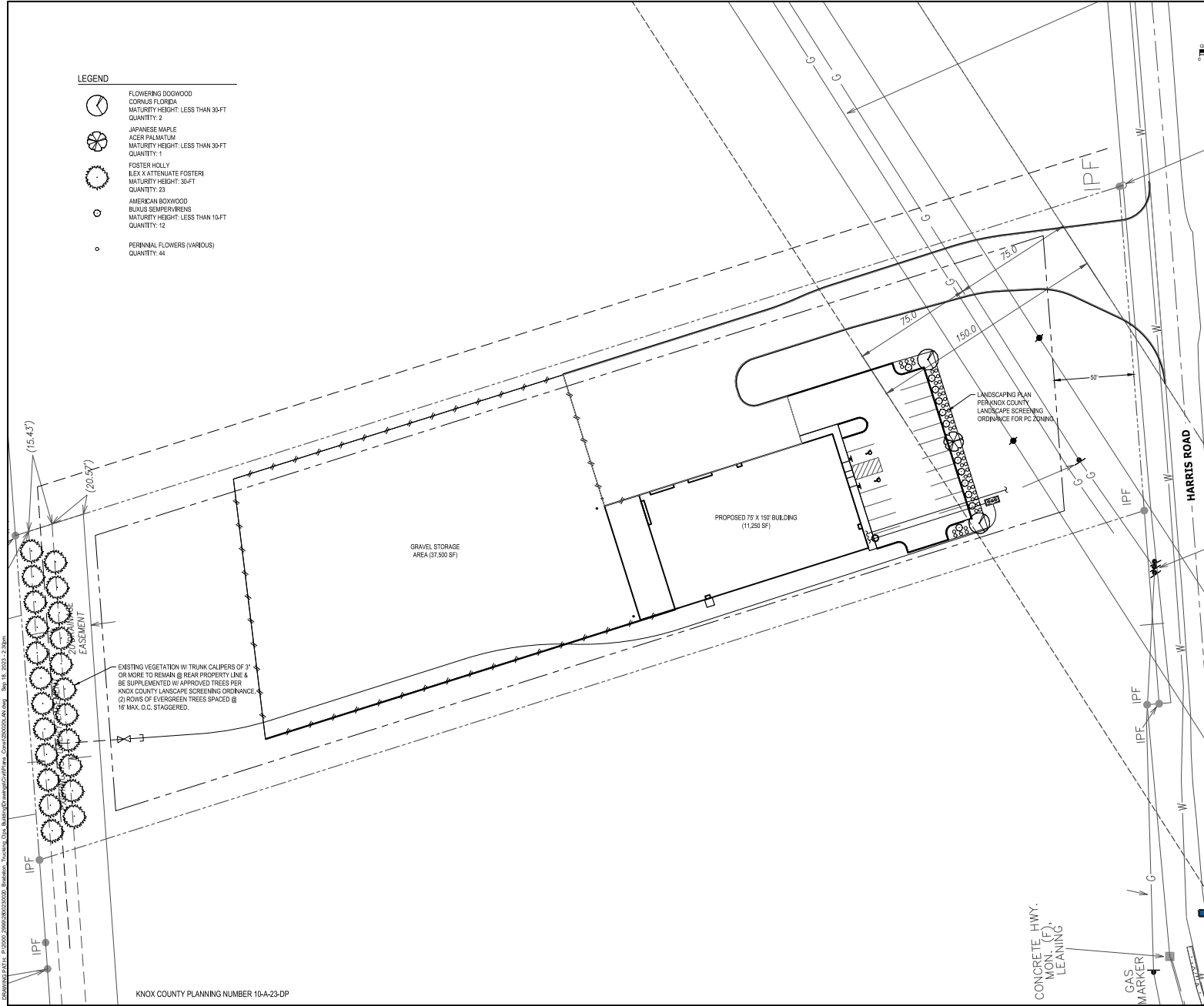


C-122

DRAWING DATE: 9/19/23; 202302020020; Brabston Trucking; City of Knoxville; 10-A-23-DP; 9/19/23; 202302020020; 9/19/23

KNOX COUNTY PLANNING NUMBER 10-A-23-DP

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- LEGEND**
- FLOWERING DOGWOOD
CORNUS FLORIDA
MATURITY HEIGHT: LESS THAN 30-FT
QUANTITY: 2
 - JAPANESE MAPLE
ACER PALMATUM
MATURITY HEIGHT: LESS THAN 30-FT
QUANTITY: 1
 - FOSTER HOLLY
ILEX X ATTENUATE FOSTERI
MATURITY HEIGHT: 30-FT
QUANTITY: 23
 - AMERICAN BOXWOOD
BUXUS SCALPERI VIRENS
MATURITY HEIGHT: LESS THAN 15-FT
QUANTITY: 12
 - PERENNIAL FLOWERS (VARIOUS)
QUANTITY: 44



