



SPECIAL USE REPORT

▶ **FILE #:** 2-F-24-SU

AGENDA ITEM #: 20

AGENDA DATE: 2/8/2024

▶ **APPLICANT:** KNOXVILLE FIRST CHURCH OF GOD

OWNER(S): Guy Webb Knoxville First Church of God

TAX ID NUMBER: 121 P B 022

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 6708 WESTLAND DR

▶ **LOCATION:** Southeast side of Westland Dr, east of Nubbin Ridge Dr

▶ **APPX. SIZE OF TRACT:** 4.45 acres

SECTOR PLAN: West City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Westland Drive, a minor arterial street with a 20-ft pavement width within a 50-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Fourth Creek

▶ **ZONING:** RN-1 (Single-Family Residential Neighborhood)

▶ **EXISTING LAND USE:** Public/Quasi Public Land

▶ **PROPOSED USE:** Construction of an open pavilion for a church

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Single-family residential, agriculture/forestry/vacant land - RN-1 (Single-Family Residential Neighborhood)

South: Single-family residential, rural residential - RN-1 (Single-Family Residential Neighborhood)

East: Single-family residential, rural residential - RN-1 (Single-Family Residential Neighborhood)

West: Single-family residential - RN-1 (Single-Family Residential Neighborhood)

NEIGHBORHOOD CONTEXT: This is a wooded residential area, predominantly composed of single-family homes. There is another church campus nearby to the west and a townhouse community nearby to the east.

STAFF RECOMMENDATION:

▶ **Approve the request for an open pavilion at a place of worship in the RN-1 (Single-Family Residential) district, subject to 3 conditions.**

1) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

2) Meeting all applicable requirements of the City of Knoxville Engineering Department.

3) Meeting all applicable requirements of the City of Knoxville Department of Plans Review and Inspections Department.

COMMENTS:

This request is for the construction of a 30 ft x 60 ft open pavilion on the Knoxville First Church of God campus in the RN-1 (Single-Family Residential Neighborhood) zoning district. The pavilion will be located behind the church and next to the parking lot and playground. The existing sidewalk along the parking lot will be extended along the border of the parking lot to serve the pavilion.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The subject property's land use classification in the One Year Plan and the West City Sector Plan is LDR (Low Density Residential). This classification is consistent with the RN-1 zoning district, which permits the expansion of a place of worship through special use review and approval.

B. The General Plan's development policy 6.2 describes complementing natural land forms when grading, and minimizing grading on steep slopes and within floodways. The proposed location of the open pavilion avoids the steep-sloped portions of the property on the southeast side, and is a substantial distance from the blue-line stream at the southeast corner of the lot.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The location, size and scale of the proposed open pavilion meet the dimensional standards of the RN-1 district, including maximum building height and setback requirements.

B. There are accessory structures and use standards for a freestanding roofed structure, pergola or gazebo delineated in Article 10.3.O of the zoning code. The proposed pavilion's location in the rear yard with a setback that exceeds 5 ft from the side or rear lot line, and its compliance with the RN-1 district's corner side setback requirement, conform with these accessory use standards.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. As stated, the proposed pavilion will be located behind the church building and not easily visible from the street. Its size and scale is compatible with surrounding residential development. It is noteworthy that this property has functioned as a church campus since at least 1974, making its presence an established part of the character of the neighborhood.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. The proposed use is not anticipated to have a noxious or otherwise negative impact on adjacent property. The closest neighboring properties to the pavilion are single-family residential lots that were recently constructed to the east. They share rear lot lines with the subject property's side lot line. The side setback of the pavilion is over 33 ft, which is much greater than the 5 ft side setback required for this accessory use. During construction of the residential subdivision to the east, a wooden privacy fence was installed along this shared lot line, which will provide a buffer between residents and activity in the pavilion.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The open pavilion is intended to serve the existing church, and it is not expected to bring significant additional traffic through this residential area. The property accesses Westland Drive, which is a classified minor arterial street.

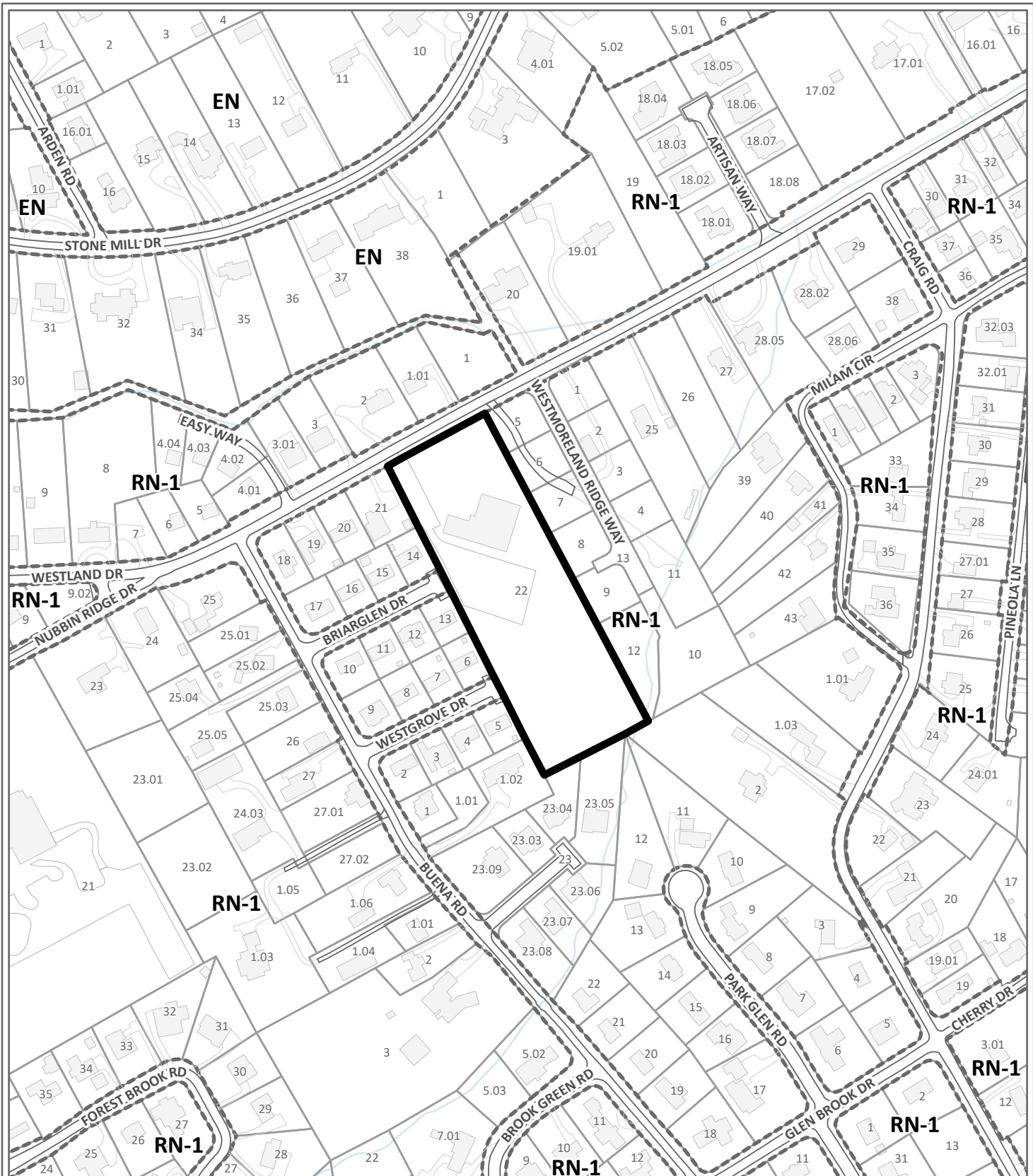
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POST A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE LOCATION FOR THE PROPOSED USE.

