



# DEVELOPMENT PLAN REPORT

▶ **FILE #:** 9-G-23-DP

**AGENDA ITEM #:** 32

**AGENDA DATE:** 9/14/2023

▶ **APPLICANT:** JHONATAN AGUIRRE

OWNER(S): LKM Properties L P

TAX ID NUMBER: 67 009.04

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 7590 BILL BELL WAY

▶ **LOCATION:** North side of Bill Bell Way, southeast of W Emory Rd, southwest of Clinton Hwy

▶ **APPX. SIZE OF TRACT:** 3.14 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is proposed off of Bill Bell Way, a private right-of-way with a 25-ft pavement width.

UTILITIES: Water Source: Hallsdale-Powell Utility District

Sewer Source: Hallsdale-Powell Utility District

WATERSHED: Beaver Creek

▶ **ZONING:** SC (Shopping Center), CA (General Business)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Car Wash

HISTORY OF ZONING: In 1999, part of the parcel was included in a rezoning request from A (Agricultural) to CA (General Business), a rezoning to SC (Shopping Center) was approved (3-E-99-RZ). In 2005, the same portion of the subject parcel was included in a rezoning request from SC (Shopping Center) to CA (General Business), which was withdrawn (8-S-05-RZ)

SURROUNDING LAND USE AND ZONING: North: Office, commercial - CA (General Business)

South: Commercial - SC (Shopping Center)

East: Commercial - CA (General Business), SC (Shopping Center)

West: Commercial - SC (Shopping Center)

NEIGHBORHOOD CONTEXT: This property is part of a commercial corridor with single family and mobile home residences in close proximity. A gas station and convenience store was recently built next to the subject property to the southeast. Beaver Creek runs across this section of Clinton Hwy to the south.

## STAFF RECOMMENDATION:

▶ **Approve the development plan for a car wash facility in the SC (Shopping Center) zone, subject to 3 conditions.**

- 1) Installing all landscaping, as shown in the landscape plan, within six months of issuance of an occupancy permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee installation.
- 2) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works, including the requirement no grading occur within the W Emory Road right-of-way.
- 3) Meeting all applicable requirements of the Knox County Zoning Ordinance.

#### **COMMENTS:**

This proposal is for a car wash facility with three queuing drive lanes, an area with numerous vacuum stations, and two driveways from Bill Bell Way with a parking lot in between access points.

#### **DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)**

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

#### **1) ZONING ORDINANCE**

##### **SC (Shopping Center):**

A. The SC zone permits gasoline service stations if they are designed as an integral part of the shopping center building group, and the Planning Commission previously determined that a car wash facility is a similar use to a gasoline service station. The proposed car wash is at a commercial node at the intersection of W Emory Road and Clinton Highway. It abuts a gasoline station/convenience store to the southeast and is across the street from a commercial strip center to the northwest. This provides a continuous stretch of auto-oriented development, which contributes to the unified shopping experience intended by the SC zone.

B. The location and orientation of the proposed car wash facility is also compatible with the intent of the SC zone, as proposed access is located exclusively on Bill Bell Way, a private street developed for this commercial area south of the W Emory Road and Clinton Highway intersection.

C. The plans comply with the SC zone height and yard requirements. The car wash building is below the 40-ft height maximum and meets the 20-ft setback requirements from public rights-of-way. 10-ft wide planted parkways are provided along the sides of the SC-zoned portion of the subject property, as required. The administrative procedures for the SC zone require the Planning Commission to approve the development plan before permits can be issued (Article 5, Section 5.34.10).

#### **2) GENERAL PLAN - DEVELOPMENT POLICIES**

A. Policy 5.2, Encourage development in areas with excess utility capacity or in areas where utilities may be easily extended -- The proposed car wash is located along a developed commercial corridor on Clinton Highway with access to sewer and water.

B. Policy 9.11, Locate community-serving commercial areas where they can be easily shared by several neighborhoods -- The proposed car wash facility is accessible to many residential communities through major arterial streets that abut two sides of the property.

#### **3) NORTHWEST COUNTY SECTOR PLAN**

A. The property is classified as LDR (Low Density Residential) with a SP (Stream Protection) overlay on the southern corner where it nears Beaver Creek. A car wash facility does not meet the intent of this residential classification, but this location does not align with the location criteria for LDR. The surrounding zoning and the development trajectory of this commercial corridor is likewise not compatible with this land use designation. As mentioned previously, this property is located at the corner of two major arterial streets, which is more conducive to a commercial environment than a low-density residential subdivision. No buildings are proposed within the SP area, and plans will be reviewed by Engineering for stormwater management compliance during permitting.

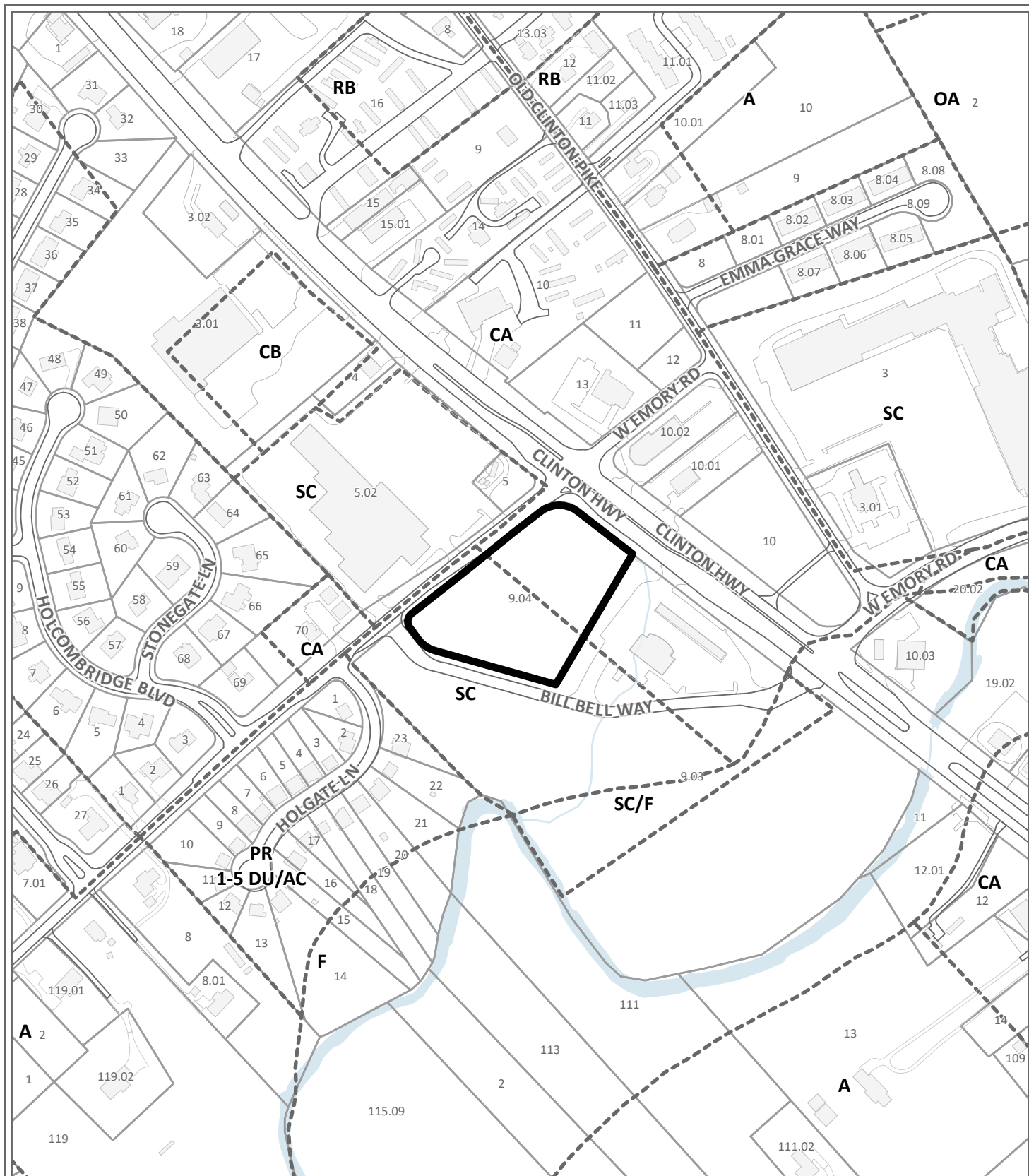
#### **4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN**

A. The property is within the Planned Growth Boundary. The purposes of the Planned Growth Boundary designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. The proposed development meets the relevant standards of the Planned Growth Boundary.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).



**DEVELOPMENT PLAN**

**9-G-23-DP**

**Petitioner:** Jhonatan Aguirre



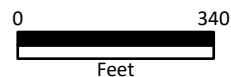
Car Wash in SC (Shopping Center), CA (General Business)

**Map No:** 67

**Jurisdiction:** County

**Original Print Date:** 8/18/2023

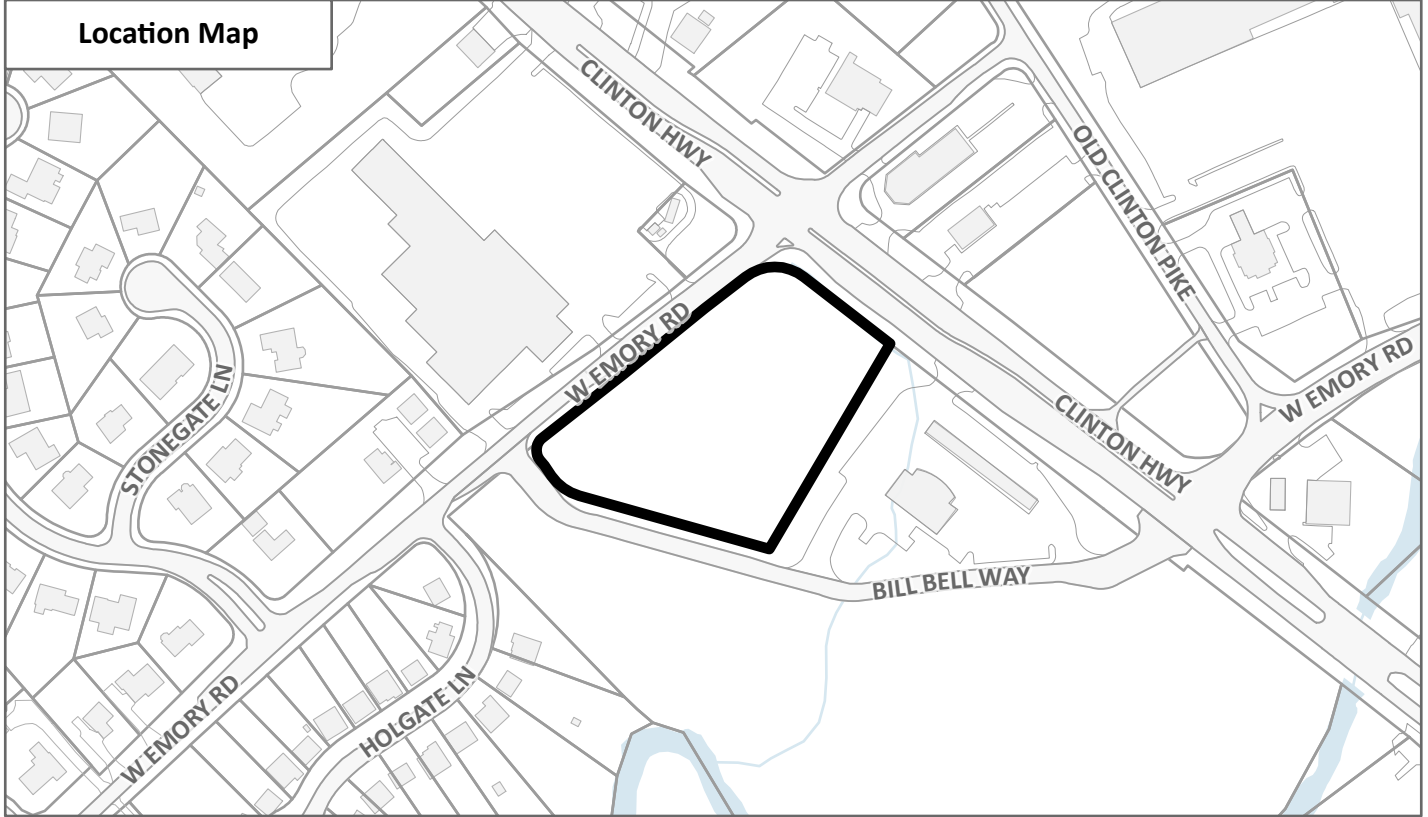
Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902