PROJECT NO. 20230423
DATE: 9/19/23

REVISION DESCRIPTION
9/19/23-REVISION TO COUNTY

PROJECT NUMBER: 2023-23-002
DATE: 9/19/23

DISCIPLINE LEAD: CIVIL/PLANNING

CLIENT/PROJECT NO: 10-A-23-DP

BRABSTON TRUCKING
BRABSTON TRUCKING OFFICE SITE PLAN
 1455 HARRIS ROAD, KNOX COUNTY, TENNESSEE
 LANDSCAPING PLAN

10-A-23-DP
 Revised Plans 9/19/23

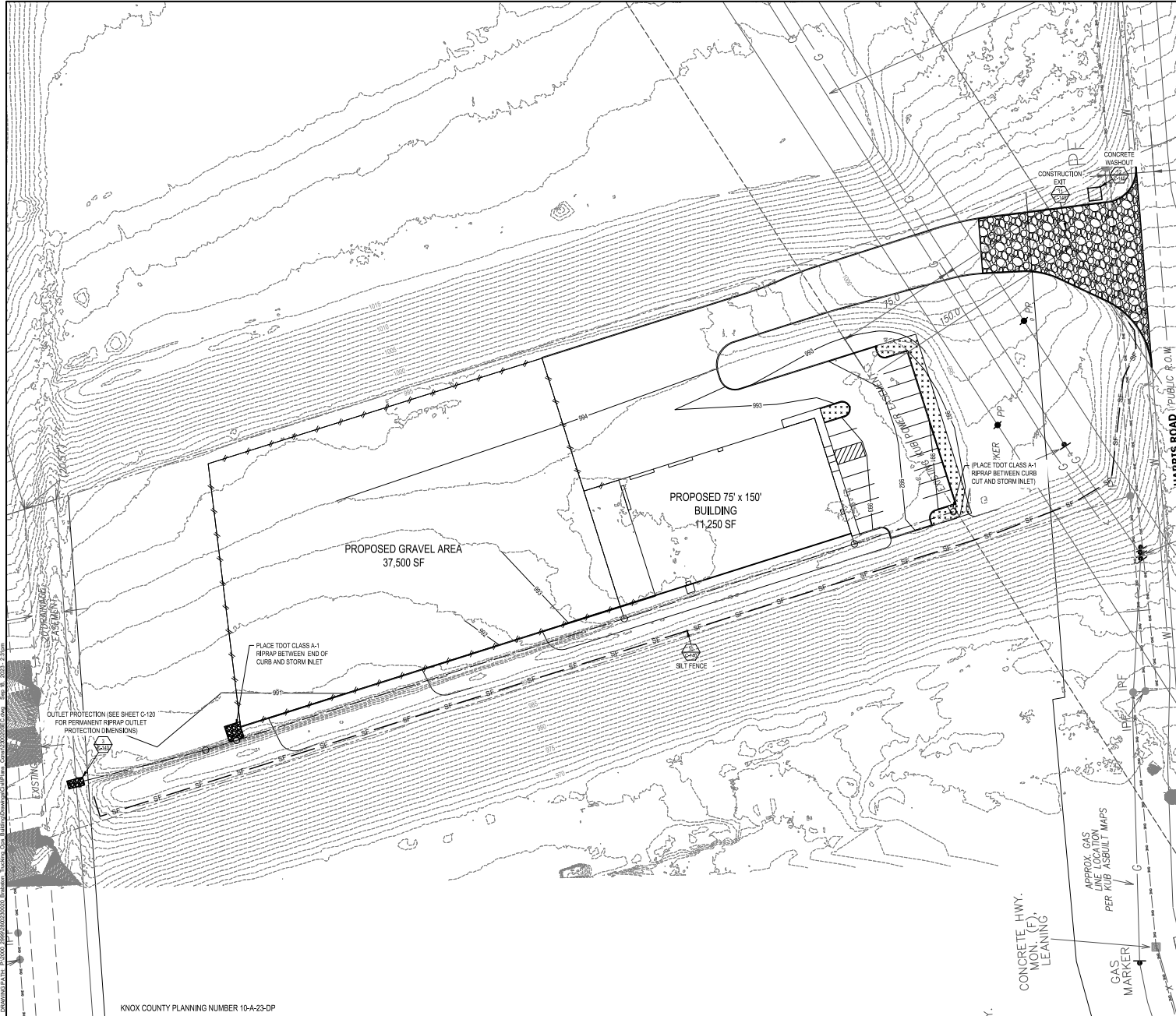


C-123

DRAWING DATE: 9/19/23 9:00 AM PROJECT NO: 2023-23-002 BRABSTON TRUCKING OFFICE BRABSTON TRUCKING OFFICE OFFICE SITE PLAN LANDSCAPING PLAN 10-A-23-DP

KNOX COUNTY PLANNING NUMBER 10-A-23-DP

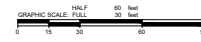
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KNOX COUNTY PLANNING NUMBER 10-A-23-DP