A. There are no apparent hazards in the surrounding environment that would pose a risk to the open pavilion in its proposed location.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

2-F-24-SU

Petitioner: Knoxville First Church of God



Construction of an open pavilion. in RN-1 (Single-Family Residential Neighborhood)

Map No: 121
Jurisdiction: City

Original Print Date: 1/8/2024
Knoxville - Knoxville County Planning Commission * City / County Building * Knoxville, TN 37902

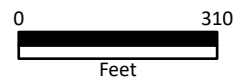
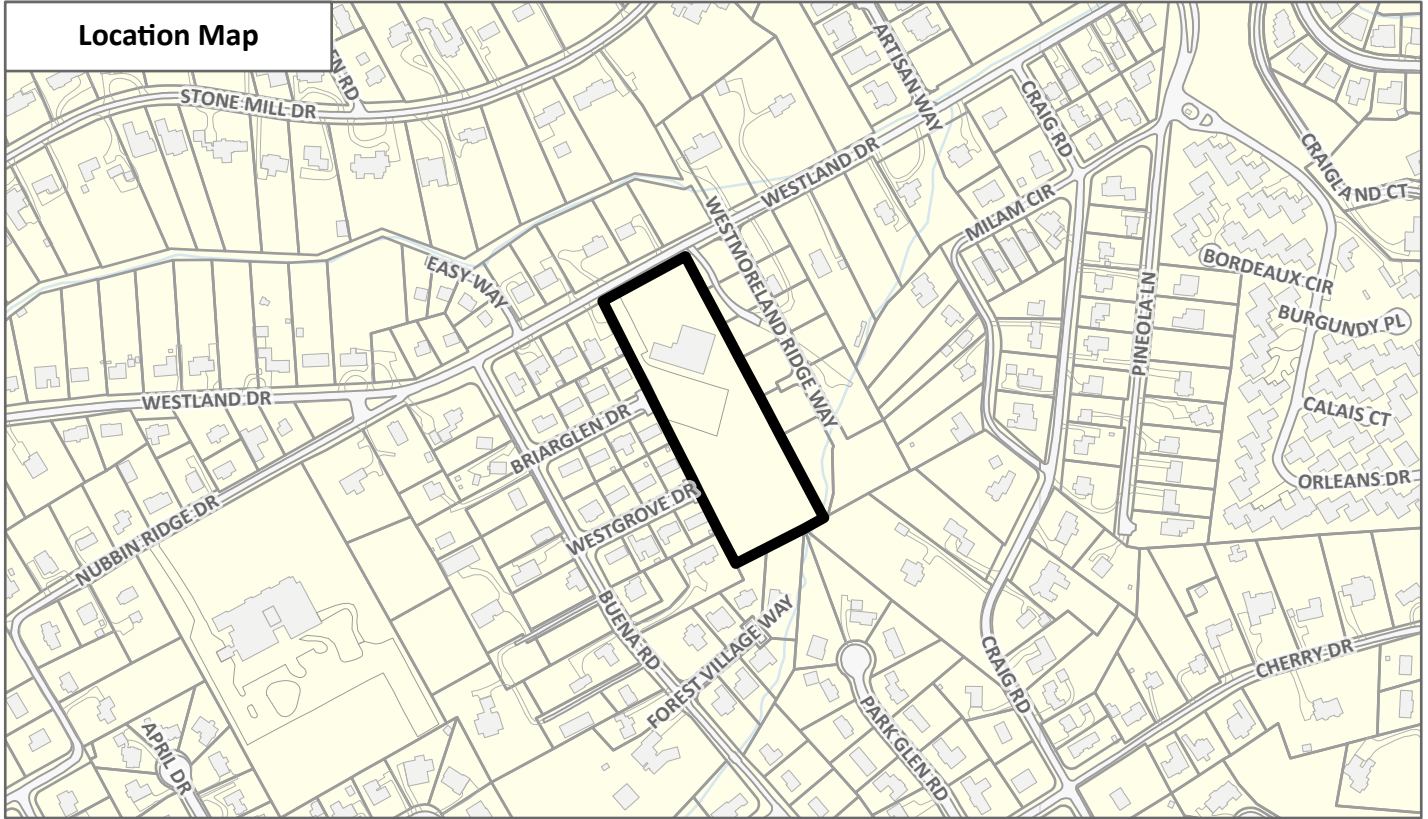
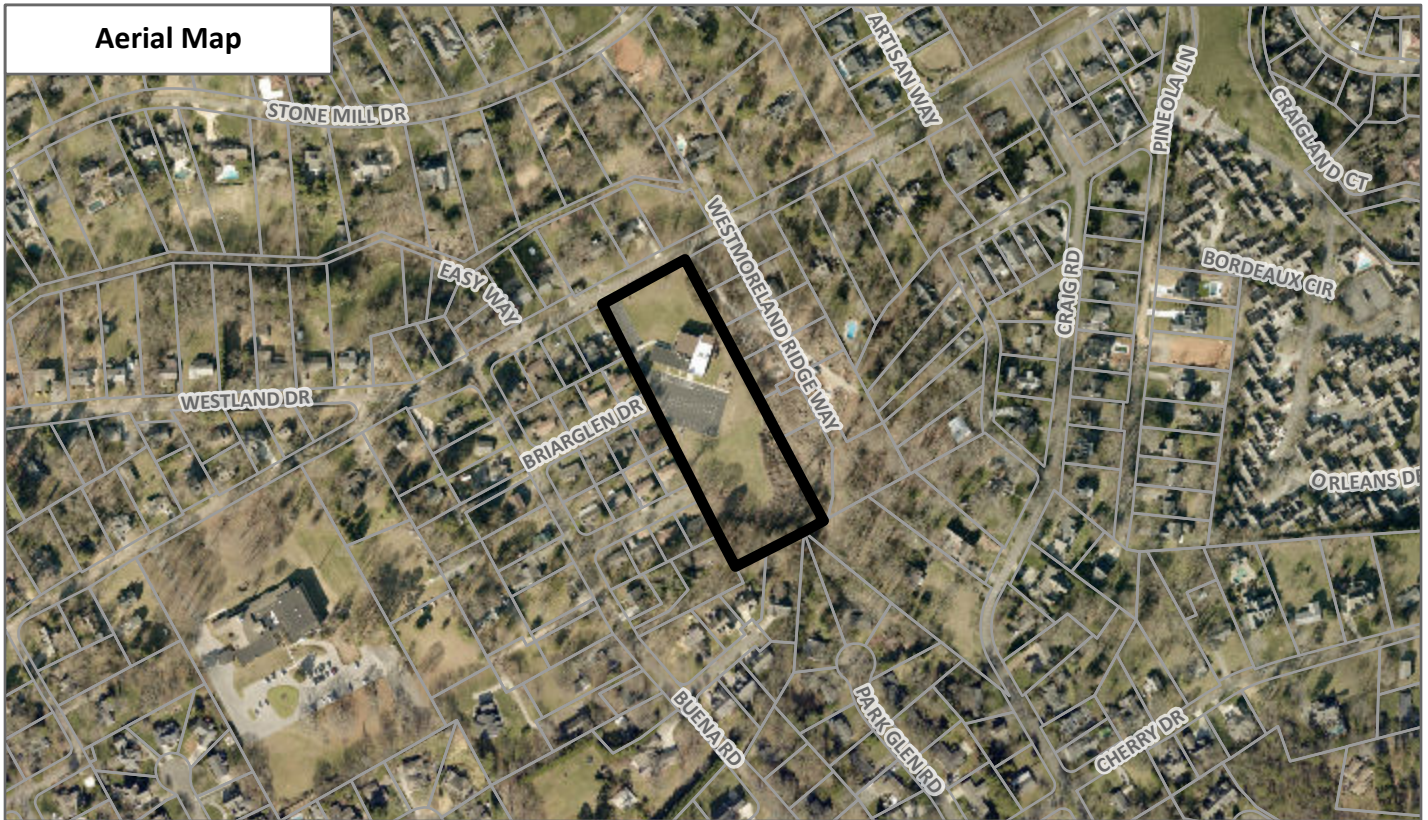