# Exhibit A. Contextual Images

Location Map



Aerial Map

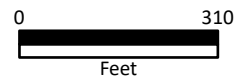


CONTEXTUAL MAPS 1

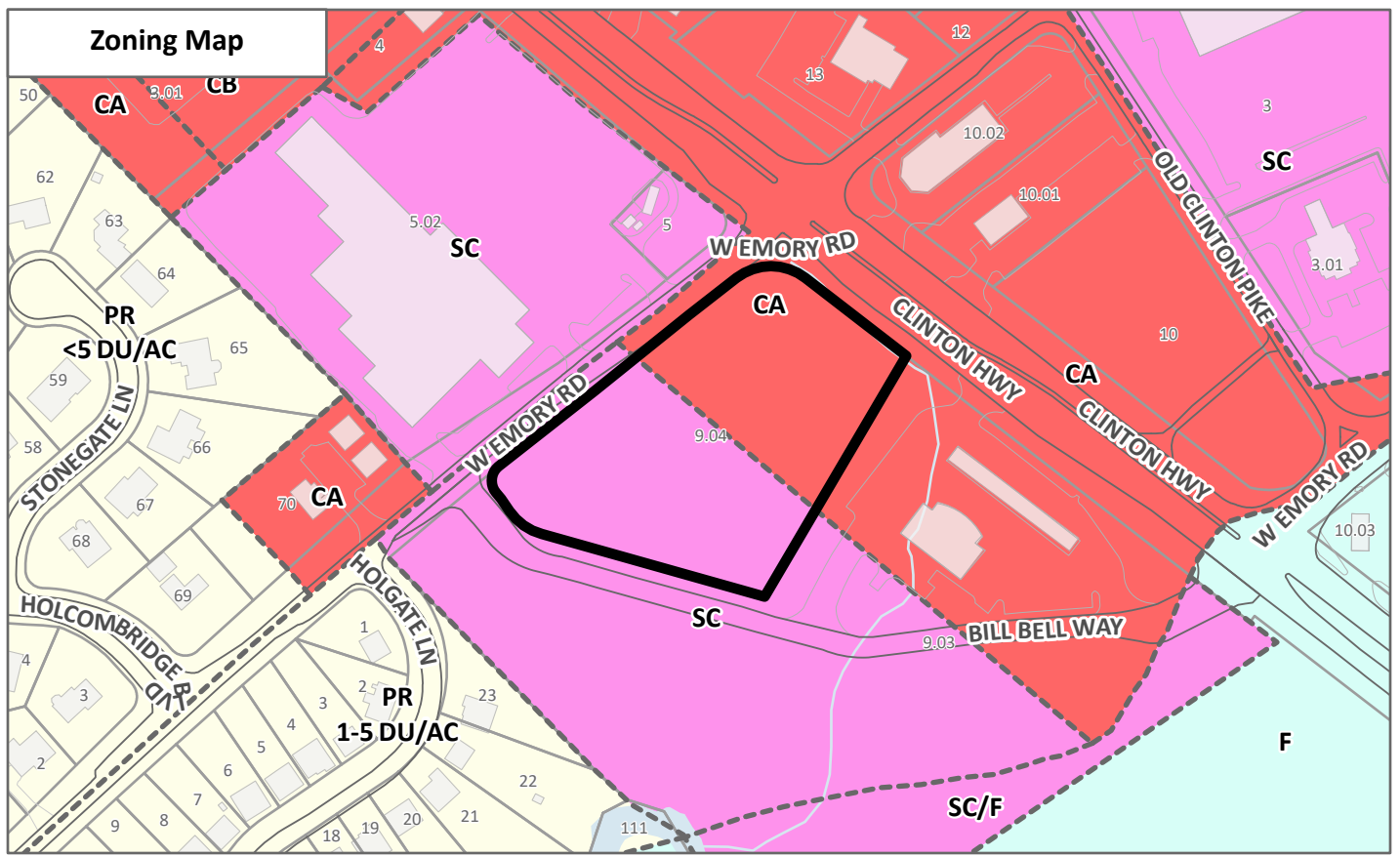
9-G-23-DP



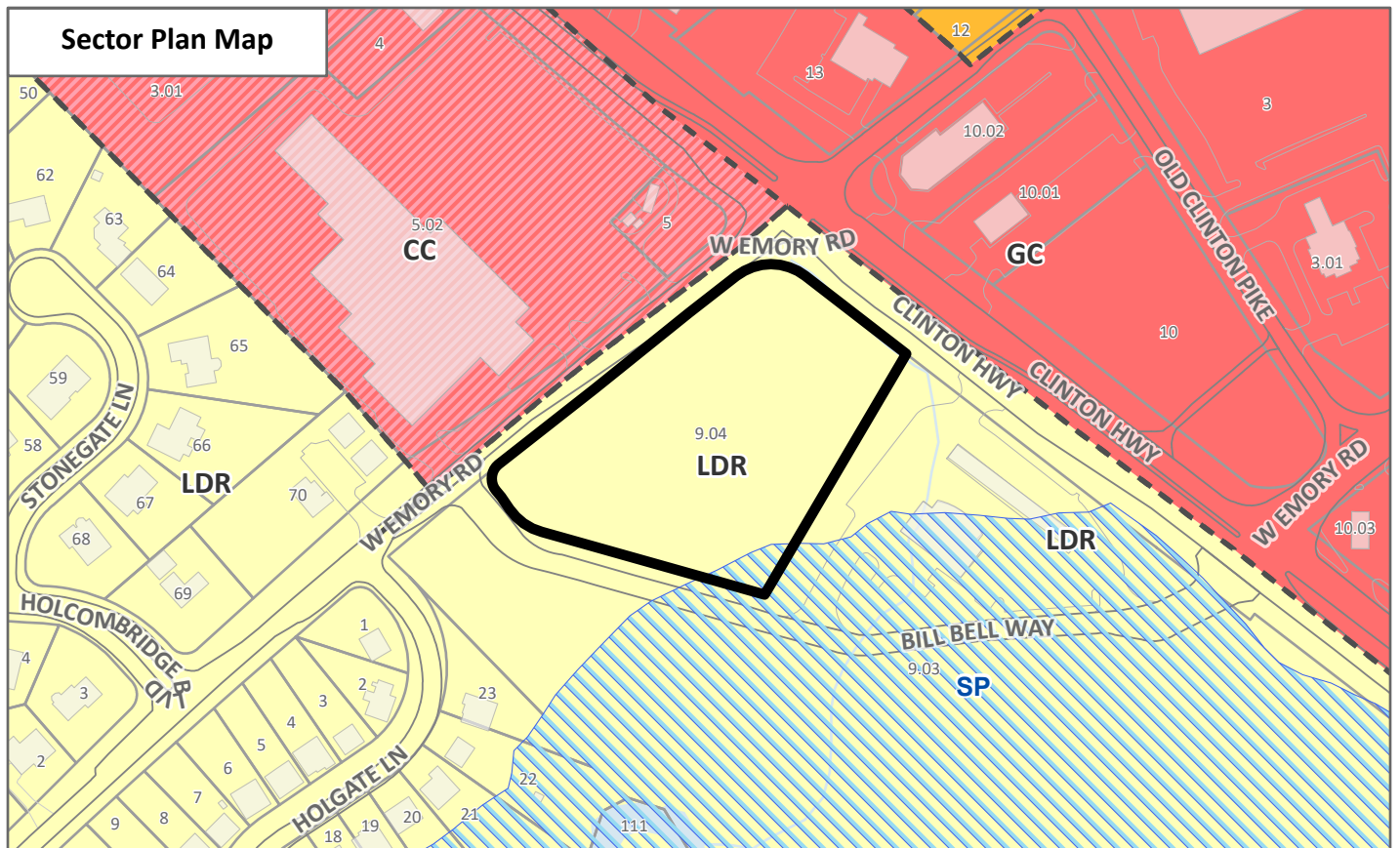
Case boundary



### Zoning Map



### Sector Plan Map

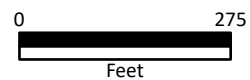


### CONTEXTUAL MAPS 2

9-G-23-DP

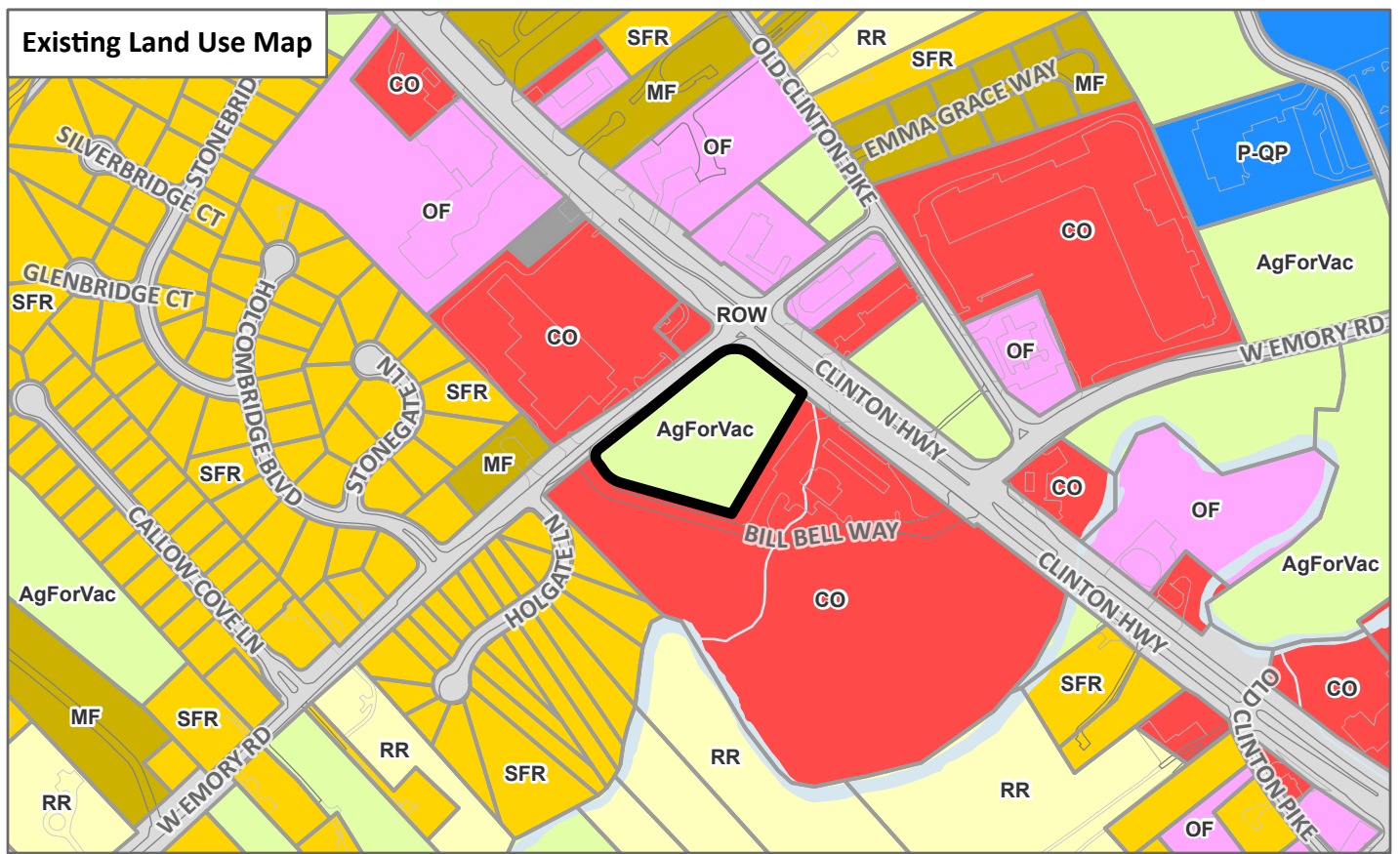


Case boundary





Existing Land Use Map



CONTEXTUAL MAPS 3

9-G-23-DP



Case boundary





# NEW FACILITY FOR TAKE 5 CAR WASH

7590 BILL BELL WAY  
POWELL, TN 37849

9-G-23-DP  
8-30-2023

PROTO UPDATES 2022-1 - 11/11/2022

## SHEET INDEX

SHEET	SHEET NAME	REVISION				
		Δ	▲	△	▲	△
<b>ARCHITECTURAL</b>						
AA-00	COVER SHEET					
AA-01	GENERAL NOTES, PROJECT NOTES & BID NOTES					
AA-10	ACCESSIBILITY DETAILS					
AA-11	ACCESSIBILITY DETAILS					
AA-12	ACCESSIBILITY DETAILS					
AA-20	GENS PLAN					
AA-10	SITE PLAN					
AA-10	SITE DETAILS					
AA-00	SLAB PLAN					
AA-01	SLAB DETAILS					
AA-02	CONDUIT PLAN					
AA-10	FLOOR PLAN					
AA-20	EQUIPMENT PLAN & SCHEDULE					
AA-20	REFLECTED CEILING PLAN					
AA-00	EXTERIOR ELEVATIONS					
AA-10	EXTERIOR ELEVATIONS					
AA-10	BUILDING SECTIONS					
AA-15	WALL SECTIONS					
AA-16	WALL SECTIONS					
AA-17	WALL SECTIONS					
AA-20	INTERIOR ELEVATIONS					
AA-20	INTERIOR ELEVATIONS					
AA-20	FINISH SCHEDULE					
AA-20	DOOR & WINDOW SCHEDULE					
AA-10	EQUIPMENT ROOM FINISH SCHEDULE					
AA-10	DETAILS					
AA-11	DETAILS					
AA-12	DETAILS					
AA-20	SPECIFICATIONS					
AA-20	SPECIFICATIONS					
AA-20	SPECIFICATIONS					
<b>STRUCTURAL</b>						
SS-10	GENERAL NOTES & SPECIFICATIONS					
SS-11	GENERAL NOTES & SPECIFICATIONS					
SS-12	FOUNDATION PLAN					
SS-10	FOUNDATION PLAN					
SS-10	FOUNDATION DETAILS					
SS-11	FOUNDATION DETAILS					
SS-12	FOUNDATION DETAILS					
SS-10	FRAMING DETAILS					
SS-11	FRAMING DETAILS					
SS-12	FRAMING DETAILS					
SS-10	TOWER FRAMING DETAILS					
SS-10	TYPICAL CAR DETAIL					
<b>MECHANICAL &amp; PLUMBING</b>						
MM-00	MECHANICAL NOTES					
MM-00	MECHANICAL PLAN					
MM-00	MECHANICAL PLAN					
MM-00	PLUMBING NOTES					
MM-00	SITE PLUMBING PLAN					
MM-00	WASTE/ELECTRA CHASISWAYS					
MM-00	SURVEY PILING					
MM-00	ROOF DRAIN PILING					
MM-00	PLUMBING DETAILS					
<b>ELECTRICAL</b>						
EE-00	ELECTRICAL NOTES					
EE-00	SITE POWER PLAN					
EE-00	SITE LIGHTING PLAN					
EE-00	LIGHTING PLAN					
EE-00	POWER PLAN					
EE-00	LOW VOLTAGE PLAN					
EE-00	ELECTRICAL PANEL PLAN					
EE-00	ELECTRICAL DETAILS					
EE-00	ELECTRICAL DETAILS					
EE-00	ELECTRICAL DETAILS					
EE-00	PANEL BOARD SCHEDULES					
EE-00	ELECTRICAL SPECIFICATIONS					
EE-00	ELECTRICAL SPECIFICATIONS					
<b>CIVIL - *FOR REFERENCE ONLY*</b>						
CC-1	GRAV. / SURVEY					
CC-1	BRICKLAYER PLAN					
CC-2	SITE PLAN					
CC-3	EMERGENCY SITE PLAN					
CC-3	GRADING PLAN					
CC-3	BRUSHING PLAN					
CC-3	UTILITY PLAN					
CC-3	EROSION CONTROL PLAN					
CC-3	EROSION CONTROL DETAILS					
CC-3	CIVIL PAVEMENT DETAILS					
CC-3	CIVIL SITE DETAILS					
CC-3	UTILITIES DETAILS					
CC-3	DRIVEWAY DETAILS					
CC-0	CIVIL SPEC					



14139 HUFFMEISTER ROAD  
CYPRESS, TX 77429  
(832) 334-5000

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05.18.2023  
CONSULTANT: M.G.



TAKE 5 CAR WASH  
7590 BILL BELL WAY  
POWELL, TN 37849

REV	DATE	DESCRIPTION
01	05.18.2023	PERMIT ISSUE

DRAWN BY: TNN  
CHECKED BY: TNN

ARCH. PROJECT NO.: MA #4727

SHEET NAME: COVER SHEET

SHEET NUMBER: A0.00

## ABBREVIATIONS

Ø	DIAMETER	GA.	GALV.	RE.	REFRIGERATED
CL	CENTER LINE	G.C.	GEN'L CONTRACTOR	REF.	REFINISHED
#	POUNDS or NUMBER	G.I.	GALVANIZED IRON	RF	REINFORCED
∠	ANGLE	GND.	GROUND	RA	ROOM
A.B.	ANCHOR BOLT	GR.	GRASS	R.O.	ROUGH OPENING
A/C	AIR CONDITIONING	GR.W.	GRASS W/ WALK	R.W.B.	RIGHT OF WAY
A.C.	ASPHALTIC CONCRETE	GYP.	GYPSUM BOARD	RCP	REFLECTED CEILING PLAN
A.C.T.	ACOUSTICAL CEILING TILE	H.B.	HOSE BIB	S.C.	SOLID CORE
A.F.F.	ABOVE FINISH FLOOR	HDR.	HEADER	SCHED.	SCHEDULE
A.F.G.	ABOVE FINISH GRADE	HDW.	HARDWARE	SECT.	SECTION
ALT.	ALTERNATE	HOL.	HOLLOW	SHIT.	SHEET
A.S.T.M.	AMERICAN SOCIETY OF TESTING & MATERIALS	HT.	HEIGHT	SML.	SIMILAR SPECIFICATION
B.L.G.	BUILDING	H.M.	HOLLOW METAL	SQ.	SQUARE