- EPSC NOTES:**
1. EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. GENERALLY CONSIDERED TO BE THROUGH THE COMPLETION OF RESTORATION, IF REQUIRED. THE EPSC PLAN AND INSPECTION CHECKLIST MUST BE AT THE PROJECT SITE AT ALL TIMES. THE INSPECTION CHECKLIST SHALL HAVE A RECORD OF DATES EPSC DEVICES ARE INSPECTED AND ANY CORRECTION ACTION TAKEN OR MAJOR OBSERVATIONS. BMPs MUST BE INSPECTED BY A QUALIFIED PERSON WHO HAS TAKEN AN APPROVED EROSION AND SEDIMENTATION COURSE.
 2. ALL EPSC DEVICES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND A GOOD STAND OF GRASS HAS BEEN ESTABLISHED.
 3. EROSION PREVENTION AND SEDIMENT CONTROLS MUST BE INSPECTED AT LEAST TWICE EVERY CALENDAR WEEK AT LEAST 12 HOURS APART. INSPECTIONS ARE TO BE DOCUMENTED AND KEPT WITH THE SWPPP.
 4. SILT FENCE AND ALL PERIMETER MEASURES ARE TO BE INSTALLED PROPERLY ALONG TOPOGRAPHICAL CONTOURS DOWN SLOPE OF THE AREA TO BE DISTURBED PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY.
 5. THIS SITE SHALL CONTAIN A TEMPORARY STONE CONSTRUCTION ENTRANCE THAT CONFORMS TO REQUIRED SPECIFICATIONS PRIOR TO GRADING COMMENCEMENT. THE STONE SHALL BE 2 TO 3 INCH IN DIAMETER AND SHALL BE KEPT CLEAN BY ADDING STONE AS NEEDED. IT SHALL BE AT LEAST 8 INCHES DEEP UNDERLAIN WITH FILTER FABRIC AND 20 FEET WIDE.
 6. VEGETATIVE BUFFERS OR OTHER PROTECTION MUST BE PROVIDED ALONG STREAMS, RIVERS, AND PONDS TO AVOID EROSION OF BANKS.
 7. STABILIZATION MEASURES MUST BE PERFORMED WITH SEVEN (7) DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES WERE TEMPORARILY OR PERMANENTLY CEASED, AND WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADING.
 8. ALL TREES DESIGNATED TO REMAIN MUST BE PROTECTED. HEAVY EQUIPMENT SHOULD NOT BE OPERATED OR STORED, NOR MATERIALS HANDLED OR STORED, WITHIN THE DOP LINES OF TREES.
 9. SEDIMENT MUST BE REMOVED FROM SEDIMENT BARRIERS, PONDS, AND OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 33%.
 10. SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE REMOVED.
 11. BUILDING AND WASTE MATERIALS, AND NON STORM WATER DISCHARGES, SUCH AS CONCRETE, PAINT, WASH WATER, OR MACHINERY LEAKAGE, OR SPILLAGE MUST BE MANAGED TO PREVENT THEM FROM ENTERING THE STORM WATER SYSTEM, GROUND WATER, OR NEARBY WATER BODY.
 12. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE.
 13. ANY 3:1 OR STEEPER SLOPE SHALL BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION.
 14. THE ENTIRETY OF THIS SITE IS COVERED UNDER THE STATE OF TENNESSEE GENERAL NPDES PERMIT TNR136756.

**DISTURBED AREA 3.31 ACRES
(ALREADY DISTURBED UNDER
NPDES PERMIT TNR136756)**



**10-A-23-DP
Revised Plans 9/19/23**



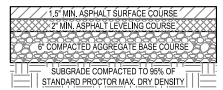
ISSUED FOR NAL TO COUNTY 2023/09/23 DATE
REVISION DESCRIPTION 9/19/23 - REVISION TO COUNTY

PROJECT NUMBER: 2802-23-002
DISCIPLINE: LEAD
CLIENT PROJECT NO.: 811
BRABSTON TRUCKING
BRABSTON TRUCKING OFFICE SITE PLAN
145 HARRIS ROAD, KNOX COUNTY, TENNESSEE
EROSION PREVENTION & SEDIMENT CONTROL PLAN

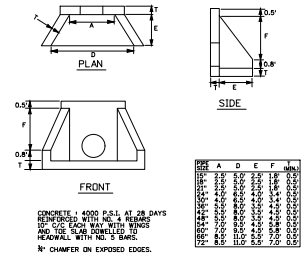
C-130

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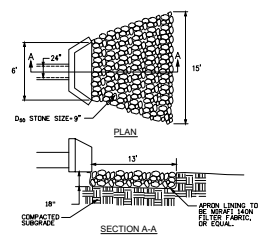
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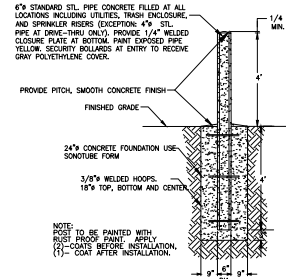
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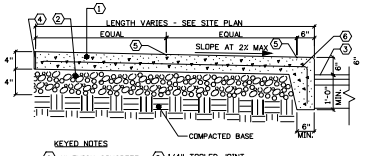
2 CONCRETE HEADWALL
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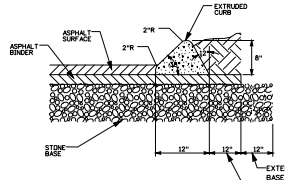
3 RIPRAP AT HEADWALL
NOT TO SCALE



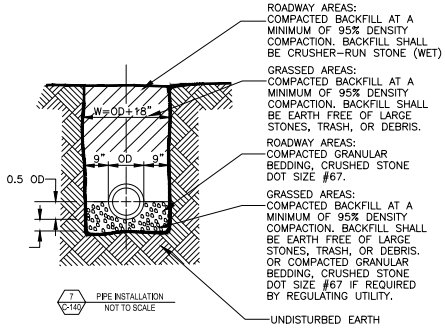
4 CONCRETE FILLED BOLLARD
NOT TO SCALE



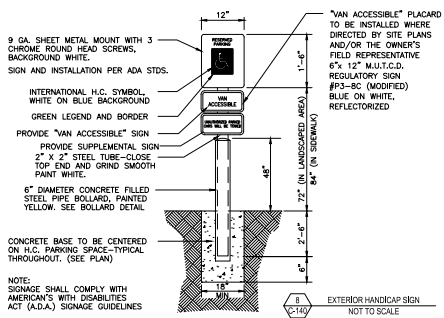
5 SIDEWALK WITH TURNED DOWN CURB
NOT TO SCALE