Exhibit A. Contextual Images

Location Map



Aerial Map

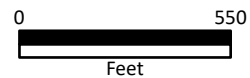


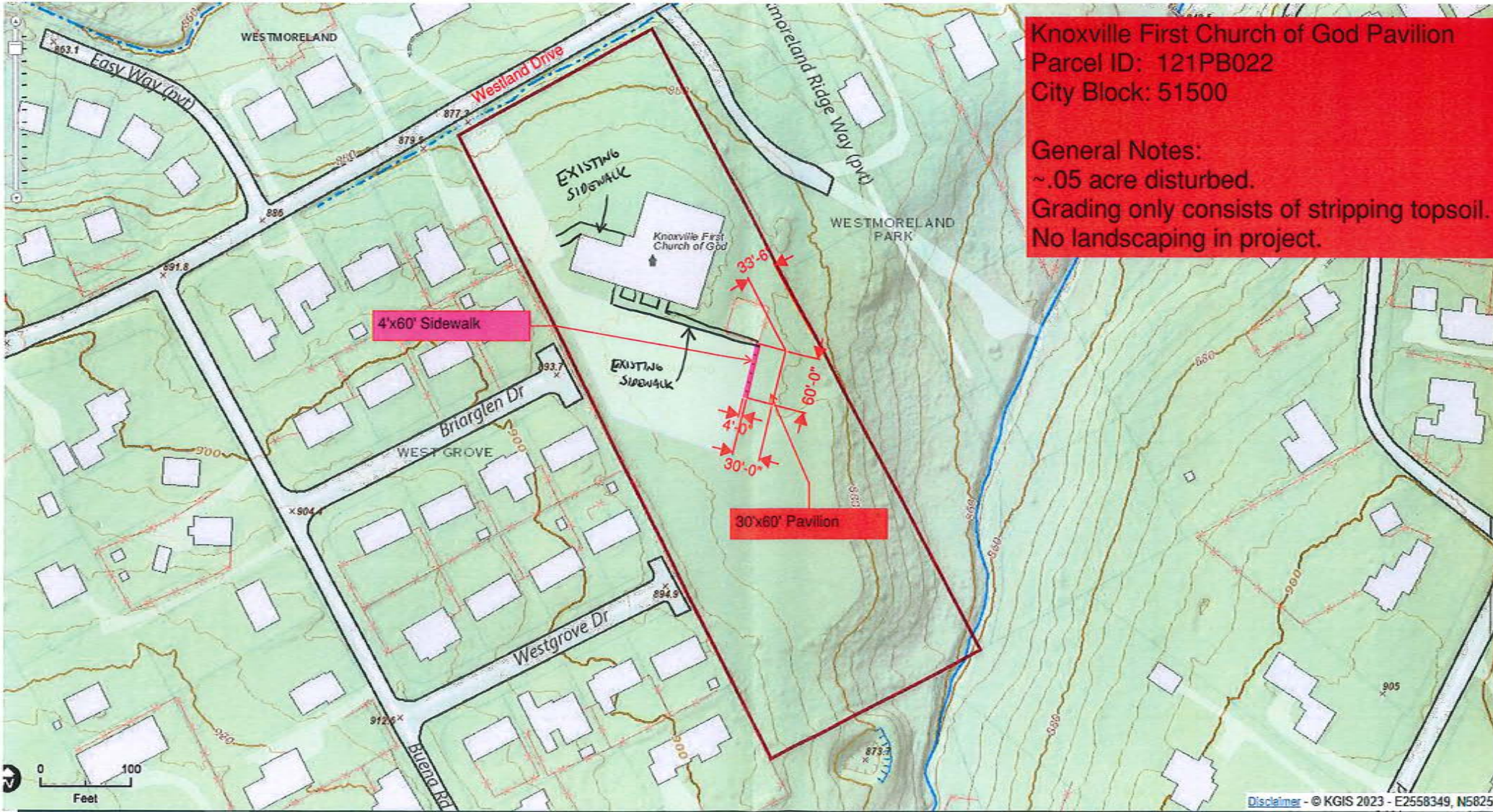
CONTEXTUAL MAPS 1

2-F-24-SU



Case boundary





Knoxville First Church of God Pavilion
Parcel ID: 121PB022
City Block: 51500

General Notes:
~.05 acre disturbed.
Grading only consists of stripping topsoil.
No landscaping in project.

GENERAL NOTES:

A. GOVERNING CODES

- INTERNATIONAL BUILDING CODE (IBC 2018)
- ASCE 7-16
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)
- POST FRAME DESIGN MANUAL 2ND EDITION

B. CONTRACTOR RESPONSIBILITY

- ALL STRUCTURES SHALL BE CONSTRUCTED ACCORDING TO DIMENSIONS NOTED WITHIN THESE CONSTRUCTION DOCUMENTS.
- SCALING OF DIMENSIONS SHALL NOT BE PERMITTED.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND ALL CONDITIONS ON THE SUBJECT SITE.
- MORRISON ENGINEERING, LLC NOR ITS REPRESENTATIVES SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR THEIR SUBCONTRACTORS OR FAILURE TO PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.
- ANY DISCREPANCY OR OMISSION DISCOVERED IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD, MORRISON ENGINEERING, LLC, BY WRITTEN NOTICE BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- MORRISON ENGINEERING, LLC SHALL REQUIRE A MINIMUM OF TWO (2) WEEKS TO CORRECT ANY OMISSIONS OR ERRORS DISCOVERED WITHIN THESE CONSTRUCTION DOCUMENTS.
- IF THE MINIMUM TIME REQUIRED TO CORRECT ANY OMISSION OR ERROR IN THESE CONSTRUCTION DOCUMENTS IS NOT GRANTED TO MORRISON ENGINEERING, LLC, THE GENERAL CONTRACTOR SHALL ASSUME ALL COST AND LIABILITY TO CORRECT THE IDENTIFIED ERROR OR OMISSION.
- ALL STRUCTURES SHALL BE ADEQUATELY BRACED WITH THE NECESSARY TEMPORARY BRACING ELEMENTS FOR ALL LATERAL AND CONSTRUCTION LOADING UNTIL ALL PERMANENT LATERAL FORCE RESISTING SYSTEM ELEMENTS HAVE BEEN FULLY INSTALLED.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL NECESSARY TEMPORARY BRACING ELEMENTS.
- THE GENERAL CONTRACTOR AND/OR OWNER SHALL MAINTAIN AN UP-TO-DATE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE AT ALL TIMES. THE GENERAL CONTRACTOR AND/OR OWNER SHALL OBTAIN ALL PROPER BUILDING PERMITS AND ENSURE ALL REQUIRED

INSPECTIONS ARE MADE:

- ANY ROOF AND/OR WALL PENETRATION SHALL BE MADE WEATHERPROOF WITH THE NECESSARY FLASHING AND/OR CAULKING AS REQUIRED.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR OWNER TO PROPERLY RECEIVE AND STORE ALL BUILDING MATERIALS WITHOUT DAMAGE.
- THE GENERAL CONTRACTOR SHALL ERRECT ALL POST-FRAME STRUCTURES IN ACCORDANCE WITH THE FOLLOWING DOCUMENTS:
 - BCS1-810 (WOOD TRUSS COUNCIL OF AMERICA & TRUSS PLATE INSTITUTE)
 - ACCEPTED PRACTICE FOR POST-FRAME BUILDING CONSTRUCTION: FRAMING TOLERANCES (NATIONAL FRAME BUILDERS ASSOCIATION)

C. STRUCTURAL LOAD CRITERIA

- RISK CATEGORY: II (ASCE 7-16 TABLE 1.5-1)
- DEAD LOAD
 - THE DESIGN DEAD LOAD OF THE STRUCTURE SHALL INCLUDE THE SELF-WEIGHT OF ALL PERMANENT BUILDING ELEMENTS AS DETERMINED BY THE ENGINEER OF RECORD.
- ROOF LIVE LOAD: 20 PSF (ASCE 7-16 TABLE 4.3-1)
- SNOW LOAD (ASCE 7-16 CHAPTER 7)
 - GROUND SNOW LOAD (Pg): 10 PSF
 - MINIMUM SNOW LOAD (Pm): 10 PSF
 - SNOW IMPORTANCE FACTOR (Is): 1.0
 - EXPOSURE FACTOR (Ce): 0.8
 - THERMAL FACTOR (Ct): 1.2
 - FLAT ROOF SNOW LOAD (Pf): 5 PSF
- WIND LOAD (ASCE 7-16 CHAPTER 26)
 - BASIC WIND SPEED (V): 115 MPH
 - WIND DIRECTIONALITY FACTOR (Kd): 0.85
 - TOPOGRAPHIC FACTOR (Kzt): 1.0
 - GROUND ELEVATION FACTOR (Kge): 1.0
 - EXPOSURE CATEGORY: C
 - ENCLOSURE CLASSIFICATION: OPEN
 - GUST-EFFECT FACTOR (G): 0.85

D. WOOD STRUCTURE REQUIREMENTS

- UNLESS SPECIFICALLY NOTED ON THE DRAWINGS, NO ONE SHALL CUT, NOTCH OR DRILL ANY TRUSS, HEADER, BEAM, POST, GIRT, PURLIN, OR FLANGE OF I-JOIST.

- ANY MEMBER REPAIRS OR REPLACEMENT SHALL BE AS SPECIFIED IN WRITING BY A LICENSED PROFESSIONAL ENGINEER AND THE EXPENSE OF THE REPAIR SHALL BE THE RESPONSIBILITY OF THE PARTY WHICH CREATED THE DAMAGE.
- DIMENSIONED LUMBER MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AND ALL RELATED DOCUMENTS.
- ALL MEMBERS SHALL BE THE SIZE, GRADE AND SPECIES AS INDICATED WITHIN THESE DRAWINGS.
- SAWN LUMBER USED FOR LOAD-SUPPORTING PURPOSES, INCLUDING END-JOINTED OR EDGE-GLUED LUMBER, MACHINE STRESS-RATED OR MACHINE-EVALUATED LUMBER, SHALL BE IDENTIFIED BY THE GRADE MARK OF A LUMBER GRADING OR INSPECTION AGENCY THAT HAS BEEN APPROVED BY AN ACCREDITATION BODY THAT COMPLIES WITH DDC PS 20 OR EQUIVALENT.
- PRESSURE PRESERVATIVE TREATED LUMBER SHALL BE TREATED WITH WATERBORNE PRESERVATIVE AND BEAR THE QUALITY MARK OF AN APPROVED INSPECTION AGENCY. POSTS AND SKIRTS SHALL BE PROTECTED WITH PRESSURE PRESERVATIVE CHEMICAL TREATMENTS TO RETENTION LEVELS FOR USE CATEGORY UC4B OR BETTER PER AWPA-U1.