BOT.	BOTTOM	HOR.	HORIZONTAL	ST.	STEEL
B.O.	BOTTOM OF	HVC.	HEATING VENTILATION	STD.	STANDARD
B.O.A.	BACK OF HOUSE	H.W.	HOT WATER	STOR.	STORAGE
C.B.	CATCH BASIN	I.D.	INSIDE	STRUCT.	STRUCTURAL
C.J.	CONTROL JOINT	I.E.	INVERT ELEVATION	S.D.V.	SHUT OFF VALVE SUSP.
CLG.	CEILING	INSUL.	INSULATION	T.	TREAD
CLR.	CONCRETE MASONRY UNIT	INT.	INTERIOR	TEL.	TELEPHONE
C.O.	CLEANOUT	LAM.	LAMINATED	TEMP.	TEMPERATURE
COL.	COLMAN CONCRETE	LBS.	POUNDS	T & G	TONGUE & GROOVE TOP OF
CONC.	CONCRETE	L.L.	LANDSCAPE	T.S.	TUBE STEEL
CONT.	CONTINUOUS	MAX.	MAXIMUM	TYP.	TYPICAL
CONTR.	CONTRACTOR	MAX.	MAXIMUM	U.O.N.	UNLESS OTHERWISE NOTED
C.W.	COLD WATER	M.D.	MEDIUM DENSITY FIBERBOARD	U.L.	UNDERWRITERS LABORATORY
DEPT.	DEPARTMENT	MECH.	MECHANICAL	U.L.	UNDERWRITERS LABORATORY
DTL.	DETAIL	MTL.	METAL	VERT.	VERTICAL
D.F.	DRINKING FOUNTAIN	MFR.	MANUFACTURER	V.C.T.	VINYL COMPOSITE TILE
D.J.	DIAMETER	M.H.	MAN HOLE	V.C.T.	VINYL COMPOSITE TILE
D.M.	DIMENSION	MIN.	MINIMUM	V.T.R.	VENT THROUGH ROOF
D.W.	DOWN	MIS.	MISCELLANEOUS	V.V.F.	VENT IN FIELD
D.S.	DOWN SLOPING	MTD.	MOUNTED	W.	WITH
DWG.	DRAWING	MUL.	MULLION	W/O.	WITHOUT
D.W.G.	DOWN SLOPE	N.	NOT	W.H.	WATER HEATER
(E)	EXISTING	(N)	NOT IN CONTRACT	W/O.	WITHOUT
EA.	EACH	N.C.	NOT TO SCALE	W.W.F.	WELDED WIRE FABRIC
EPS	EXTERIOR INSULATION FINISH SYSTEM	N.R.	NON RATED		
ELEC.	ELECTRICAL ENCLOSURE	N.T.S.	NOT TO SCALE		
E.J.	EXPANSION JOINT	O.C.	ON CENTER		
EQ.	EQUAL	O.D.	OUTSIDE		
EQUIP.	EQUIPMENT	OPP.	OPPOSITE		
EXT.	EXISTING	P.	PROPERTY LINE		
F.D.	FLOOR DRAIN	P.L.B.	PLUMBING		
FIN.	FINISH FLOOR	P.W.D.	PLYWOOD		
FIN.	FINISH FLOOR	P.S.C.	POINT OF CURVATURE		
F.F.	FLOOR FINISH	P.S.F.	POUNDS PER SQUARE FOOT		
F.F.	FLOOR FINISH	P.T.	PRESSURE TREATED		
F.F.	FLOOR FINISH	R.	RISER		
FT.	FOOT/FEET	(R)	RELLOCATED		
FTG.	FOOTING	RAD.	RADIUS		
FURR.	FURNISHING	R.D.	ROOM DRAIN		

## ANNOTATION SYMBOL LEGEND

PLAN DETAIL REFERENCE SHEET NUMBER	DOOR NUMBER	WINDOW TYPE
THIS SHEET'S DETAIL IS ON SAME SHEET	WALL TYPE	KEYNOTE
ELEVATION REFERENCE SHEET NUMBER	EQUIPMENT CALLOUT	REVISION NUMBER
SUB-ELEVATION LETTER	ROOM NAME	ROOM LABEL
ELEVATION REFERENCE SHEET NUMBER	ROOM NUMBER	ROOM NUMBER
PLAN DETAIL REFERENCE SHEET NUMBER	COLUMN GRID LINE NUMBER	FINISH CALLOUT
SECTION REFERENCE SHEET NUMBER	CEILING HEIGHT	CEILING FINISH CALLOUT
DETAIL SECTION REFERENCE SHEET NUMBER	ELEVATION LOCATION	LAYOUT STARTPOINT

## CODE ANALYSIS

<b>BUILDING CODES</b>	2018 INTERNATIONAL BUILDING CODE (IBC); ARTICLE WITH AMENDMENTS 2021 INTERNATIONAL MECHANICAL CODE (IMC); ARTICLE WITH AMENDMENTS 2021 UNIFORM PLUMBING CODE (UPC); ARTICLE WITH AMENDMENTS 2020 NATIONAL ELECTRICAL CODE (NEC); ARTICLE WITH AMENDMENTS 2018 INTERNATIONAL FIRE CODE (IFC); AS ADDED BY KNOX FIRE DEPARTMENT
<b>BUILDING SUMMARY</b>	CONSTRUCTION TYPE: SPRINKLEREDSTANDPIPES USE/OCCUPANCY GROUP: U MIXED USE: ALLOWABLE BUILDING LIMITS ALLOWABLE BUILDING HEIGHT: 40'-0" (PER IBC TABLE 504.3) 20'-0" (BUILDING); 29'-0" (TOWER) ALLOWABLE NUMBER OF STORES: 1 (PER IBC TABLE 504.4) ALLOWABLE BUILDING AREA: NO ALLOWABLE INCREASE REQUIREMENT. PROPOSED BUILDING AREA IS UNDER ALLOWABLE AREA FACTOR A <sub>1</sub> = 8,000 S.F.
<b>PROVIDED BUILDING AREA:</b>	EXPRESS CAR WASH 4,307 SQ. FT. TRASH/VACUUM ENCLOSURES 373 SQ. FT. Building area total 4,680 SQ. FT.
<b>EXTERIOR CANOPIES UNCONDITIONED AREAS:</b>	CANOPY AT ENTRY LINES 378 SQ. FT. (3 PAY STATIONS) CANOPY AT VACUUM PARKING 1,229 SQ. FT. (111.7 S.F. x 11 STALLS) Canopy area total 1,607 SQ. FT. TUNNEL EXTERIOR DIMENSIONS: 24'-0" x 12'-4"
<b>LIFE SAFETY SYSTEM REQUIREMENTS:</b>	LIFE SAFETY SYSTEM REQUIREMENTS: • TABLE 602 + 30 FEET TO PROPERTY LINES, THEREFORE, NO FIRE RESISTANCE REQUIREMENTS • PROTECTED OPENINGS TABLE 705.8; NOT LIMITED + 30 FEET

## DEFERRED SUBMITTALS

THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY THE LOCAL JURISDICTION SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL. DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH THE LOCAL JURISDICTION.

A. FIRE ALARM SYSTEM

## SEPARATE PERMITS

- A. ALL EXTERIOR SIGNAGE TO BE SUBMITTED AND PERMITTED SEPARATELY BY OTHERS.
- B. CAR WASH EQUIPMENT TO BE SUBMITTED BY OTHERS.
- C. VACUUM EQUIPMENT TO BE SUBMITTED BY OTHERS.