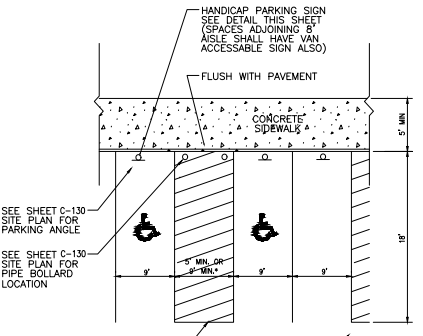
6 EXTRUDED CONCRETE CURB
NOT TO SCALE



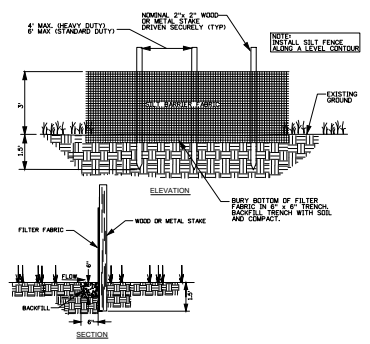
7 PIPE INSTALLATION
NOT TO SCALE



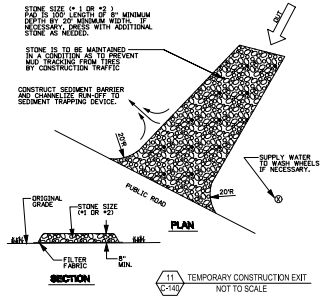
8 EXTERIOR HANDICAP SIGN
NOT TO SCALE



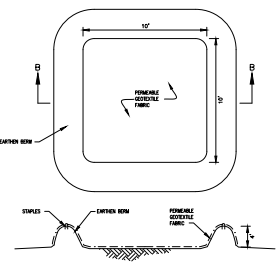
9 ACCESSIBLE PARKING
NOT TO SCALE



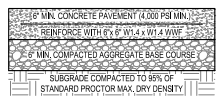
10 SILT FENCE
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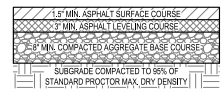
11 TEMPORARY CONSTRUCTION EXIT
NOT TO SCALE



12 CONCRETE WASHOUT
NOT TO SCALE



13 CONCRETE PAVEMENT
NOT TO SCALE



14 HEAVY DUTY ASPHALT PAVEMENT
NOT TO SCALE



10-A-23-DP
Revised Plans
9/19/23



PROJECT NUMBER: 20230202
DATE: 09/19/23
REVISION: 09/19/23
SUBJECT: FINAL TO COUNTY

BRABSTON TRUCKING
BRABSTON TRUCKING OFFICE SITE PLAN
145 HARRIS ROAD, KNOX COUNTY, TENNESSEE

DETAILS

C-140

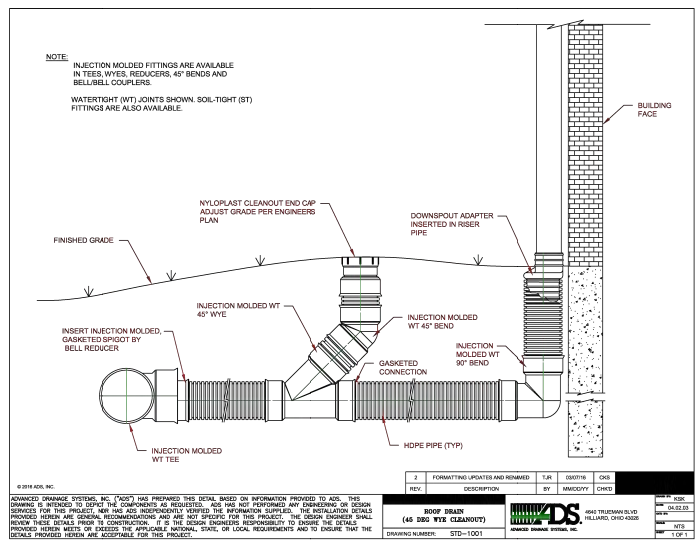


PROJECT NUMBER: 23032023
DATE: 9/19/23
SUBJECT: FINAL TO COUNTY
REVISION: DESCRIPTION
9/19/23-REVISION TO COUNTY

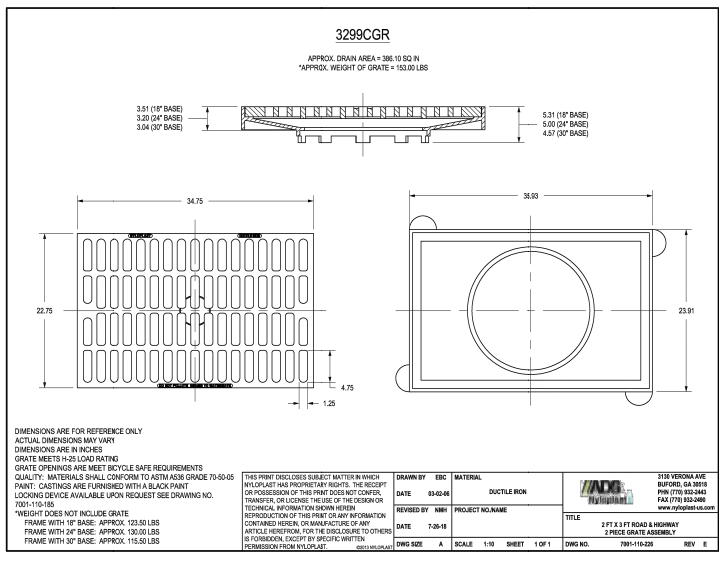
PROJECT NUMBER: 23032023
DATE: 9/19/23
SUBJECT: FINAL TO COUNTY
REVISION: DESCRIPTION
9/19/23-REVISION TO COUNTY