E. STRUCTURAL CONCRETE REQUIREMENTS

- MINIMUM 28-DAY COMPRESSIVE STRENGTH SHALL BE EQUAL OR EXCEED THE FOLLOWING CRITERIA:
 - PADS AND UNREINFORCED FOOTINGS: 4000 PSI
 - REINFORCED PADS AND FOOTINGS: 4000 PSI
 - SLABS ON GRADE: 3500 PSI
- UNLESS PLASTICIZERS ARE USED, WORKABLE SLUMP SHALL BE NO LESS THAN 4".
- NO EXCESS WATER SHALL BE ADDED ON-SITE.
- ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE MINIMUM 5% AND MAXIMUM 7% ENTRAINED AIR.
- ALL REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 AND SHALL BE DEFORMED BARS WITH AN ULTIMATE YIELD STRESS OF 60,000 PSI.
- ALL LAP SPLICES SHALL BE CONFORM TO THE REQUIREMENTS OF ACI 318-14 CLASS 'B'.
- EXCEPT FOR BUILDINGS WHERE MIGRATION OF MOISTURE THROUGH THE SLAB WILL NOT BE DETRIMENTAL OR FOR SITES THAT ARE ESPECIALLY DRY, A 6 MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED 6" MINIMUM SHALL BE PLACED BETWEEN THE BASE COURSE OR SUB GRADE AND THE CONCRETE. FOR SITES THAT ARE ESPECIALLY WET, PERIMETER DRAINS SHALL BE INSTALLED AS REQUIRED IN ADDITION TO THE VAPOR RETARDER.
- FORMS SHALL BE CLEANED AND LUBRICATED PRIOR TO INSTALLATION OF CONCRETE. ALL MEMBERS USED TO FORM THE PERIMETER OF CONCRETE SHALL BE BRACED BY THE CONTRACTOR TO REMAIN IN PLACE DURING CONCRETE INSTALLATION. ALL UNTREATED FORM BOARDS SHALL BE REMOVED ONCE CONCRETE HAS CURED.
- CONCRETE SHALL BE CONSOLIDATED BY ACCEPTED VIBRATORY CONSOLIDATION METHODS. CONTRACTOR SHALL ENSURE THAT FRESH CONCRETE OCCUPIES ALL SPACES BETWEEN ANY REINFORCEMENT, IF ANY.
- NO CONCRETE IS PERMITTED TO BE INSTALLED WHEN OUTSIDE AIR TEMPERATURE IS BELOW 40° F.
- FOR BUILDINGS WITHOUT A FLOOR SLAB, IT IS RECOMMENDED THAT A VAPOR RETARDER BE INSTALLED IN ACCORDANCE WITH NOTE 7.

NOTES:

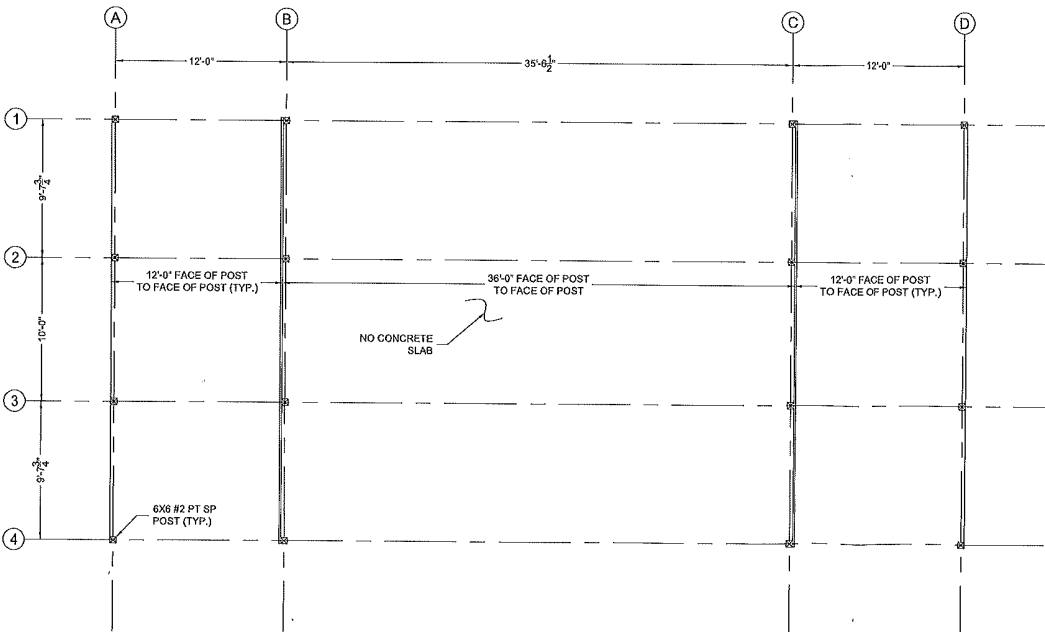
- DIMENSIONS ARE TO CENTERLINE OF POSTS (TYP. U.N.G.)
- SEE STRUCTURAL ELEVATIONS ON SHEET S FOR FRAMING REQUIREMENTS.
- SEE DETAILS ON SHEET FOR FOUNDATION REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ALL APPROVALS FROM LOCAL BUILDING INSPECTOR PRIOR TO COVERING ANY POST FOUNDATION HOLES.
- CONTRACTOR SHALL OBTAIN ALL APPROVALS FROM LOCAL BUILDING INSPECTORS PRIOR TO POURING ANY CONCRETE.
- ALL HAIR PIN REINFORCEMENT SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SLAB.
- CONTRACTOR SHALL SAWCUT CONTRACTION JOINTS (1) DAY AFTER SLAB HAS BEEN POURED. CONTRACTION JOINTS SHALL BE CUT TO A MIN. DEPTH OF 1" & SHALL BE SPACED @ 10'-0" MAX. E.W. (TYP.)
- THE STRUCTURAL DETAILED WITHIN THIS PLAN SET IS ASSIGNED TO OCCUPANCY CATEGORY 'U' IN ACCORDANCE WITH IBC 2018 SECTION 312.

SPECIFICATIONS AND NOTES:

FOUNDATION AND STRUCTURAL EARTHWORK

- FOUNDATIONS ARE DESIGNED FOR A MAX. NET SOIL BEARING PRESSURE OF 2500 PSF. ENSURE FOUNDATIONS AND SLABS BEAR ON SELECT FILL COMPACTED IN EIGHT LAYERS MAX. TO NOT LESS THAN 98% OF MAX. DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST ASTM D698 OR ON UNDISTURBED SOIL OF EQUIVALENT DENSITY TO THE FILL NOTED ABOVE, IF NOT, COMPACT THE SOIL TO THESE REQUIREMENTS OR REPLACE WITH SUITABLE FILL AND COMPACT.
- NOTIFY THE ENGINEER IMMEDIATELY IF UNUSUAL SOIL CONDITIONS ARE FOUND.
- DO NOT ALLOW STORED EXCAVATION MATERIALS TO DISRUPT PROPER DRAINAGE OF AREA.
- MAINTAIN STABILITY OF EXCAVATIONS UNTIL PROPERLY BACKFILLED. KEEP EXCAVATIONS FREE OF ANY LOOSE MATERIAL. DEWATER EXCAVATIONS AND REMOVE AND WET MATERIAL PRIOR TO THE PLACEMENT OF CONCRETE.
- USE EXCAVATED MATERIAL AS BACKFILL IF ACCEPTABLE TO OWNERS TESTING AGENCY. IF EXCAVATED BACKFILL MATERIAL IS NOT AVAILABLE, USE SELECT FILL MATERIAL ACCEPTABLE TO THE OWNER'S TESTING AGENCY.
- ENSURE GRADE IS SUCH THAT THICKNESS OF FOUNDATION, SLAB ON GRADE, ETC., IS ACHIEVED AS SHOWN ON DRAWINGS.

FINAL GRADE AROUND EXTERIOR OF STRUCTURE MUST MEET IBC 2018 REQUIREMENTS AND MUST BE A MINIMUM 1:20 SLOPE AWAY FROM ENTIRE PERIMETER OF STRUCTURE FOR A MINIMUM DISTANCE OF 10' AWAY FROM THE STRUCTURE IN ALL DIRECTIONS. NO STANDING WATER SHALL BE ALLOWED TO REMAIN WITHIN 10' OF EXTERIOR OF STRUCTURE.