## PROJECT INFORMATION

CLIENT:	DRIVEN BRANDS 440 S. CHURCH STREET, STE 700 CHARLOTTE, NC 28202
PROJECT:	TAKE 5 CAR WASH
ADDRESS:	7590 BILL BELL WAY POWELL, TN 37849
JURISDICTION:	KNOX COUNTY
ZONING:	SC (SHOPPING CENTER ZONE)
SETBACKS:	FRONT 20' SIDE (W. EMORY ROAD) 20' SIDE (INTERIOR LOT) 5' REAR 20'

## SITE DATA

<b>SITE AREA:</b>	137,291 S.F. / 3.15 ACRE
<b>BLDG. LOT COVERAGE:</b>	3.1 %
<b>LANDSCAPE AREA:</b>	XXXX S.F.
<b>LANDSCAPE COVERAGE:</b>	XX.X %
<b>REQUIRED PARKING:</b>	3 STALLS
<b>STANDARD PARKING PROVIDED:</b>	11
<b>ACCESSIBLE PARKING STALLS:</b>	1
<b>PARKING PROVIDED:</b>	12 STALLS
<b>STANDARD VACUUM PROVIDED:</b>	37
<b>ACCESSIBLE VACUUM STALLS:</b>	1
<b>TOTAL VACUUM STALLS:</b>	38 STALLS
<b>HOURS OF OPERATION</b>	MONDAY - SATURDAY: 7am-7pm SUNDAY: 7am-6pm NUMBER OF EMPLOYEES: (5-7) PER SHIFT

## PLUMBING FIXTURES

OFFICE AREA	68 S.F.	100			
RESTROOMS	ACCESSORY AREA EXCEPT PER IPC TABLE "A" FOOTNOTE				
EQUIPMENT ROOM	789 S.F.	15,000			
WASH TUNNEL	2,505 S.F.	15,000			
TOTAL		3,000			
MINIMUM PLUMBING FACILITIES PER IPC TABLE 422.1 (50% MALE & 50% FEMALE)					
3 OCCUPANTS:	1-50	1-15	1-100	1-50	1-50
1.5 M & 1.5 F	MALE	FEMALE	MALE	FEMALE	FEMALE
REQUIRED	5	5	0*	5	5
PROVIDED	5	5	0*	5	5

\*1. IPC EXCEPTION NO. 3. AS REQUIRED PROVIDING ONE ACCESSIBLE UNisex RESTROOM FOR ALL EMPLOYEES AND CLIENT.

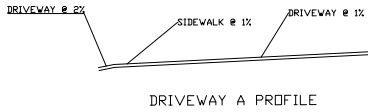
## SCOPE OF WORK

THE PROPOSED PROJECT IS A NEW GROUND UP, ONE STORY 4,307 S.F. EXPRESS CAR WASH BUILDING WITH SITE IMPROVEMENTS. THIS PROJECT WILL CONSIST OF A CAR WASH BUILDING THAT INCLUDES CONCRETE PAVEMENT PARKING FIELD, FREESTANDING VACUUM STALL CANOPIES, AUTOMATED PAY STATIONS WITH CANOPIES, SITE LIGHT FIXTURES & POLES WITH BASES, A 373 S.F. COMBINED CAR TRASH & VACUUM EQUIPMENT ENCLOSURE, AND A HARDSCAPE WALKWAY ALONG BUILDING LEADING TO PUBLIC WAY. UNDERGROUND UTILITIES WILL ALSO BE INCLUDED TO SERVICE THIS SITE.

## PROJECT CONSULTANTS

<b>OWNER</b> LOWES HOME CENTERS INC. 1000 LOWES BLVD. MOORESVILLE, NC 28115 CONTACT: TY BURTON PHONE: 704.758.1000 EMAIL: tyburton@lowes.com	<b>STRUCTURAL</b> TDI ENGINEERING, INC. 3906 OLD FREDERICKSBURG ROAD, #300 AUSTIN, TX 78749 CONTACT: STEPHEN THORNBROOK PHONE: (512) 303-3389 EMAIL: sth@tdieng.com
<b>DEVELOPER/ LANDLORD</b> DRIVEN BRANDS 440 S. CHURCH STREET, STE 700 CHARLOTTE, NC 28202 CONTACT: MATTHEW GILBERT PHONE: 980.299.0701 EMAIL: matthew.gilbert@drivenbrands.com	<b>MECHANICAL/PLUMBING</b> THE LAROSE GROUP, LLC 1948-B SOUTH GLENSTONE #5 SPRINGFIELD, MO CONTACT: JOE LAROSE PHONE: (417) 840-1945 EMAIL: JOELAROSE1489@AHO.COM
<b>ARCHITECT</b> MORRIS & ASSOCIATES 14139 HUFFMEISTER ROAD CYPRESS, TX 77429 CONTACT: TEO NGUYEN, RA PHONE: (832) 653-3243 EMAIL: TNGUYEN@MORRISASSOC.COM	<b>ELECTRICAL</b> THE LAROSE GROUP, LLC 1948-B SOUTH GLENSTONE #5 SPRINGFIELD, MO CONTACT: JOE LAROSE PHONE: (417) 840-1945 EMAIL: JOELAROSE1489@AHO.COM
<b>CIVIL</b> MORRIS & ASSOCIATES 14139 HUFFMEISTER ROAD CYPRESS, TX 77429 CONTACT: TY BURTON PHONE: (832) 334-5004 EMAIL: TTBURTON@MORRISASSOC.COM	





**DRIVEWAY PROFILE**

HORIZONTAL SCALE : 1" = 30'  
VERTICAL SCALE : N.T.S.

PLANT LIST			
KEY NUMBER	PLANT TYPE	QUANTITY	SIZE
A	NDRWAY SPRUCE (PICEA ABIES)	30	
B	SYCAMDRE (PLATANUS OCCIDENTALIS)	16	
C	SDFT TOUCH HOLLY (ILEX CRENATA)	103	

**LEGEND:**

- PROPERTY LINE
- TRAFFIC DIRECTION PAVEMENT MARKINGS
- EASEMENT
- BUILDING SETBACK
- BUILDING
- CONCRETE SIDEWALK
- STANDARD DUTY REINFORCED CONCRETE PAVEMENT
- HEAVY DUTY REINFORCED CONCRETE PAVEMENT
- GRASS (SOD)
- A
- B
- C

**KEY SCHEDULE: ①**

1. AUTOMATED CARWASH BUILDING; REF. ARCH AND STRUCTURAL DWGS
2. VACUUM STALL; REF. ARCH DWGS
3. PAY STALL; REF. ARCH DWGS
4. VACUUM EQUIPMENT; REF. MEP & ARCH DWGS
5. VACUUM EQUIPMENT ENCLOSURE; REF. ARCH DWGS
6. 6" CONCRETE CURB AND GUTTER; REF. DTL 9/C7.0. SEE ALSO NOTE 6
7. BUSINESS SIGN; REF. SIGN VENDOR DWGS
8. 4" WIDE WHITE PAVEMENT STRIPING
9. 4" WIDE WHITE PAVEMENT STRIPING @ 45° ANGLE
10. HANDICAP ACCESSIBLE SPACE; REF. DTL 1/C7.1
11. CONCRETE SIDEWALK; REF. DTL 1/C7.0
12. STANDARD DUTY CONCRETE PAVEMENT;
13. HEAVY DUTY CONCRETE PAVEMENT; REF. DTL 4/C7.0
14. HANDICAP ACCESSIBLE RAMP; REF. DTL 4/C7.1
15. LIMITS OF NEW CONCRETE PAVEMENT; REF. DTL 7/C7.0
16. 6" BOLLARD; REF. DTL 5/C7.1
17. DUMPSTER; REF. ARCH DWGS
18. DUMPSTER ENCLOSURE; REF. ARCH & STRUCTURAL DWGS
19. AREA LIGHT; REF. MEP DWGS
20. GRASS (SOD); REF. SHEET L1.0
21. HANDICAP ACCESSIBLE SIGN ON BOLLARD; REF. DTL 3/C7.1
22. CURB INLET; REF. DTL 1/C7.2
23. STORM MANHOLE; REF. DTL2/C7.2

FILE NUMBER: 9-G-23-DP

**GENERAL INFO:**

1. THE EXISTING SITE LAYOUT AS SHOWN ON THESE DRAWINGS HAS BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY THESE DRAWINGS WITH ACTUAL SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND ANY NEW PAVEMENT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL NECESSARY UTILITIES PRIOR TO INSTALLATION OF NEW PAVEMENT.
4. ALL NEW CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE A MINIMUM 3000 PSI UNLESS OTHERWISE NOTED.
5. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE. EXCESS MATERIAL SHALL BE DISPOSED OF OFF THE OWNER'S PROPERTY AT NO ADDITIONAL COST.

**SITE PLAN**

SCALE: 1" = 30'



DATE	DESCRIPTION
09-10-2023 <td>PERMIT ISSUE</td>	PERMIT ISSUE

**TAKE 5 CARWASH**

7690 BILL BELL WAY,  
POWELL, TN 37849

ENGINEER



14159 HUFFMASTER ROAD  
CYPRESS, TX, 77429  
(832) 354-5000

Morriss & Associates, Engineers, LLC  
A Registered Professional Engineering Firm

STAMPS  
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SHEET TITLE

SITE PLAN

PROJECT NUMBER

4727

DATE: 09-15-2023  
SCALE: AS NOTED  
DRAWN: SA  
CHECKED: JT  
SHEET NO:

C2.0

9-G-23-DP  
8-30-23





EXIT WIDTH AND NUMBER CALCULATIONS (2018 IBC TABLE 1004.1.2)				
ROOM #	ROOM	GROSS AREA # (SF)	OCCUPANT LOAD FACTOR	OCCUPANCY LOAD
101	WASH BAY TUNNEL	2960	N/A	N/A
101	EQUIPMENT ROOM	790	300	3
102	RESTROOM	58	150	1
103	OFFICE	72	100	1
TOTAL AREA		3780		5

#GROSS SQUARE FOOTAGE OF SPACE AS DEFINED BY THE INTERIOR FACES OF THE BUILDING WALLS AND DEMING WALLS. INCLUDES ALL OCCUPABLE AREAS, INCLUDING AREAS OF CIRCULATION.

OVERALL EXIT WIDTH CALCULATIONS						
AREA	AREA OCC. LOAD	EXIT NUMBER	OCC. LOAD PER EXIT	MIN. WIDTH REQUIRED	WIDTH PROVIDED	MAX. LOAD ALLOWED
101 EQUIPMENT ROOM	3	EXIT 1	3	3 X 0.20 = 0.60' CLR.	69' CLEAR	69' / .60 = 115
102 RESTROOM	1	EXIT 2	1	1 X 0.20 = 0.20' CLR.	33' CLEAR	33' / .20 = 165
103 OFFICE	1	EXIT 3	1	1 X 0.20 = 0.20' CLR.	33' CLEAR	33' / .20 = 165

NOTE: EXIT DOOR WIDTH NEVER TO BE LESS THAN 32" AS MEASURED PER IBC 1010.1.1

• EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)

WITHOUT SPRINKLER SYSTEM:

B 200

• MAXIMUM COMMON PATH OF TRAVEL (TABLE 1006.2.1)

WITHOUT SPRINKLER SYSTEM/OCCUPANT LOAD ≤ 30:

B 100

1. DOORS IN THE MEANS OF EGRESS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT AS SET FORTH IN IBC CHAPTER 10, SECTION 1008.1.8.

2. APPROVED EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL AS REQUIRED BY IBC CHAPTER 10, SECTION 1011.1; AND SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AS REQUIRED BY SECTION 1006 IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN SECTIONS 1008.2 AND 1006.4. ADDITIONAL EXIT SIGNS MAY BE REQUIRED AT TIME OF FIELD INSPECTION.

3. ANY TIME A BUILDING OR PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL.

KEYNOTE DESCRIPTION

- TACTILE EXIT SIGN. REFER TO SIGNS AND IDENTIFICATION SECTION ON 9/A012 FOR MORE INFORMATION.
- EMERGENCY EXIT SIGN. REFER TO ELEC. DWGS.

KEYNOTES

- REFER TO COVER SHEET FOR PROJECT CODE INFORMATION AND ANALYSIS
- THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF OBSTRUCTION AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.
- EMERGENCY LIGHTS SHALL PROVIDE AN AVERAGE OF 1 FOOT CANDLES ALONG THE PATH(S) OF EGRESS MEASURED AT THE FLOOR LEVEL.
- IT IS THE INTENT THAT THIS PROJECT IS IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE CONDITIONS OF THE SPACE. ANY WORK IN QUESTION SHALL NOT COMMENCE UNTIL WRITTEN CLARIFICATION IS ISSUED BY THE ARCHITECT.
- REFER TO SHEET E200 FOR ELECTRICAL LIGHTING PLAN.
- REFER TO A201 FOR ENLARGED RESTROOM PLAN AND ELEVATIONS. FOR ADA CLEARANCES.
- CONTRACTOR SHALL FURNISH AND INSTALL ADDRESSING NUMBERS PER THE REQUIREMENTS OF THE GOVERNING FIRE MARSHALL.

