



DEVELOPMENT PLAN REPORT

▶ **FILE #:** 9-C-23-DP

AGENDA ITEM #: 29

AGENDA DATE: 9/14/2023

▶ **APPLICANT:** MARK CAMPBELL

OWNER(S): OKR Group

TAX ID NUMBER: 103 M A 004

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 2187 GREENLAND WAY

▶ **LOCATION:** West side of Greenland Way, Southside of Hardin Valley Rd

▶ **APPX. SIZE OF TRACT:** 1.75 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Spring Bluff Way, a private joint permanent access easement, with a 25-ft pavement width within a 40-ft right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Conner Creek

▶ **ZONING:** PC (Planned Commercial), TO (Technology Overlay)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Fast Food Restaurant

HISTORY OF ZONING: In 2005, the property was rezoned from A (Agricultural) / TO (Technology Overlay) to PC (Planned Commercial) / TO (Technology Overlay). (12-Q-05-RZ / 12-I-05-SP)

SURROUNDING LAND USE AND ZONING: North: Public/quasi public land, single family residential - BP/TO (Business and Technology Park) / (Technology Overlay)

South: Office - PC/TO (Planned Commercial) / (Technology Overlay)

East: Office, multifamily residential - PC/TO (Planned Commercial) / (Technology Overlay), OB (Office, Medical, and Related Services) / TO (Technology Overlay)

West: Agricultural/forestry/vacant - PC/TO (Planned Commercial) / (Technology Overlay)

NEIGHBORHOOD CONTEXT: This property is a part of the commercial node along Hardin Valley Road just west of the interchange with Pellissippi Parkway. To the north is Pellissippi State Community College and to the west is mostly single family subdivisions.

STAFF RECOMMENDATION:

▶ **Approve the development plan for a fast food restaurant with a drive-through facility that has approximately 5,433 sqft of floor area, subject to 7 conditions.**

- 1) Implementing the roadway improvements required by Knox County Engineering and Public Works during permitting, as outlined in the Chick-fil-A Traffic Impact Study prepared by Thouvenot, Wade & Moerchen, Inc. (August 18, 2023).
- 2) Partnering with Knox County to implement the improvements to Hardin Valley Road by providing funding commensurate to the increase between the pre- and post-construction eastbound and westbound queuing lengths for right and left turning movements onto Greenland Way. The details regarding the shared costs shall be determined during the permitting phase.
- 3) Provide a sidewalk along the entire Greenland Way frontage to the main entrance of the restaurant per the Knox County Sidewalk Ordinance (Chapter 54, Article IV of the Knox County Code).
- 4) Installing all landscaping, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.
- 5) Meeting all applicable requirements of the Knox County Engineering and Public Works.
- 6) Meeting all other applicable requirements of the Knox County Zoning Ordinance.
- 7) Obtaining TTCDA approval of the development plans (Case 9-B-23-TOB).

With the conditions noted, this plan meets the requirements for approval in the PC district and the criteria for approval of a development plan.

COMMENTS:

The proposal is for a new Chick-fil-A building and drive through facility in Hardin Valley. The proposed building is 5,433 sq ft and 20 ft, 4.5 inches tall.

The 1.75-acre site is at the intersection of Hardin Valley Road and Greenland Way. The access is via a single driveway to Spring Bluff Way, which runs along the southern boundary of the site and connects to Greenland Way and Award Winning Way. Per the Knox County Sidewalk Ordinance, a sidewalk is required along the frontage of Greenland Way with internal pedestrian access from the site to sidewalk. The Chick-fil-A Traffic Impact Study (TWM, August 2023) recommends reconfiguring the signal timing for optimization on lane striping and updating the signals, if necessary. Other recommendations are to the private right-of-way system and will not impact the operation of Hardin Valley Road whether or not they are implemented. Staff is recommending that the applicant partner with Knox County to implement the improvements to Hardin Valley Road by providing funding commensurate to the increase of queuing lengths onto Greenland Way (condition #2).

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE

PC (Planned Commercial):

A. It is not the intent of this zone to restrict potential development by limiting uses. In general, uses permitted shall include office, commercial services and light distribution centers. The protective covenants allow commercial uses. This proposal is consistent with the intent of the PC zone.

2) GENERAL PLAN - DEVELOPMENT POLICIES

A. (2.13) Review development plans to ensure pedestrian needs are being met and that the sidewalk network's continuity is being achieved, especially in the school parental responsibility zones. - A sidewalk connection will be made from Hardin Valley Road to the adjacent property to the south on Greenland Way.

B. (4.3) Develop and use guidelines to foster good architectural design, landscaping, and aesthetically-pleasing streetscapes. - This property is in the Technology Overlay and will require TTCDA (Tennessee Technology Corridor Development Authority) design guideline review.

3) NORTHWEST COUNTY SECTOR PLAN

A. The property is classified GC (General Commercial). The Northwest County sector plan allows consideration for the PC zone in the County's Planned Growth Area.

4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

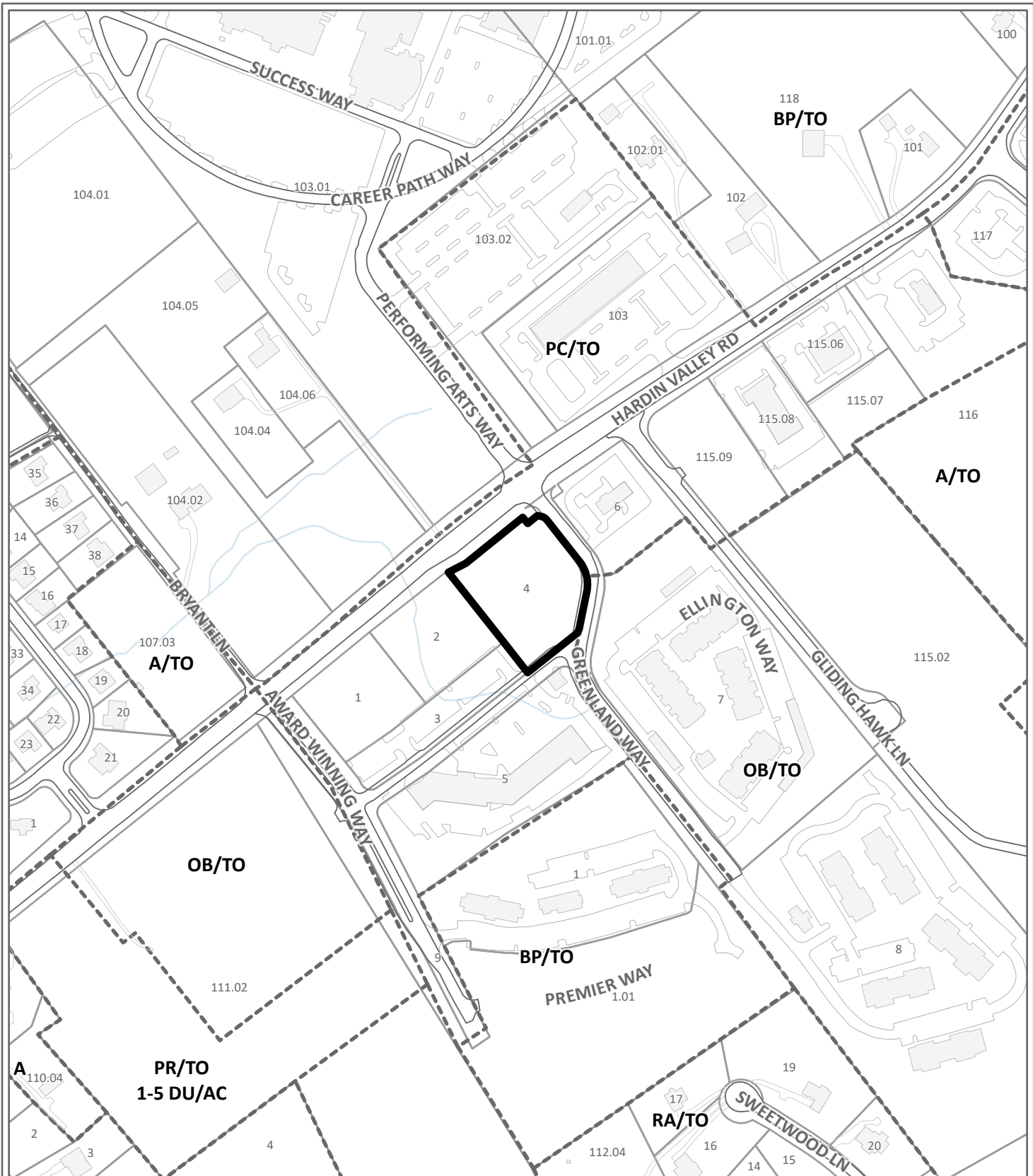
A. The property is within the Planned Growth Area. The purposes of the Planned Growth Boundary designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities

and services. The proposed development is not in opposition to any of these criteria.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).



DEVELOPMENT PLAN

9-C-23-DP

Petitioner: Mark Campbell



Fast Food Restaurant in PC (Planned Commercial), TO (Technology Overlay)

Map No: 103
Jurisdiction: County

Original Print Date: 8/18/2023
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

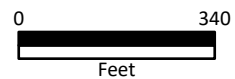
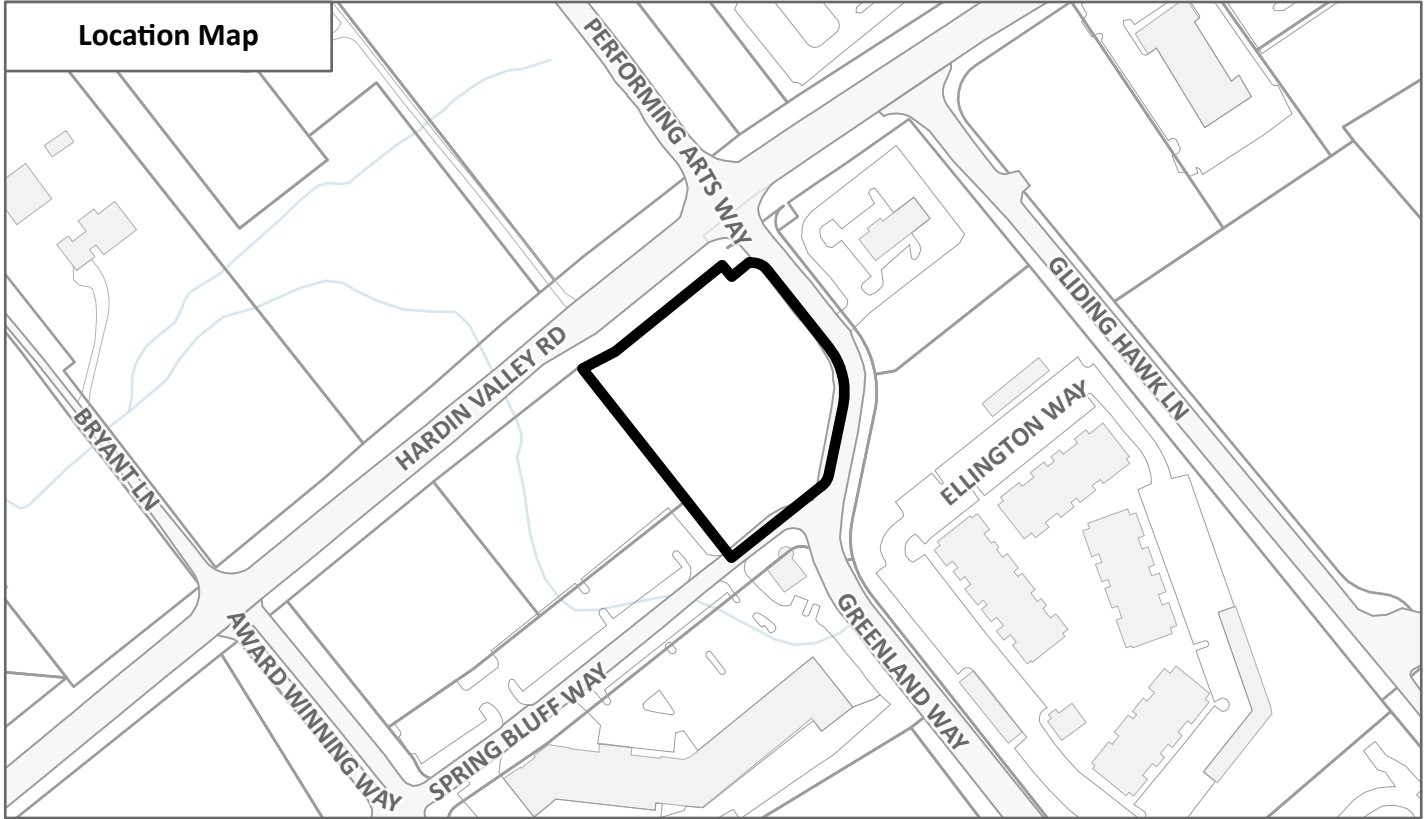