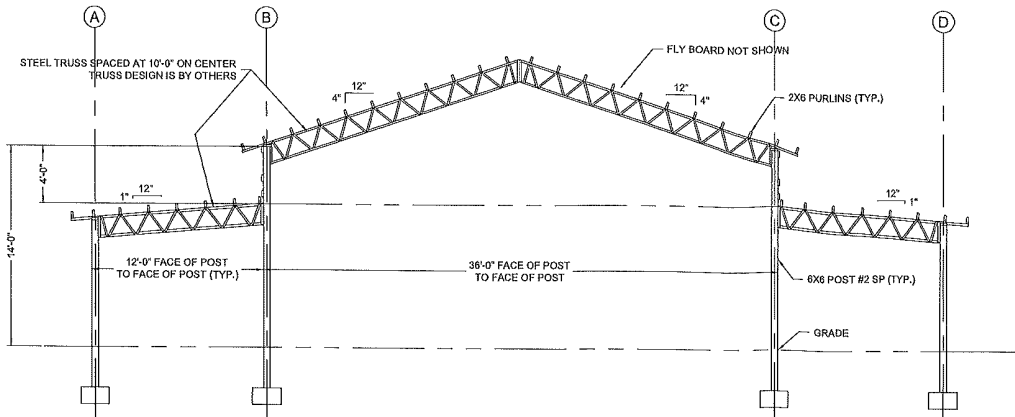
FLOOR PLAN



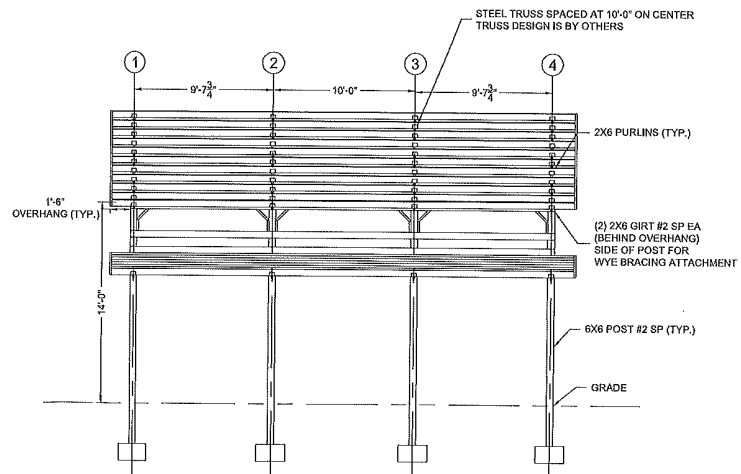
NO.	REVISIONS:	DESCRIPTION

PROJECT IDENTIFICATION:
SUMMERTOWN METALS
 INVOICE #2059928 - JASON SCOTT
 6708 WESTLAND DRIVE
 KNOXVILLE, TENNESSEE 37919

DRAWN BY:
 A.E.P.
 SCALE:
 1/4" = 1'-0"
 DATE:
 10-12-2023
 SHEET NO.



GABLE WALL



SIDE WALL

FRAMING NOTES:

- ALL NAILS SHALL BE #1 GALVANIZED RING SHANK NAILS W/ MIN. SHANK LENGTH OF 3" & MIN. SHANK Ø OF 0.120". (TYP. U.N.O.)
- PURLIN SPLICES SHALL ONLY BE PERMITTED @ TRUSS CHORD LOCATIONS
- TRUSS DESIGN SHALL BE THE SOLE RESPONSIBILITY OF THE MANUFACTURER & TRUSS DESIGNER. THE ENGINEER OF RECORD DESIGNATED ON THESE PLANS SHALL NOT BE HELD LIABLE FOR ANY DEFECTS, FAILURES, OR INCOMPATIBILITY OF ANY ROOF TRUSS. TRUSS DESIGN IS NOT PART OF THIS DRAWING PACKAGE.
- THE BUILDING DETAIL WITHIN THIS PLAN SET IS DESIGNED ASSUMING A 0 PSF SUPERIMPOSED DEAD LOAD ACROSS ALL TRUSS BTM CHORDS. IF OWNER WISHES TO INSTALL A CEILING OR ANY SUSPENDED DEVICE OR APPURTENANCE FROM THE TRUSSES OTHER THAN THOSE SPECIFICALLY NOTED WITHIN THESE PLANS, THE ENGINEER OF RECORD SHALL BE NOTIFIED PRIOR TO INSTALLATION IN ORDER TO VERIFY OVERALL EFFECT ON BUILDING DESIGN. NO CEILING, DEVICE, OR APPURTENANCE SHALL BE PERMITTED TO BE SUSPENDED FROM ANY TRUSS UNLESS SPECIFICALLY NOTED WITHIN THESE PLANS W/ PRIOR WRITTEN CONSENT FROM ENGINEER OF RECORD. IN ADDITION, VERIFICATION OF LOAD BEARING CAPACITY OF TRUSS SHOULD BE OBTAINED FROM TRUSS MANUFACTURER AND/OR TRUSS DESIGNER. THE ENGINEER OF RECORD DESIGNATED WITHIN THIS PLAN SET IS NOT RESPONSIBLE FOR TRUSS DESIGN AND CAN OFFER NO GUIDANCE ABOUT THE STRUCTURAL INTEGRITY OF ANY TRUSS.
- GIRTS SHALL BE CONNECTED TO POSTS USING MIN. (4) NAILS
- GIRT SPLICES SHALL CONFORM TO THE SAME REQUIREMENTS AS PURLIN SPLICES FOUND IN DETAILS.
- GIRT SPLICES SHALL ONLY BE PERMITTED @ POST LOCATIONS.
- REFER TO STRUCTURAL DETAILS & SECTIONS FOR FOUNDATION REQUIREMENTS.
- IF NAILING REQUIREMENTS ARE NOT SPECIFICALLY NOTED, NAILING PATTERN SHALL BE SAME AS FOR GIRTS. (TYP.)
- ELEVATION VIEWS NOT SPECIFICALLY SHOWN SHALL CONFORM TO THE REQUIREMENTS OF VIEWS SHOWN ON THIS SHEET.

SHEETING NOTES:

- ALL SURFACES SHALL BE CLAD W/ 29 GA. CORRUGATED METAL SIDING W/ MIN. THICKNESS OF 0.0172" & MAX. RIB SPACING OF 9", (TYP. U.N.O.)
- ALL METAL PANELS SHALL BE INSTALLED IN ACCORDANCE W/ DETAILS.
- REFER TO STRUCTURAL FRAMING ELEVATIONS FOR ALL FRAMING REQUIREMENTS.
- REFER TO STRUCTURAL DETAILS FOR FOUNDATION REQUIREMENTS.
- ALL FASCIA, SOFFITS & EXTERIOR TRIM SHALL BE INSTALLED ACCORDING TO CUSTOMER CONTRACT DOCUMENTS.
- WHEN USING METAL BUILDING APPURTENANCES TO ATTACH SOFFIT TO WALL, CONTRACTOR SHALL ENSURE THAT METAL WALL PANELS RECEIVE THE REQUIRED SCREW PATTERN AS DESIGNATED WITHIN THIS PLAN SET.

NOTES:

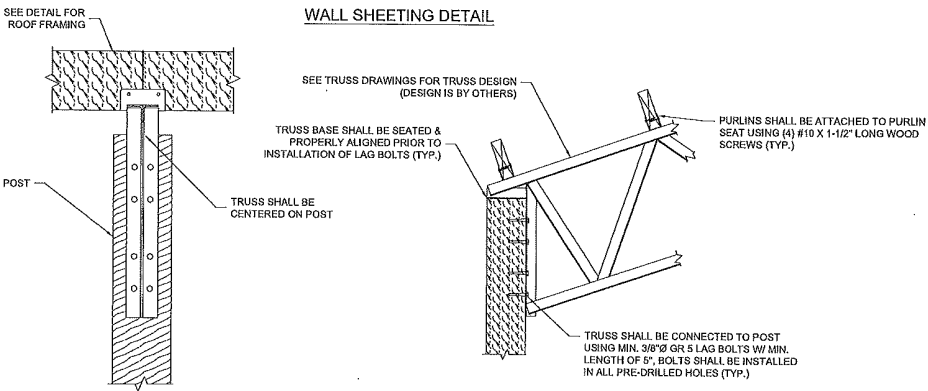
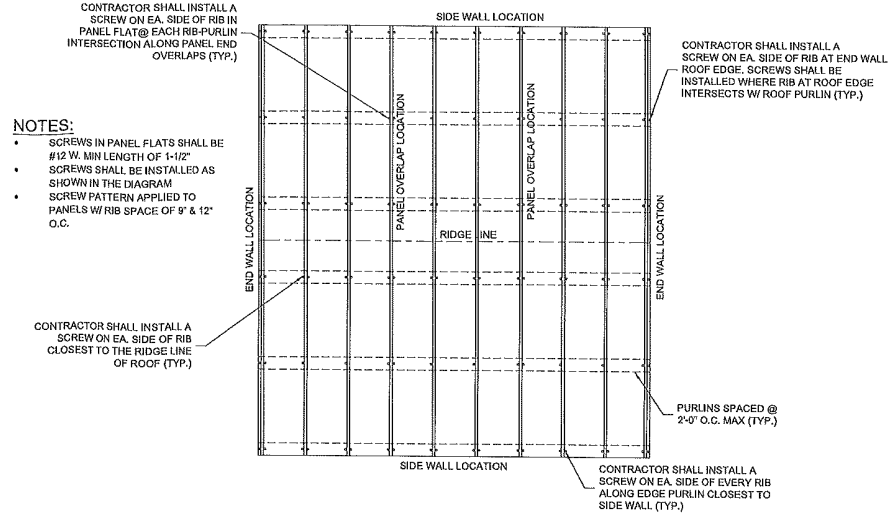
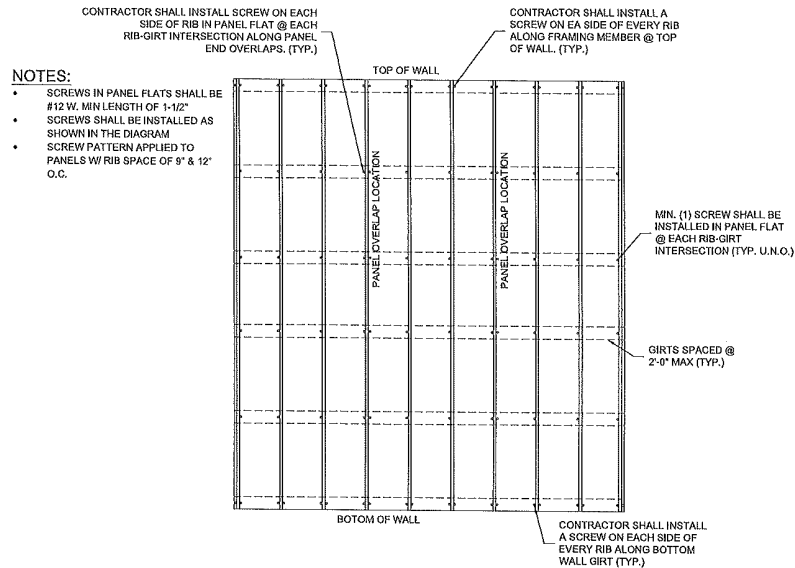
- WALL BRACING, INCLUDING TOP OF GABLE END WALLS, IS NOT INCLUDED IN THIS DESIGN
- WARNING: DO NOT STAND ON BRACING OR USE IT IN ANY WALL TO SUPPORT PEOPLE DURING CONSTRUCTION OR AT ANY OTHER TIME
- THIS PLAN CONTAINS ONLY PERMANENT BRACING. TEMPORARY AND ERECTION BRACING ARE THE RESPONSIBILITY OF OTHERS. FOR COMMENTARY RECOMMENDATIONS REGARDING HANDLING, INSTALLING & BRACING TRUSSES, REFER TO TPI & WTCA PUBLICATION "BUILDING COMPONENT SAFETY INFORMATION."
- SEE INDIVIDUAL TRUSS DRAWINGS FOR ADDITIONAL INFORMATION
- THIS DRAWING DOES NOT REPRESENT OR IMPLY A DIAPHRAGM DESIGN. DIAPHRAGM DESIGN, INCLUDING BLOCKING OVER BEARING, SHALL BE PERFORMED (WHEN REQUIRED) BY OTHERS. THE TRANSFER OF DIAPHRAGM FORCES TO THE RESISTING ELEMENTS SHALL BE DESIGNED BY OTHERS.
- FOR THIS BUILDING, THE ROOF SHEATHING ATTACHED AT A MINIMUM OF 12" O.C. EFFECTIVELY BRACES THE TRUSS TOP CHORD. SEE BUILDING PLANS FOR ATTACHMENT OF ROOF SHEATHING TO TRUSSES



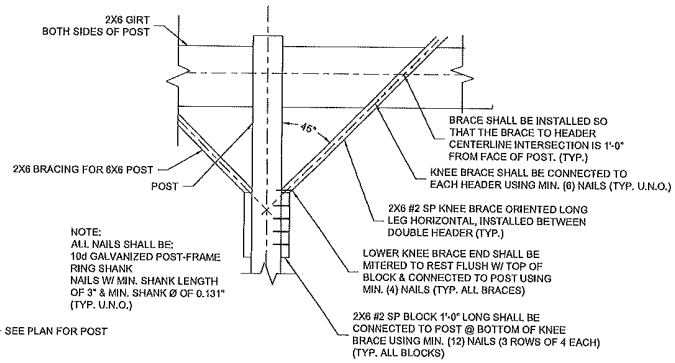
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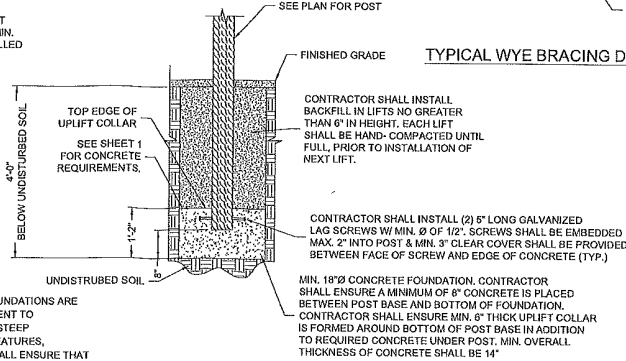
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A.E.P.
SCALE:
1/4" = 1'-0"
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SHEET NO.



STEEL TRUSS CONNECTION



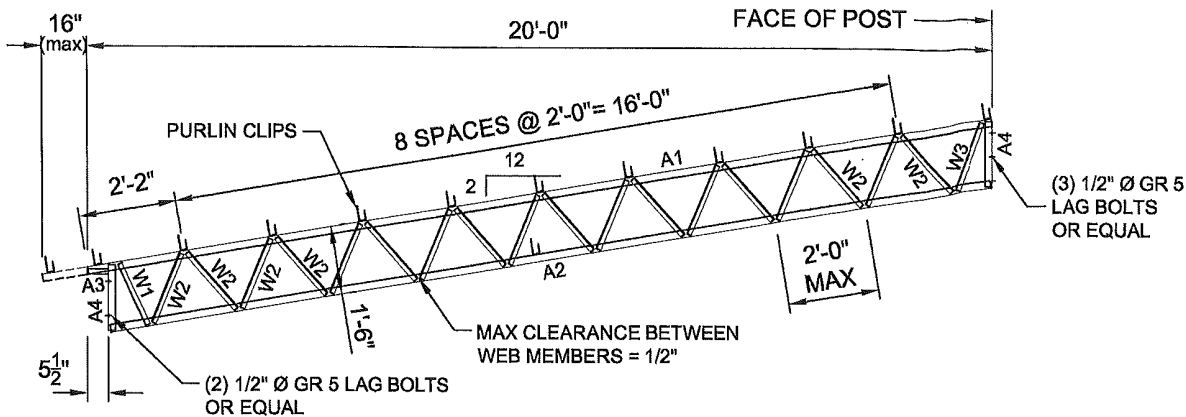
TYPICAL WYE BRACING DETAIL



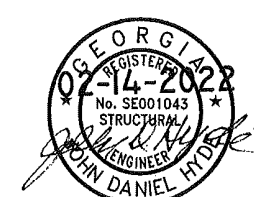
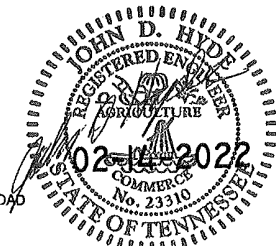
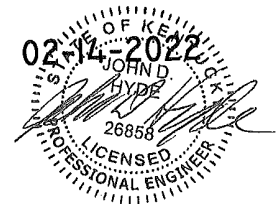
POST FOUNDATION

NOTES:

- WHERE POST FOUNDATIONS ARE SITUATED ADJACENT TO EXCEPTIONALLY STEEP TOPOGRAPHIC FEATURES, CONTRACTOR SHALL ENSURE THAT FOUNDATION EXTENDS 4'-0" BELOW UNDISTURBED SOIL MEASURED FROM LOWEST GRADE LINE.



THIS DRAWING WAS PRODUCED BY JOHN D. HYDE AND MAY NOT BE MODIFIED IN ANY WAY NOR SHALL THIS DRAWING BE USED BY ANYONE OTHER THAN SUMMERTOWN METALS, LLC OR ITS ASSIGNS WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOHN D. HYDE WHOSE PROFESSIONAL ENGINEER'S STAMP APPEARS ON THIS DRAWING.