EXIT SIGN - ARROW INDICATES DIRECTIONAL SIGN (REFER TO E200 ELECTRICAL LIGHTING PLAN)

EMERGENCY LIGHT (REFER TO E200 ELECTRICAL LIGHTING PLAN)

EMERGENCY LIGHT (REFER TO E200 ELECTRICAL LIGHTING PLAN)

NUMBER OF OCCUPANTS

EXIT WIDTH REQUIRED (0.2 INCHES PER OCCUPANT)

EXIT WIDTH PROVIDED

SQUARE FOOTAGE

OCCUPANT LOAD FACTOR

NUMBER OF OCCUPANTS

PATH OF EGRESS

ACCESSIBLE MANEUVERING CLEARANCE. REFER TO ACCESSIBILITY DETAIL 4/A0.11.

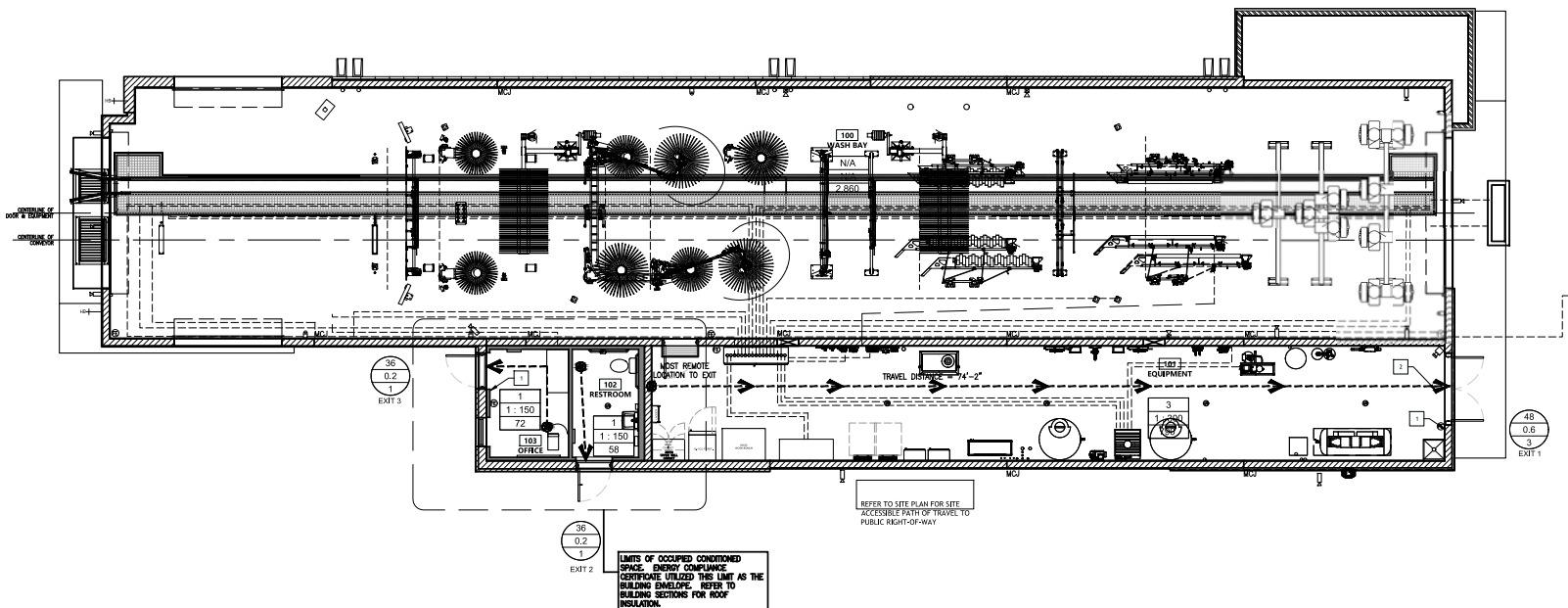
UL LABELED (10 LB MINIMUM) MULTI-PURPOSE DRY CHEMICAL PORTABLE FIRE EXTINGUISHERS (DESIGNATED FOR CLASS A, B, AND C FIRES. (MANUFACTURER: J.I. INDUSTRIES; COSMIC 10E 4A-20BC OR EQUAL). FIRE EXTINGUISHERS SHALL BE LOCATED THROUGHOUT THE SPACE SUCH THAT THE TRAVEL DISTANCE FROM ANY POINT WITHIN THE SPACE DOES NOT EXCEED 75'. MOUNTING LOCATIONS SHALL BE CONSPICUOUS WITH NO OBSTRUCTIONS LIMITING SIGHT LINES. THE TOP OF THE FIRE EXTINGUISHER SHOULD BE MOUNTED NO HIGHER THAN 60" ABOVE THE FINISH FLOOR. OBTAIN THE APPROVAL OF THE FIRE CODE OFFICIAL FOR PROPOSED LOCATIONS PRIOR TO INSTALLATION.

EGRESS PLAN CALCULATIONS

EGRESS PLAN NOTES

GENERAL NOTES

LEGEND



CODE AND EGRESS PLAN

3/16" = 1'-0"

1

**M**  
**Mortle & Associates**  
**Build on Our Strength**

14139 HUFFMEISTER ROAD  
 CRESSKOPF, TN 37729  
 (931) 336-5000

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SEAL

THE GREAT SEAL OF THE STATE OF TENNESSEE  
 JOHN VAN METER GOVERNOR  
 1820

05.10.2023  
 CONSULTANT



TAKE 5 CAR WASH  
 7590 BILL BELL WAY  
 POWELL, TN 37849

REV	DATE	DESCRIPTION
05/10/23		PRINT FILE

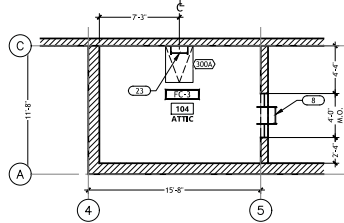
DRAWN BY: TWN --  
 CHECKED BY: TWN --  
 ARCH. PROJECT NO.:  
 MA #4727  
 SHEET NAME:  
 CODE AND EGRESS PLAN  
 SHEET NUMBER:

**A0.20**





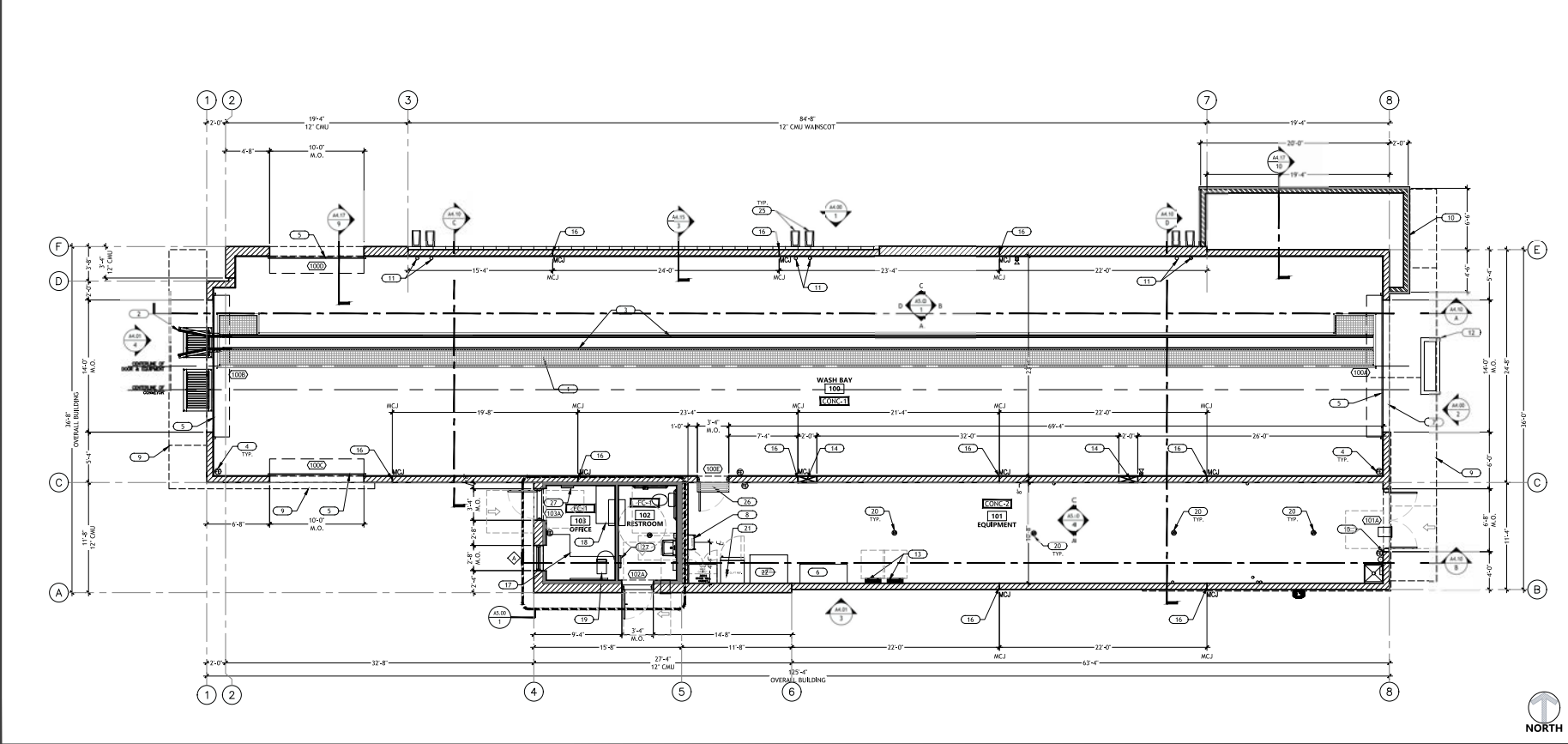
- A. DIMENSIONS ARE MEASURED FROM FACE OF CMU & FACE OF FRAMING.
- B. REFER TO WALL LEGEND FOR PARTITION TYPES.
- C. THE APPROVED AND STAMPED CONSTRUCTION DOCUMENTS SHALL REMAIN ON SITE AT ALL TIMES.
- D. REFER TO SHEET A8.00 FOR DOOR AND WINDOW SCHEDULE.
- E. IT IS THE INTENT THAT THIS PROJECT IS IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS. ANY WORK IN QUESTION SHALL NOT COMMENCE UNTIL WRITTEN CLARIFICATION IS ISSUED BY THE ARCHITECT.
- F. REFER TO A2.20 FOR EQUIPMENT PLAN.
- G. UNLESS NOTED OTHERWISE, MASONRY CONTROL JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEEDS 24'-0". REFER TO STRUCTURAL DWGS.
- H. REFER TO A8.20 FOR INTERIOR FINISH SCHEDULE.
- I. EXPOSED ROOF DRAIN LEADERS/PIPING TO BE PAINTED TO MATCH VINYL WALL COVERING.



- FLOOR PLAN KEYNOTE DESCRIPTION**
1. CONVEYOR TRENCH.
  2. CORRELATOR.
  3. CONVEYOR AND GRATING.
  4. FIRE EXTINGUISHER. REFER TO SHEET A8.10 (PER LOCAL FIRE MARSHALL AND JURISDICTION).
  5. OVERHEAD COILING ROOM.
  6. MAIN DISTRIBUTION PANEL. REFER TO ELECTRICAL DRAWINGS.
  7. ILLUMINATED SIGNAGE. SIGNAGE UNDER SEPARATE PERMIT BY OTHERS.
  8. ATTC ACCESS LADDER. MANUFACTURER: TRINAC OR SIMILAR.
  9. CANOPY ABOVE BY SIGNAGE VENDOR.
  10. TOWER. REFER TO STRUCTURAL DRAWINGS; ELEVATIONS FOR COLOR/FINISH.
  11. ROOF DRAIN LEADER. REFER TO PLUMBING. REFER TO DET. 17.0A.10.
  12. 2 X 6 ANTI-COLLISION INDUCTION LOOP FURNISHED BY OWNER, INSTALLED BY G.C. TO COORDINATE DELIVERY WITH OWNER AS TO NOT CAUSE ANY DELAYS IN THE CONSTRUCTION SCHEDULE.
  13. ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS.
  14. 24" X 8" BLOCK OUT IN CMU WALL. FOR CABLE TRAY PASS THROUGH. 10'-8" ABOVE FINISHED FLOOR TO BOTTOM OF OPENING. SEE 19.0A.10.
  15. ALIGN EPOXY FLOOR COATING COLOR TRANSITION WITH CORNER OF CMU JAMB AND THRESHOLD.
  16. PREFORMED MASONRY CONTROL JOINT (MCJ); REFER TO DETAIL 15/A2.01 & STRUCTURAL DRAWINGS.
  17. 2-# WIRE COUNTERTOP. SEE 18/A9.10.
  18. 2'X4 TT CAGE.
  19. SAFE BY OWNER. SEE 18/A9.10.
  20. 6" FLOOR DRAIN. REFER TO PLUMBING DRAWINGS.
  21. REFRIGERATOR (BY OWNER); REFER TO ELECTRICAL FOR CONVENIENCE OUTLET.
  22. WORKTABLE (BY OWNER); REFER TO ELECTRICAL DRAWINGS FOR CONVENIENCE OUTLET.
  23. ROOF ACCESS LADDER & HATCH. REFER TO DET. 1, 2, 3/A9.11.
  24. NOT USED.
  25. ROOF DRAIN & OVERFLOW SPLASH BLOCK.
  26. TRENCH DRAIN. REFER TO PLUMBING DWGS.
  27. WALL HEATER. REFER TO MECH. DWGS.