Exhibit A. Contextual Images

Location Map



Aerial Map

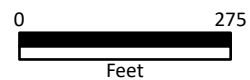


CONTEXTUAL MAPS 1

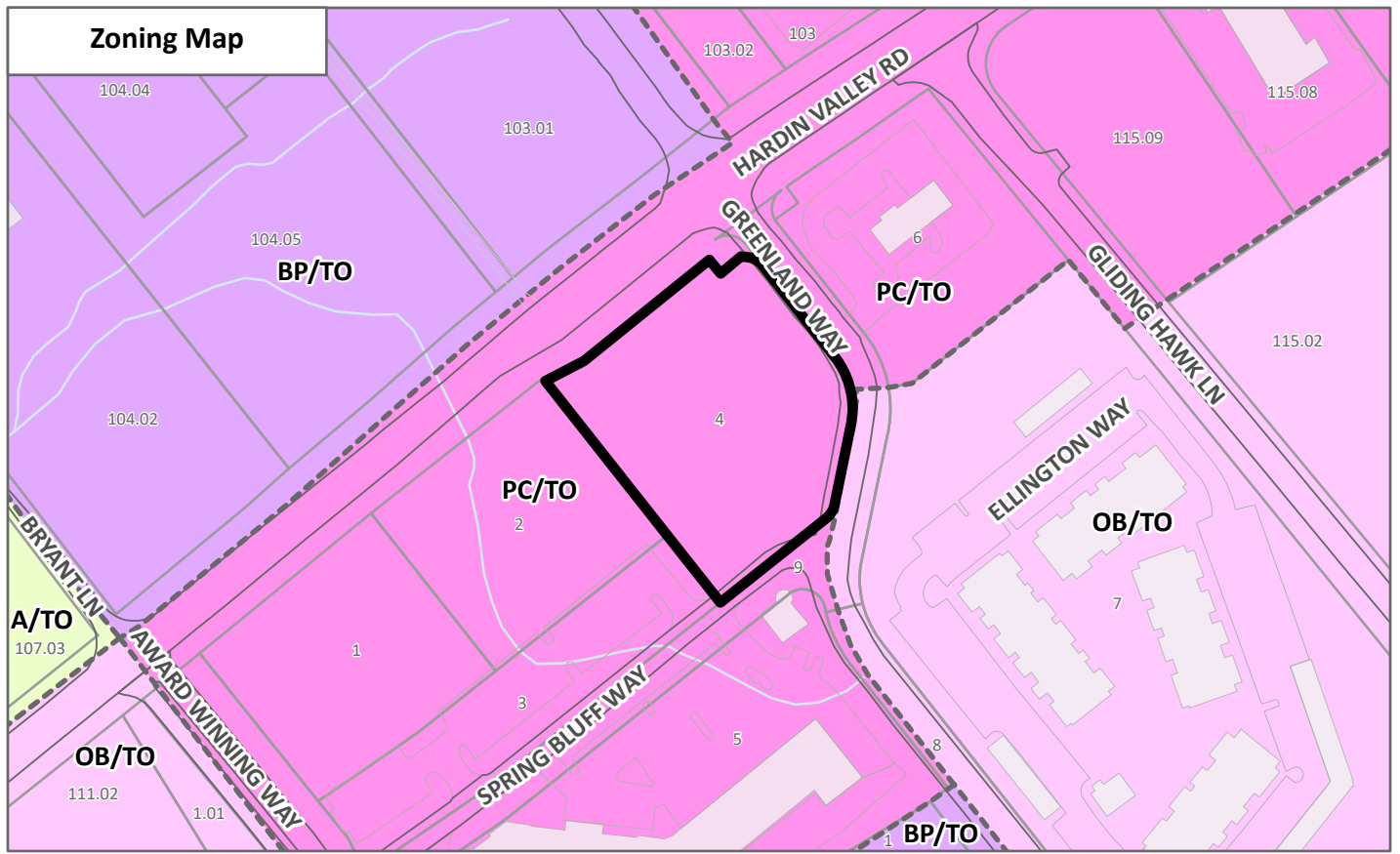
9-C-23-DP



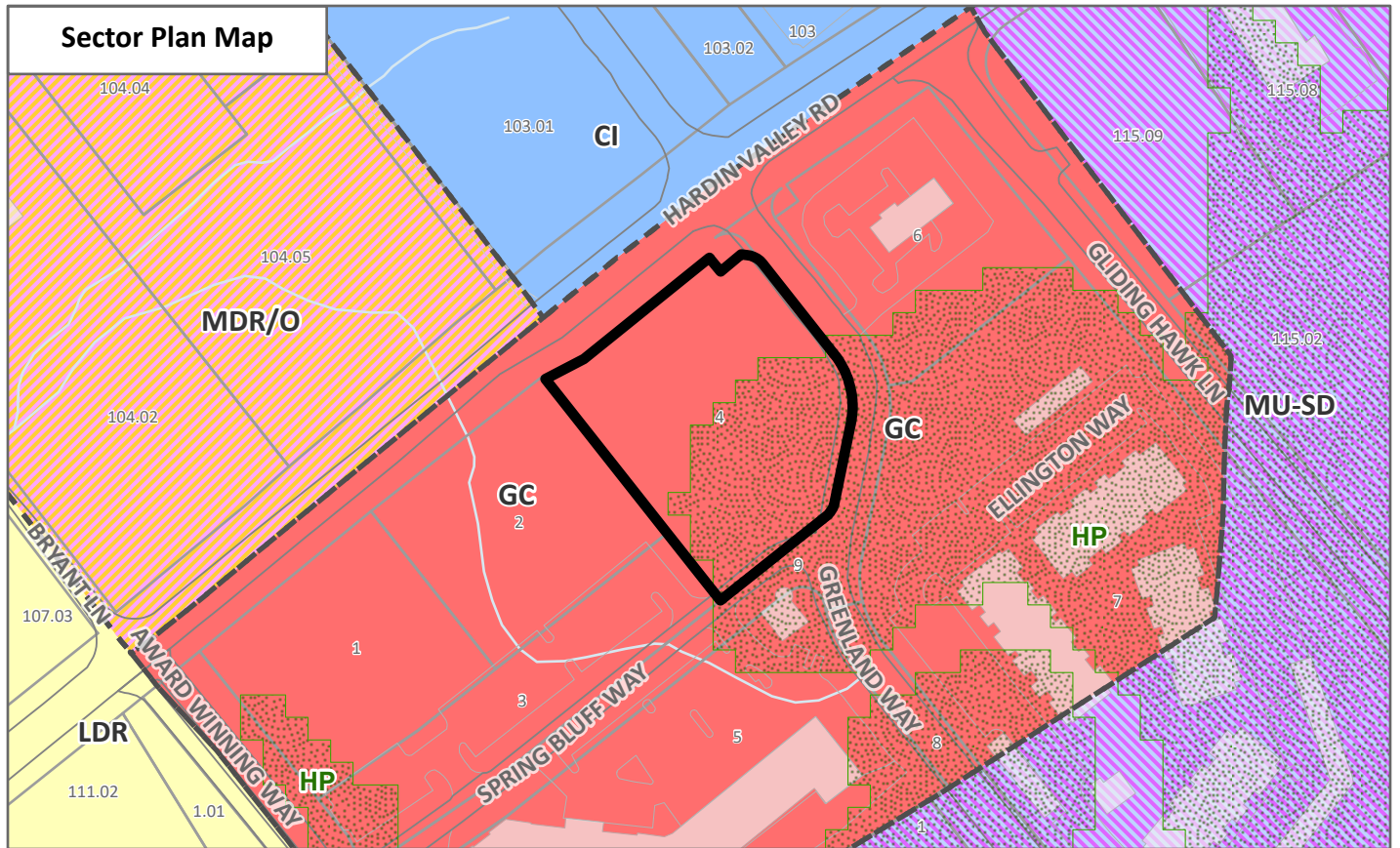
Case boundary



Zoning Map



Sector Plan Map

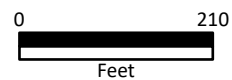


CONTEXTUAL MAPS 2

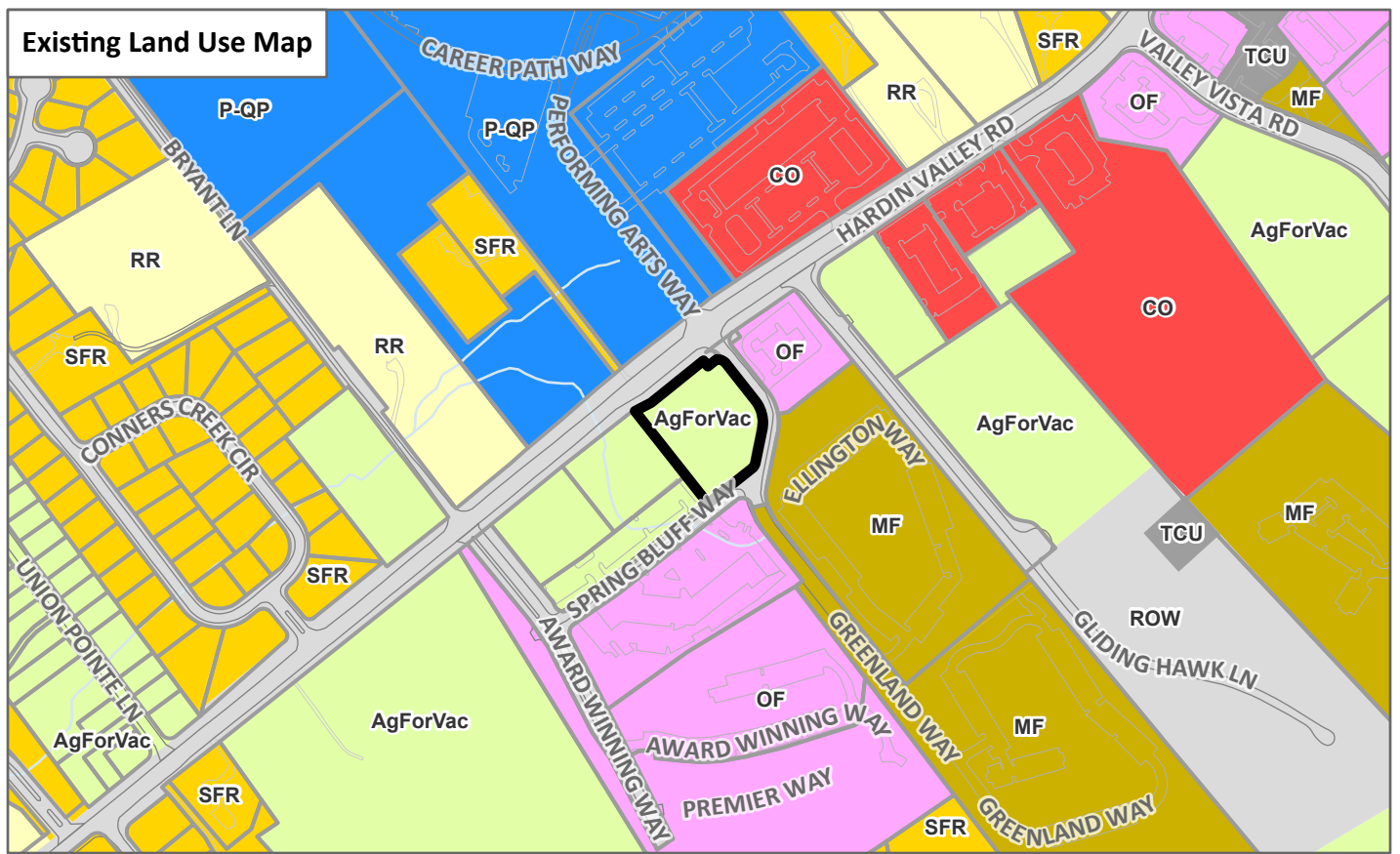
9-C-23-DP



Case boundary



Existing Land Use Map

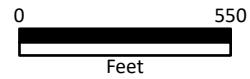


CONTEXTUAL MAPS 3

9-C-23-DP



Case boundary



SITE DEVELOPMENT PLANS



FOR
CHICK-FIL-A, INC.
 62 INDOOR SEATS PROVIDED
 2187 GREENLAND WAY,
 KNOXVILLE, TN 37932

Revision 8-30-2023 9-B-23-TOB / 9-C-23-DP

AUGUST 28, 2023

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L-100	LANDSCAPE PLAN
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L-102	LANDSCAPE MAINTENANCE SPECIFICATIONS

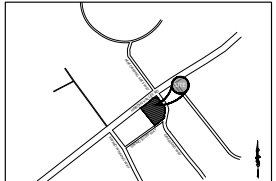
CAUTION
 THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.

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- BIDS & QUOTES SHALL BE BASED ON PLAN SETS LABELED "ISSUE FOR BID" ON THE REVISION BLOCK.
- BIDS & QUOTES SHALL BE REVISED BASED ON PLANS LABELED "ISSUE FOR CONSTRUCTION" ON THE REVISION BLOCK.
- IF DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE DEVIATION FROM THIS PLAN SET, THE ENGINEER SHOULD BE NOTIFIED FOR UPDATED PLANS AND/OR FIELD CHANGES.
- THE ENGINEER IS NOT RESPONSIBLE FOR DESIGN OR CONSTRUCTION COST ASSOCIATED WITH FIELD CHANGES OR DEVIATION FROM THIS PLAN SET DUE TO UNFORESEEN SITE CONDITIONS, CLIENT MODIFICATION REQUEST AND/OR CONTRACTOR CHANGES.
- THE ENGINEER IS NOT RESPONSIBLE FOR THE EFFICACY OF FIELD CHANGES OR DEVIATION FROM THIS PLAN SET IN ANYWAY, UNLESS CHANGES ARE DIRECTED BY THE ENGINEER.



LOCATION MAP
 SCALE: N.T.S.

DESIGN BY:

CIVIL ENGINEER
 CARTER ENGINEERING CONSULTANTS, INC.
 3651 MARS HILL RD. STE. 3600
 WATKINSVILLE, GA 30677
 CONTACT: 770.725.1200
 MARK CAMPBELL, P.E.
 MARK@CARTERENGINEERING.COM

ACTIVITY SCHEDULE	MONTHS: (2019)			
	Start Date: June 1, 2019			
	JUNE	JULY	AUGUST	SEPTEMBER
TASK DESCRIPTION:				
CONSTRUCTION EXIT AND PERIMETER SILT FENCE	X			
TEMPORARY SEDIMENT STORAGE FACILITIES	X			
CLEARING & GRUBBING	X			
ROUGH GRADING	X			
TEMPORARY STABILIZATION (GRASSING)	X			
CURB AND GUTTER	X	X		
GRAVEL SUBBASE FOR ROADS AND PARKING AREAS	X			
BUILDING CONSTRUCTION	X	X	X	
FINAL GRADING	X		X	
PAVING	X		X	

- CONSTRUCTION NOTES:**
 ANTICIPATED START PROJECT DATE XXXX
 ANTICIPATED COMPLETE PROJECT DATE XXXX
 1. INSTALL EROSION CONTROL FENCE
 2. DEMOLITION
 3. CONSTRUCT STORM SYSTEM
 4. CONSTRUCT WATER AND SEWER SYSTEM
 5. FINE GRADE SITE
 6. INSTALL GRASSING AND MULCH (TEMPORARY VEGETATION)
 7. CONSTRUCT BUILDING
 8. INSTALL CURB AND GUTTER
 9. PAVE SITE
 10. FINAL STABILIZATION (PERMANENT VEGETATION), CLEAN STORM DRAIN SYSTEM
 11. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES



5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

REV. #	DATE	DESCRIPTION
A	06/07/2023	INITIAL REVIEW
B	06/09/2023	PERC
C	07/26/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING

CARTER ENGINEERING
 1010 COMMENCE DRIVE,
 BOGART, GA 30622

F: 770.725.1200
 F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
 STORE # 05442
 9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
 KNOXVILLE, TN 37932

SHEET TITLE
 COVER

REVISION 4-2023

Job No. : 23043CFA
 Store : 05442
 Date : 08/28/23

Sheet
C-1.0

ISSUE FOR PERMIT

DEVELOPMENT DATA:
 -OWNER: CHICK-FIL-A, INC.
 -OWNER ADDRESS: 5200 BUFFINGTON RD., ATLANTA GA 30349
 -DEVELOPER: CHICK-FIL-A, INC.
 -DEVELOPER ADDRESS: 5200 BUFFINGTON RD, ATLANTA GA 30349
 -SITE ADDRESS: 2187 GREENLAND WAY, KNOXVILLE, TN 37932
 -ALL IMPROVEMENTS TO CONFORM WITH THE CITY OF CHARLOTTE, NC AND THE MECKLENBURG COUNTY CONSTRUCTION STANDARDS AND SPECIFICATIONS, LATEST EDITION.
 -ENGINEER: CARTER ENGINEERING CONSULTANTS, Inc.
 -ZONING: PC
 -SITE ACREAGE: 1.75 - DISTURBED AREA: 1.75

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CONSTRUCTION NOTES

- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR HIS REPRESENTATIVE.
- NOTIFY THE INSPECTOR OF THE LOCAL GOVERNING AUTHORITY 24 HOURS BEFORE ANY PHASE OF CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR, AT HIS EXPENSE, UNLESS ALREADY OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE EXISTING CURBS, PAVING, AND ALL OTHER UTILITIES.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVIENENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE INTENDED TO BE BY THE SURVEYOR OF RECORD. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN OR FOR THE ACCURACY OF THE INFORMATION PROVIDED TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE WORK TO BE UNACCEPTABLE.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- THE CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FOR ALL TRENCH CONSTRUCTION IN ACCORDANCE WITH OSHA GUIDELINES.
- ALL PIPE LENGTHS SHOWN ARE TO THE CENTERLINE OF THE STRUCTURES UNLESS SPECIFICALLY NOTED.
- PIPES STORM AND SANITARY SEWERS SHALL BE Laid ON SMOOTH, CONTINUOUS GRADES WITH NO VEGING BENDS AT THE JOINTS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUM REQUIRED FOR RELATIVELY STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES TO PROVIDE SUCH ADDITIONAL BEDDING AS REQUIRED TO PROPERLY CONSTRUCT WORK.
- ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL GRATING AND COVER FOR ACCESS.
- ALL ANGLES SHOWN ARE 90 DEGREES UNLESS SHOWN OTHERWISE.
- ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, AND EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.
- CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.
- ALL CONCRETE SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS, WITH A MAXIMUM SLUMP OF FOUR (4) INCHES, UNLESS SPECIFIED OTHERWISE.
- ALL EXPOSED CONCRETE SHALL HAVE A FINISH BROOMED FINISH.
- PARKING AND DRIVEWAY BASE COURSE AND ASPHALTIC CONCRETE SURFACE AND PRIME MATERIALS, EQUIPMENT, METHODS FOR CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.
- CONTRACTOR TO FIELD VERIFY ALL STORM, SANITARY, WATER AND OTHER UTILITIES LOCATIONS AND INVERTS PRIOR TO INSTALLATION OF ANY UTILITIES. NOTIFY ENGINEER PRIOR TO PROCEEDING WITH ANY WORK. IF DISCREPANCIES FOUND.
- THE USE OF CONCRETE THURST BLOCKS FOR THE INSTALLATION OF WATER MAINS IS STRICTLY PROHIBITED. PRESSURE RESISTING FITTINGS AND OTHER ITEMS RESTRAINING SHALL BE DESIGNED USING METHODS SPECIFIED AND APPROVED BY COUNTY CITY TECHNICAL STANDARDS, SPECIFICATIONS AND REGULATIONS. THE PREFERRED METHOD OF RESTRAINT IS THROUGH THE USE OF "MEGALUGS" OR "MUR" DEVICES.
- ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

EARTHWORK SPECIFICATIONS

CLEARING AND GRUBBING

- CLEARING AND GRUBBING SHALL CONSIST OF CLEARING THE SURFACE OF THE GROUND OF THE DESIGNATED AREA OF ALL TREES, LOGS, SNAGS, BRUSH, UNDERGROWTH, HEAVY GROWTH OF GRASS, WEEDS, FENCE STRUCTURES, DEBRIS AND SUBSISTANT NATURAL OBSTRUCTIONS SUCH AS OBSCURABLE SOIL MATERIAL UNSATISFACTORY FOR FOUNDATIONS. IT SHALL ALSO CONSIST OF GRUBBING OF STUMPS, ROOTS AND DISPOSAL OF ALL SUBSISTANT NATURAL OBSTRUCTIONS REMAINING AFTER THE GRUBBING OPERATION IN EMBANKMENT AREAS AND IN EXCAVATION AREAS LESS THAN TWO FEET IN DEPTH SHALL HAVE SIDES BROKEN DOWN AND LEVELS NECESSARY TO FLATTEN OUT SLOPES. REFILLED WITH ACCEPTABLE MATERIAL THAT IS PROPERLY COMPACTED IN LAYERS BY TAMERS, ROLLERS OR CONSTRUCTION EQUIPMENT.
- BURNING ON SITES IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION.

EXISTING TREES OUTSIDE OF GRADING LIMITS LINE:

- TREES AND VEGETATION TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY A FENCE BARRICADE PRIOR TO, OR DURING, CLEARING OPERATIONS. TREES TO BE REMOVED FROM THE AREA OUTSIDE THE LIMITS OF GRADING OR FROM SPECIFICALLY DESIGNATED AREAS WITHIN THE CONSTRUCTION AREA, IF, IN THE OPINION OF THE ENGINEER, A CONTRACTOR DAMAGES A TREE NOT TO BE REMOVED, THE CONTRACTOR WILL BE FINED A PREDETERMINED AMOUNT FOR EACH DAMAGED TREE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL COSTS ASSOCIATED IN REMOVING THE DAMAGED TREE FROM THE SITE.

FILL:

- ALL VEGETATION SUCH AS ROOTS, BRUSH, HEAVY GROWTH OF GRASS, TOPSOIL, ALL DECAYED VEGETATION MATTER, RUBBER AND OTHER UNDESIRABLE MATERIAL WITHIN THE AREA WHICH FILL IS TO BE PLACED SHALL BE STRIPPED OR BE OTHERWISE REMOVED BEFORE THE FILL OPERATION IS STARTED. IN NO CASE SHALL UNDESIRABLE MATERIAL REMAIN OR UNDER THE FILL AREA. SLOPED GROUND SURFACE STEEPER THAN ON VERTICAL TO FOUR HORIZONTAL, ON WHICH FILL IS TO BE PLACED, SHALL BE PLACED, STRIPPED OR BROKEN IN SUCH A MANNER THAT THE FILL TO BE PLACED SHALL BE 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PRACTICE (ASTM) TYPE A. THE OPTIMUM MOISTURE CONTENT SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. PROOF ROLL THE AREAS TO BE FILLED OR ON WHICH STRUCTURES ARE TO BE PLACED. A LOADED SPRAY TRUCK OR OTHER RUBBER Tired EQUIPMENT SHALL BE USED FOR PROOF ROLLING. OVERLAPPING PASSES OF A VEHICLE SHOULD BE MADE ACROSS THE SITE IN ONE DIRECTION AND THEN PERPENDICULAR TO THE ORIGINAL DIRECTION OF ROLLING.
- ANY YIELDING, PUMPING OR SOFT AREAS SHOULD BE CUT OUT AND REPLACED WITH FILL COMPACTED AS DESCRIBED HEREIN.
- THE PROPOSED FILL SHOULD BE LIMITED TO SOILS CLASSIFIED AS ACCORDANCE WITH ASTM D-2922 AS GM, OC, SW, SM, SC, ML, AND CL. SOILS CLASSIFIED AS PT, OH, CL, CH, MH AND ME ARE NOT SATISFACTORY AS COMPACTED FILL.
- FILLS AND EMBANKMENTS SHALL BE CONSTRUCTED AT THE LACTATIONS AND TO THE LINES AND GRADES INDICATED ON CONSTRUCTION PLANS. THE SLOPE SHALL NOT EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (1:1) FOOT HORIZONTAL TO 1 FOOT VERTICAL. IF OTHERWISE NOTED, THE COMPLETED FILL SHALL CORRESPOND TO THE SHAPE OF THE TYPICAL SECTIONS INDICATED ON THE CONSTRUCTION PLANS. MATERIAL REMOVED FROM THE EXCAVATION SHALL BE USED FOR FILLING THE FILL. FILL MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, OTHER ORGANIC MATERIAL, TRASH AND STONES HAVING MAXIMUM DIMENSIONS GREATER THAN 12 INCHES IN ANY DIMENSION. UNDESIRABLE, NON-FROZEN MATERIAL WILL BE REMITTED IN THE FILL. STONES HAVING A MAXIMUM DIMENSION OF INCHES WILL NOT BE REMITTED IN THE FILL. LAYERS SIX INCHES FILL OR EMBANKMENT OR UTILITY TRENCH. THE MATERIAL SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS NOT MORE THAN 12 INCHES THICK. UNLESS OTHERWISE NOTED, THE MAXIMUM DRY DENSITY OF THE CROSS SECTION AND SHALL BE COMPACTED TO AT LEAST 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PRACTICE (ASTM) TYPE A. THE OPTIMUM MOISTURE CONTENT SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. THE TOP 12 INCHES OF THE PAVING, PARKING AND/OR DRIVEWAY SURFACE SHALL BE COMPACTED BY A VIBRATORY ROLLER, A SHEEPSOIL ROLLER OR A LOADED RUBBER Tired TRUCK OR OTHER RUBBER Tired EQUIPMENT. AFTER THE WATER TRUCK WITH SPREADER BAR OR SPRAY NOSE SHALL BE USED TO BRING THE SOIL TO THE PROPER MOISTURE RANGE, THE WATER SHALL BE TRODDERED AND PROPERLY MIXED WITH THE SOIL PRIOR TO COMPACTION.
- STORM DRAIN PIPES SHALL BE PLACED ON FIRM BOTTOM AND HAND TAMPED TO SAFE UP THE PIPE. A CURB OF SOIL SHALL BE TAMPED ABOVE THE CROWN OF THE PIPE IN ACCORDANCE WITH THE PIRE MANUFACTURER'S RECOMMENDATIONS SO THAT THE HEAVIER CONSTRUCTION EQUIPMENT CAN THEN BE USED TO BRING THE SOIL TO A DENSITY AS DESCRIBED ABOVE FOR FILL AREAS.
- IF SOILS INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE RECOMMENDATIONS OF THE REPORT IF THEY EXCEED THE RECOMMENDATIONS OF THESE SPECIFICATIONS.

TOPSOIL:

- UNLESS OTHERWISE SPECIFIED, AREAS DESIGNATED FOR GRADING OPERATIONS THAT CONTAIN A BLANKET OF TOPSOIL SHALL BE STRIPPED AND PLACED IN CONVENIENT STOCKPILES FOR LATER USE AS A TOPSOIL BLANKET ON THE NEW GRADES ARE SPECIFIED HEREIN, OR AS DESIGNATED TO TOPSOIL SHALL BE STRIPPED FROM ALL AREAS DESIGNATED TO RECEIVE FILL. THE STRIPPING OF MATERIAL FOR TOPSOIL SHALL BE CAREFULLY SUPERVISED AND ONLY THE QUANTITY REQUIRED SHALL BE STOCKPILED. MATERIAL STOCKPILED SHALL BE STORED IN A SATISFACTORY MANNER TO AFFORD PROPER DRAINAGE. WHEN GRADING OPERATIONS BEGINS, INSTEAD OF STOCKPIILING, THE TOPSOIL SHALL BE HAULED AND SPREAD DIRECTLY ON THE AREAS DESIGNATED TO RECEIVE TOPSOIL.

ROCK EXCAVATION:

- IF ROCK IS ENCOUNTERED, CLEAR AWAY EARTH TO EXPOSE MATERIAL. NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION. REMOVE ROCK TO A DEPTH OF 4 INCHES BELOW AND 8 INCHES ON EACH SIDE OF PIPES IN TRENCHES. A MEASUREMENT OF EXTENT OF ROCK TO BE REMOVED SHALL BE MADE. ROCK EXCAVATION SHALL BE PAID FOR IN ACCORDANCE WITH AGREEMENT WITH THE OWNER.