BRABSTON TRUCKING
BRABSTON TRUCKING OFFICE SITE PLAN
145 HARRIS ROAD, KNOX COUNTY, TENNESSEE

DETAILS



2 ROOF DRAIN
NOT TO SCALE



4 24\"/>

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4\"/>	

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	H-25	HEAVY DISTRIBUTION (ST) TABLE LOAD
4\"/>		

MAXIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	CLASS I			CLASS II			CLASS III		
	COMPACTED	FILLED	UNFILLED	COMPACTED	FILLED	UNFILLED	COMPACTED	FILLED	UNFILLED
4\"/>									

MINIMUM COVER REQUIREMENTS

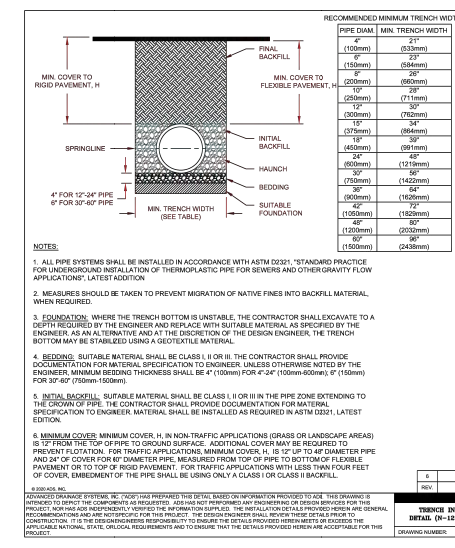
PIPE DIAM.	MIN. COVER
4\"/>	

REVISIONS

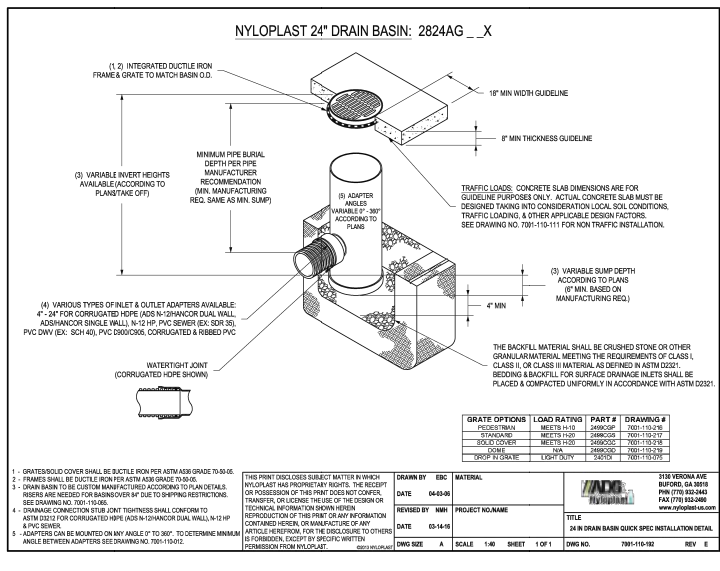
REV	DESCRIPTION	BY	DATE
1	INITIAL BACKFILL	MS	9/19/23
2	DESCRIPTION	MS	9/19/23

DATE: 9/19/23
DRAWING NUMBER: STD-1001

1 STORM PIPE TRENCH INSTALLATION
NOT TO SCALE



3 24\"/>



3 24\"/>

10-A-23-DP

Revised Plans 9/19/23

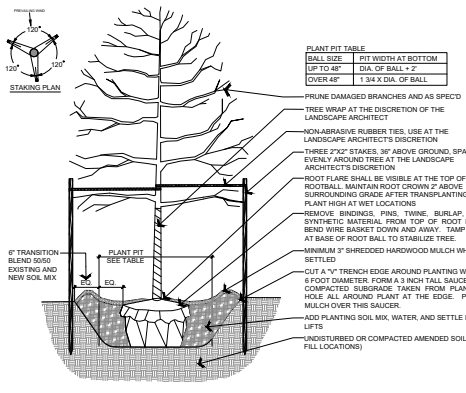


SELECTED FOR FINAL TO COUNTY	DATE
REVISION	2/23/2023
9/19/23-REVISION TO COUNTY	

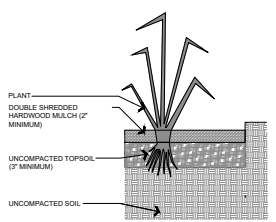
PROJECT NUMBER	FM	DISCIPLINE/LEAD	CLIENT/PROJECT NO
2023-23-0007	SM		
BRABSTON TRUCKING OFFICE SITE PLAN			
145 HARRIS ROAD, KNOX COUNTY, TENNESSEE			
LANDSCAPING DETAILS			