SYMBOL	DESCRIPTION
	2X4 METAL STUD WALL @ 16" OC WBATT INSUL. AND WP-1 VINYL PANEL FINISH. FASTEN TOP PLATE TO JOISTS PER STRUCTURAL FASTENING SCHEDULE.
	CMU WALLS TO RECEIVE 2 COATS OF BLOCK FILL PRIMER, EXTERIOR SEALANT, CONT. AT JTS BETWEEN CMU. INSTALL WP-1 OVER 2X6 STUD WALL. C/SUBING PER ENERGY REQUIREMENTS.
	2X6 METAL STUD WALL @ 16" OC
	WALL PARTITION INDICATOR - SEE WALL DETAILS ON SHEET A7.00
	DETAIL INDICATOR
	DOOR SYMBOL
	WINDOW SYMBOL
	ELEVATION SYMBOL
	FINISH SYMBOL - REFER TO INTERIOR FINISH SCHEDULE A8.20
	WINDOW
	FIRE EXTINGUISHER: 2A:100(C):5 LBS; MODEL# B500 WITH WALL BRACKET 800-1609 BY AMEREX OR APPROVED EQUAL. - 7'9" MAX. TRAVEL DISTANCE TO EXTINGUISHER (CFC 906) - FINAL APPROVAL/LOCATION AS DETERMINED BY FIRE DEPT. INSPECTOR

**GENERAL NOTES**      **ATTIC PLAN**      **KEYNOTES**      **SYMBOL LEGEND**



**FLOOR PLAN**      **3/16" = 1'-0"**      **1**

**M**  
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 CROSSVILLE, TN 37029  
 (615) 336-5200

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05.16.2023  
 CONSULTANT:



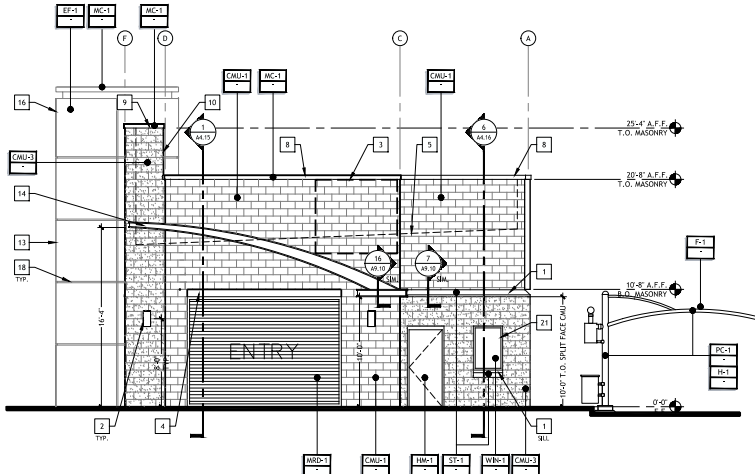
**TAKE 5 CAR WASH**  
 7500 BILL BELL WAY  
 POWELL, TN 37849

REV	DATE	DESCRIPTION
05/16/2023	PRINT BIDD	

DRAWN BY: TWN --  
 CHECKED BY: TWN --  
 ARCH. PRODUCT NO.:  
 MA #4727  
 SHEET NAME:

**FLOOR PLAN**  
 SHEET NUMBER:  
**A2.10**





**EXTERIOR MATERIAL AND FINISH SCHEDULE**

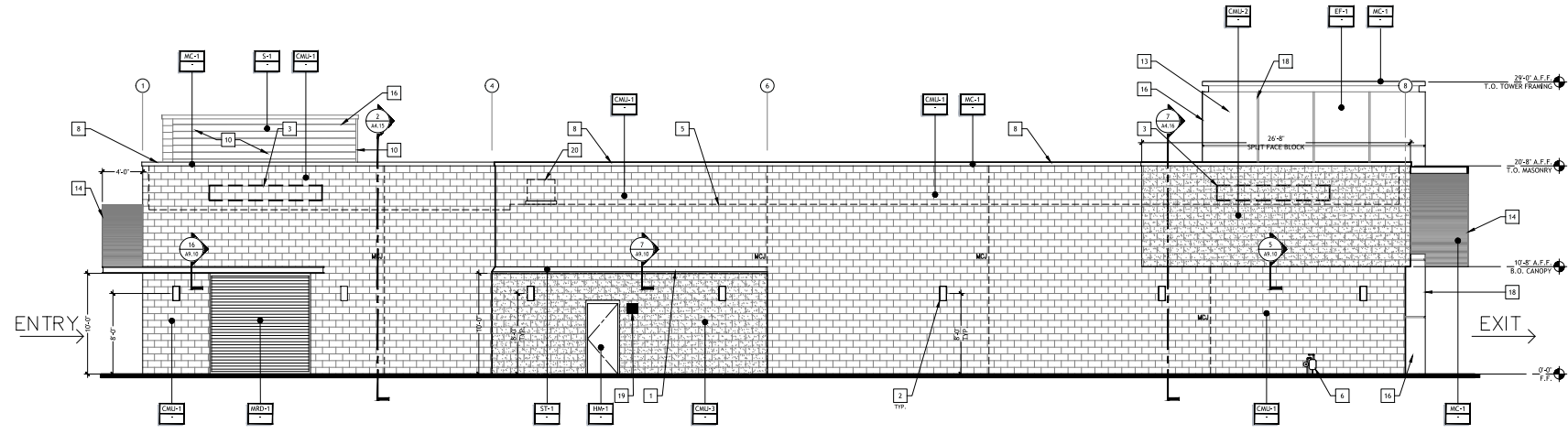
MARK	ITEM	MANUFACTURER	DESCRIPTION	COMMENTS
MC-1	CAST STONE CAP	LOCAL SOURCE	CAST STONE CAP (LOCALLY SOURCED)	REFER TO STRUCTURAL FOR MATERIAL SPECIFICATIONS
MC-2	CONCRETE MASONRY UNIT	OLD CASTLE/ESHELTON	MODEL: 8" SMOOTH; COLOR: PAINT SPECIFICATION #5, #7	FOR JURISDICTIONS THAT DO NOT ALLOW PAINT, ACCENT COLOR: HILLCREST GRAY; DARK: APACHE BROWN
MC-3	CONCRETE MASONRY UNIT	OLD CASTLE/ESHELTON	MODEL: 12" SPLIT FACE; COLOR: PAINT SPECIFICATION #5	FOR JURISDICTIONS THAT DO NOT ALLOW PAINT, ACCENT COLOR: HILLCREST GRAY; DARK: APACHE BROWN
MC-4	CONCRETE MASONRY UNIT	OLD CASTLE/ESHELTON	MODEL: 12" SPLIT FACE; COLOR: PAINT SPECIFICATION #5	FOR JURISDICTIONS THAT DO NOT ALLOW PAINT, ACCENT COLOR: HILLCREST GRAY; DARK: APACHE BROWN
MC-5	METAL COPING	METAL-ERA	MODEL: PERMA-TITE; COLOR: DARK BRONZE	TAPERED
EP-1	EXTERIOR PAINT	SHERWIN WILLIAMS		WALLS: PAINT SPECIFICATION #7
EP-2	EXTERIOR PAINT	SHERWIN WILLIAMS		CANOPYS: PAINT SPECIFICATION #8 DOORS AND FRAMES: PAINT SPECIFICATION #5
EP-3	EPFS			PAINT SPECIFICATION #7
MD-1	HOLLOW METAL DOOR			REFER TO DOOR SCHEDULE, PAINT SPECIFICATION #5
MD-2	METAL ROLL-UP DOOR			REFER TO DOOR SCHEDULE, PAINT SPECIFICATION #5
SI-1	SIDING	JAMES HARDIE	FIBER CEMENT ARTISAN V GROOVE SIDING	8.25" X 12" PRIMED, PAINT TO MATCH DARK CMU
VF-1	SHADE FABRIC - VACUUM JACKETS	POLYFAB	MODEL: CONTEX; COLOR: 86327 RED	
VF-2	POWDER COAT - VACUUM JACKETS	CARDINAL PAINTS VIA VACUTECH	COLOR: SILVER METALLIC 30 GLOSS TSS30606	FACTORY POWDER COATED
VF-3	POWDER COAT - TSS CANOPHS	TSS	COLOR: BLUE	FACTORY POWDER COATED
VF-4	VACUUM HOSE	VACUTECH	COLOR: RED	
WF-1	STOREFRONT WINDOW	KAWNEER	COLOR: FACTORY FINISH- DARK BRONZE	

- A.** CONTRACTOR TO COORDINATE WITH FIRE MARSHALL FOR REQUIREMENTS OF ADDRESS NUMBER.
- B.** BUILDING SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO OBTAIN FINAL SIGNAGE DRAWINGS FOR COORDINATION OF ELECTRICAL ROUGH-IN PRIOR TO THE COMMENCEMENT OF WORK. SEE ELECTRICAL.
- C.** REFER TO LOW VOLTAGE PLAN. COORDINATE FINAL LOCATIONS OF CAMERAS WITH THE OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- G.** UNLESS NOTED OTHERWISE, MASONRY JOINTS SHALL BE LOCATED SUCH THAT NO STRAIGHT RUN OF MASONRY WALL EXCEEDS 24'-0". REFER TO GENERAL STRUCTURAL NOTES ON STRUCTURAL DRAWINGS.
- F.** REFER TO DOOR AND WINDOW SCHEDULE ON A4.00 FOR DOOR AND FRAME FINISHES AND WINDOW GLASS TYPE AND FRAME FINISHES.

- KEYNOTE DESCRIPTION**
- PRECAST CONCRETE WATERTABLE.
  - WALL SIGNAGE; REFER TO ELECTRICAL DWGS.
  - SIGNAGE; BY OTHERS, UNDER SEPARATE PERMIT. GC TO PROVIDE ELECTRICAL J-BOX FOR SIGNAGE; REFER TO ELEC. DWGS.
  - STEEL TUBE FRAME AT OVERHEAD DOORS; REFER TO STRUCTURAL DRAWINGS.
  - TPO MEMBRANE ROOF SYSTEM; REFER TO ROOF PLAN 42.30. ROOF LINE SHOWN DASHED.
  - GAS METER; REFER TO PLUMBING DRAWINGS.
  - BUILDING ADDRESS SHALL BE PLAIN 1" LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. MIN. 6" HIGH NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND; REFER TO JURISDICTION FIRE PREVENTION CODE REQUIREMENTS. ADDRESS NUMBERS SHALL BE 6" BLACK ALUMINUM FLOATING OR FLAT ANODIZED HOUSE NUMBERS 0-9 BY MONTAGUE METAL PRODUCTS, INC.; COLOR: BLACK WITH 1.0 STROKE; OR EQUAL.
  - PERFORMED PRE-FINISHED ALUM. COPING WITH CONT. HOLD-DOWN CLIPS ON BOTH SIDES OF THE PARAPET; FINISH: DARK BRONZE; REFER TO SPECIFICATIONS OF 54.00 FOR MORE INFORMATION.
  - PERFORMED PRE-FINISHED ALUM. GRAVEL STOP WITH BAVED CHANNEL FINISH AND CONT. HOLD-DOWN CLIPS ON FRONT SIDE OF PARAPET.
  - EXPOSED SIBERITE 6" SEAM AT TOWER TO RECEIVE JAMES HARDIE FIBER CEMENT ARTISAN V GROOVE SIDING; 8.25" X 12" PRIMED. PAINT TO MATCH 4 X 8 X 16 SPLIT FACE CMU VENEER W/ DRILLABLE. ADHESIVE: DARK GRAY COLOR. SLAGWART BETWEEN CMU AND SIDING.
  - METER CUT PRECAST CONC. WATERTABLE TO FIT SLOPE.
  - SUBWALL GRAPHIC STRIP; COLOR BY SIGNAGE VENDOR. FURNISHED BY OWNER. INSTALLED BY CONTRACTOR.
  - EPFS FINISH BY MANUFACTURER.
  - CANOPY BY SIGNAGE VENDOR; UNDER SEPARATE PERMIT.
  - ROOF DRAIN 6" OVERFLOW DRAIN TO DAYLIGHT AT CMU WALL MIN 6" ABOVE GRADE FOR ROOF DRAIN 6" 12" ABOVE GRADE FOR OVERFLOW; REFER TO DETAIL 17.68.10.
  - OUTLINE OF BUILDING BEYOND.
  - KNOW BOX TO BE 3000 SERIES; RECESSED AND INSTALLED AT A MIN. HT. OF 5'-0" TO 6'-0" MAX. THE FIRE DEPT. ALERT DECAL IS TO BE MOUNTED ON THE DOOR OR FRAME OF BURGLING MANN ENTRANCE. KEYS TO BE PLACED INTO THE KNOW BOX WILL BE DETERMINED BY JURISDICTION FIRE PREVENTION STAFF. ALL PER JURISDICTION FIRE DEPT. REQUIREMENTS.
  - 1 1/2" ALUM. REVEAL; REFER TO DETAIL 17.68.10.
  - EXHAUST VENT; REFER TO MECH DWGS.
  - OUTLINE OF MECH EQUIP. ON ROOF; REFER TO MECH DWGS.
  - STOREFRONT WINDOWS; REFER TO WINDOW SCHEDULE A8.00.