DEMOLITION NOTES

EXISTING STRUCTURES & FACILITIES:

- THE LOCATION OF ALL EXISTING FACILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVIENENCE OF THE CONTRACTOR. THE ENGINEER AND LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT, AND UTILITIES AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS HEREIN.
- THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED. A BRIEF DESCRIPTION OF THE STRUCTURES TO BE INSTALLED AND DEMOLISHED ARE INCLUDED FOR THE CONTRACTOR'S CONVIENENCE ONLY.
- THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S CONVIENENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF THE DEMOLITION WHERE DEMOLITION IS REQUIRED (SEE CORRESPONDING PLANS):
 - DEMOLITION AND REMOVAL OF EXISTING ON-SITE ASPHALT, CONCRETE, PAVING, AND CURBING TO LIMITS OF DETURBANCE DEMOLITION AS SHOWN ON THE CORRESPONDING PLANS. CONTRACTOR TO VERIFY AND COORDINATE ANY DISCREPANCIES AND/OR CONCERNS WITH ENGINEER/LANDSCAPE ARCHITECT ACCORDINGLY.
 - ALL ON-SITE UNDERGROUND STRUCTURES AND PIPING MUST BE COMPLETELY REMOVED AND OVER-EXCAVATED BY A MINIMUM OF 12" BENEATH THE STRUCTURES. CONTRACTOR SHALL USE APPROVED FILLING MATERIAL FOR FILLING THESE AREAS. FILL SHALL BE CLEAN WITH LESS THAN 2% PASSING THE 200 SIEVE, PLASTICITY INDEX LESS THAN 10, WITH MAXIMUM PARTICLE SIZE OF 1.25 INCHES, AND SHALL BE PLACED IN 6-12 INCH LIFTS NOT EXCEEDING 6 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 98% OF THE MOISTURE PROCTOR MAXIMUM DRY DENSITY (ASTM D99).
 - ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE NO STRUCTURE SUBSTANTIALLY AS A WHOLE. DEMOLISH COMPLETELY ON THE PREMISES.
 - ALL EXISTING SEWERS, PIPING, UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR PERSON AND PROPERTY AT ALL TIMES, HE OR SHE SHALL EXECUTE THE WORK IN A MANNER THAT AVOIDS HAZARDS TO PERSON AND PROPERTY AND THAT PREVENTS INTERFERENCE WITH THE USE AND ACCESS TO ADJACENT PROPERTIES, BUILDINGS, AND ADJACENT STREETS. STREETS AND SIDEWALKS SHALL NOT BE BLOCKED BY DEBRIS AND EQUIPMENT.
 - CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER OR PROPER OFFICER IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING THE DEMOLITION AND/OR EXCAVATION PROCESS.

DISPOSAL:

- REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. ALL REFUSE AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, STANDARDS, AND REGULATIONS. SET FORTH BY LOCAL, STATE, AND FEDERAL OFFICIALS THAT GOVERN THE DISPOSAL OF WASTE AND DEBRIS.

PAVEMENT REMOVAL:

- WHERE EXISTING PAVEMENT IS TO BE REMOVED, CONTRACTOR SHALL SAW CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH THE MINIMAL DISTURBANCE POSSIBLE TO THE REMAINING ADJACENT SURFACES. IF ANY ADJACENT RESULTS IN RAVELLING OR DAMAGE TO THE SAW-CUT SURFACE, RE-CUT BACK FROM THE RAVELLED EDGE PRIOR TO RESTORATION.
- WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY OR VALLEY CUTTER IS TO BE REMOVED FOR THE PURPOSE OF CONSTRUCTION OR REMOVING BOX CULVERTS, PIPE, INLETS, MANHOLES, APPURTENANCES, FACILITIES OF STRUCTURES, S&D PAVEMENT, ETC. THE S&D OR PROPOSED STRUCTURE SHALL BE REPLACED AND RESTORED IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND ANY OTHER NECESSARY EQUIPMENT AS REQUIRED BY CONTRACT AND SITE REGULATIONS.

ACCESS:

- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE DEMOLITION PROCESS OF THE EXISTING FACILITIES AND SITE.

PERMITTING:

- IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DEMOLITION FROM THE RESPONSIBLE AUTHORITIES AND REGULATIONS AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.
- IF THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR THIS PROJECT, THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL SUBMIT THE RESULTS OF THESE VISITS AND THESE DOCUMENTS AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LEAD ENGINEER/ARCHITECT PRIOR TO SUBMITTAL.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITY TO THAT AREA DELINEATED IN THE DRAWING AND APPROVED BY OFFICIALS.
- ALL OTHER EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, GAS, ELECTRICAL, TELEPHONE, AND WATER & SEWER SHALL BE PRESERVED AND PROTECTED AT ALL TIMES AS NEEDED AND AS REQUIRED.

STAKING AND SURVEYING NOTES

STAKING:

- THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION STAKING AND CONSTRUCTION ACTIVITIES BASED ON THE LATEST APPROVED DESIGN PLANS (AND/OR DESIGN FILES) AS PROVIDED AND AS WARRANTED BY CLIENT AND PROJECT NEEDS.
- PRIOR TO COMMENCING CONSTRUCTION STAKING OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR AND/OR STAKING SURVEYOR SHALL CONFORM WITH THE LEAD ENGINEER/ARCHITECT, WHO IS RESPONSIBLE FOR THIS PROJECT, THAT THE LATEST PLANS (AND/OR DESIGN FILES) ARE BEING UTILIZED.
- THE ENGINEER/LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR OWNERS', CONTRACTORS' OR SURVEYORS' STAKING OR PERFORMING CONSTRUCTION ACTIVITIES BASED ON OUT-OF-DATE DESIGN PLANS AND/OR DESIGN FILES.
- CONSTRUCTION STAKING SHALL ADHERE TO THE HORIZONTAL AND VERTICAL DATUM LISTED IN THIS DOCUMENT SET AND AS PROVIDED IN THE DESIGN FILES, NOTED IN DESIGN FILES.

TOLERANCES & DISCREPANCIES:

- IF, DURING CONSTRUCTION STAKING OR CONSTRUCTION ACTIVITIES, SURVEY DISCREPANCIES ARE ENCOUNTERED WITH REGARD TO THE DESIGN PLANS OR DESIGN FILES, WORK SHOULD BE PAUSED AND THE LEAD ENGINEER/LANDSCAPE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY TO RESOLVE THE ISSUE OR ISSUE. THE ENGINEER / LANDSCAPE ARCHITECT CAN NOT BE HELD RESPONSIBLE OR LIABLE FOR ISSUES THAT THEY HAVE NOT RECEIVED NOTIFICATION.
- THE CONSTRUCTION TOLERANCES SHOWN IN THE CORRESPONDING DRAWINGS, NOTES, AND/OR FILES, IN GENERAL, REPRESENT INDUSTRY STANDARDS. HOWEVER, EXCEPTIONS CAN BE MADE IF IT IS DETERMINED THAT CERTAIN TOLERANCES ARE NECESSARY TO ACCOMMODATE THE DESIGN REQUIREMENTS OR FUNCTIONALITY. THE LEAD ENGINEER/LANDSCAPE ARCHITECT WILL EVALUATE CONSTRUCTION REQUIREMENTS THAT DEVIATE FROM THE DESIGN AS SHOWN ON THE CASE BASIS. IF IT IS DETERMINED THAT THE CERTAIN DESIGN CONSTRUCTION ACTIVITIES DO ADVERSELY AFFECT THE DESIGN REQUIREMENTS, THE LEAD ENGINEER/LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR RE-EVALUATING OR REPAIRING ALL ITEMS TO THE PLANS AND SPECIFICATIONS AS DETERMINED AND REQUIRED BY DESIGN PROFESSIONAL, AT THE CONTRACTOR'S EXPENSE.

CIVIL ENGINEERING DESIGN TOLERANCES FOR PROJECT:

GENERAL GRADING	±0.10 FEET	RETAINING WALLS	±0.05 FEET
ALL PIPE PRODUCTS	±0.05 FEET	SITE FEATURES (SPOT ELEV., ETC.)	±0.05 FEET
DRAINAGE STRUCTURES	±0.05 FEET	UTILITY ELEVATIONS	±0.10 FEET
SANITARY SEWER STRUCTURES	±0.05 FEET	EROSION CONTROL BMPs	±0.05 FEET
STORMWATER POND FEATURES	±0.05 FEET		

AS-BUILT & SPECIFICATIONS:

- THE ENGINEER/LANDSCAPE ARCHITECT SHOULD BE PROVIDED WITH AN AS-BUILT SURVEY OF THE PROJECT FOR REVIEW AND APPROVAL AFTER THE PROJECT IS COMPLETE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING EFFORTS WITH DESIGN PROFESSIONAL.
- SEE THE PROJECT SPECIFICATIONS FOR ADDITIONAL SITE SPECIFIC REQUIREMENTS REGARDING CONSTRUCTION MATERIALS, TESTING, AND CERTIFICATIONS.

PROJECT GEOGRAPHICAL INFORMATION

PROJECT PROJECTION & DATUM:

HORIZONTAL DATUM: NAD83 TENNESSEE STATE PLANE ZONE, US FOOT
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)

BOUNDARY SURVEY:

SURVEYOR FIRM: YOUNG, HOBBS AND ASSOCIATES
 SURVEYOR NAME: XXX
 SURVEYOR CONTACT: 801/445-2024
 DATE OF SURVEY: 2/15/23
 TRACT OR PARCEL: 0304004
 HORIZONTAL DATUM: NAD83 TENNESSEE STATE PLANE ZONE, US FOOT
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)

TOPOGRAPHIC SURVEY:

SURVEYOR FIRM: YOUNG, HOBBS AND ASSOCIATES
 SURVEYOR NAME: XXX
 SURVEYOR CONTACT: 801/445-2024
 DATE OF SURVEY: 2/15/23
 HORIZONTAL DATUM: NAD83 TENNESSEE STATE PLANE ZONE, US FOOT
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)

GEOGRAPHICAL INFORMATION SYSTEMS (GIS) DATA UTILIZED:

TOPOGRAPHIC DATA: N/A
 PARCEL DATA: N/A
 ADDITIONAL DATA: N/A

NOTE:

THE TOPOGRAPHIC AND ELEVATION DATA SHOWN HEREON WAS OBTAINED FROM YOUNG, HOBBS AND ASSOCIATES AND IS NOT CERTIFIED AS CORRECT BY THIS ENGINEER. USERS OF THIS DATA DO SO AT THEIR OWN RISK.



5200 Buffington Rd.
 Atlanta, Georgia,
 30349-2996

REV #	DATE	REVISION/CHANGE
A	06/02/2023	FINAL REVIEW
B	06/06/2023	PER REVIEW
C	07/12/2023	ITC/A SUBMITTAL
D	08/28/2023	REVISED PER TDC COMMENTS



CARTER ENGINEERING
 1010 COMMERCIAL DRIVE,
 BOGART, GA 30622

F: 770.725.1200
 P: 770.725.1004
 www.CarterEngineering.com

HARDIN VALLEY FSU
 STORE # 05442
 9-8-23-TOB / 9-C-23-PP

2187 GREENLAND WAY,
 KNOXVILLE, TN 37902

SHEET TITLE
GENERAL NOTES
 REVISION 4-2023

Job No.: 23043CFA
 Store #: 05442
 Date: 08/28/23

Sheet
C-1.1

ISSUE FOR PERMIT

THIS DOCUMENT IS NOT REPRODUCED EXCEPT BY THE OWNER. REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF CARTER ENGINEERING CONSULTANTS, LLC IS PROHIBITED.

SITE UTILITIES

SEWER
 Agency: West Knoxville District
 Address: 2328 Lovell Road, Knoxville, TN 37932
 Contact: Mr. Christian Hask, P.E.
 Phone: 865-690-2521
 Email: chask@wksut.com

WATER
 Agency: Knoxville Land Development Services
 Address: 205 West Baker Avenue, Knoxville, TN 37917
 Contact: Mr. Martin Pleasant
 Phone: 865-215-6889
 Email: Martin.Pleasant@knoxcountytg.org

WATER
 Agency: West Knoxville Utility District
 Address: 2328 Lovell Road, Knoxville, TN 37932
 Contact: Mr. Christian Hask, P.E.
 Phone: 865-690-2521
 Email: chask@wksut.com

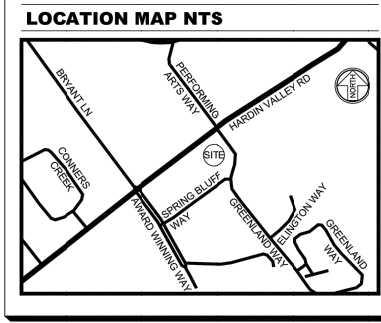
ELECTRIC
 Agency: LCLUB - Local City Utilities Board
 Address: 7898 Chesapeake Park Blvd., Lenox City, TN 37772
 Contact: Mr. Jay Kross
 Phone: 865-968-0730
 Email: jkross@lclub.com

TELEPHONE
 Agency: AT&T
 Address: Customer Service
 Phone: 877-620-9103
 Email:

GIS
 Agency: Knoxville Utilities Board (KUB)
 Address: 4428 Westman Ave, Knoxville, TN 37921
 Contact: New Construction
 Phone: 865-568-2556
 Email:



Know what's below.
 Call before you dig.



SITE ADDRESS

2187 GREENLAND WAY
 KNOXVILLE, TN 37932

PARKING COUNT

REGULAR - 0
 HANDICAP - 0

CLIENT INFORMATION

CHICK-FIL-A
 5208 BUFFINGTON ROAD
 ATLANTA, GA 30343-2998

OWNER INFORMATION

DKR, GP
 INST. NO. 201806040071072;
 PLAT OF LOT 4R, THE VILLAGE AT
 HARDIN VALLEY,
 HARDIN VALLEY,
 PLAT BOOK 200807170053807
 PARCEL ID: 103MA004
 CITY OF KNOXVILLE,
 KNOX COUNTY, TN



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



YOUNG • HOBBS
 AND
 ASSOCIATES

1202 CROSSLAND AVE.
 CLARKSVILLE, TN 37040
 PHONE 931-645-2524
 FAX 931-645-2768

PRELIMINARY,
 NOT FOR RECORDING
 OR TRANSFER

CHICK-FIL-A
HARDIN VALLEY
KNOXVILLE, TENNESSEE

FSU# 5442

REVISION	SCHEDULE	NO.	DATE	DESCRIPTION
1	5/19/23			TOL COMMENTS
2				

YHA PROJECT # 68-23
 DATE (FIELD) 2/19/23
 DATE (OFFICE) 2/29/23
 CHECKED BY cth

ALTA/NPS LAND
 TITLE SURVEY
 SHEET 1 OF 2
 SHEET NUMBER

C-1.2

NOT A PART OF THIS ALTA SUBJECT PROPERTY

LAND DESCRIPTION (PER TITLE COMMITMENT):

PARCEL 1:
 A CERTAIN TRACT OR PARCEL OF LAND IN KNOX COUNTY, STATE OF TENNESSEE, DESCRIBED AS FOLLOWS, TO-WIT:
 SITUATED IN DISTRICT NUMBER SIX (6) OF KNOX COUNTY, TENNESSEE, AND WITHOUT THE CORPORATE LIMITS OF THE CITY OF KNOXVILLE, TENNESSEE, AND BEING KNOWN AS ALL OF LOT NUMBER 19, IN THE REVISED FINAL PLAT OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 11, 2022.

LESS AND EXCEPT: QUIT CLAIM DEED RECORDED FEBRUARY 10, 2017, IN INSTRUMENT NO. 20170210009663, IN THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE, BEING THE SAME PROPERTY CONVEYED TO OKR GP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF WARRANTY DEED FROM KNOXVILLE TPA EMPLOYEES CREDIT UNION, DATED MAY 23, 2016, RECORDED JUNE 6, 2016, IN INSTRUMENT NO. 20160604007096, IN THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE.

PARCELS 2, 3 AND 4:
 A CERTAIN TRACT OR PARCEL OF LAND IN KNOX COUNTY, STATE OF TENNESSEE, DESCRIBED AS FOLLOWS, TO-WIT:
 SITUATED IN THE SIXTH (6TH) CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, AND BEING LOTS 29, 36 AND 4 OF THE REVISED FINAL PLAT OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, AND 19 OF TABLE A THEREOF, IN INSTRUMENT NO. 20100910009229 IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE, TO WHICH PLAT SPECIFIC REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION, BEING THE SAME PROPERTY CONVEYED TO OKR GP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF WARRANTY DEED FROM BUNK, LLC, A TENNESSEE LIMITED LIABILITY COMPANY, DATED MAY 23, 2016, RECORDED MAY 28, 2016, IN INSTRUMENT NO. 20160528006766, KNOX COUNTY, TENNESSEE.

PARCEL 4:
 ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING LOCATED ON CLT MAP 103 AND BEING SITUATED WITHIN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE BEING LOT 4 OF THE VILLAGE AT HARDIN VALLEY SUBDIVISION AS SHOWN ON THAT CERTAIN FINAL PLAT OF THE VILLAGE AT HARDIN VALLEY, OF RECORD AS INSTRUMENT NUMBER 20071003007596 IN THE OFFICE OF THE REGISTER OF DEEDS FOR KNOX COUNTY, TENNESSEE, AS AMENDED BY THAT CERTAIN FINAL PLAT OF LOT 4, THE VILLAGE AT HARDIN VALLEY, OF RECORD AS INSTRUMENT NUMBER 20080717005387 IN THE OFFICE OF THE REGISTER OF DEEDS FOR KNOX COUNTY, TENNESSEE.

LESS AND EXCEPT:
 THE FOLLOWING PORTION OF THE ABOVE-DESCRIBED PROPERTY THAT WAS CONVEYED BY GRANTOR TO KNOX COUNTY, TENNESSEE, COMMENCING AT THE POINT OF BEGINNING, POINT BEING 68.22 FEET RIGHT OF THE CENTERLINE STA. 186+54.83 THENCE SOUTH 50 DEGREES, 41 MINUTES, 52 SECONDS WEST, A DISTANCE OF 20.86 FEET; THEN NORTH 39 DEGREES, 18 MINUTES, 44 SECONDS WEST, A DISTANCE OF 18.45 FEET TO THE ENDING POINT BEING 49.22 FEET RIGHT OF STA. 186+23.71, CONTAINING 378 SQUARE FEET, MORE OR LESS, IN THE ABOVE-DESCRIBED PARCEL.

BEING THE SAME PROPERTY CONVEYED TO OKR GP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF SPECIAL WARRANTY DEED FROM SUNTRUST BANK, A GEORGIA BANKING CORPORATION, DATED MAY 29, 2016, RECORDED JUNE 4, 2016, IN INSTRUMENT NO. 201606040071072, KNOX COUNTY, TENNESSEE.

PARCEL 6:
 SITUATED WITHIN THE SIXTH (6TH) CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE, WITHOUT THE CORPORATE LIMITS OF THE CITY OF KNOXVILLE, TENNESSEE, BEING LOT 6 OF THE FINAL PLAT OF THE VILLAGE AT HARDIN VALLEY, AS SHOWN ON MAP FILED FOR RECORD AS INSTRUMENT NO. 20170210009663 IN THE KNOX COUNTY REGISTER OF DEEDS OFFICE, TO WHICH MAP SPECIFIC REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION OF SAID LOT, BEING THE SAME PROPERTY CONVEYED TO OKR GP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF WARRANTY DEED FROM OKR FEDERAL CREDIT UNION, DATED MAY 23, 2016, RECORDED JUNE 6, 2016, IN INSTRUMENT NO. 20160604007096, KNOX COUNTY, TENNESSEE.

ZONING: PER SITE INVESTIGATION REPORT

THE FOLLOWING ZONING INFORMATION WAS TAKEN FROM THE SITE INVESTIGATION REPORT.

THE SUBJECT PARCEL IS ZONED (PC), PLANNED COMMERCIAL ZONE, AND (TO), TECHNOLOGY OVERLAY.

BUILDING SETBACK :	BUILDING	PARKING	LANDSCAPING
FRONT (HARDIN VALLEY RD)	50'	20'	20'
REAR (SPRING BLUFF WAY)	50'	0'	0'
LEFT SIDE (GREENLAND WAY)	50'	0'	0'
RIGHT SIDE (UNDEVELOPED PARKING LOT)	20'	0'	0'

MAXIMUM BUILDING HEIGHT: EXCEPT IN HILLSIDE AND RIDGEPOT PROTECTION AREAS, THE MAXIMUM ALLOWABLE HEIGHT OF A STRUCTURE IS SET AT NINETY (90) FEET, MEASURED FROM THE FINISHED GRADE.