LANDSCAPE NOTES

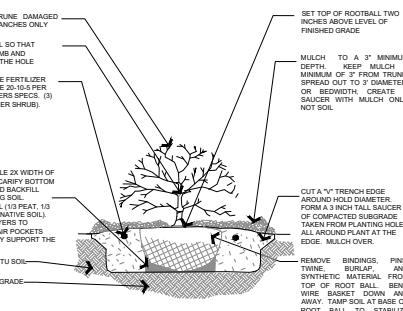
1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY TENNESSEE ONE CALL (CALL 811) A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION/UTILITY TRENCHING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DURING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AS WELL AS COORDINATE WORK WITH OTHER CONTRACTORS TO ASSURE AN EFFICIENT COMPLETION OF THE PROJECT.
3. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN IN PLAN VIEW SHALL TAKE PRECEDENCE.
4. THE LANDSCAPE CONTRACTOR GUARANTEES (UPON SUBMITTING A PROPOSAL FOR THE WORK) THAT 100% OF THE PLANT MATERIALS HAVE BEEN LOCATED BY THE CONTRACTOR AND THAT THOSE PLANTS CAN BE PURCHASED AND INSTALLED AT THE PRICES QUOTED. ANY SUBSEQUENT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. SOIL MIX USED FOR PLANTING SHALL CONSIST OF 5 PARTS TOPSOIL, 1 PART SAND AND 2 PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD. SAND SHALL CONSIST OF CLEAN MASONRY SAND. TOPSOIL SHALL BE FREE OF STONES (>1/2"), LUMPS, STICKS, TOXIC SUBSTANCES OR OTHER EXTRANEIOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR INTERFERE WITH MAINTENANCE.
6. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-60% OF ITS TOTAL NITROGEN IN A WATER-SOLUBLE FORM.
7. ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL (IF STRIPPED), GRASS SEED OR SOIL (AS OUTLINED ON THE LANDSCAPE PLAN), MULCH AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
8. SEEDED LAWN AREAS SHALL USE THE FOLLOWING MIXTURES: 70% TALL FESCUE (3 VARIETIES MINIMUM), 10% HARD FESCUE, 10% PERENNIAL RYE, 10% DROUGHT RESISTANT BLUEGRASS, AT THE RATE OF 7 POUNDS PER 1,000 SQUARE FEET. SEED SHALL CONFORM TO ALL STATE REQUIREMENTS. FERTILIZER WITH CLEAN WHEAT OR OAT STRAW AT THE RATE OF ONE BALE PER 1,000 SQUARE FEET. SPECIFIC SEED VARIETIES SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT OR OWNER FOR WRITTEN APPROVAL. A TEMPORARY SEED MIX SHALL BE APPLIED TO DISTURBED AREAS WITHIN 14 DAYS IN ACCORDANCE WITH THE EPSC PLAN WHEN APPLICABLE. DISTURBED AREAS INCLUDE BUT ARE NOT LIMITED TO: STAGING AREAS, MATERIAL STORAGE AREAS, AND UTILITY INSTALLATION. AREAS STEEPER THAN 3:1 SHALL BE HYDROSEDED WITH TACKIFIER. GRASSSED AREAS SHALL BE FLUSH WITH ADJACENT LANDSCAPE BEDS, PAVEMENT, CURBS, OR OTHER STRUCTURES.
9. MULCH AWAY FROM BUILDINGS SHALL BE DOUBLE-SHREDED HARDWOOD BARK MULCH, UNLESS OTHERWISE SPECIFIED. MULCH BETWEEN CURBS AND BUILDINGS SHALL BE CRUSHED 3/4" LINESOIL, UNLESS OTHERWISE SPECIFIED. MULCH SHALL BE APPLIED TO A DEPTH OF 3 INCHES (AFTER SETTLING) IMMEDIATELY FOLLOWING PLANTING AND SHALL BE THOROUGHLY WATERED. MULCH ALL PLANTS AND PLANT BEDS PER DETAILS. MULCH SHALL BE FREE OF MOULD, WEEDS, AND DEBRIS.
10. THE CALIPER OF DECIDUOUS TREES SHALL BE MEASURED 6" ABOVE BASE OF THE TREE. ALL TREES ARE TO BE STRAIGHT TRUNKED, FULL HEADED, AND PLUMB AFTER INSTALLATION. ALL PLANTS SHALL CONFORM TO THE SIZE AND QUALITY AS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK - ANSI Z60.1 - CURRENT EDITION.
11. SELECTIVE PRUNING SHALL REMOVE ALL BROKEN, DISEASED OR WEAKENED BRANCHES MAKE ALL CUTS LEVEL, HAVING AS LITTLE STUB AS POSSIBLE. NEVER CUT A LEADER WHEN PRUNING. PLANT SIZES INDICATED ARE INSTALLED SIZES AFTER PRUNING.
12. ALL PLANTS MUST BE HEALTHY AND FREE OF DISEASE.
13. PROPOSED PLANTINGS TO BE A MINIMUM OF THREE FEET (3') OFF OF CURBS LINES TO PREVENT DAMAGE FROM VEHICLES. PROPOSED PLANTINGS SHALL BE A MINIMUM OF 3' FROM SIGN CABINETS, UTILITY PEDESTALS, AND BUILDINGS. IF A CONFLICT RESULTS, CONTACT THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE.
14. CONTRACTOR TO STAKE PLANT LOCATIONS FOR LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DIGGING PLANT PIT. ALL PLANTS AND THEIR ARRANGEMENTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE DIGGING, AND AFTER INSTALLATION. ANY PLANT MISARRANGING WILL BE RELOCATED BY THE CONTRACTOR AT THEIR EXPENSE.
15. SCARIFY ALL SIDES OF PLANT PITS AND CONTAINER ROOT BALLS.
16. REMOVE ALL REFUSE AND DEBRIS FROM LANDSCAPE AREAS. CLEAN ALL SOIL FROM CURBS, WALKS, AND PAVEMENT INCLUDING STOCK PILED SOIL AND LANDSCAPE MATERIALS.
17. MAINTENANCE OF PLANTS SHALL INCLUDE WATERING, SPRAYING, MULCHING, FERTILIZING, PRUNING, ETC. AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
18. ALL PLANTS SHALL BE GUARANTEED FOR ONE YEAR FROM INSTALLATION. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED ON THE PLANT SCHEDULE.