NOTE: EXTERIOR SIGNAGE IS TO BE SUBMITTED, REVIEWED, AND APPROVED UNDER A SEPARATE PERMIT.

WEST ELEVATION 3/16" = 1'-0" 4 GENERAL NOTES KEYNOTES



NORTH ELEVATION 3/16" = 1'-0" 3

**MORTLE & ASSOCIATES, Inc.**  
Build on Our Strengths

14139 HULFMEISTER ROAD  
CORPUS CHRISTI, TX 77429  
(361) 334-5200

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SEAL

05.16.2023  
CONSULTANT: \_\_\_\_\_

**TAKE 5 CAR WASH**  
7500 BILL BELL WAY  
POWELL, TN 37849

REV	DATE	DESCRIPTION
1	05/16/2023	PRINT BURE

DRAWN BY: TWN --  
CHECKED BY: TWN --  
ARCH. PRODUCT NO.:  
MA #4727  
SHEET NAME:  
EXTERIOR ELEVATIONS  
SHEET NUMBER:  
**A4.01**



**GENERAL NOTES:**

1. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION SCHEDULE WITH THE ARCHITECT PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL CONTACT ALL GOVERNING AGENCIES A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION AND COORDINATE ALL WORK WITH THE SAME.
3. WHETHER SHOWN ON DRAWINGS OR NOT, THE CONTRACTOR SHALL PROVIDE ALL PIPING, APPURTENANCES, AND MISCELLANEOUS FITTINGS REQUIRED TO ACCOMPLISH THE DESIGN AS DRAWN AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL CONTACT ENGINEER IF UNSURE OF FITTING SIZES OR LENGTHS.
4. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE COMMENCING ANY WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPORT ANY DISCREPANCIES TO THE ENGINEER IN A TIMELY MANNER.
5. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY THE CONTRACTOR. CHECKS IN HORIZONTAL AND VERTICAL ALIGNMENT ARE TO BE APPROVED BY THE ENGINEER.
6. THE DRAWINGS SHOW AS MUCH INFORMATION AS CAN BE REASONABLY OBTAINED FROM AN ON THE GROUND OBSERVATION, SURVEY AND EXISTING CONSTRUCTION DRAWINGS REGARDING THE TOPOGRAPHIC FEATURES, ELEVATIONS AS WELL AS THE LOCATION AND NATURE OF PIPELINES, NATURAL GAS LINES, UNDERGROUND CABLES, UTILITIES, ETC. HOWEVER, THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION TO PRECLUDE DAMAGE TO DOING UTILITIES. IN THE EVENT THAT UNDERGROUND UTILITIES NOT SHOWN ON THE DRAWINGS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA A MINIMUM OF 48 HOURS PRIOR TO COMMENCING WORK IN ANY RIGHT-OF-WAY OR EXISTING EASEMENT.
8. SOME OF THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN FIELD VERIFIED.
9. CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT ALL "POINTS OF CROSSING" TO DETERMINE IF CONFLICT EXISTS BEFORE COMMENCING ANY CONSTRUCTION. NOTIFY THE ENGINEER AT ONCE IF CONFLICT EXISTS.
10. IN THE EVENT OF DAMAGE TO UNDERGROUND UTILITIES OR FACILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, THE CONTRACTOR SHALL MAKE THE NECESSARY REPAIRS TO REPLACE THE UTILITY OR FACILITY BALANCE IN SERVICE AT NO ADDITIONAL COST TO THE CONTRACTOR. ALL SUCH REPAIRS SHALL CONFORM TO THE REQUIREMENTS OF THE COMPANY OR AGENCY SERVING THE UTILITY.
11. ALL EXISTING POWER POLES, LIGHT STANDARDS, SIGNS, ETC. WHICH AFFECT THE PROPOSED CONSTRUCTION, SHALL BE REMOVED AND/OR RELOCATED AS REQUIRED WHETHER SHOWN ON DRAWINGS OR NOT AT NO ADDITIONAL COST TO THE OWNER.
12. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL ADHERE TO THE STANDARDS OF THE GOVERNING AUTHORITY.
13. INGRESS AND EGRESS SHALL BE PROVIDED AT ALL TIMES FOR THE PROPERTY OWNERS AND BUSINESSES OF THE ADJACENT PROPERTY AND THE CROSS STREETS WHICH ARE AFFECTED BY THIS CONSTRUCTION.
14. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MAINTAINING A SAFE PROJECT SITE 24 HOURS A DAY.
15. DURING THE ENTIRE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION WARNING SIGNS AT EACH END OF THE PROJECT TO WARN MOTORING AND PEDESTRIAN TRAFFIC THAT CONSTRUCTION IS IN PROGRESS AND OF POSSIBLE HAZARDOUS CONDITIONS GENERATED BY THE CONSTRUCTION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELINEATING THE PERIMETER OF CONSTRUCTION AREA WITH SAFETY FENCING AT NO ADDITIONAL COST. SAFETY FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION AND REMOVED UPON COMPLETION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING TRAFFIC IN THE IMMEDIATE VICINITY OF CONSTRUCTION. ALL WORK SHALL BE IN SUCH A MANNER AND SEQUENCE AS TO PROVIDE MAXIMUM PROTECTION TO TRAFFIC AND PEDESTRIANS. CONTROLS SHALL BE CONSISTENT WITH THE TYPE OF WORK BEING PERFORMED.
18. CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH THE GOVERNING "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MOST RECENT EDITION WITH ALL APPLICABLE SUPPLEMENTS AND REVISIONS) DURING CONSTRUCTION.
19. DELINEATORS SHALL BE INSTALLED ALONG THE PAVEMENT EDGE TO WARN TRAFFIC OF ANY ROADSIDE OBSTACLES OR HAZARDS AND TO DELINEATE THE ROADWAY EDGE DURING HOURS OF DARKNESS.
20. THE WORK AREA SHALL BE BARRICADED AND ILLUMINATED DURING DARKNESS AND PERIODS OF INACTIVITY, WHEN IN AREA OF DIRECT PUBLIC ACCESS.
21. UNOCCUPIED TRENCHES SHALL BE SECURED WITH SAFETY FENCING OR OTHER APPROPRIATE MEANS AT ALL TIMES. TRENCHES WHICH ARE NOT IMMEDIATELY BACKFILLED SHALL BE SECURELY COVERED OVERNIGHT AND BE SURROUNDED BY SAFETY FENCING.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED SECURITY TO PROTECT HIS OWN PROPERTY, PERSONNEL AND CONSTRUCTION PROCESS.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ADEQUATE DRAINAGE BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE GOVERNING AUTHORITY.
24. THE CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION OF ANY TEMPORARY DITCH OR DRAINAGE FACILITIES REQUIRED TO MAINTAIN ADEQUATE SITE DRAINAGE DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER.
25. THE CONTRACTOR IS TO INSTALL GROUND WATER CONTROL FACILITIES OR WELLPOINTS IF NEEDED, AT NO ADDITIONAL COST TO OWNER.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS REQUIRED BY ALL GOVERNING AGENCIES.
27. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPP PLAN) FOR THIS PROJECT.
28. THE CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND STATE LAW CONCERNING EXCAVATION, TRENCHING AND SHORING.
29. THE CONTRACTOR SHALL DESIGN AND PROVIDE A TRENCH SAFETY SYSTEM TO MEET APPROPRIATE REQUIREMENTS ESTABLISHED IN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY & HEALTH REGULATIONS, 29 CFR 1926, SUBPART P - EXCAVATIONS, TRENCHING AND SHORING, AND OSHA'S PROPOSED STANDARDS ON TRENCHING, EXCAVATION PUBLISHED IN VOLUME 52, NO. 72 OF THE FEDERAL REGISTER, APRIL 15, 1987, PAGES 12288-12338. SHOULD THE REFERENCED OSHA STANDARDS BE MODIFIED OR AMENDED, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
30. CONTRACTOR SHALL PROVIDE SHEETING, SHORING AND BRACING AS NECESSARY TO PROTECT WORKMEN AND EXISTING UTILITIES DURING ALL PHASES OF CONSTRUCTION.
31. IN ORDER TO COMPLY WITH HANDICAP REGULATIONS, THE CONTRACTOR SHALL ENSURE THAT THE SLOPE OF THE SIDEWALK AND / OR PAVING IN THE FIRST FIVE FEET OUTSIDE ANY DOOR DOES NOT EXCEED 2% IN ANY DIRECTION.
32. NO CONSTRUCTION WHICH BLOCKS TRAFFIC ON ANY STREET, ALLEY, OR DRIVEWAY WILL BE ALLOWED DURING THE HOURS OF 6:30 A.M. - 8:30 A.M. AND 2:30-6:00 P.M.
33. THE CONTRACTOR MUST CLEAN MUD, DIRT OR DEBRIS TRACKED ONTO EXISTING STREETS BY HIMSELF OR SUBCONTRACTOR'S VEHICLES AND EQUIPMENT IN A TIMELY MANNER.
34. CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY UPON COMPLETION OF JOB SHALL BE AS GOOD OR BETTER THAN PRIOR TO STARTING WORK.
35. ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE NOT TO BE REPAVED OR OTHERWISE COVERED BY LANDSCAPING SHALL BE HYDROLOGICALLY.
36. CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL. TOPSOIL SHALL BE SPREAD OVER ALL AREAS RECEIVING SOIL AND/OR HYDROMULCH. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A STAND OF GRASS WITH NO AREAS OF EROSION BEFORE FINAL ACCEPTANCE.
37. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL WASTE MATERIAL GENERATED DURING CONSTRUCTION. WASTE MATERIAL MUST BE REMOVED FROM THE WORK SITE AND DISPOSED OF IN SUCH A MANNER COMPLIANT WITH ALL LAWS AND REGULATIONS AND AS TO NOT DAMAGE THE OWNER OR OTHER PERSONS AT NO ADDITIONAL COST.
38. ALL FILL PLACED ON SITE SHALL BE ENGINEERED FILL PER THE RECOMMENDATION OF THE SOILS REPORT.
39. FINISH GRADE ELEVATIONS INDICATE FINAL GRADE OF PROPOSED MATERIAL (LE SOIL, DIRT, MULCH, ETC.). LANDSCAPED AREAS ADJACENT TO BUILDINGS, INCLUDING DIRT, MULCH, AND/OR BEDDING MATERIALS SHALL NOT COVER WEEPHOLES. AREAS ADJACENT TO BUILDING, LANDSCAPED, OR OTHERWISE SHALL SHEET FLOW AWAY FROM BUILDING WITH NO AREAS OF STANDING WATER ADJACENT TO BUILDING.
40. GRADING AROUND BUILDINGS INCLUDING WALKWAYS SHALL BE COORDINATED WITH ARCHITECT AND FINAL APPROVAL OF GRADES IN GRASS AREAS AND SWALES SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION OF LANDSCAPING MATERIALS.
41. AFTER INSTALLATION OF DRAINAGE SYSTEM, CONTRACTOR SHALL PERFORM FINAL GRADING AS SHOWN ON THE PLANS AND/OR AS DIRECTED BY ENGINEER OR OWNER TO INSURE POSITIVE DRAINAGE OF ENTIRE SITE. FINAL GRADING SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION OF GRASS.