BUILDING FLOOR AREA RATIO: SHALL NOT EXCEED 30%, EXCEPT WHERE A PROPOSED BUILDING INCLUDES AN UNDER-BUILDING PARKING STRUCTURE, IN WHICH CASE THE FLOOR AREA RATION MAY NOT EXCEED 45%.

SURVEYOR'S CERTIFICATION:

TO: CHICK-FIL-A, INC A GEORGIA CORPORATION, DESIGNEE OF HILLIARD CREWS PARTNERSHIP, A TENNESSEE GENERAL PARTNERSHIP AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSRP, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(b), 8, 9, 10(a), 11, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 11, 2022.

DATE OF PLAT OR MAP: FEBRUARY 10, 2017.

PRELIMINARY

KENNETH A. BAU, RLS 2019 _____ DATE _____
 kenry@youngohbbs.com

LAND DESCRIPTION (AS SURVEYED):

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING LOCATED ON CLT MAP 103 AND BEING SITUATED WITHIN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE BEING LOT 4R OF THE FINAL PLAT OF LOT 4, THE VILLAGE AT HARDIN VALLEY, OF RECORD AS INSTRUMENT NUMBER 20080717005387 IN THE OFFICE OF THE REGISTER OF DEEDS FOR KNOX COUNTY TENNESSEE.

LESS AND EXCEPT:
 THE FOLLOWING PORTION OF THE ABOVE-DESCRIBED PROPERTY THAT WAS CONVEYED BY GRANTOR TO KNOX COUNTY, TENNESSEE, COMMENCING AT THE POINT OF BEGINNING, POINT BEING 68.22 FEET RIGHT OF THE CENTERLINE STA. 186+54.83 THENCE SOUTH 50 DEGREES, 41 MINUTES, 52 SECONDS WEST, A DISTANCE OF 20.86 FEET; THEN NORTH 39 DEGREES, 18 MINUTES, 44 SECONDS WEST, A DISTANCE OF 18.45 FEET TO THE ENDING POINT BEING 49.22 FEET RIGHT OF STA. 186+23.71, CONTAINING 378 SQUARE FEET, MORE OR LESS, IN THE ABOVE-DESCRIBED PARCEL.

BEING THE SAME PROPERTY CONVEYED TO OKR GP, A TENNESSEE GENERAL PARTNERSHIP, BY VIRTUE OF SPECIAL WARRANTY DEED FROM SUNTRUST BANK, A GEORGIA BANKING CORPORATION, DATED MAY 29, 2016, RECORDED JUNE 4, 2016, IN INSTRUMENT NO. 201606040071072, KNOX COUNTY, TENNESSEE.

AS DESCRIBED AS FOLLOWS:

BEGINNING AT 5/8" IRON PIN FOUND IN THE NORTH CORNER OF THE SOUTHWEST RIGHT OF WAY LINE OF HARDIN VALLEY ROAD, SAID IRON PIN BEING THE NORTH CORNER OF LOT 2, AS SHOWN IN INSTR. NO. 20080810009282; THENCE WITH SAID RIGHT OF WAY LINE, AS FOLLOWS: S 67°22'14" E A DISTANCE OF 48.37 FEET TO A 5/8" IRON PIN FOUND; THENCE S 67°27'0" E A DISTANCE OF 17.62 FEET TO A 1/2" IRON PIN SET; THENCE S 31°16'4" E A DISTANCE OF 19.45 FEET TO A 1/2" IRON PIN SET; THENCE N 50°41'12" E A DISTANCE OF 29.84 FEET TO A 1/2" IRON PIN SET; THENCE WITH THE SOUTHWEST RIGHT OF WAY LINE OF GREENLAND WAY, AS FOLLOWS: S 81°19'47" E, A DISTANCE OF 6.34 FEET TO A 5/8" IRON PIN SET; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 19.93 FEET WITH A RADIUS OF 35.03 FEET WITH A CHORD BEARING OF S 51°25'2" E, WITH A CHORD LENGTH OF 19.94 FEET TO A 5/8" IRON PIN FOUND; THENCE S 26°42'21" E A DISTANCE OF 129.14 FEET TO A 5/8" IRON PIN FOUND; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 61.59 FEET WITH A RADIUS OF 50.00 FEET WITH A CHORD BEARING OF S 13°29'29" E, WITH A CHORD LENGTH OF 79.02 FEET TO A 5/8" IRON PIN FOUND; THENCE S 1°20'29" W A DISTANCE OF 92.28 FEET TO A 5/8" IRON PIN FOUND; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 17.38 FEET WITH A RADIUS OF 20.50 FEET WITH A CHORD BEARING OF S 3°10'24" W, WITH A CHORD LENGTH OF 17.04 FEET TO A 5/8" IRON PIN FOUND; THENCE WITH THE NORTHEAST RIGHT OF WAY LINE OF SPRING BLUFF WAY, S 81°50'1" W A DISTANCE OF 190.37 FEET TO A 5/8" IRON PIN FOUND; THENCE LEAVING SAID RIGHT OF WAY LINE WITH LOTS 29 & 36, AS SHOWN IN INSTR. NO. 20100910009229, S 81°41'1" W A DISTANCE OF 314.02 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 78.24 SQUARE FEET, 1.750 ACRES, MORE OR LESS.

NOTES CORRESPONDING TO SCHEDULE B SECTION II:

FIDELITY NATIONAL TITLE INSURANCE COMPANY
 COMMENT DATE: NOVEMBER 1, 2022 @ 8:00 AM.
 COMMENT NO.: 790202100032283891.
 ITEMS 1-9 ARE STANDARD EXCEPTIONS AND/OR NOT SURVEYING RELATED.

THE TITLE COMMITMENT PROVIDED TO THE SURVEYOR IS FOR MULTIPLE PARCELS. THE SURVEYOR REVIEW THE TITLE COMMITMENT AS TO HOW THE ITEMS WOULD AFFECT LOT 4R OF INSTRUMENT NUMBER 20080717005387.

- EASEMENT AGREEMENT AND TERMINATION OF EASEMENT RECORDED JUNE 12, 1990, IN BOOK 2011, PAGE 89, AFORESAID RECORDS, DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCEL).
- UTILITY EASEMENT RECORDED JUNE 13, 2002, IN INSTRUMENT NO. 2002061300102985, AFORESAID RECORDS, DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCEL).
- EASEMENT CONTAINED IN WARRANTY DEED RECORDED JUNE 19, 2002, IN INSTRUMENT NO. 2002061900104036, AFORESAID RECORDS, DOES NOT AFFECT.
- TERMS AND CONDITIONS OF AGREED FINAL ORDER RECORDED AUGUST 21, 2007, IN INSTRUMENT NO. 2007082100100481, AFORESAID RECORDS, AFFECTS PARCELS 1, 3, 3, 3 AND 4 DOES NOT AFFECT.
- ACCESS AND CONSTRUCTION EASEMENT AGREEMENT RECORDED APRIL 19, 2011, IN INSTRUMENT NO. 2011041900106161, AFORESAID RECORDS, PARCELS 1, 2, 3 AND 6, DOES NOT AFFECT.
- RESTRICTIONS CONTAINED IN SPECIAL WARRANTY DEED RECORDED JUNE 4, 2016, IN INSTRUMENT NO. 201606040071072, AFORESAID RECORDS, AFFECTS PARCELS 1, 2, 3 AND 6, DOES NOT AFFECT.
- TERMS AND CONDITIONS OF DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS (THE VILLAGE AT HARDIN VALLEY) RECORDED OCTOBER 1, 2007, IN INSTRUMENT NO. 20071001007596, AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA RECORDED MARCH 4, 2015, IN INSTRUMENT NO. 20150304006978, AS AMENDED BY THAT AMENDED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED APRIL 19, 2011, IN INSTRUMENT NO. 2011041900106161, AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA RECORDED MARCH 4, 2015, IN INSTRUMENT NO. 20150304006978, AFORESAID RECORDS, AFFECTS, NOT PLOTTABLE AREAS.
- EASEMENT CONTAINED IN WARRANTY DEED RECORDED NOVEMBER 29, 2001, IN INSTRUMENT NO. 2001112900104081, AFORESAID RECORDS, DOES NOT AFFECT.
- EASEMENT CONTAINED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 11, 2016, IN INSTRUMENT NO. 2016091100106664, AFORESAID RECORDS.
- PARCELS 1, 2, 4 AND 6: 6- FEET VESTED TITLE ONLY, NOT PLOTTABLE EASEMENT.
- UTILITY EASEMENT IN FAVOR OF WEST KNOX UTILITY DISTRICT RECORDED FEBRUARY 13, 2002, IN INSTRUMENT NO. 20020213000884, AFORESAID RECORDS, DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCEL).
- COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER FACILITIES RECORDED AUGUST 31, 2007, IN INSTRUMENT NO. 2007083100109154, AFORESAID RECORDS, AFFECTS, NOT PLOTTABLE EASEMENTS.
- UTILITY EASEMENT AGREEMENT RECORDED JULY 18, 2008, IN INSTRUMENT NO. 20080718000448 AND INSTRUMENT NO. 20080718000449, INSTRUMENT NO. 20080718000448, AFORESAID RECORDS, AFFECTS, NO NEW EASEMENTS CREATED.
- DECLARATION OF ACCESS EASEMENTS RECORDED AUGUST 16, 2010, IN INSTRUMENT NO. 20100816000893, AFORESAID RECORDS, DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCEL).
- RECIPROCAL EASEMENT AGREEMENT AND AMENDMENT OF RESTRICTIONS RECORDED FEBRUARY 28, 2011, IN INSTRUMENT NO. 20110228001894, AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA RECORDED MARCH 4, 2015, IN INSTRUMENT NO. 20150304006978, AS AFFECTED BY THAT PARTIAL RELEASE AS TO EASEMENT AREA RECORDED MARCH 4, 2015, IN INSTRUMENT NO. 20150304006978, AFORESAID RECORDS, AFFECTS, NO PLOTTABLE EASEMENTS.
- EASEMENTS, RIGHTS OF WAY, BOUNDARY LINES AND APPROVEMENTS AS SHOWN ON PLAT RECORDED IN INSTRUMENT NO. 20071002007798, INSTRUMENT NO. 20071002007798, INSTRUMENT NO. 20101010009282, AFORESAID RECORDS, AFFECTS, AS SHOWN.
- TERMS AND CONDITIONS OF CONSENT AGREEMENT BY OKR, FEDERAL CREDIT UNION RECORDED APRIL 1, 2011, IN INSTRUMENT NO. 20110401000886, AFORESAID RECORDS, PARCEL 4: DOES NOT AFFECT, (DOES NOT AFFECT EASEMENT PARCEL).
- GRANT OF TRANSMISSION LINE EASEMENT RECORDED IN BOOK 1243, PAGE 84, AFORESAID RECORDS, DOES NOT AFFECT.

TABLE A NOTES:

ITEM 2: SITE ADDRESS SHOWN IS PER KNOX COUNTY, TN TAX RECORD.
 ITEM 3: THE PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF ZONE C, BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 430602030A, WITH AN EFFECTIVE DATE OF AUGUST 15, 2003, IN KNOX COUNTY (UNINCORPORATED AREAS), STATE OF TENNESSEE. THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

ITEM 5: COULDN'T WERE DERIVED FROM RANDOM (SHOT) AND CROSS SECTION AND ARE SHOWN AT THE FOOT WALLS. THE ELEVATIONS SHOWN HEREIN ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN SPUS SOLUTION, DATED 03/19/2022 10:48:08, GEOID:28.

ITEM 6: NO ZONING LETTER SET TO THE SURVEYOR.

ITEM 7: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.

ITEM 8: THERE WAS NO EVIDENCE OF RECENT CHANGES IN STREET RIGHT OF WAY LINES, THERE WAS NO EVIDENCE OF RESURFACING OR STREET GENERAL CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.

SURVEY NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN OBTAINED BY THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND TAGS AND PLANT PLACED BY THE UNDERGROUND UTILITIES SERVICE, NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONTAINED UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (TENNESSEE ONE CALL 811 - TENNESSEE CALL (TICKET NUMBER 20081046).

NO HIDDEN UTILITY LOCATIONS WERE REVEALED ON THIS SITE AT THE TIME OF THE SURVEY.

CONTACT PROPERTY AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES FOR EASEMENT WIDTHS AND RESTRICTIONS. UTILITY LINES ARE APPROXIMATE AND SHOULD BE VERIFIED FROM A TO ANY CONSTRUCTION.

THE SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON ON ENTERED AND HEREON, NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSON OR ENTITY OTHER THAN THE PERSON SHOWN HEREON.

LIST OF RECORDS/CHGESTS NONE NOTED

THERE ARE NO BUILDINGS ON SITES AT THE TIME OF THIS SURVEY

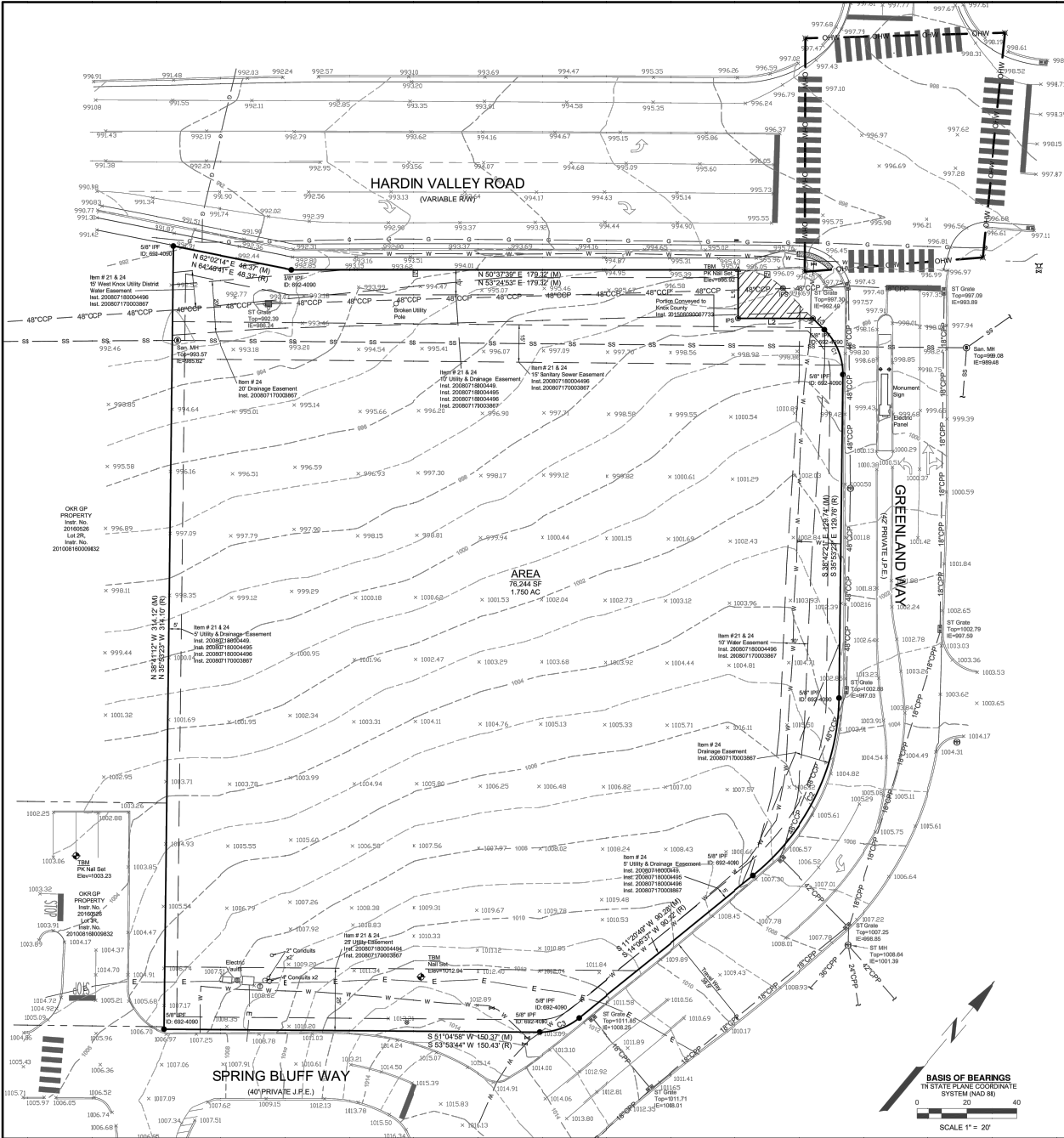
THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH CHAPTER 060A, STANDARDS OF PRACTICE ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS

GROUND MEASUREMENTS WERE USED AS THE BASIS FOR LOCATION OF ALL FEATURES OF THE SUBJECT PARCELS

LAND ADJACENT OTHERWISE, AN ENCUMBRANCE REFERRED TO HEREIN AS A "IRON PIN SET" IS A SET 1/2" DIAMETER IRON, 16" IN LENGTH WITH A YELLOW PLASTIC CAP MARKED "YOUNG HOBBS" OR A PINAL SET WITH A 1/2" ALUMINUM DISK MARKED "YOUNG HOBBS"

ALL MATTERS SHOWN ON RECORDED PLATS ARE SHOWN ON COURSE

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE RECORDED INFORMATION SHOWN, AND THAT THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THAT THE RATIO OF RECORDS OF THE UNADJUSTED TRANSFER IS BETTER THAN 1:10,000 AS SHOWN HEREON.