BY:
 JOHN D. HYDE, PE
 TN REG NO 23310
 177 ARLINGTON ROAD
 ARAB, AL 35016
 PH 256-572-0195
 jdhyde@mindspring.com

BILL OF MATERIALS

MARK	DESCRIPTION	LENGTH	NUMBER REQUIRED	MATERIAL
A1	TOP CHORD	L 2x2x 1/8	20'-3"	A36
A2	BOTTOM CHORD	L 2x2x 1/8	19' 8-5/8"	A36
A3	BASE	L 2x2x 1/8	0'-5-1/2"	A36
A4	VERTICAL END	L 2x2x 1/8	1'- 5"	A36
W1	WEB	L 1-1/4x1-1/4x1/8	1'- 5 1/2"	A36
W2	WEB	L 1-1/4x1-1/4x1/8	1' 7 5/8"	A36
W3	WEB	L 1-1/4x1-1/4x1/8	1' 7"	A36

-- THIS DESIGN MAY ALSO BE USED FOR 10 FT, 12 FT, 14 FT, 16 FT OR 18 FT TRUSSES.
 -- IF SHORTER TRUSSES ARE USED THE DEAD AND ROOF LIVE LOADS SHOWN ON THIS DRAWING CAN BE INCREASED; 10% FOR 18', 20% FOR 16', 30% FOR 14', 40% FOR 12', AND 50% FOR 10' LENGTHS.
 -- THIS DESIGN MAY ALSO BE USED FOR OTHER ROOF PITCHS (MIN 3/4:12, MAX 5:12)

DESIGN LOAD NOTES: 20 FT & SHORTER TRUSS SPAN

TRUSS SPACING = 12' ALLOWABLE DEAD LOAD = 6 PSF
 TRUSS SPACING = 10' ALLOWABLE DEAD LOAD = 10 PSF
 TRUSS SPACING = 8' ALLOWABLE DEAD LOAD = 12 PSF

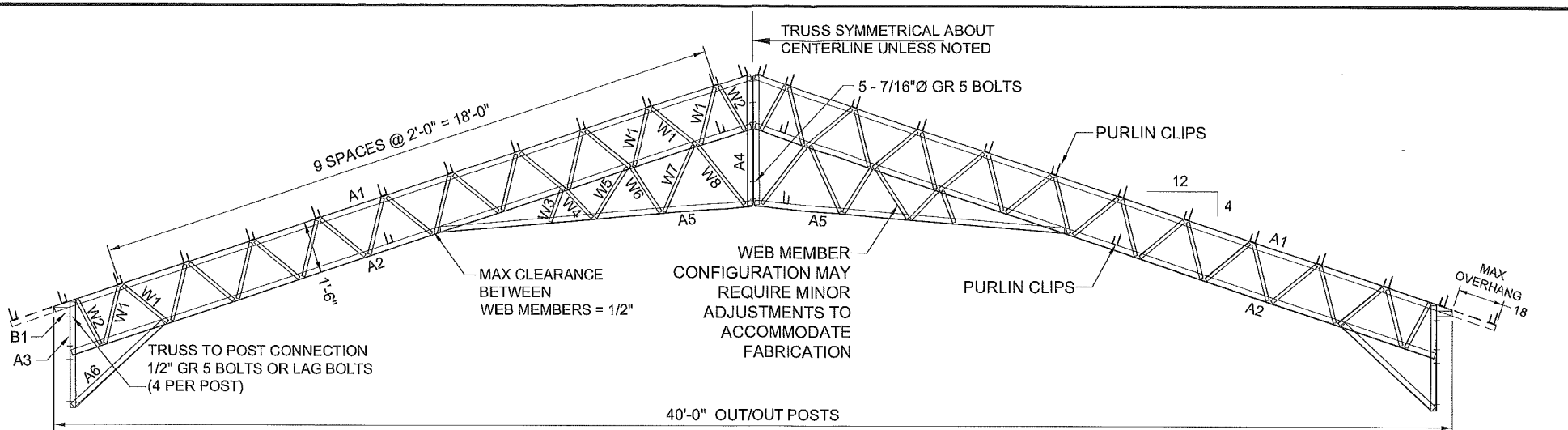
NOTES:

- PURLINS TO BE MINIMUM 2x6 #2 SYP FOR UP TO 12' TRUSS SPACING.
- PURLINS TO BE SPACED AT A MAXIMUM OF 2'-0" O.C. UNLESS NOTED
- THIS DESIGN IS FOR TRUSS ONLY. THE SUPPORT POST IS ASSUMED TO BE 5-1/2" BUT THE SIDEWALL DESIGN IS NOT A PART OF THIS DESIGN.
- THIS TRUSS DESIGN MAY BE USED FOR SHORTER SPANS, ADJUST MEMBER LENGTHS ACCORDINGLY.
- CONTRACTOR RESPONSIBLE FOR TEMPORARY CONSTRUCTION & PERMANENT BRACING.
- FABRICATOR SHALL VERIFY DIMENSIONS BEFORE CUTTING AND/OR FABRICATING TRUSS.
- FABRICATION AND WELDING PER AISC AND AWS.
- STEEL TO BE MINIMUM ASTM A36 OR EQUIVALENT.
- THIS TRUSS DESIGN IS ACCEPTABLE FOR PARTIALLY ENCLOSED OR FULLY ENCLOSED BUILDING (FOR THE LOADS SHOWN) PER IBC BUILDING DEFINITIONS.
- FASTENERS INSTALLED WITH TREATED WOOD MUST BE MANUFACTURER RECOMMENDED FOR USE WITH THE ASSOCIATED WOOD TREATMENT.

DESIGN CRITERIA - IBC 2018

- DESIGN LOADS PER ASCE 7-16
- REQUIREMENT FOR STEEL - ASTM A36 OR AS NOTED.
- ROOF LIVE LOAD = 20 PSF
DEAD LOAD = SEE DESIGN LOAD NOTES
- DESIGN WIND SPEED = 105 MPH
- WIND RISK CATEGORY II
- WIND EXPOSURE CATEGORY C
- BUILDING CATEGORY II
- GROUND SNOW LOAD = 15 PSF
- IMPORTANCE FACTOR 1.0
- ROOF UNHEATED - NOT SLIPPERY

<p>SUMMERTOWN METALS 3864 Summertown Hwy, Summertown, TN 38483 PH: (931) 796-1521 www.summertownmetals.com</p>			
SCALE	DATE	DRAWN BY	DRAWN NO.
AS NOTED	02-14-2022	J. HYDE	22-0214-20
20' & SHORTER MONO TRUSS			SHEET NO. 1 OF 1



BILL OF MATERIALS

MARK	DESCRIPTION	LENGTH	NUMBER REQUIRED	MATERIAL
A1	TOP CHORD	L 2 X 2 X 1/8	21'-0"	2 A36
A2	BOT CHORD	L 2 X 2 X 1/8	20'-5 3/4"	2 A36
A3	VERTICAL END	L 2 X 2 X 3/16	3'-0"	2 A36
A4	VERTICAL END	L 2 X 2 X 3/16	3'-8"	2 A36
A5	TIE	L 2 X 2 X 1/8	8'-11"	2 A36
A6	KNEE BRACE	L 2 X 2 X 1/8	3'-6"	2 A36
B1	BASE	L 1 1/2 X 1 1/2 X 3/16	5 1/2"	2 A36
W1	WEB	L 1 1/4 X 1 1/4 X 1/8	1'-7 1/2"	38 A36
W2	WEB	L 1 1/4 X 1 1/4 X 1/8	1'-5"	2 A36
W3	WEB	L 1 1/4 X 1 1/4 X 1/8	0' 11 1/4"	2 A36
W4	WEB	L 1 1/4 X 1 1/4 X 1/8	1' 1 5/8"	2 A36
W5	WEB	L 1 1/4 X 1 1/4 X 1/8	1'-8"	2 A36
W6	WEB	L 1 1/4 X 1 1/4 X 1/8	1'-6 1/2"	2 A36
W7	WEB	L 1 1/4 X 1 1/4 X 1/8	2'-0 1/2"	2 A36
W8	WEB	L 1 1/4 X 1 1/4 X 1/8	2'-1 1/2"	2 A36

NOTE: WEB MEMBER LENGTHS MAY BE ADJUSTED BY FABRICATOR.

40' ROOF TRUSS

THIS TRUSS DESIGN MAY BE USED FOR SHORTER SPANS, MEMBER LENGTHS MUST BE ADJUSTED ACCORDINGLY.