**SANITARY SEWER CONSTRUCTION NOTES:**

1. SANITARY SEWER SHALL BE PVC (POLY-VINYL CHLORIDE) PIPE MEETING A.S.T.M. SPECIFICATIONS, D-3034-OR HAVING A S.D.R. OF 26 UNLESS OTHERWISE SHOWN ON PLANS. BEDDING BACKFILLING AND INSTALLATION OF PIPE AND CONSTRUCTION OF APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CIVIL DETAIL SHEETS.
2. THE CONTRACTOR SHALL USE PRECAST SANITARY SEWER MANHOLES.
3. ALL MANHOLES, AND CLEANOUTS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND, CEMENT STABILIZED SAND FILL SHALL BE AT LEAST 12" ON BOTTOM OF STRUCTURE AND 12" AROUND OUTSIDE OF STRUCTURE.
4. CONTRACTOR SHALL CUT OFF PIPE FLUSH WITH INSIDE FACE OF MANHOLES.
5. CONTRACTOR SHALL SEAL INTERIOR SURFACE OF PROPOSED SANITARY SEWER MANHOLES WITH RAVEN LINER 405, OR APPROVED EQUAL AS PER MANUFACTURER'S SPECIFICATIONS.
6. ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED.
7. ALL SANITARY SEWER LINES SHALL BE MANDREL AND AIR TESTED. ALL SANITARY SEWER LINES SHALL ALSO BE INSPECTED VIA CAMERA.
8. TE-INS TO EXISTING MANHOLES SHALL BE MADE SUCH THAT THE FINAL CONDITIONS UPON COMPLETION OF THE JOB SHALL BE AS GOOD OR BETTER THAN PRIOR TO STARTING WORK.
9. THE CONTRACTOR IS TO INSTALL WATER-TIGHT ADAPTORS OF A TYPE COMPATIBLE WITH THE MATERIALS BEING JOINED AT THE POINT OF CONNECTION OF THE SERVICE LINE TO THE BUILDING PLUMBING, NO CEMENT GROUT MATERIALS ARE PERMITTED.
10. THE CONTRACTOR IS TO INSTALL EACH CLEANOUT SO THAT IT OPENS IN A DIRECTION OPPOSITE TO THE FLOW OF THE WASTE AND, EXCEPT IN THE CASE OF A "WYE" BRANCH AND END-OF-THE-LINE CLEANOUTS, CLEANOUTS WILL BE INSTALLED VERTICALLY ABOVE THE FLOW LINE OF THE PIPE. CLEANOUTS WILL BE MADE WITH AIR-TIGHT MECHANICAL PLUG.
11. THE DOWNSTREAM END OF THE PROPOSED SEWER REMAIN PLUGGED UNTIL ALL DEBRIS IS CLEANED OUT OF THE PROPOSED SEWER AND ALL LINE TESTING IS COMPLETED PRIOR TO REMOVING THE PLUG AND CONNECTING TO THE DOWNSTREAM PIPE.

**WATER LINE CONSTRUCTION NOTES:**

1. DOMESTIC OR FIRE WATER LINES 4" AND LARGER SHALL BE POLYVINYL CHLORIDE PVC, DR-18, CLASS 150, CONFORMING TO AWWA C900 OR G905, AS CURRENTLY AMENDED UNLESS OTHERWISE NOTED ON THE PLANS.
2. WATER LINES 3" AND SMALLER SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED ON THE PLANS.
3. ALL VALVES SHALL BE LEFT HAND (COUNTERCLOCKWISE) OPEN.
4. CONTRACTOR SHALL INSTALL METALLIC TRACKER WIRE ON ALL UNDERGROUND PVC PIPING AND SECURE WIRE ENDS AT ALL VALVE BOXES.
5. CONTRACTOR SHALL ADJUST ELEVATION OF WATER LINES AS REQUIRED TO CLEAR OTHER UTILITIES. ADJUSTMENT MUST MEET TOED REQUIREMENT FOR MINIMUM CLEARANCES, TYPE OF PIPE, ETC.
6. MINIMUM VERTICAL CLEARANCE BETWEEN WATER LINES AND OVER UTILITIES SHALL BE TWELVE INCHES, UNLESS OTHERWISE NOTED ON THE PLANS.
7. EXISTING WATER SERVICES SHALL NOT BE INTERRUPTED DURING CONSTRUCTION.
8. NO CONNECTIONS SHALL BE MADE TO EXISTING WATER LINES UNTIL ALL PROPOSED WATER LINES HAVE BEEN THOROUGHLY CLEANED, TESTED, DISINFECTED AND APPROVED. ALL TESTING PROCEDURES SHALL CONFORM TO THE GOVERNING AGENCY.

**STORM SEWER CONSTRUCTION NOTES:**

1. ALL INLETS, MANHOLES, CLEANOUTS, AND HEADWALLS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND. CEMENT STABILIZED SAND FILL SHALL BE AT LEAST 12" ON BOTTOM OF STRUCTURE AND 12" AROUND OUTSIDE OF STRUCTURE.
2. NO CORNER CONNECTIONS WILL BE ALLOWED TO ANY INLETS, JUNCTION BOXES, OR BOX MANHOLES.
3. CONTRACTOR SHALL CUT OFF PIPE FLUSH WITH INSIDE FACE OF INLETS AND MANHOLES.
4. CONCRETE FOR DRAINAGE STRUCTURES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS.
5. CULVERT CROSSINGS LOCATED WITHIN 30 FEET OF THE RIGHT-OF-WAY SHALL HAVE MINIMUM 6:1 SLOPING ENDS KNOWN AS SAFETY END TREATMENTS (SETS). THE CULVERT SHALL HAVE SUFFICIENT LENGTH TO ALLOW THE 6:1 SLOPE TO BE ACHIEVED FROM THE EDGE OF PAVEMENT TO THE FLOWLINE AT THE END OF THE SET.
6. CULVERTS LARGER THAN SINGLE 30-INCH DIAMETER (OR LARGER THAN MULTIPLE 24-INCH DIAMETER CULVERTS) SHALL REQUIRE SAFETY PIPE RUNNERS.
7. CONTRACTOR SHALL FLUSH AND CLEAN ALL STORM SEWER LINES AND STRUCTURES PRIOR TO ACCEPTANCE. ALL STORM LINES SHALL ALSO BE INSPECTED VIA CAMERA.
8. TE-INS TO EXISTING MANHOLES SHALL BE MADE SUCH THAT THE FINAL CONDITIONS UPON COMPLETION OF THE JOB SHALL BE AS GOOD OR BETTER THAN PRIOR TO STARTING WORK.
9. THE CONTRACTOR IS TO INSTALL EACH CLEANOUT SO THAT IT OPENS IN A DIRECTION OPPOSITE TO THE FLOW OF THE WASTE AND, EXCEPT IN THE CASE OF A "WYE" BRANCH AND END-OF-THE-LINE CLEANOUTS, CLEANOUTS WILL BE INSTALLED VERTICALLY ABOVE THE FLOW LINE OF THE PIPE. CLEANOUTS WILL BE MADE WITH AIR-TIGHT MECHANICAL PLUG.



DATE	DESCRIPTION
08/15/2023	PERMIT ISSUE

**TAKE 5 CARWASH**  
 7690 BILL BELL WAY,  
 POWELL, TN 37849

ENGINEER

**morris & associates**  
 Build on Our Strength

14138 WUFFLESTON ROAD  
 CYPRESS, TX 77429  
 (832) 334-5000

6929  
 Morris Associates, Engineers, LLC  
 All Rights Reserved

STAMPS

THIS DRAWING FOR PERMITTING AND BID PURPOSES ONLY. NOT FOR CONSTRUCTION

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

SHEET TITLE

**CIVIL SPECS**

PROJECT NUMBER

**4727**

DATE . . . . . 08.15.2023

SCALE . . . . . AS NOTED

DRAWN . . . . . SJ

CHECKED . . . . . JT

SHEET NO

**C9.0**

I:\bentley\stream\project\shes\shes.mxd(14727) - CIVIL\_SPECS.dwg(14727) - 08/15/2023 11:14 AM



# Development Request

### DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

### SUBDIVISION

- Concept Plan
- Final Plat

### ZONING

- Plan Amendment
  - Sector Plan
  - One Year Plan
- Rezoning

**Jhonatan Aguirre**

Applicant Name

Affiliation

**8/2/2023**

Date Filed

**9/14/2023**

Meeting Date (if applicable)

**9-G-23-DP**

File Number(s)

## CORRESPONDENCE

*All correspondence related to this application should be directed to the approved contact listed below.*

**Jhonatan Aguirre Morris And Associates LLC**

Name / Company

**14139 Huffmeister Cypress TX 77429**

Address

**832-334-5006 / jaguirre@morrisassoc.com**

Phone / Email

## CURRENT PROPERTY INFO

**LKM Properties L P**

Owner Name (if different)

**PO Box 650 Powell TN 37849**

Owner Address

**980-376-1933**

Owner Phone / Email

**7590 BILL BELL WAY**

Property Address

**67 009.04**

Parcel ID

**3.14 acres**

Tract Size

Part of Parcel (Y/N)?

**Hallsdale-Powell Utility District**

Sewer Provider

**Hallsdale-Powell Utility District**

Water Provider

Septic (Y/N)

## STAFF USE ONLY

General Location

City

**Commission District 6**

**SC (Shopping Center), CA (General Business)**

**Agriculture/Forestry/Vacant Land**

County District

Zoning District

Existing Land Use

**Northwest County**

Planning Sector

**LDR (Low Density Residential), SP (Stream Protection)**

Sector Plan Land Use Classification

**Planned Growth Area**

Growth Policy Plan Designation

## DEVELOPMENT REQUEST

<input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) <b>Car Wash</b>	

## SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

## ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre)    Previous Zoning Requests		
Additional Information		

## STAFF USE ONLY

### PLAT TYPE

- Staff Review     Planning Commission

### ATTACHMENTS

- Property Owners / Option Holders     Variance Request

### ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)  
 Design Plan Certification (Final Plat)  
 Site Plan (Development Request)  
 Traffic Impact Study  
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
<b>\$1,600.00</b>	
Fee 2	
Fee 3	

## AUTHORIZATION

- I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	<b>Jhonatan Aguirre</b> Please Print	<b>8/2/2023</b> Date
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Property Owner Signature	<b>LKM Properties L P</b> Please Print	<b>8/2/2023</b> Date
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# Development Request

## DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

## SUBDIVISION

- Concept Plan
- Final Plat

## ZONING

- Plan Amendment
  - SP
  - OYP
- Rezoning

Jhonatan Aguirre

Architect

Applicant Name

Affiliation

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Jhonatan Aguirre

Morris and Associates LLC

Name

Company

14139 Huffmeister

Cypress

TX

77429

Address

City

State

ZIP

832-334-5006

jaguirre@morrisassoc.com

Phone

Email

## CURRENT PROPERTY INFO

LKM PROPERTIES L P

PO BOX 650, POWELL, TN 37849

980-376-1933

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

7590 Bill Bell Way, Powell, TN 37849

067 00904

Property Address

Parcel ID

Hallsdale-Powell utility district

Hallsdale-Powell utility district

N

Sewer Provider

Water Provider

Septic (Y/N)

## STAFF USE ONLY

General Location

Tract Size

City  County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation



## DEVELOPMENT REQUEST

- Development Plan    Use on Review / Special Use    Hillside Protection COA  
 Residential    Non-Residential

Related City Permit Number(s)

**C-N576E2**

Home Occupation (specify) \_\_\_\_\_

**Car Wash**

Other (specify) \_\_\_\_\_

## SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name \_\_\_\_\_

Unit / Phase Number    Combine Parcels    Divide Parcel   Total Number of Lots Created \_\_\_\_\_

Other (specify) \_\_\_\_\_

Attachments / Additional Requirements \_\_\_\_\_

## ZONING REQUEST

Pending Plat File Number

Zoning Change   Proposed Zoning \_\_\_\_\_

Plan Amendment Change   Proposed Plan Designation(s) \_\_\_\_\_

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

Other (specify)   **Property divided between SC and CA zones, car wash will be build on the side of CA**

## STAFF USE ONLY

### PLAT TYPE

- Staff Review    Planning Commission

### ATTACHMENTS

- Property Owners / Option Holders    Variance Request

### ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)  
 Use on Review / Special Use (*Concept Plan*)  
 Traffic Impact Study  
 COA Checklist (*Hillside Protection*)

Fee 1	Total
Fee 2	
Fee 3	

## AUTHORIZATION

**I declare under penalty of perjury the foregoing is true and correct:**

**1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent**

  
Applicant Signature

**Jhonatan Aguirre**

Please Print

**06/16/2023**

Date

**832-334-5006**

**jaguirre@morrisassoc.com**

Phone Number

Email



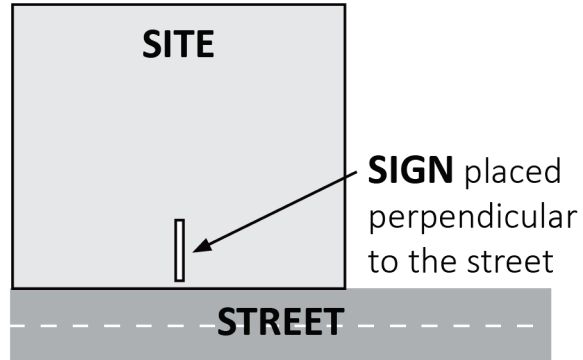
**William B. Weigel**

Property Owner Signature

Please Print

Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

*The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:*

\_\_\_\_\_ and \_\_\_\_\_  
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Jhonatan Aguirre

Date: 8/03/2023

File Number: 9-G-23-DP

- Sign posted by Staff
- Sign posted by Applicant