SUBDIVISION REPORT - CONCEPT/DEVELOPMENT PLAN

▶ **FILE #:**	**2-SA-24-C**	**AGENDA ITEM #:**	**38**
	2-A-24-DP	**AGENDA DATE:**	**2/8/2024**
▶ **SUBDIVISION:**	**JENKINS BUILDERS - OLD CLINTON PIKE**		
▶ **APPLICANT/DEVELOPER:**	**JENKINS BUILDERS**		
OWNER(S):	Jenkins Builders Inc		
TAX IDENTIFICATION:	67 147,148 01,148 (PART OF)	**View map on KGIS**	
JURISDICTION:	County Commission District 6		
STREET ADDRESS:	0 OLD CLINTON PIKE (7311, 7321 OLD CLINTON PIKE)		
▶ **LOCATION:**	**Southwest side of Old Clinton Pike, southeast of Tilbury Way**		
SECTOR PLAN:	Northwest County		
GROWTH POLICY PLAN:	Planned Growth Area		
WATERSHED:	Beaver Creek		
▶ **APPROXIMATE ACREAGE:**	**5.593 acres**		
▶ **ZONING:**	**PR (Planned Residential) up to 12 du/ac (pending)**		
▶ **EXISTING LAND USE:**	**Single Family Residential, Rural Residential, Agriculture/Forestry/Vacant Land**		
▶ **PROPOSED USE:**	**Attached residential subdivision**		
SURROUNDING LAND USE AND ZONING:	North: Multifamily residential - RB (General Residential), OB (Office, Medical, and Related Services) South: Public park - A (Agricultural) East: Multifamily residential, single family residential - RB (General Residential), A (Agricultural), PR (Planned Residential) up to 6 du/ac West: Multifamily residential - A (Agricultural), RB (General Residential)		
▶ **NUMBER OF LOTS:**	**55**		
SURVEYOR/ENGINEER:	David Harbin Batson Himes Norvell & Poe		
ACCESSIBILITY:	Access is via Old Clinton Pike, a minor collector street with a pavement width of 18 ft within a right of way ranging from 50-62 ft.		
▶ **SUBDIVISION VARIANCES REQUIRED:**	**VARIANCES** **1) None required.** **ALTERNATIVE DESIGN STANDARDS REQUIRING KNOXVILLE-KNOX COUNTY PLANNING COMMISSION APPROVAL** **1) Reduce the minimum street frontage from 25 ft to 23 ft for lots 2, 5, 8, 11, 14, 17, 20, 23, 26, 29, 49, and 54.** **ALTERNATIVE DESIGN STANDARDS REQUIRING KNOX COUNTY ENGINEERING AND PUBLIC WORKS APPROVAL (PLANNING COMMISSION APPROVAL NOT REQUIRED)**		

1) Reduce private street right-of-way from 50 ft to 40 ft.
2) Reduce private street pavement width from 26 ft to 20 ft.
3) Increase the maximum road grade at an intersection from 1% TO 2%, Road 'A' at Clinton Pike.
4) Increase the maximum road grade at an intersection from 1% TO 3%, Road 'C' at Road 'A'.
5) Increase the maximum road grade at an intersection from 1% TO 2%, Road 'D' at Road 'A'.

STAFF RECOMMENDATION:

- **Approve the alternative design standards based on the justifications provided by the applicant and the recommendations of the Knox County Department of Engineering and Public Works.**

Approve the Concept Plan subject to 6 conditions.

1. Connection to sanitary sewer and meeting other relevant utility provider requirements.
2. Provision of street names consistent with the Uniform Street Naming and Addressing System within Knox County (County Ord. 91-1-102).
3. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
4. Before certification of the final plat for the subdivision, establish a property owners association or other legal entity responsible for maintaining common facilities, such as common areas, amenities, private roads, and/or stormwater drainage systems.
5. Installing a sidewalk along the Old Clinton Pike frontage per Chapter 54, Article IV of the Knox County Code. The final design of the sidewalk will be determined by Knox County Engineering and Public Works during the design plan phase.
6. Placing a note on the final plat that all lots will have access only to the internal street system.