TRUSS TO POST REACTIONS:
 LOADS ACTING ON SUPPORT POST OR WALL
 1. VERTICAL DOWNWARD = 4750 LBS
 2. VERTICAL UPLIFT = 3050 LBS
 3. HORIZONTAL LOAD = 1450 LBS
 LOADS ARE ASD WORKING LOADS FOR 12' TRUSS SPACING

NOTES:

- PURLINS TO BE MINIMUM 2x6 #2 SYP (OR STRONGER) AND SPACED AT A MAXIMUM 2'-0" O.C. (2x4 #2 SYP MAY BE USED FOR 8' TRUSS SPACING).
- THIS DESIGN IS FOR TRUSS ONLY. THE SUPPORT POST IS ASSUMED TO BE 5-1/2" BUT THE SIDEWALL DESIGN IS NOT A PART OF THIS DESIGN.
- THIS TRUSS DESIGN MAY BE USED FOR SHORTER SPANS, ADJUST MEMBER LENGTHS ACCORDINGLY.
- CONTRACTOR RESPONSIBLE FOR TEMPORARY CONSTRUCTION & PERMANENT BRACING.
- FABRICATOR SHALL VERIFY DIMENSIONS BEFORE CUTTING AND/OR FABRICATING TRUSS.
- FABRICATION AND WELDING PER AISC AND AWS.
- STEEL TO BE MINIMUM ASTM A36 OR EQUIVALENT.
- THIS TRUSS DESIGN IS ACCEPTABLE FOR OPEN, PARTIALLY ENCLOSED, OR FULLY ENCLOSED BUILDING (FOR THE LOADS SHOWN) PER IBC BUILDING DEFINITIONS.
- FASTENERS INSTALLED WITH TREATED WOOD MUST BE MANUFACTURER RECOMMENDED FOR USE WITH THE ASSOCIATED WOOD TREATMENT.

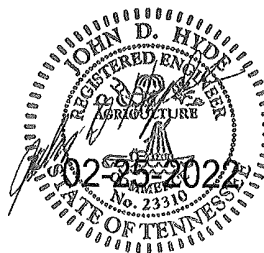
DESIGN LOAD NOTES:

TRUSS SPACING = 12' ALLOWABLE DEAD LOAD = 4 PSF
 TRUSS SPACING = 10' ALLOWABLE DEAD LOAD = 6 PSF
 TRUSS SPACING = 8' ALLOWABLE DEAD LOAD = 8 PSF WITH 2x6 PURLINS
 TRUSS SPACING = 8' ALLOWABLE DEAD LOAD = 6 PSF WITH 2x4 PURLINS

DESIGN CRITERIA - APPLIED PER IBC 2018

- DESIGN LOADS PER ASCE 7-16
- STEEL MATERIALS AND CONSTRUCTION PER AISC 360
- ROOF LIVE LOAD = 20 PSF
- DESIGN WIND SPEED = 105 MPH (IBC 2018 MAP)
- BUILDING RISK CATEGORY II
- WIND EXPOSURE CATEGORY B
- IMPORTANCE FACTOR = 1.0
- GROUND SNOW LOAD = 15 PSF

THIS DRAWING WAS PRODUCED BY JOHN D. HYDE AND MAY NOT BE MODIFIED IN ANY WAY NOR SHALL THIS DRAWING BE USED BY ANYONE OTHER THAN SUMMERTOWN METALS, LLC OR ITS ASSIGNS WITHOUT THE EXPRESS WRITTEN PERMISSION OF JOHN D. HYDE WHOSE PROFESSIONAL ENGINEER'S STAMP APPEARS ON THIS DRAWING.



BY:
 JOHN D. HYDE, PE
 TN REG NO 23310
 177 ARLINGTON ROAD
 ARAB, AL 36016
 PH 258-572-0195
 jdhyde@mindspring.com

SUMMERTOWN METALS			
3864 Summertown Hwy, Summertown, TN 38483 PH: (931) 796-1521 www.summertownmetals.com			
SCALE AS NOTED	DATE 02-25-2022	DRAWN BY J. HYDE	DRAWN NO. 22-0225-40
40' TRUSS DETAIL			SHEET NO. 1 OF 1



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Knoxville First Church of God

Applicant Name

Affiliation

12/20/2023

2/8/2024

2-F-24-SU

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Guy Webb Knoxville First Church of God

Name / Company

6708 Westland Dr Knoxville TN 37919

Address

865-310-9038 / gwebb313@att.net

Phone / Email

CURRENT PROPERTY INFO

Guy Webb Knoxville First Church of God

6708 Westland Dr Knoxville TN 37919

865-310-9038 / gwebb313@att.

Owner Name (if different)

Owner Address

Owner Phone / Email

6708 WESTLAND DR

Property Address

121 P B 022

Parcel ID

Part of Parcel (Y/N)?

4.45 acres

Tract Size

Knoxville Utilities Board

Sewer Provider

Knoxville Utilities Board

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

City

Council District 2

RN-1 (Single-Family Residential Neighborhood)

Public/Quasi Public Land

Count

District

Zoning District

Existing Land Use

West City

Planning Sector

LDR (Low Density Residential)

Sector Plan Land Use Classification

N/A (Within City Limits)

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan	<input type="checkbox"/> Planned Development	<input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA	<input type="checkbox"/> Residential	<input type="checkbox"/> Non-residential	
Home Occupation (specify) _____			
Other (specify) Construction of an open pavilion.			

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre) Previous Zoning Requests		
Additional Information		

STAFF USE ONLY

PLAT TYPE	Fee 1	Total
<input type="checkbox"/> Staff Review <input type="checkbox"/> Planning Commission	\$1,600.00	
ATTACHMENTS	Fee 2	
<input type="checkbox"/> Property Owners / Option Holders <input type="checkbox"/> Variance Request		
ADDITIONAL REQUIREMENTS	Fee 3	
<input type="checkbox"/> COA Checklist (Hillside Protection)		
<input type="checkbox"/> Design Plan Certification (Final Plat)		
<input checked="" type="checkbox"/> Site Plan (Development Request)		
<input type="checkbox"/> Traffic Impact Study		
<input type="checkbox"/> Use on Review / Special Use (Concept Plan)		

AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	Knoxville First Church of God Please Print	12/20/2023 Date
---------------------	--	---------------------------

Phone / Email	Guy Webb Knoxville First Church of God Please Print	12/20/2023 Date
Property Owner Signature		



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Knoxville First Church of God

Applicant Name

Affiliation

12/20/2023

~~2/9/24~~

2/8/2023

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Guy Webb

Name

Company

6708 Westland Drive

Knoxville

TN

37919

Address

City

State

ZIP

(865) 310-9038

gwebb313@att.net

Phone

Email

CURRENT PROPERTY INFO

Knoxville First Church of God

Same as above

(865) 588-8819

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

Same as above

121PB022

Property Address

Parcel ID

KUB

KUB

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

City County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

May 1, 2023

DEVELOPMENT REQUEST

- Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential

Related City Permit Number(s)

Home Occupation (specify) _____

Other (specify) 30x60 open pavilion

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name _____

Combine Parcels
 Divide Parcel
 _____ Total Number of Lots Created

Other (specify) _____

Attachments / Additional Requirements

ZONING REQUEST

Pending Plat File Number

Zoning Change
 _____ Proposed Zoning

Plan Amendment Change
 _____ Proposed Plan Designation(s)

Proposed Density (units/acre) _____ Previous Rezoning Requests _____

Other (specify) _____

STAFF USE ONLY

PLAT TYPE

- Staff Review
 Planning Commission

ATTACHMENTS

- Property Owners / Option Holders
 Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)
 Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1	Total
04.05 1600.00	\$1600.00
Fee 2	
Fee 3	

AUTHORIZATION

- I declare under penalty of perjury the foregoing is true and correct:
 1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent

X

My Webb
Applicant Signature

Knoxville First Church of God
Please Print

12/10/23
Date

(805) 310-9038
Phone Number

gwebb313@att.net
Email

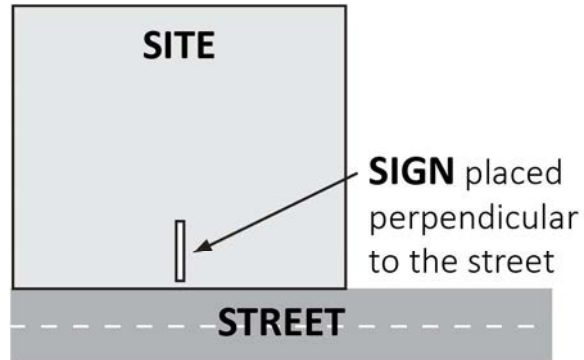
X

My Webb
Property Owner Signature

Guy Webb
Please Print

Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ January 26, 2024 _____ and _____ February 9, 2024 _____
(applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Guy Webb

Date: 12/20/2023

File Number: 2-F-24-SU



Sign posted by Staff



Sign posted by Applicant