SITE ADDRESS
2187 GREENLAND WAY
KNOXVILLE, TN 37932

PARKING COUNT
REGULAR - 9
HANDICAP - 9

CLIENT INFORMATION
CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998

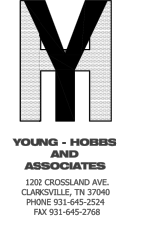
OWNER INFORMATION
OKR, GP
INST. NO. 201808040071672;
PLAT OF LOT 4R, THE VILLAGE AT
HARDIN VALLEY
PLAT BOOK 200807170003867
PARCEL ID 103MA004
CITY OF KNOXVILLE,
KNOX COUNTY, TN

Item # 24
PLAT NOTE: (INSTR. NO. 200807170003867)
1. JOINT PERMANENT EASEMENT (L.P.E.) ARE NOT A PUBLIC ROAD AND WILL NOT BE MAINTAINED BY KNOX COUNTY.
2. JOINT PERMANENT EASEMENT WILL ALSO FUNCTION AS A UTILITY EASEMENT.
3. THE GRADE OF THE J.P.E IS 12% OR LESS.
4. THE DECLARATION OF MAINTENANCE AGREEMENT FOR THE J.P.E IS OF RECORD IN INSTRUMENT #2007081011874 OF S.A.D. REGISTERS OFFICE.
5. THE HOMEOWNERS ASSOCIATION HAS BEEN ESTABLISHED TO BE RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION BASIN AND COMMON AREAS AND IS OF RECORD IN INSTRUMENT #2007081011874 OF S.A.D. REGISTERS OFFICE.
6. ALL LOTS WILL HAVE ACCESS TO INTERIOR STREET SYSTEM ONLY.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 R	25.00	19.93	19.47	S 84°02'02" E	49°00'00"
C1 R	25.00	19.94	19.47	S 88°41'10" E	N/A
C2 R	83.62	81.59	79.02	S 10°32'25" E	42°59'47"
C2 R	83.62	81.59	79.02	S 10°32'25" E	N/A
C3 R	25.00	17.36	17.01	S 31°07'51" W	38°29'40"
C3 R	25.00	17.36	17.01	S 34°34'10" W	N/A

LINE	BEARING	DISTANCE
L1 M	S 39°18'48" E	18.46'
L1 R	S 39°18'48" E	18.46'
L2 M	N 50°41'12" E	20.88'
L2 R	S 52°41'12" E	20.88'
L3 M	S 84°19'41" E	6.54'
L3 R	S 84°19'41" E	6.54'

- LEGEND**
- R.O.N. PIN SET (IPS)
 - R.O.N. PIN FOUND, AS NOTED
 - BOLLARD
 - SEWER MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - TRAFFIC WALL
 - TRAFFIC POLE
 - GAS VALVE
 - TELEPHONE BOX
 - CURB INLET
 - GRATE INLET
 - STORE MANHOLE
 - PROPERTY LINE
 - EASEMENT LINE
 - RETRACK LINES
 - CHWY OVERHEAD TRAFFIC WIRE
 - UNDERGROUND ELECTRIC
 - GAS LINE, AS NOTED
 - WATER LINE, AS NOTED
 - SANITARY SEWER, AS NOTED
 - ST. STORM SEWER PIPE, AS NOTED



PRELIMINARY, NOT FOR RECORDING OR TRANSFER

CHICK-FIL-A
HARDIN VALLEY
KNOXVILLE, TENNESSEE

FSU# 5442

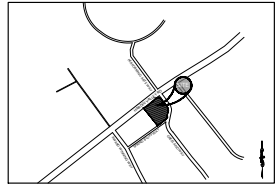
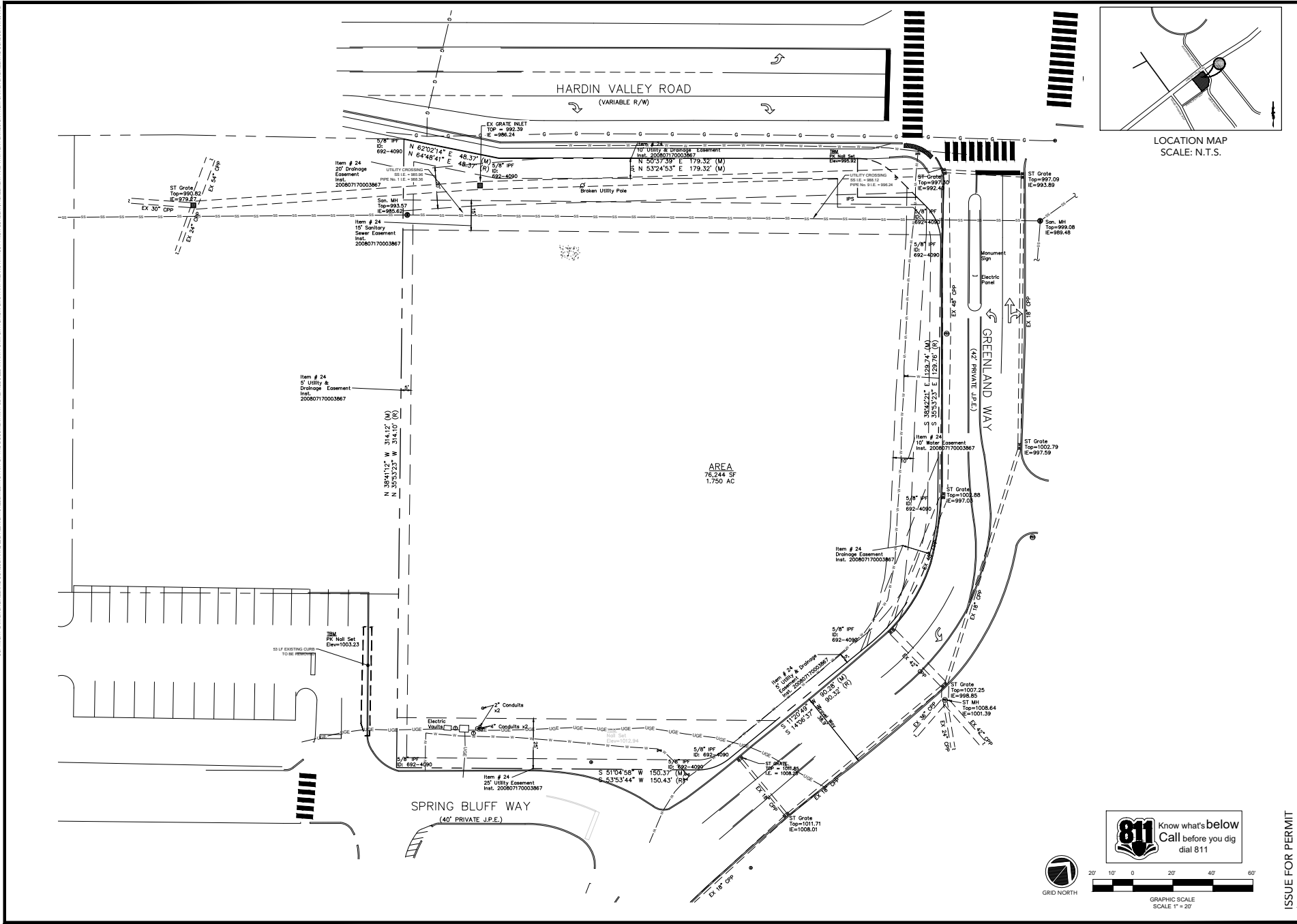
REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	8/16/20	TOL COMMENTS
2		

YHA PROJECT # 608-23
DATE (FIELD) 3/15/22
DATE (OFFICE) 2/2/22
CHECKED BY CTH

ALL T&NS/PS LAND TITLE SURVEY SHEET 2 OF 2
SHEET NUMBER

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LOCATION MAP
SCALE: N.T.S.

5200 Buffington Rd.
Atlanta, Georgia,
30349-2996

REV #	DATE	DESCRIPTION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/24/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING

CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622

P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE
DEMOLITION PLAN

REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Sheet
C-1.4

ISSUE FOR PERMIT

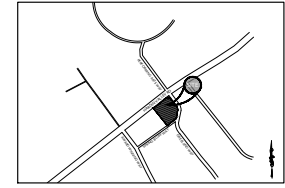
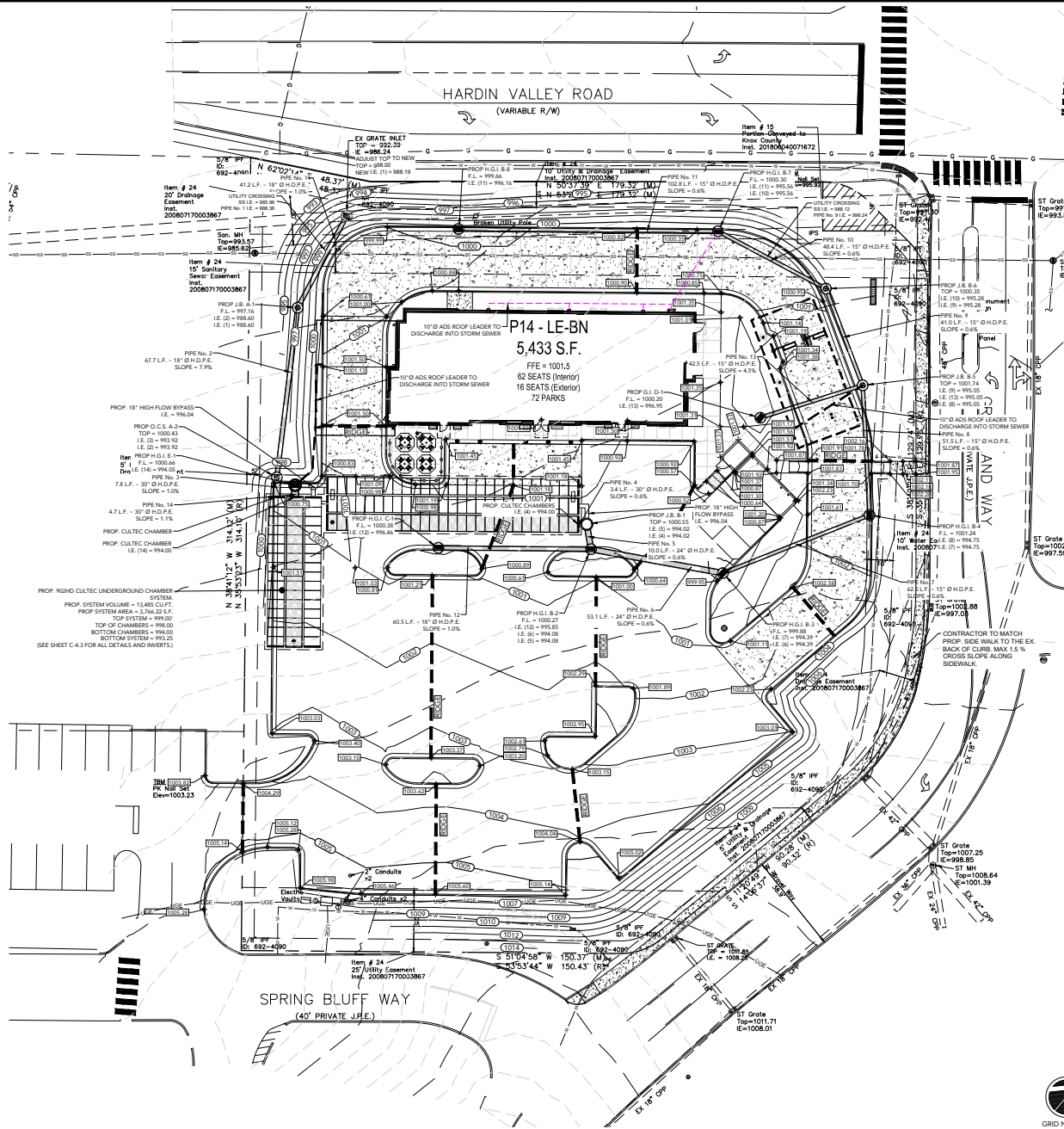
811 Know what's below
Call before you dig
dial 811



GRID NORTH



GRAPHIC SCALE
SCALE: 1" = 20'



- GRADING NOTE:**
1. ALL SPOTS SHOWN ON THIS PLAN ARE FLOW LINE ELEVATIONS UNLESS OTHERWISE STATED.
 2. CONTRACTOR SHALL MATCH EXISTING PAVEMENT AT PROPOSED DRIVEWAY LOCATIONS.
 3. DUMPSTER ENCLOSURES SHALL HAVE A 4 TO 6 INCH KEY ALONG THE FACE OF THE DUMPSTER. (SEE PLAN FOR ELEVATIONS.)

STORMWATER NOTE:

THE PROPOSED SITE WILL DRAIN TO THE PROPOSED STORMWATER NETWORK. THE NETWORK WILL DISCHARGE TO AN UNDERGROUND STORMWATER MANAGEMENT FACILITY. THE FACILITY WILL PROVIDE TREATMENT OF THE FIRST 1.1" RAINFALL BY INFILTRATING THE VOLUME THROUGH THE BOTTOM OF THE SYSTEM. THE FACILITY WILL ALSO PROVIDE DETENTION OF POST DEVELOPED STORM EVENTS BELOW EXISTING STORM EVENTS PER THE HYDROLOGY REPORT DATED JULY 27, 2023.

5200 Buffington Rd.
Atlanta Georgia,
30349-2996

REV #	DATE	REVISION
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HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

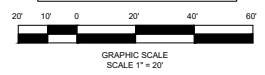
SHEET TITLE
GRADING & DRAINAGE PLAN

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Sheet
C-4.0

ISSUE FOR PERMIT



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REV #	DATE	DESCRIPTION
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HARDIN VALLEY FSU
STORE # 05442
9-B-23-TB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

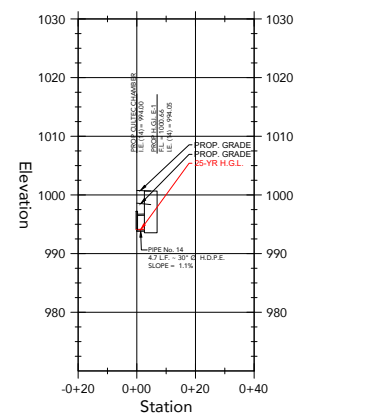
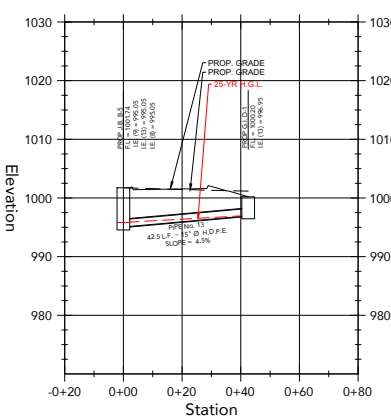
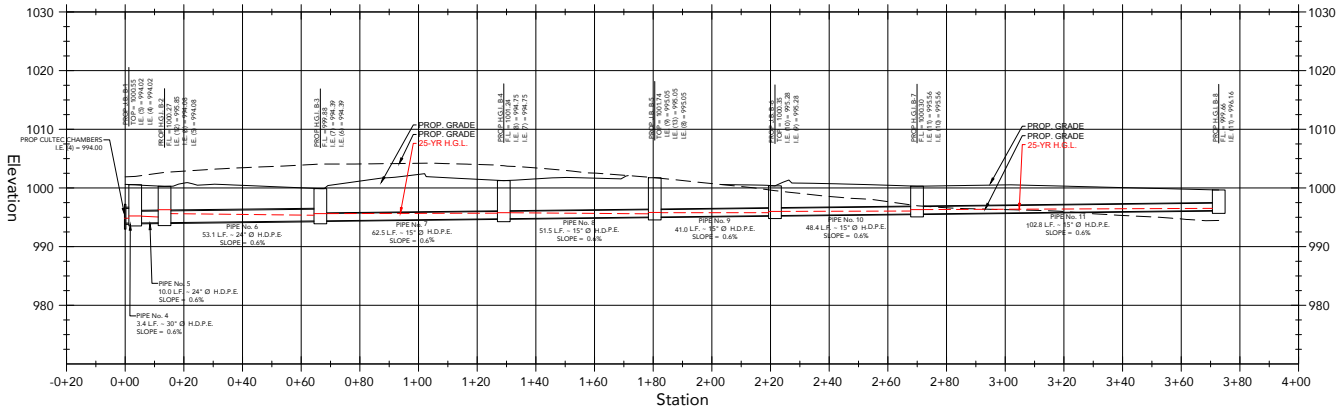
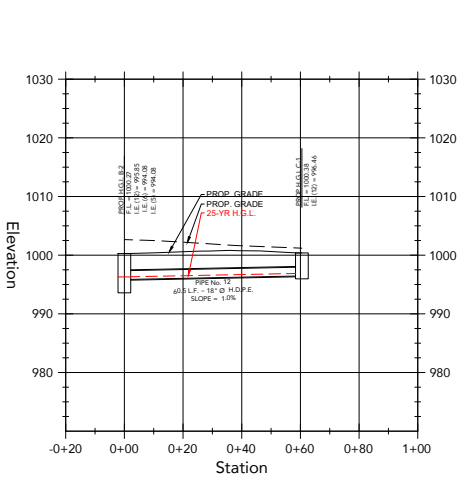
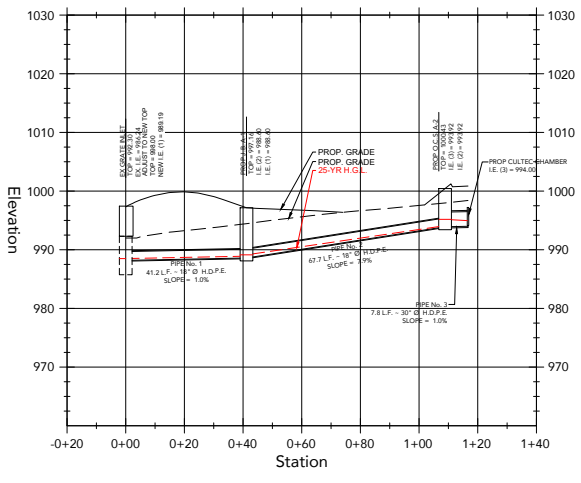
SHEET TITLE
PIPE PROFILES

REVISION 4-2023

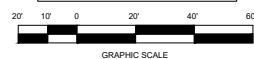
Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Sheet

ISSUE FOR PERMIT
C-4.1



Pipe No.	Flow (cfs)	Size (in)	Mat'l	Length (ft)	I.E. Down (ft)	I.E. Up (ft)	Slope (%)	HGL Down (ft)	HGL Up (ft)	Velocity (ft/s)
1	1.06	18	HDPE	41.2	988.19	988.60	1.0	988.57	988.98	2.97
2	1.06	18	HDPE	67.7	988.60	993.92	7.9	988.98	994.30	2.97
3	1.06	30	HDPE	7.8	993.92	994.00	1.0	994.30	994.33	2.47
4	5.18	30	HDPE	3.4	994.00	994.02	0.6	994.75	994.77	4.18
5	5.19	24	HDPE	10.0	994.02	994.08	0.6	994.77	994.88	4.61
6	2.37	24	HDPE	53.1	994.08	994.39	0.6	994.88	995.26	2.76
7	1.64	15	HDPE	62.5	994.39	994.75	0.6	994.92	995.26	3.39
8	1.21	15	HDPE	51.5	994.75	995.05	0.6	995.26	995.48	2.90
9	1.62	15	HDPE	41.0	995.05	995.28	0.6	995.53	995.78	3.63
10	1.65	15	HDPE	48.2	995.28	995.56	0.6	995.78	996.07	3.54
11	0.96	15	HDPE	102.8	995.56	996.16	0.6	996.07	996.54	2.52
12	2.12	18	HDPE	60.5	995.85	996.46	1.0	996.29	997.01	4.28
13	0.07	15	HDPE	42.5	995.05	996.95	4.5	995.48	997.05	0.82
14	0.21	30	HDPE	4.8	994.00	994.05	1.1	994.15	994.20	1.78



GRAPHIC SCALE
SCALE 1" = 20'

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Carter Engineering

5200 Buffington Rd.
Atlanta, Georgia,
30349-2998

REV #	DATE	DESCRIPTION
A	06/02/2023	INITIAL REVIEW
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C	07/13/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30062

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F: 770.725.1204
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HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-PP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

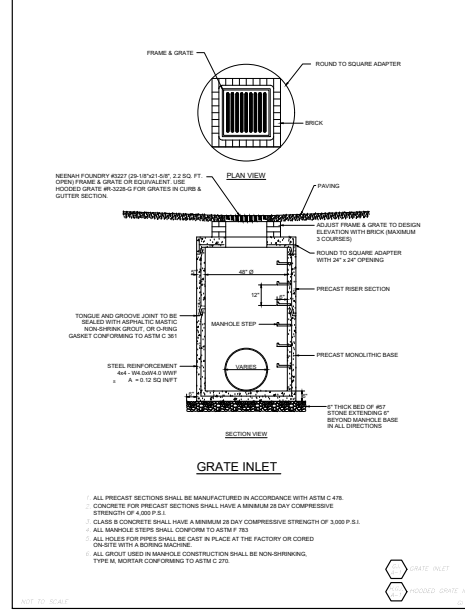
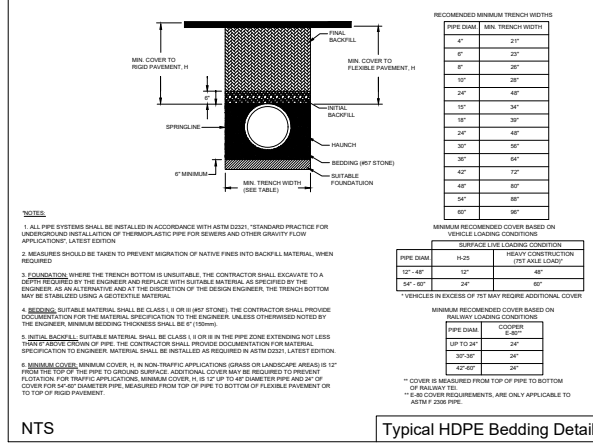
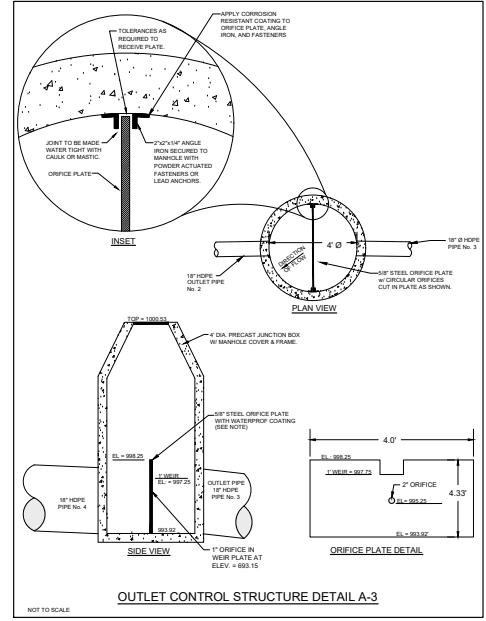
SHEET TITLE
**STORMWATER
DETAILS**

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Issue FOR PERMIT

Sheet
C-4.2



HARDIN VALLEY FSU STORE #05422

2187 GREENLAND WAY
KNOXVILLE, TN

DRAWING INDEX

TITLE	SHEET NO.
COVER SHEET	1 OF 5
SYSTEM LAYOUT SHEET	2 OF 5
SYSTEM CALCULATION SHEET	3 OF 5
SYSTEM OVERLAY SHEET	4 OF 5
ROBIO DETAIL SHEET	5 OF 5

PROJECT INFORMATION	
PROJECT NO.	230443CF
CLIENT	AT&T
DESIGNER	CULTEC, INC.
DATE	08/28/2023
PROJECT LOCATION	2187 GREENLAND WAY, KNOXVILLE, TN 37932
PROJECT TYPE	RECHARGER
DESIGNER'S ADDRESS	CULTEC, INC. 2187 GREENLAND WAY KNOXVILLE, TN 37932
DESIGNER'S PHONE	(615) 775-1402
DESIGNER'S FAX	(615) 775-1402
DESIGNER'S EMAIL	info@cultec.com

CULTEC, Inc.
Site Specific Stormwater Management Solutions
P.O. Box 280
678 Federal Road
Bloomfield, CT 06034
www.cultec.com

NOTE: THESE SHOP DRAWINGS MAY CONTAIN COMMENTS INCLUDING BUT NOT LIMITED TO: MANUFACTURER, CATALOG NUMBER, STORE PARTS AND FITTINGS, MANUFACTURER, CATALOG AND OTHER NECESSARY APPROPRIATENESS THAT MAY NOT BE SUPPLIED BY CULTEC, INC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUPPLIER TO OBTAIN WITH CULTEC THE NECESSARY INFORMATION.