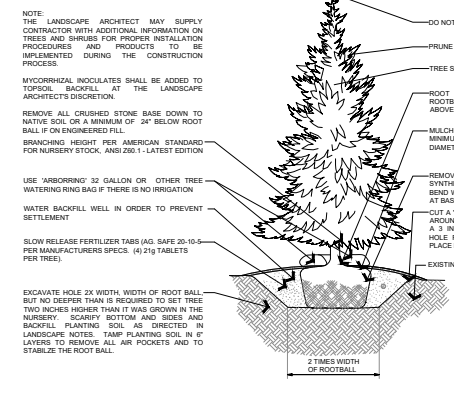
○ TREE PLANTING
NOT TO SCALE



○ PERENNIAL PLANTING
NOT TO SCALE



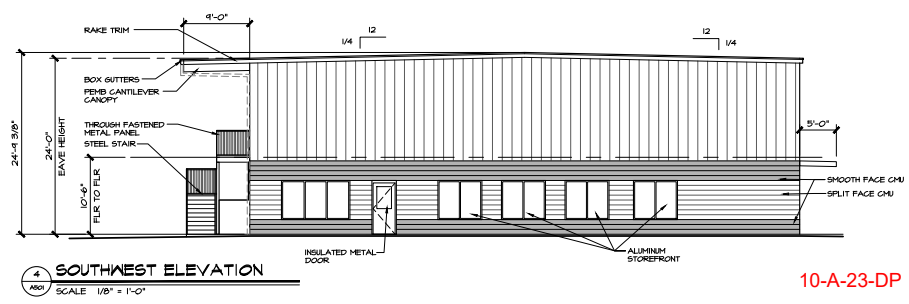
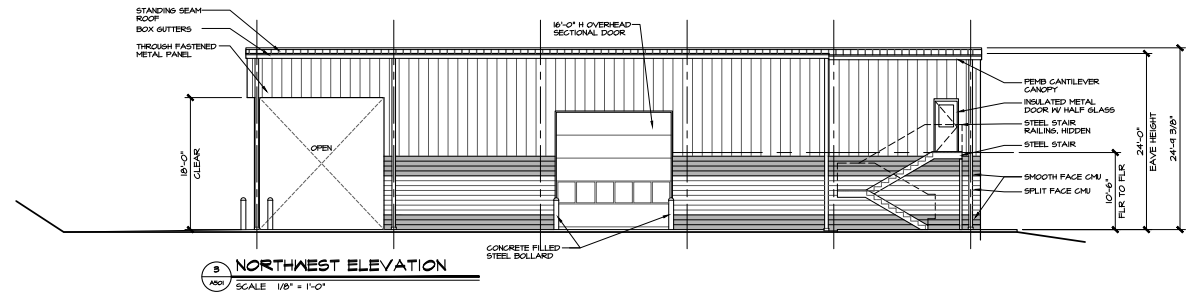
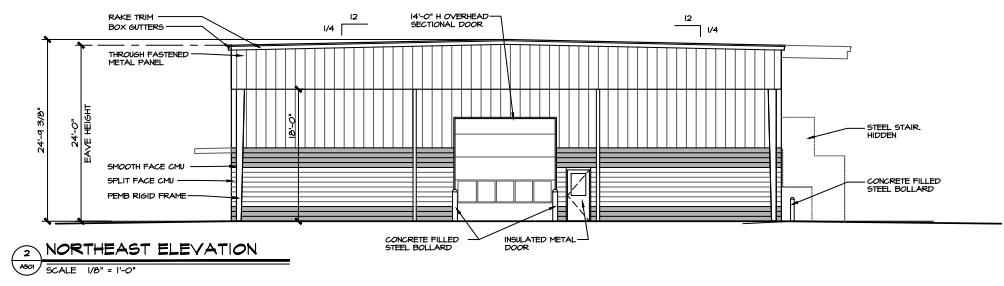
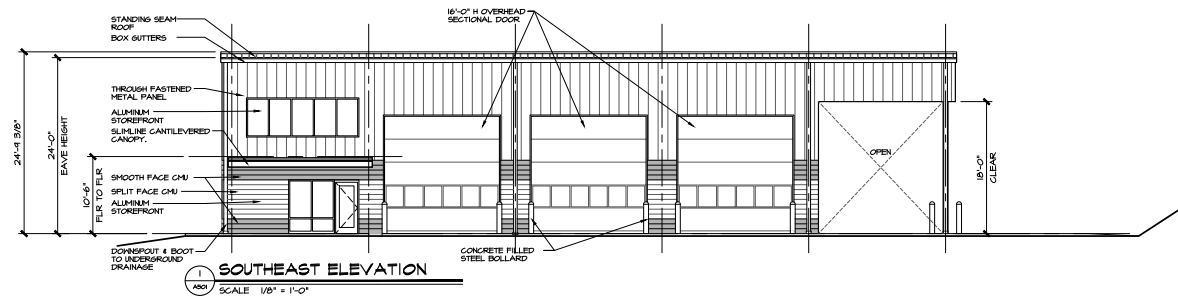
○ SHRUB PLANTING
NOT TO SCALE



○ EVERGREEN TREE PLANTING
NOT TO SCALE



DRAWING DATE: P:\2020-2029\2023\202302020 - Brabston Trucking, CDR, MURPHY\DWG\CF\10-Final_Comp\202302020.dwg, 09/19/2023, 2:23:38pm



10-A-23-DP

D&E
DOLLAR
&
EVERTS

ARCHITECTS, INC.
111 E Jackson Avenue • Suite 101
Knoxville, Tennessee • 37915
phone: 865-546-9374 • fax: 865-673-9028
e-mail: design@dollar-everts.com

FOR CONSTRUCTION

NFC

NOT A CONTRACT

NO.	REVISIONS

KNOX COUNTY PLANNING NUMBER 9-A-21-JR

USE ON REVIEW REQUEST PACKAGE FOR

A NEW OFFICE WAREHOUSE

HARRIS RD, KNOXVILLE, TN

SCHEMATIC ELEVATIONS

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ISSUE DATE:	SEPTEMBER 9, 2021
PROJECT NO.:	221249
SHEET NUMBER:	A501



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Michael A. Brabston, Brabston Trucking Inc.