THIS DRAWING HAS BEEN PREPARED TO SUPPORT THE PROJECT ENGINEER OF RECORD FOR THE PROPOSED SYSTEM. THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO CULTEC UNDER THE SUPERVISION OF THE PROJECT ENGINEER OF RECORD. CULTEC, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO CULTEC. CULTEC, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO CULTEC. CULTEC, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO CULTEC.

PROPOSED STORMWATER MANAGEMENT SYSTEM (S.M.P.)

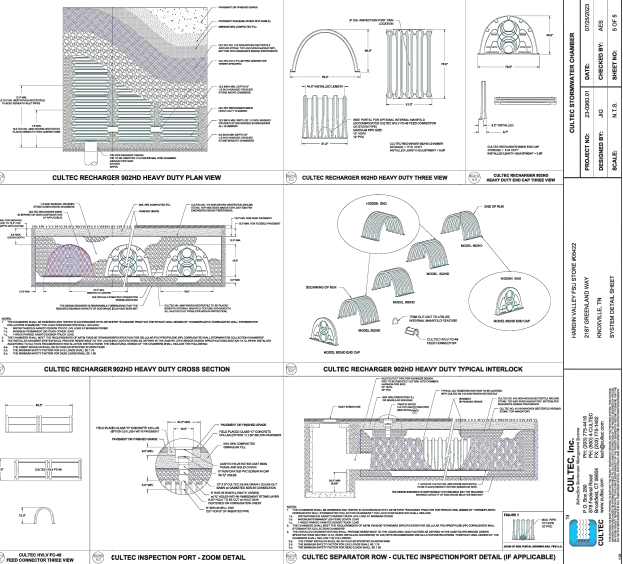
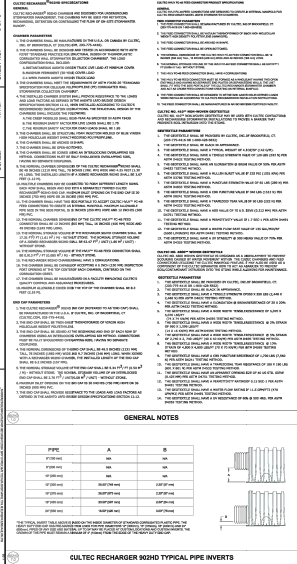
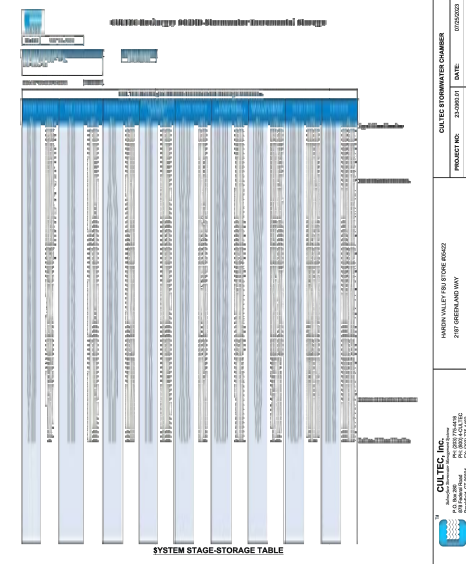
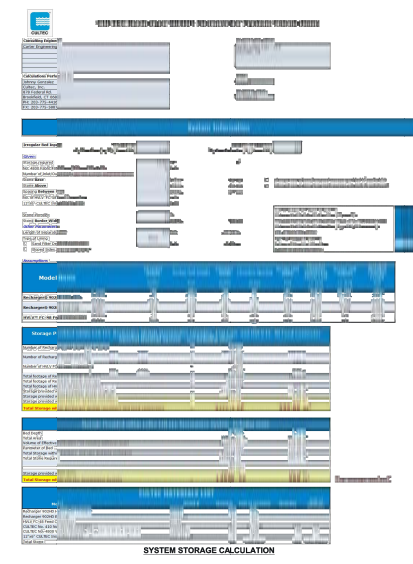
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CULTEC RECHARGER 8020H

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MATERIAL LIST SUPPLIED BY CULTEC

ITEM	DESCRIPTION	QUANTITY
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50	CULTEC RECHARGER 8020H	1



CULTEC ESTIMATE NUMBER

PROJECT NO.	DATE	ISSUED BY	CHECKED BY	SCALE	SHEET NO.
230443CF	08/28/2023	JAS	JAS	N.T.S.	2 OF 5

CULTEC ESTIMATE NUMBER

PROJECT NO.	DATE	ISSUED BY	CHECKED BY	SCALE	SHEET NO.
230443CF	08/28/2023	JAS	JAS	N.T.S.	5 OF 5

CULTEC, Inc.
2187 GREENLAND WAY
KNOXVILLE, TN 37932
(615) 775-1402
info@cultec.com

REVISION BLOCK

REV #	DATE	INITIAL REVIEW
A	08/22/2023	JAS
B	08/28/2023	JAS
C	07/24/2023	JAS
D	08/28/2023	JAS

5200 Buffington Rd.
Atlanta, Georgia,
30349-2986

CARTER ENGINEERING
CARTER ENGINEERING
11010 COMMERCE DRIVE,
BOGART, GA 30022
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE
CULTEC DETAILS

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

Sheet
C-4.3



5200 Buffington Rd.
Atlanta, Georgia,
30349-2998

REV #	DATE	DESCRIPTION
A	06/22/2023	INITIAL REVIEW
B	06/26/2023	PCR
C	07/12/2023	TICDA SUBMITTAL
D	08/28/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING

CARTER ENGINEERING
10101 COMMERCE DRIVE,
BOGART, GA 30622
P: 770.725.1200
F: 770.725.1204
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HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

**E&S PLAN
PHASE II**

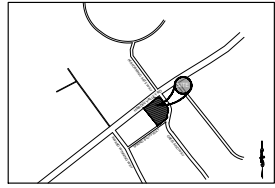
REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

Sheet

C-5.1

ISSUE FOR PERMIT



LOCATION MAP
SCALE: N.T.S.

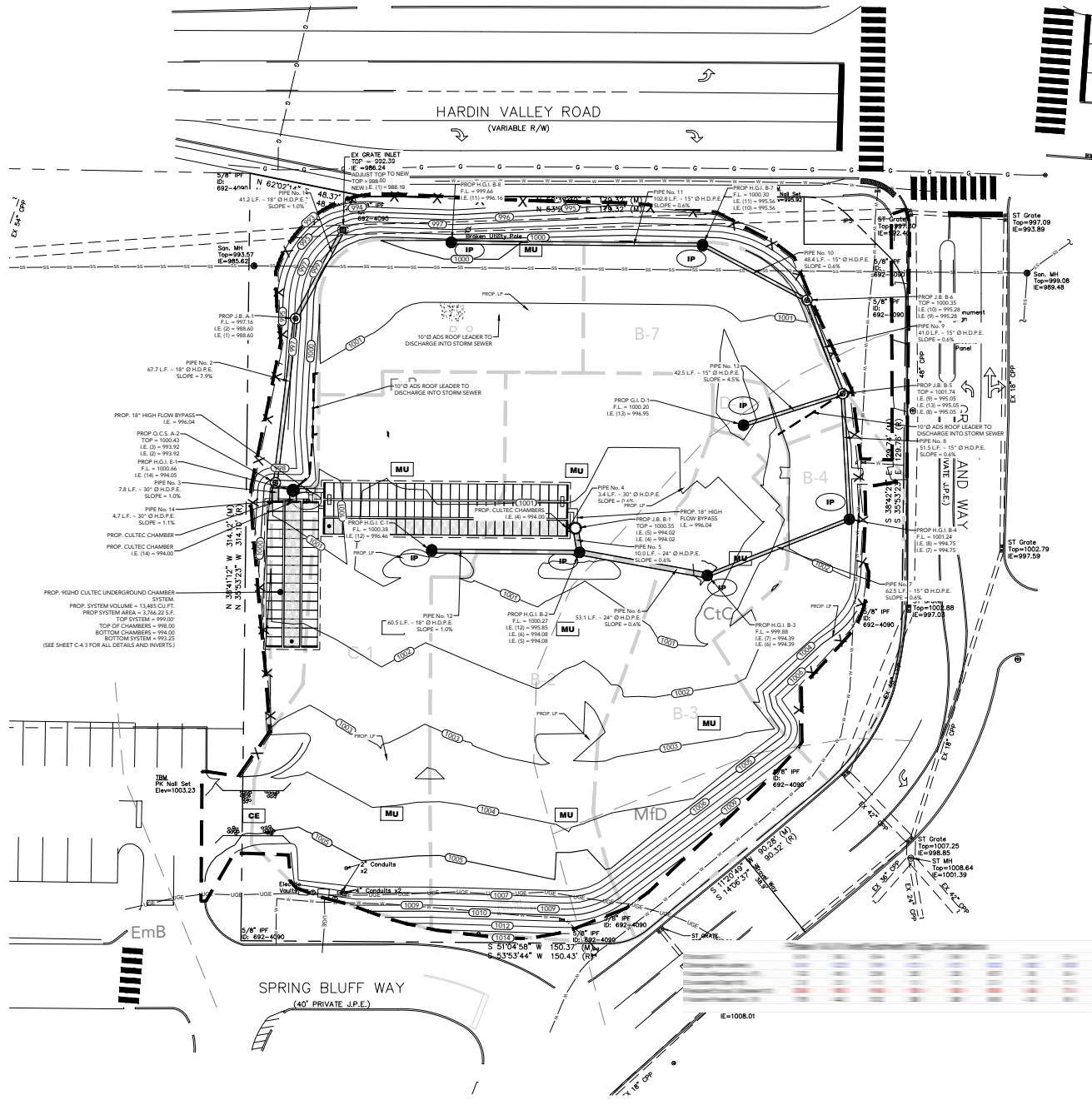
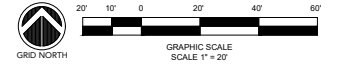
- EROSION CONTROL NOTES:**
1. DEVELOPER/OWNER: CHCK/FLA, INC. 5200 BUFFINGTON RD., ATLANTA GA 30348 (878) 798-4513
 2. NAME AND PHONE NUMBER OF THE 24-HOUR CONTACT PERSON FOR EROSION, SEDIMENTATION AND POLLUTION CONTROL IS: TODD WILLIAMS (878) 798-4513
 3. TOTAL PROJECT AREA: 1.75
 4. TOTAL DISTURBED AREA: 1.15 AC
 5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 6. EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 7. SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE FULL VOLUME.
 8. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 9. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 10. ALL FILL SLOPES SHALL HAVE SILT FENCE PLACED AT THE SLOPE'S TOE.
 11. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 WITH A HEIGHT OF TEN FEET OR GREATER SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
 12. THE PROFESSIONAL WHO DEALS THIS PLAN CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY THE PROFESSIONAL OR THE PROFESSIONAL'S AUTHORIZED AGENT, UNDER THE PROFESSIONAL'S DIRECT SUPERVISION.
 13. UPON NOTIFICATION AND AUTHORIZATION OF THE OWNER, THE DESIGN PROFESSIONAL WHO PREPARED THE E&S PLAN IS RESPONSIBLE FOR INSPECTING THE INSTALLATION OF THE BMPs WITHIN 7 DAYS AFTER INITIAL CONSTRUCTION ACTIVITIES BEGINS.
 14. THE RECEIVING WATERS IS UNNAMED TRIBUTARY TO TOBY CREEK.
 15. AMENDMENT SUBDIVISIONS TO THE E&S PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMPs WITH HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 16. MAINTENANCE OF ALL EROSION CONTROL MEASURES, WHETHER TEMPORARY OR PERMANENT, SHALL AT ALL TIMES BE THE RESPONSIBILITY OF THE OWNER.

LEGEND

MU	TEMPORARY MULCHING
SOD	SOIL - PERMANENT GROUND COVER
MB	MATTING BLANKET
IP	INLET PROTECTION
BS	SILT SACK
IP-B	SILT FENCE
PS	PERMANENT SEEDING
CE	CONSTRUCTION ENTRANCE
SF	SILT FENCE
SDS	TEMPORARY SEDIMENT TRAP
TEMPORARY DIVERSION	
LIMITS OF DISTURBANCE	

NOTE: SILT FENCE MATTING SHALL BE USED IN ALL BROAD PAVED AREAS UNTIL PAVING IS COMPLETE. WHILE SDS-SF SHALL BE USED IN AREAS THAT IS PAVED.

811 Know what's below
Call before you dig
dial 811



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PS Permanent Cover Seeding Mixtures

Seeding Dates	Grass Seed	Percentages
February 1 to July 1	Kentucky 31 Fescue	80%
	Korean Lespedeza	15%
	English Rye	5%
June 1 to August 15	Kentucky 31 Fescue	55%
	English Rye	20%
	Korean Lespedeza	15%
April 15 to August 15	Bermudagrass (Pulled)	70%
	Annual Lespedeza	30%
	Kentucky 31 Fescue	70%
August 1 to December 1	White Clover	40%
	English Rye	20%
	Kentucky 31 Fescue	70%
February 1 to December 1	Crown Vetch	25%
	English Rye	5%

Source: TDOT Standard Specifications Table 1

TS

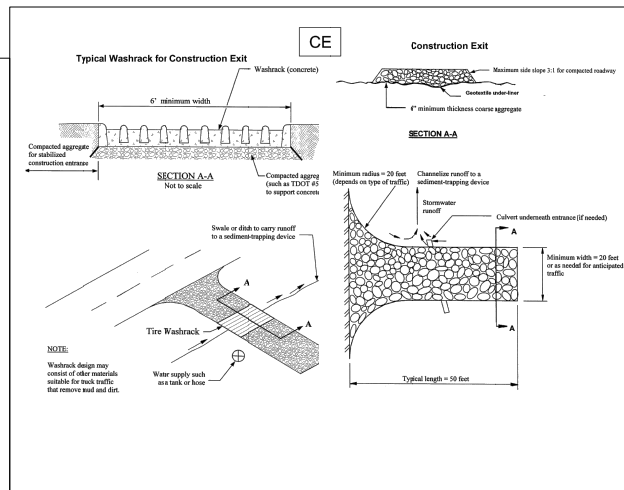
Topsoil: Topsoil should be friable and loamy, free of debris, objectionable weeds and stones, and contain no toxic substances that may be harmful to plant growth. When replacing topsoil on disturbed areas, maintain needed erosion and sediment control practices such as diversions, berms, sediment basins, etc. Grades containing these structures should be maintained after the topsoil is applied.

Topsoil should be handled only when it is dry enough to work without damaging soil structure. A uniform application of 5 inches (unsettled) is recommended, but may be adjusted at the discretion of the engineer or landscape architect. See Table 2 for additional information about the volume of topsoil to achieve various depths.

Seedbed Preparation: When conventional seeding is to be used, topsoil should be applied to any area where the disturbance results in subsoil being the final grade surface.

Table 1 Broadleaf Plantings

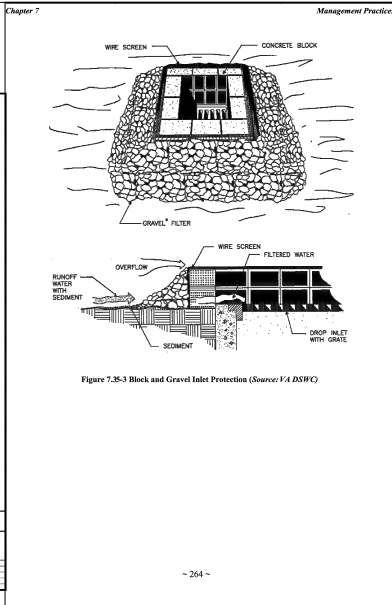
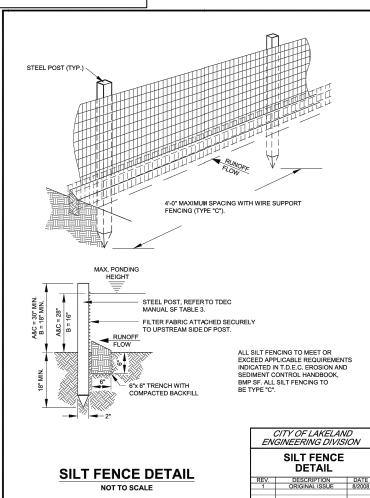
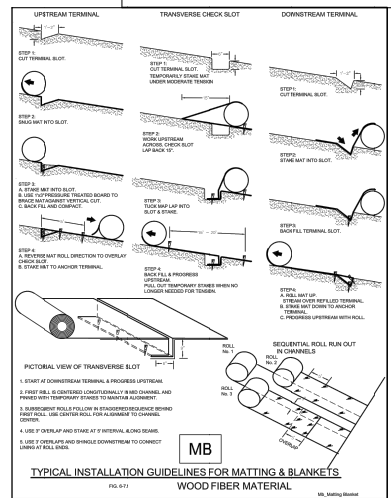
1. Seedbed preparation may not be required unless hydraulic seeding equipment is to be used.
2. Flags at a minimum shall adequately loosen the soil to a depth of 4 to 6 inches. All-steel compaction; incorporate topsoil, lime, and fertilizer; smooth and firm the soil, allow for the proper placement of seed, sprigs, or plants, and allow for the anchoring of straw or hay matting (a compair is to be used).
3. Flags may be done with any suitable equipment.
4. Flags should be done parallel to the contour where feasible.
5. On slopes too steep for the safe operation of flagging equipment, the soil surface shall be pitted or trenched across the slope with appropriate hand tools to provide conservative beds. 6 to 8 inches apart, in which seed may



MUTUAL INDUSTRIES INC.

#14925 SILT SACK

Sample No.	Test Method	Test Results
1	INITIAL REVIEW	
2	PER TDA SUBMITTAL	
3	REVISED PER TDA COMMENTS	



5200 Buffington Rd.
Atlanta, Georgia,
30349-2998

REV #	DATE	DESCRIPTION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/14/2023	TDA SUBMITTAL
D	08/28/2023	REVISED PER TDA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622

P: 770.725.1200
F: 770.725.1204

HARDIN VALLEY FSU
STORE # 05442
9-8-23-TOB / 9-C-23-PP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

EROSION DETAILS

REVISION 4-2023

Job No. : 23043CFA
Store : 05442
Date : 08/28/23

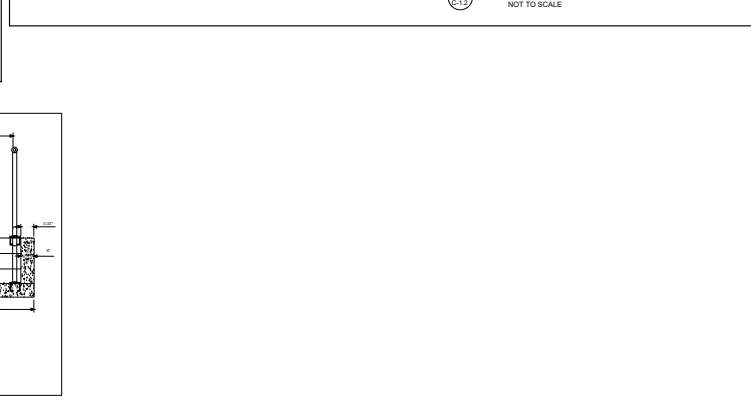
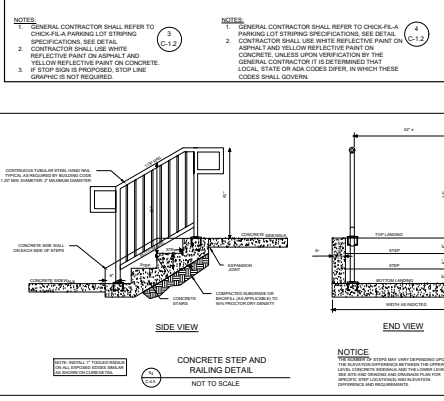
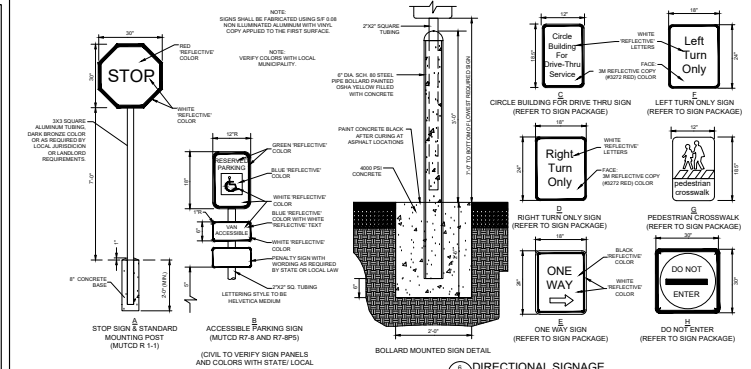
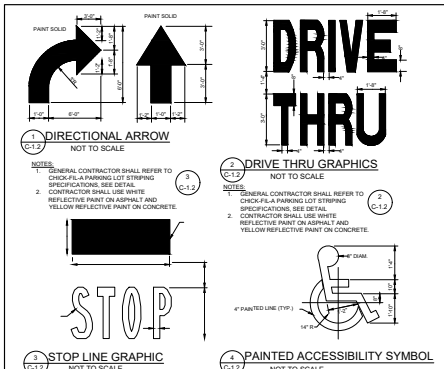
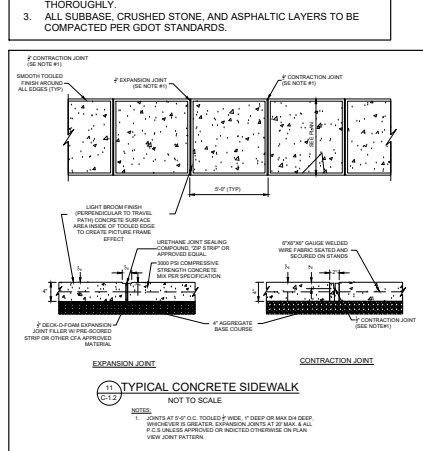
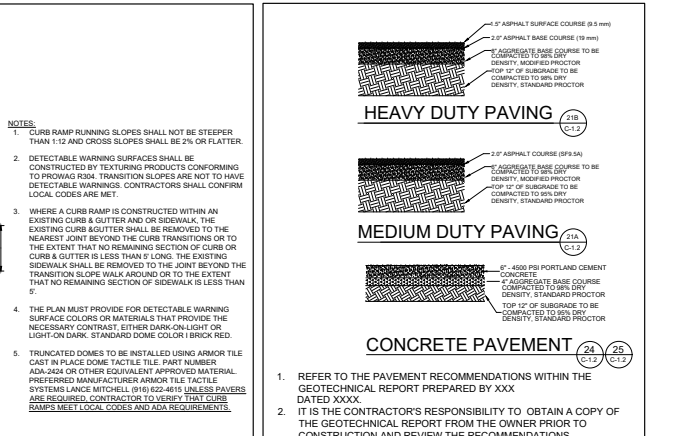
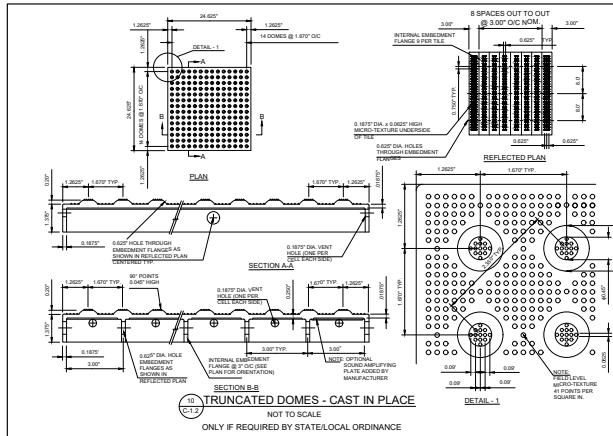
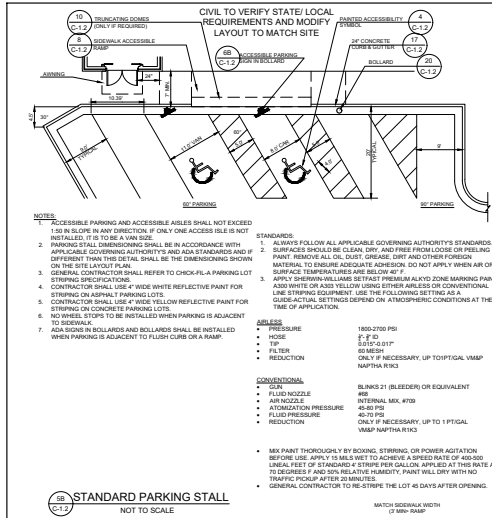
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C-5.3

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Carter Engineering

5200 Buffington Rd.
Atlanta, Georgia,
30349-2998

REV #	DATE	REVISION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PER
C	07/27/2023	ITC/A SUBMITTAL
D	08/28/2023	REVISED PER ITC/A COMMENTS

CARTER ENGINEERING

CARTER ENGINEERING
11010 COMMERCE DRIVE,
BOGART, GA 30622

P: 770.725.1200
F: 770.725.1004
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-B-23-TOB / 9-C-23-PP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE

STANDARD DETAILS I

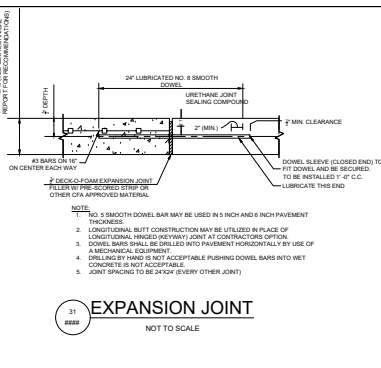
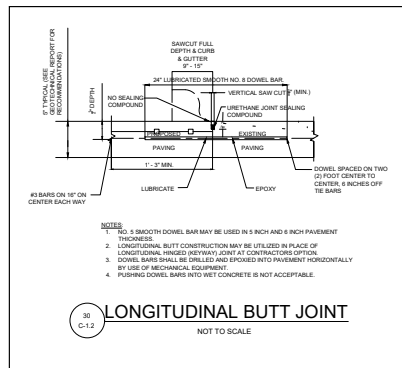
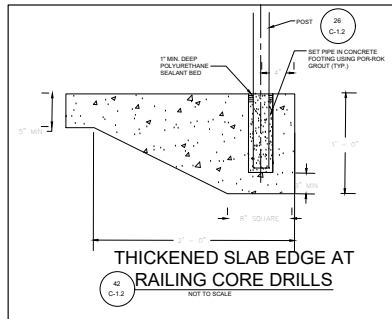
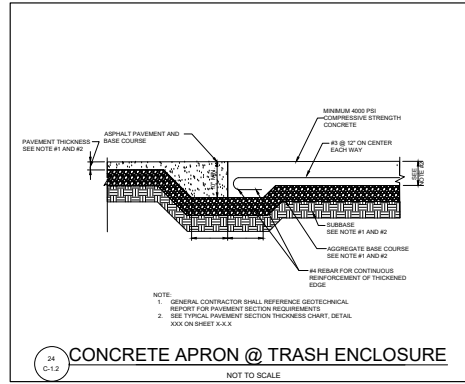
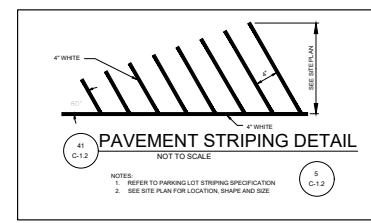
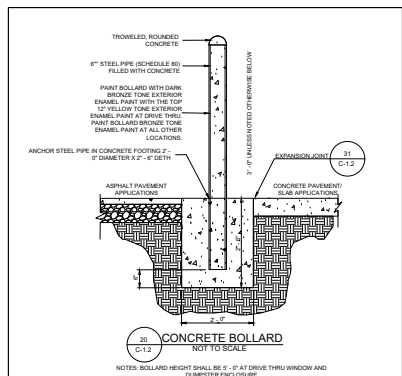
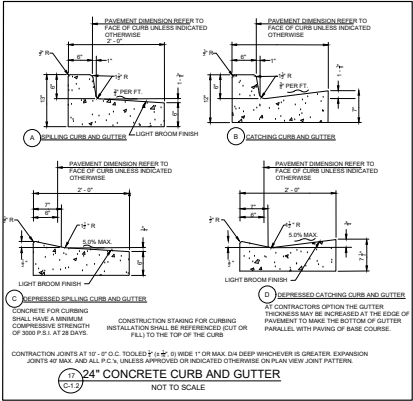
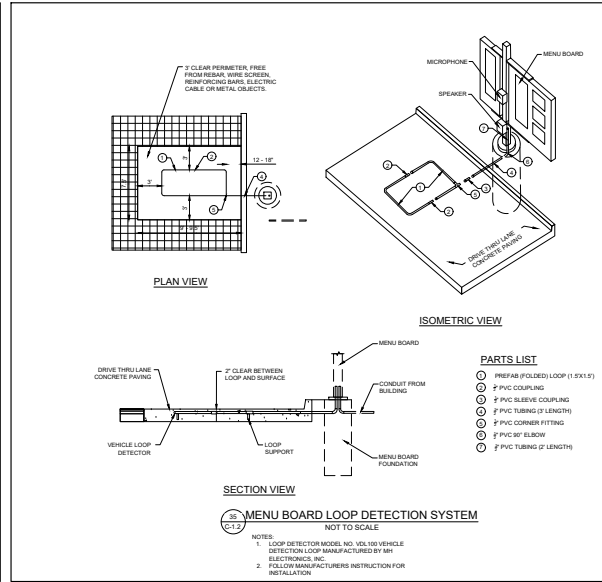
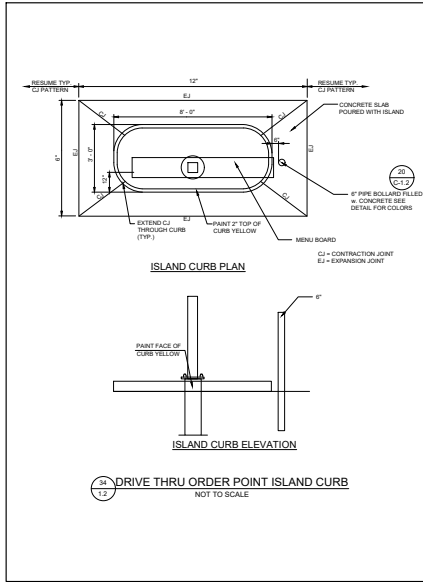
REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date #: 08/28/23

Sheet

C-6.0

ISSUE FOR PERMIT



REV #	DATE	INITIAL REVIEW	REVISION
A	06/02/2023	PCR	INITIAL REVIEW
B	06/06/2023	PCR	PER TDCA SUBMITTAL
C	07/12/2023	PCR	REVISED PER TDCA COMMENTS
D	08/28/2023	PCR	REVISED PER TDCA COMMENTS



CARTER ENGINEERING
1010 COMMERCIAL DRIVE,
BOGART, GA 30622
P: 770.725.1200
F: 770.725.1204
www.carterengineering.com

HARDIN VALLEY FSU
STORE # 05442
9-8-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
KNOXVILLE, TN 37932

SHEET TITLE
STANDARD DETAILS II
REVISION 4-2023

Job No.: 23043CFA
Store #: 05442
Date: 08/28/23

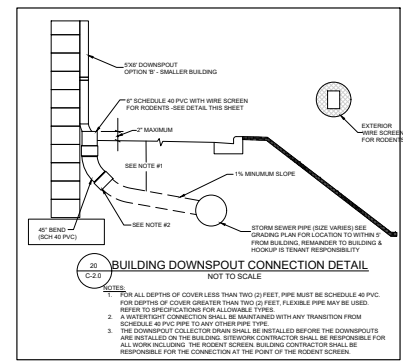
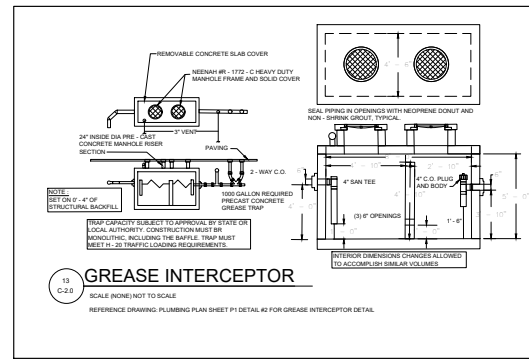
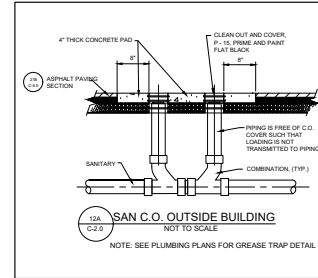
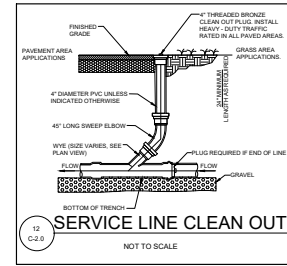
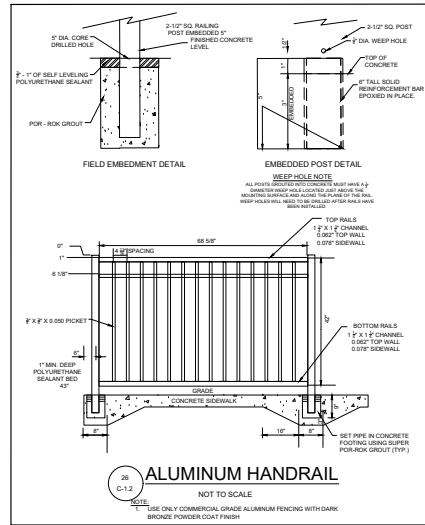
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UTILITY STANDARD DETAILS



REV #	DATE	REVISION
A	06/02/2023	INITIAL REVIEW
B	06/06/2023	PCR
C	07/23/2023	TICDA SUBMITTAL
D	08/08/2023	REVISED PER TICDA COMMENTS



CARTER ENGINEERING
 CARTER ENGINEERING
 1010 COMMERCIAL DRIVE,
 BOGART, GA 30622
 P: 770.725.1200
 F: 770.725.1204
 www.carterengineering.com

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 STORE # 05442
 9-B-23-TOB / 9-C-23-DP

2187 GREENLAND WAY,
 KNOXVILLE, TN 37932

SHEET TITLE
STANDARD DETAILS III

REVISION 4-2023

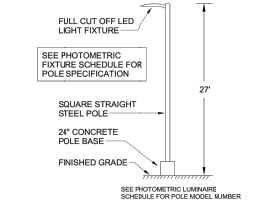
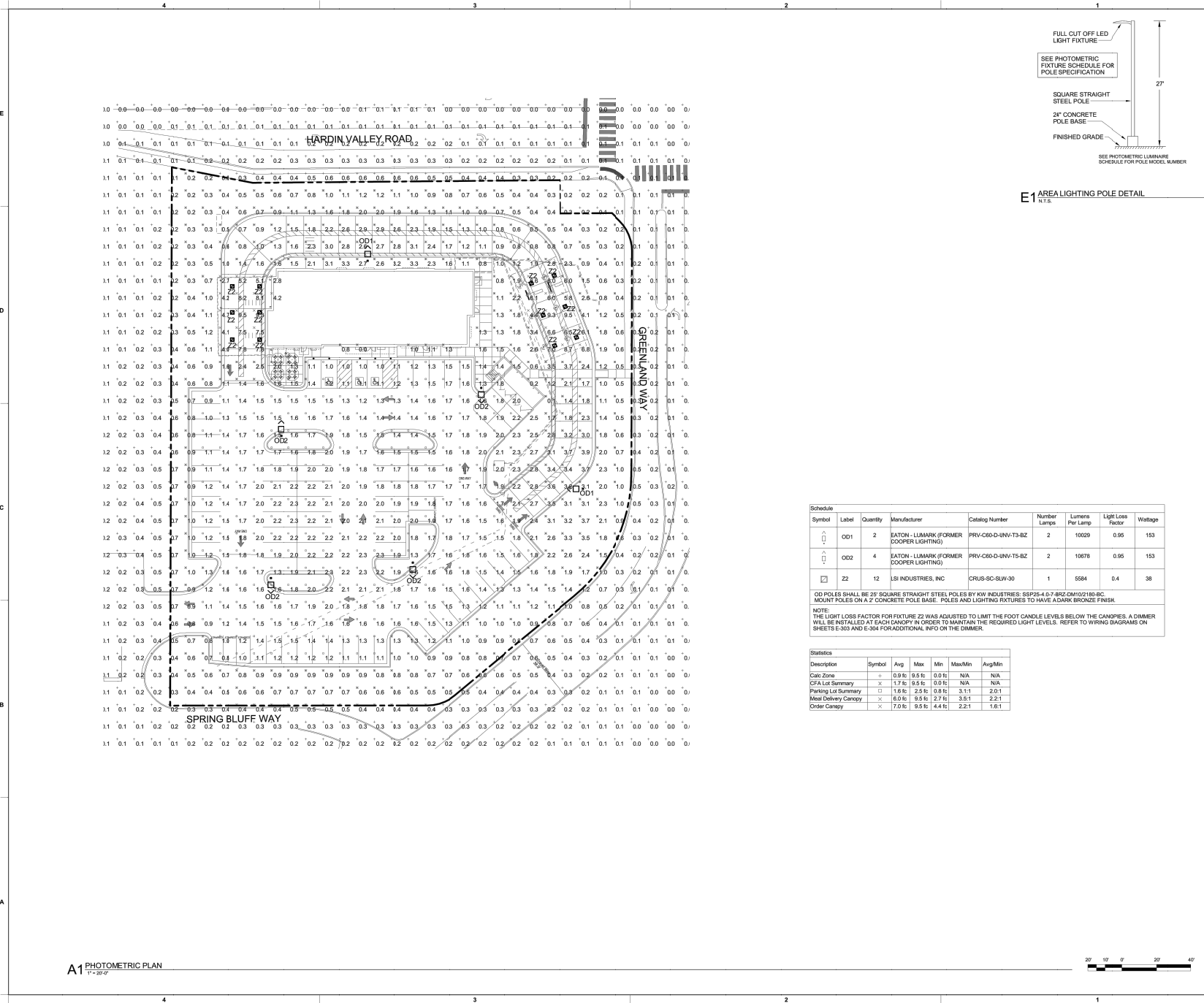
Job No. : 23043CFA
 Store : 05442
 Date : 08/28/23

Sheet
C-6.2

ISSUE FOR PERMIT

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E1 AREALIGHTING POLE DETAIL
N.T.S.