Applicant Name Affiliation

8/21/2023	10/5/2023	10-A-23-DP
Date Filed	Meeting Date (if applicable)	File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Billy Wilkins OHM Advisors

Name / Company

900 S Gay St Ste 2008 Knoxville TN 37902

Address

865-566-1874 / billy.wilkins@ohm-advisors.com

Phone / Email

CURRENT PROPERTY INFO

Martin A. Brabston Brabston Properties	1455 Harris Rd Knoxville TN 37924	865-500-7002
Owner Name (if different)	Owner Address	Owner Phone / Email

1455 HARRIS RD

Property Address

60 07908	3.31 acres
Parcel ID	Tract Size

Knoxville Utilities Board	Northeast Knox Utility District	
Sewer Provider	Water Provider	Septic (Y/N)

STAFF USE ONLY

West side of Harris Road, North side of Rutledge Pike

General Location

<input type="checkbox"/> City	Commission District 8	PC(k) (Planned Commercial)
<input checked="" type="checkbox"/> County	District	Zoning District
		Agriculture/Forestry/Vacant Land
		Existing Land Use

Northeast County	O (Office)	Urban Growth Area (Outside City Limit)
Planning Sector	Sector Plan Land Use Classification	Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) Office warehouse / contractor storage yard	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information _____	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre) Previous Zoning Requests		
Additional Information _____		

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)
 Design Plan Certification (Final Plat)
 Site Plan (Development Request)
 Traffic Impact Study
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
\$1,600.00	
Fee 2	
Fee 3	

AUTHORIZATION

- I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	Michael A. Brabston, Brabston Trucking Inc.	8/21/2023
	Please Print	Date

Property Owner Signature	Martin A. Brabston Brabston Properties Inc.	8/21/2023
	Please Print	Date



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Martin A. Brabston, Brabston Trucking Inc. Owner

Applicant Name Affiliation

8-18-2023 File Number(s)

Date Filed Meeting Date (if applicable)

CORRESPONDENCE *All correspondence related to this application should be directed to the approved contact listed below.*

- Applicant
 Property Owner
 Option Holder
 Project Surveyor
 Engineer
 Architect/Landscape Architect

Billy Wilkins OHM Advisors

Name Company

900 S Gay Street, Suite 2008 Knoxville TN 37902

Address City State ZIP

865-566-1874 billy.wilkins@ohm-advisors.com

Phone Email

CURRENT PROPERTY INFO

Brabston Properties Inc. 1455 Harris Road 865-500-7002

Property Owner Name (if different) Property Owner Address Property Owner Phone

1455 Harris Road 060 07908

Property Address Parcel ID

KUB Northeast Knox Utility District N

Sewer Provider Water Provider Septic (Y/N)

STAFF USE ONLY

General Location Tract Size

City County District Zoning District Existing Land Use

Planning Sector Sector Plan Land Use Classification Growth Policy Plan Designation

DEVELOPMENT REQUEST

- Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential

Related City Permit Number(s)

Home Occupation (specify) _____

Other (specify) _____

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name

Combine Parcels
 Divide Parcel
 Total Number of Lots Created

Other (specify) _____

Attachments / Additional Requirements

ZONING REQUEST

Pending Plat File Number

Zoning Change
 Proposed Zoning _____

Plan Amendment Change
 Proposed Plan Designation(s) _____

Proposed Density (units/acre)

Previous Rezoning Requests

Other (specify) _____

STAFF USE ONLY

PLAT TYPE

- Staff Review
 Planning Commission

ATTACHMENTS

- Property Owners / Option Holders
 Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)
 Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1	Total
Fee 2	
Fee 3	

AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct:
 1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent


 Applicant Signature

Martin A. Brabston, Brabston Trucking Inc. 8-18-2023
 Please Print Date

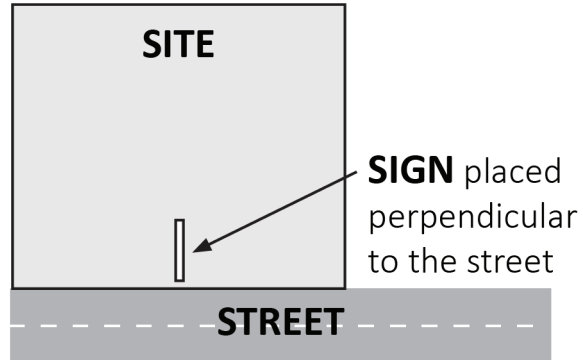
Phone Number

Email


 Property Owner Signature

Martin A. Brabston, Brabston Properties 8-18-2023
 Please Print Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ 9/22/2023 _____ and _____ 10/6/2023 _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Billy Wilkins

Date: 8.21.2023

File Number: 10-A-23-DP



Sign posted by Staff



Sign posted by Applicant