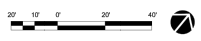
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
⏏	OD1	2	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-INV-T3-BZ	2	10029	0.95	153
⏏	OD2	4	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-INV-T5-BZ	2	10678	0.95	153
⏏	Z2	12	LSI INDUSTRIES, INC	CRUS-SC-SLV-30	1	5584	0.4	38

OD POLES SHALL BE 2\"/>

NOTE:
THE LIGHT LOSS FACTOR FOR FIXTURE Z2 WAS ADJUSTED TO LIMIT THE FOOT CANDLE LEVELS BELOW THE CANOPIES. A DIMMER WILL BE INSTALLED AT EACH CANOPY IN ORDER TO MAINTAIN THE REQUIRED LIGHT LEVELS. REFER TO WIRING DIAGRAMS ON SHEETS E-303 AND E-304 FOR ADDITIONAL INFO ON THE DIMMER.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	0.9 f.c.	9.5 f.c.	0.0 f.c.	N/A	N/A
CFA Lot Summary	x	1.7 f.c.	9.5 f.c.	0.0 f.c.	N/A	N/A
Parking Lot Summary	□	1.6 f.c.	2.5 f.c.	0.8 f.c.	3.11	2.01
Meal Delivery Canopy	x	6.0 f.c.	9.5 f.c.	2.7 f.c.	3.51	2.21
Order Canopy	x	7.0 f.c.	9.5 f.c.	4.4 f.c.	2.21	1.61

A1 PHOTOMETRIC PLAN
1" = 20'-0"



CHICK-FIL-A
HARDIN VALLEY FSU
2187 Greenland Way
Knoxville, TN 37932

FSR#05442
DRAWING TYPE: SITE PLAN
RELEASED FOR PERMIT
REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 21324.E.N.S.
DATE 08/23/2023
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: [Signature]
SITE PHOTOMETRIC PLAN
SHEET NUMBER

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

Provide shrubs, shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:

1. Soil preparation.
2. Trees, shrubs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Soil, Mulch and Planting accessories.
5. Maintenance.
6. Decorative stone.

Related Work

Irrigation System.

QUALITY ASSURANCE

Plant names indicated, comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally to names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock." A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% area of the minimum size indicated and 75% area of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor of their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents submitted hereto to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

DELIVER, STORAGE AND HANDLING

All excavations conducted in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure proper protection. Provide inspection certificates required by law shall accompany each shipment invoice or order to stock. Protect all plants from drying out. Plants cannot be planted immediately upon delivery, properly protect them with soil, wet sand, moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

PROJECT CONDITIONS

Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quoted discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

WARRANTY

Provide plant material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that die or are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes at the Contractor's negligence. The cost of such replacement is at the Contractor's expense.

Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter storms, or other acts of God. The cost of such replacement is at the Contractor's expense.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation.

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

ACCEPTANCE

Inspection of planted areas will be made by the Owner's representative.

1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereon, as also depicted on the landscape and irrigation construction set.

PART 2 - PRODUCTS

MATERIALS

Plants: Provide typical plants in good species or variety, with normal, densely developed branches and vigorous, fibrous root system. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, foot cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on storage will be rejected if they show signs of spring during the storage period.

1. Balled and wrapped plants: Provide all plants with balled and wrapped in each of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Grades or multitrunked balls, or signs of cracking roots are not acceptable.

2. Container-grown stock: Grow in a container for sufficient length of time for the root system to have developed to hold the plant and soil together and whole.

a. No plants shall be loose in the container.

b. Container stock shall not pot bound.

c. Plants planted in rows shall be matched in form.

d. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.

3. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.

5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.

6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.

7. Evergreen trees shall be banded to the ground or as specified in plant list.

8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.

a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.

b. Single stemmed or plants will not be accepted.

c. Side branches shall be generous, well-twigged, and the plant as a whole well-brushed to the ground.

d. Plants shall be in a moist, vigorous, clean, free from dead wood, leaf, or other root or branch injuries.

ACCESSORIES

Topsoil: Shall be fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, rocks, sticks, and other foreign materials, with acidity range at pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (i.e. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil.

1. Sod Areas: Spread a minimum 4" layer of top soil and rake smooth.

2. Planting bed areas: Spread a minimum 4" layer of top soil and rake smooth.

3. Landscape Islands/Median: Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is cleaned and loosened, add topsoil to a minimum berm 6"-8" height above island curbing.
4. Annuals/Perennial beds: Add a minimum of 4" organic matter and till to a minimum 12" depth.

Mulch: Type selected dependent on region and availability; see landscape plans for type of mulch to be used. Hold mulch 4" from tree trunks and shrub stems.

1. Hardwood (color) dark brown, 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and 7/8" in width, free of wood chips and sawdust, 100% natural.
2. Pine Straw: Pine straw to be fresh harvest, free of debris, bright in color. Bales to be wired and lightly soaked. Needs to be dry by install month.
3. River Rock: (color) light gray to buff to dark brown, washed river rock, 1" - 3" in size. Install in shrub beds to an even depth of 3". Wood control fabric to be installed under all rock mulch areas.
4. Mini Nuggats: Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and remove debris of the annuals and carefully spread the mulch to avoid injuring the plants. Gently brush the mulch off the plants.

Guying/Staking:
1. Arborvitae Green for white staking and guying material to be full, woven, polypropylene material, 1/2" wide 900 lb. break strength. Arborvitae shall be fastened to stakes in a manner which permits tree movement and supports the tree.

2. Remove Guying/Staking after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Kraft paper weighing not less than 30 lbs. per ream, cemented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once trees develop a corky bark.

PART 3 - EXECUTION

INSPECTION

Prior to begin work, the Landscape Contractor shall inspect the subsgrade, general site conditions, verify elevations, utility locations, irrigation, approve soil provided by the General Contractor and observe the site conditions under which the work to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

PREPARATION

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Location plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the drawings.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide plant pits at least 1/2" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings.

INSTALLATION

Place soil material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set planting stakes 2" - 3" above the finish grade. No filling will be permitted around bunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfill. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, mulch planting soil mixture around bases of balls and fill all voids.

1. Remove all burlap, ropes, and wires from the top 1/3 of the root ball.

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 1" of edge of mulch bed.

Mulching:

1. Mulch tree and shrub planting pits and shrub beds with required mulching material (see landscape plans for mulch type, depth of mulch as noted above. **Mulch mulch back 4" away from tree trunks and shrub stems.** Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

Decorative Stone (where indicated on landscape plan)

1. Install weed control barrier over topsoil prior to installing stone. Lap 6" on all sides.
2. Place stone without damaging weed barrier.
3. Arrange stones for best appearance and to cover all weed barrier fabric.

Wrapping, guying, staking:

1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
2. Wrapping:
 - a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.
 - b. Overlay 1/2" the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
 - c. Secure tree wrap in place with baine wound spirally downward in the opposite direction, tied around the tree in at least 3 places in addition to the top and bottom.
 - d. Wrap the trees in the fall and leave it in place throughout the winter and early spring.
 - e. Tree wraps are temporary and no longer needed once the trees develop corky bark.
3. Staking/Guying:
 - a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
 - b. Stake deciduous trees 2" caliper and less. Stake evergreen trees within 7"-0" tall.
 1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil.
 2. Ties are attached to the tree, usually at the lowest branch.
 3. Guy deciduous trees over 2" caliper. Guy evergreen trees 7"-0" tall and over.
 1. Guy wires to be attached to three stakes driven into undisturbed soil, with one stake placed in the direction of the prevailing wind.
 2. Guy wires to be attached to the tree at the highest practical.
 3. The axis of the stake should be at 90 degree angle to the axis on the pull of the guy wire.
 4. Remove all guying and staking after one year from planting.

Pruning:
1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

WORKMANSHIP

During landscape installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles. Remove parking and walks clean of dirt and debris. Remove all plant tags and labels from lawns and planting areas.

Any damage to the landscape, the structure, or the irrigation system caused by the landscape contractor shall be repaired by the landscape contractor without charge to the owner.

MAINTENANCE

Contractor shall provide maintenance until work has been accepted by the Owner's Representative.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides to maintain plants and adjacent lawns free of insects and disease.

1. Mowing: Mow lawns to proper grade and position. Restore planting surface and adjacent material and remove dead material.
2. Spot-guy wires: Install and maintain. Remove all stakes and guy wires after 1 year.
3. Corred defective work as soon as approved after deficiencies become apparent and watering and season permit.
4. Water trees, plants and ground cover beds within the first 24 hours of initial watering, and not less than twice per week until final acceptance.

LANDSCAPE MAINTENANCE SPECIFICATIONS

The Contractor shall provide as a separate bid, maintenance for a period of 1 year after final acceptance of the project landscape. The Contractor must be able to provide continued maintenance if requested by the Owner or provide the name of a reputable landscape contractor who can provide maintenance.

STANDARDS

All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.

All work shall be performed in a manner that maintains the original intent of the landscape design.

All chemical applications shall be performed in accordance with current county, state and federal laws, using EPA registered materials and methods of application. These applications shall be performed under the supervision of a Licensed Certified applicator.

APPROVALS

Any work performed in addition to that which is outlined in the contract shall only be done upon written approval by the Owner's Representative (General Manager of the restaurant).

SELECTION

All seasonal color selections shall be approved by the General Manager prior to ordering and installation.

SOIL TESTING

The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results

Landscapc Trees and Shrubs	Turf
pH Range	6.0-7.0
Organic Matter	1-1%
Nitrogen (N)	0.2-0.2%
Phosphorus (P2O5)	100-100 lbs
Potassium (K2O)	100-100 lbs
Electrical Conductivity	100-100 lbs
Water Soluble Phosphorus	100-100 lbs
Water Soluble Potassium	100-100 lbs
Water Soluble Nitrogen	100-100 lbs
Water Soluble Calcium	100-100 lbs
Water Soluble Magnesium	100-100 lbs
Water Soluble Sulfur	100-100 lbs
Water Soluble Zinc	100-100 lbs
Water Soluble Boron	100-100 lbs
Water Soluble Manganese	100-100 lbs
Water Soluble Iron	100-100 lbs
Water Soluble Copper	100-100 lbs
Water Soluble Molybdenum	100-100 lbs
Water Soluble Selenium	100-100 lbs
Water Soluble Vanadium	100-100 lbs
Water Soluble Nickel	100-100 lbs
Water Soluble Cobalt	100-100 lbs
Water Soluble Silicon	100-100 lbs
Water Soluble Aluminum	100-100 lbs
Water Soluble Chlorine	100-100 lbs
Water Soluble Fluorine	100-100 lbs
Water Soluble Iodine	100-100 lbs
Water Soluble Bromine	100-100 lbs
Water Soluble Strontium	100-100 lbs
Water Soluble Barium	100-100 lbs
Water Soluble Lead	100-100 lbs
Water Soluble Cadmium	100-100 lbs
Water Soluble Mercury	100-100 lbs
Water Soluble Arsenic	100-100 lbs
Water Soluble Selenium	100-100 lbs
Water Soluble Tellurium	100-100 lbs
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Water Soluble Manganese	100-100 lbs
Water Soluble Iron	100-100 lbs
Water Soluble Cobalt	100-100 lbs
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Water Soluble Nickel	100-100 lbs
Water Soluble Copper	100-100 lbs
Water Soluble Zinc	100-100 lbs
Water Soluble Manganese	100-100 lbs
Water Soluble Iron	100-100 lbs
Water Soluble Cobalt	100-100 lbs
Water Soluble Nickel	100-100 lbs
Water Soluble Copper	100-100 lbs



August 29, 2023

Mr. Mike Conger
Senior Transportation Engineer
Knox County Planning
400 Main Street, Suite 403
Knoxville, TN 37902

RE: CFA 2187 Greenland Way Traffic Study

Hello Mike,

Thanks for you talking with me about Knox County's concerns regarding the TIS we prepared for a future Chick-fil-A to be located on Spring Bluff Way near Hardin Valley Road.

Below is our response to the comments in your email.

- 1. The existing analyses show LOS C for eastbound Hardin Valley Road traffic for both AM and PM peaks. Field observations indicate that this approach actually operates at LOS F during these periods. Eastbound queues have been observed up to and exceeding one mile in length. The primary cause seems to be much longer than typical departure headways on this approach. We conducted a field study that found average headways on the order of 2.5 sec., which by our calculations equate to a saturation flow value of approx. 1450 vphpl. While not totally understanding the reason for such long headways, this has been confirmed on multiple occasions. Possible contributing factors are the fact that eastbound traffic has just left a school zone (at least in the AM) and a high number of lower accelerating construction vehicles. Also, the north leg of this intersection is an exit from Pellissippi State Community College. When this traffic turns out we have a short, but very intense peak. The side street thus gets much more green time which causes longer queues on Hardin Valley Road. These queues take a long time to recover, in large part due to the long departure headways. When this occurs during times coinciding with heavy traffic from the Hardin Valley Schools (High School, Middle School, Elementary School to the west), conditions are especially bad. The consultant should rerun analyses with a more appropriate saturation flow value. A possible solution that should be explored is the addition of a second eastbound thru traffic lane.*

Response: The data from the traffic counts generated on May 4, 2023 for the submitted TIS do not indicate the same level of queues noted in the field observations. However, We agree that Hardin Valley Road is a congested roadway. It appears, the existing problem is one that Knox County knows exists, and most likely the only answer is to add more lanes to Hardin Valley Road to increase the capacity. We see no purpose in rerunning the capacity analysis when the answer will be that, yes indeed, the roadway needs more capacity. Chick-fil-A does not feel it is their responsibility to fund widening Hardin Valley Road due to an existing issue.

- 2. The report recommends an eastbound right-turn bay along Spring Bluff Way at Greenland Way. This does not make sense as it is a shopping center exit and would be difficult to construct, and also is a right-turn to a gated community with low traffic volumes. The consultant should confirm that this is a valid recommendation, or if maybe he intended this for another location.*



Response: Comment noted. The reason for potentially adding the right turn lane for eastbound traffic on Spring Bluff Way at Greenland Way was to remove any other cars not wanting to turn left and increase the amount of storage for left turners leaving the Chick-fil-A facility. That was the reason for the recommendation but is not a requirement.

3. Please confirm the adequacy of the northbound left-turn storage on Greenland Way at Hardin Valley Road by a queue assessment.

Response: The SYNCHRO analyses included in the TIS revealed that the 95th percentile queue length produced for the highest volume at the midday peak was estimated at 110 feet. The existing northbound left turn lane is currently 105 feet and should be satisfactory for the majority of each weekday. The turn bay could be restriped to extend for an additional five feet if necessary.

4. Please further evaluate on-site circulation and determine a potential need for an additional site access point. The location of the proposed access point appears to create multiple conflict points and requires several turning movements for all entering and exiting vehicles. Additionally, it is likely preferable to explore additional access to both spread out the traffic demand as well as providing alternate travel pathways in the event of an emergency or incident that blocks the only access.

Response: The TIS included a similar Chick-fil-A facility located on Kingston Pike as an example of how the facility would operate in an effort to more accurately the developed condition than only ITE data. It works quite well as shown in the TIS. The Site Engineer with Carter Engineering, Mark Campbell, had communication with Amanda Purkey of Knox County regarding the site access on April 24, 2023. Per Knox County, the Chick-fil-A Lot, 103MA004, is required to have access to Spring Bluff Way based on previously approved plans for this overall development known as The Village at Harden Valley. Carter Engineering placed the access point as far away from Greenland Way to provide the best access available and reduce the potential for negative impact on the public right-of-way.

5. As a follow-up to comment #4, please evaluate a potential additional access point located directly on Greenland Way to determine if operations would be acceptable regarding aspects such as sight distance, driveway spacing and on-site drive through queue storage that would not interfere/block the access point nor back out towards Hardin Valley Rd.

Response: As stated above, Chick-fil-A lot 103MA004 is required to have access to Spring Bluff Way per Knox County. Carter Engineering placed the access point as far away from Greenland Way to provide the best access available and reduce the potential for negative impact on the public right-of-way.

6. In addition to and regardless of a direct access point being determined to be viable on Greenland Way, please further evaluate and provide specific recommendations for the Greenland Way cross-section and striping between Spring Bluff Way and Hardin Valley Rd. This should include the possibility of an additional dedicated SB right turn lane and modifications to the center turn lane such as an extension of storage for the NB left turn lane approaching Hardin Valley Rd. A functional layout of Greenland Way showing the recommended laneage and striping would be preferred for inclusion in the revised TIS and site plan.

Response: Greenland Way and Spring Bluff way are both private and not public right-of-way. Any future widening or curb changes to access at the Greenland Way and Spring Bluff way intersection will require approval of the private entities that control those private roadways. Chick-fil-A is willing to amend the striping on Greenland Way or Spring Bluff Way as needed to improve traffic flow on private property outside the public right-of-way. Thus, a revised TIS should not be required.



7. Please address any necessary modifications for the existing parking lot where the current access is being proposed in terms of any parking spaces that should be removed in order to reduce interference/conflicts with turning movements to and from the site.

Response: The existing private parking lot off Spring Bluff Way where access is required based on feedback from Knox County will not require the removal of any parking spaces outside the Chick-fil-A boundary to connect to the existing asphalt drive. Chick-fil-A is willing to request the removal of 3 off-site private parking spaces at this connection point to improve the traffic flow at this location.

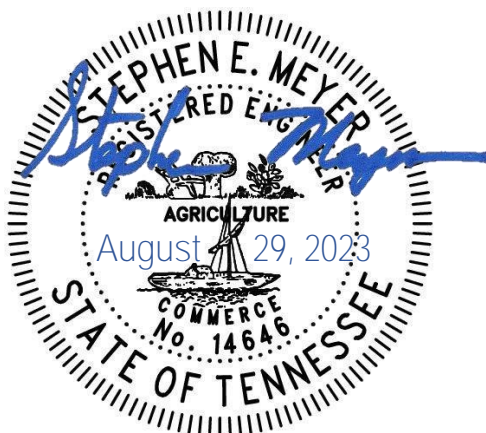
Thank you very much, Mike, for your consideration of our response to your comments.

Sincerely,

A handwritten signature in blue ink that reads "Stephen Meyer".

Thouvenot, Wade & Moerchen, Inc.

Stephen E. Meyer, PE
Chief Traffic Engineer and Chattanooga Branch Manager
CC: Mark Campbell, Carter Engineering







Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Mark Campbell

Applicant Name

Affiliation

7/31/2023

Date Filed

9/14/2023

Meeting Date (if applicable)

9-C-23-DP

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Mark Campbell Carter Engineering

Name / Company

1010 Commerce Dr Bogart GA 30622

Address

770-725-1200 / mark@caterengineering.com

Phone / Email

CURRENT PROPERTY INFO

OKR Group OKR Group

Owner Name (if different)

11421 Sam Lee Rd Knoxville TN 37932

Owner Address

865-964-9254

Owner Phone / Email

2187 GREENLAND WAY

Property Address

103 M A 004

Parcel ID

1.75 acres

Tract Size

Part of Parcel (Y/N)?

West Knox Utility District

Sewer Provider

West Knox Utility District

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

City

Commission District 6

PC (Planned Commercial), TO (Technology Overlay)

Agriculture/Forestry/Vacant Land

County District

Zoning District

Existing Land Use

Northwest County

Planning Sector

GC (General Commercial), HP (Hillside Protection)

Sector Plan Land Use Classification

Planned Growth Area

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) Fast Food Restaurant	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Density (units/acre) Previous Zoning Requests		
Additional Information		

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)
 Design Plan Certification (Final Plat)
 Site Plan (Development Request)
 Traffic Impact Study
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
\$1,600.00	
Fee 2	
Fee 3	

AUTHORIZATION

- I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	Mark Campbell Please Print	7/31/2023 Date
---------------------	--------------------------------------	--------------------------

Phone / Email		
Property Owner Signature	OKR Group OKR Group Please Print	7/31/2023 Date



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Mark Campbell

Engineer

Applicant Name

Affiliation

7/31/23

File Number(s)

Date Filed

Meeting Date (if applicable)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Mark Campbell

Carter Engineering

Name

Company

1010 Commerce Drive

Bogart

GA

30622

Address

City

State

ZIP

770-725-1200

mark@carterengineering.com

Phone

Email

CURRENT PROPERTY INFO

OKR Group

11421 Sam Lee Road, 37932

865-964-9254

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

2187 Greenland Way

103MA004

Property Address

Parcel ID

West Knox Utility District

West Knox Utility District

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

City County

District

Zoning District

Existing Land Use

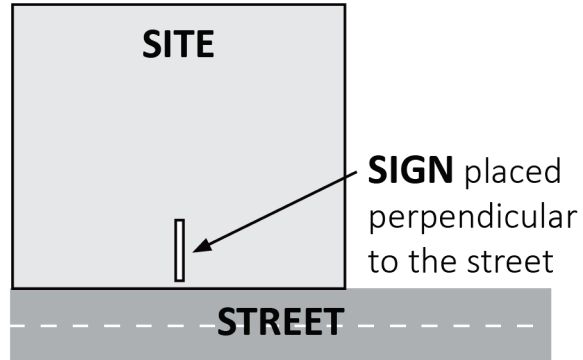
Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

May 1, 2023

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ and _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Mark Cambell

Date: 8/1/2023

File Number: 9-C-23-DP

- Sign posted by Staff
- Sign posted by Applicant