- **Approve the development plan for up to 55 attached houses on individual lots and a peripheral setback reduction as described in the staff comments and shown on the development plan, subject to 4 conditions.**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.
2. The maximum height will be 35 ft for attached houses.
3. Providing Type C Landscape screen along the northwestern boundary (lots 1-22) and a Type B landscape screen adjacent to the single family residential house (lots 55, 54, 53, 51, 50, 49 and 48), as shown on the concept plan.
4. Provide privacy fencing at the end of each turnaround along the southeastern boundary, as show on the concept plan.

With the condition noted, this plan meets the requirements for approval in the PR district and the criteria for approval of a development plan.

COMMENTS:

The applicant is proposing to subdivide this 5.593-acre tract into 55 attached houses on residential lots at a density of 9.83 du/ac. The property is pending a rezoning to PR (Planned Residential) up to 12 du/ac (12-C-23-RZ).

As shown on the concept plan, a peripheral setback reduction to 20 ft is proposed along the northwestern boundary (lots 1-22), where a Type C Landscape screen is recommended since this development will be adjacent to existing attached houses. A peripheral setback reduction to 25 ft is requested along the southeastern boundary (lots 31, 39, 40, 47, and 48). A six-foot privacy fence will be installed at the end of the turnaround on the side of the street adjacent to the attached houses. A peripheral setback reduction of 15 and 20 ft is requested along the rear of the lots abutting the single family house (lots 55, 54, 53, 51, 50, 49 and 48), where a Type B landscape screen is recommended. There is also a peripheral setback reduction to 20 ft requested along Old Clinton Pike and along the rear of the property that abuts the Powell Levi Park.

A sidewalk will be installed along the frontage of Old Clinton Pike per the Knox County Sidewalk Ordinance. A 5 ft walking trail is included from the Road ‘D’ turnaround to the Powell Levi Park. This plan also includes 14 guest parking spaces. All lots with a lot frontage of less 25 ft shall have a minimum front yard setback of 20 ft and provide guest parking.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE
PR (Planned Residential) 12 du/ac (pending):
A. The PR zone allows attached houses as a permitted use. The administrative procedures for the PR zone require the Planning Commission to approve the development plan before permits can be issued (Knox County Zoning Ordinance Article 5, Section 5.13.15).
B. The height of attached houses shall be determined by the Planning Commission. The elevations provided show the units are 1 and 2 stories. The maximum height of all buildings will be 35 ft, which is consistent with the residences in the area.
C. This PR zone district is zoned for a maximum of 12 du/ac. The proposed density is 9.83 du/ac.
D. Lots 35, 36, 43, and 44 are adjacent corner lots and, therefore, Road 'A' is considered a side street and the front setback may be reduced in half per (Knox County Zoning Ordinance Article 3, Section 3.30.02).
E. The front setback for attached houses is determined by the Planning Commission. The minimum front setback is 20 ft on the frontage where the driveway is located. For Lots 35, 36, 43, 44, and 52 the minimum front setback is 15 ft along the side street frontage (Road 'A').
F. The Planning Commission has the authority to reduce the 35-ft peripheral setback to 15 ft when adjacent to residential zones. The applicant is requesting reductions to the peripheral boundary as described above.

2) GENERAL PLAN - DEVELOPMENT POLICIES
A. (Policy 6.11) Strengthen the Scenic Highways Program regulations and enforcement. -- Powell Dr is designated a State Scenic Highway, and new buildings within 1,000-ft of State Scenic Highways have a building height limitation of 35 ft (TCA § 54- 17-115). The front portion of this property falls within the 1,000 ft buffer of Powell Dr and no structure can exceed 35 ft in height within the buffer.
B. (Policy 9.8) Encourage a mixture of housing sizes and prices within planned residential developments. -- This proposal includes 1-story attached houses on approximately 3,900-5,500 sq ft lots and 2-story attached houses on approximately 1,800-2,800 sq ft lots.
C. (Policy 9.3) Ensure that the context of new development, including scale and compatibility, does not impact existing neighborhoods and communities. -- The two-story structures are of similar scale to nearby residential developments.

3) NORTHWEST COUNTY SECTOR PLAN
A. The property's land use classification is MDR (Medium Density Residential), which allows consideration of up to 12 du/ac. The proposed development has a density of 12 du/ac.

4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN
A. The property is within the Planned Growth Boundary. The purposes of the Planned Growth Boundary designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. The proposed development meets the relevant standards of the Growth Policy Plan.

ESTIMATED TRAFFIC IMPACT: 557 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

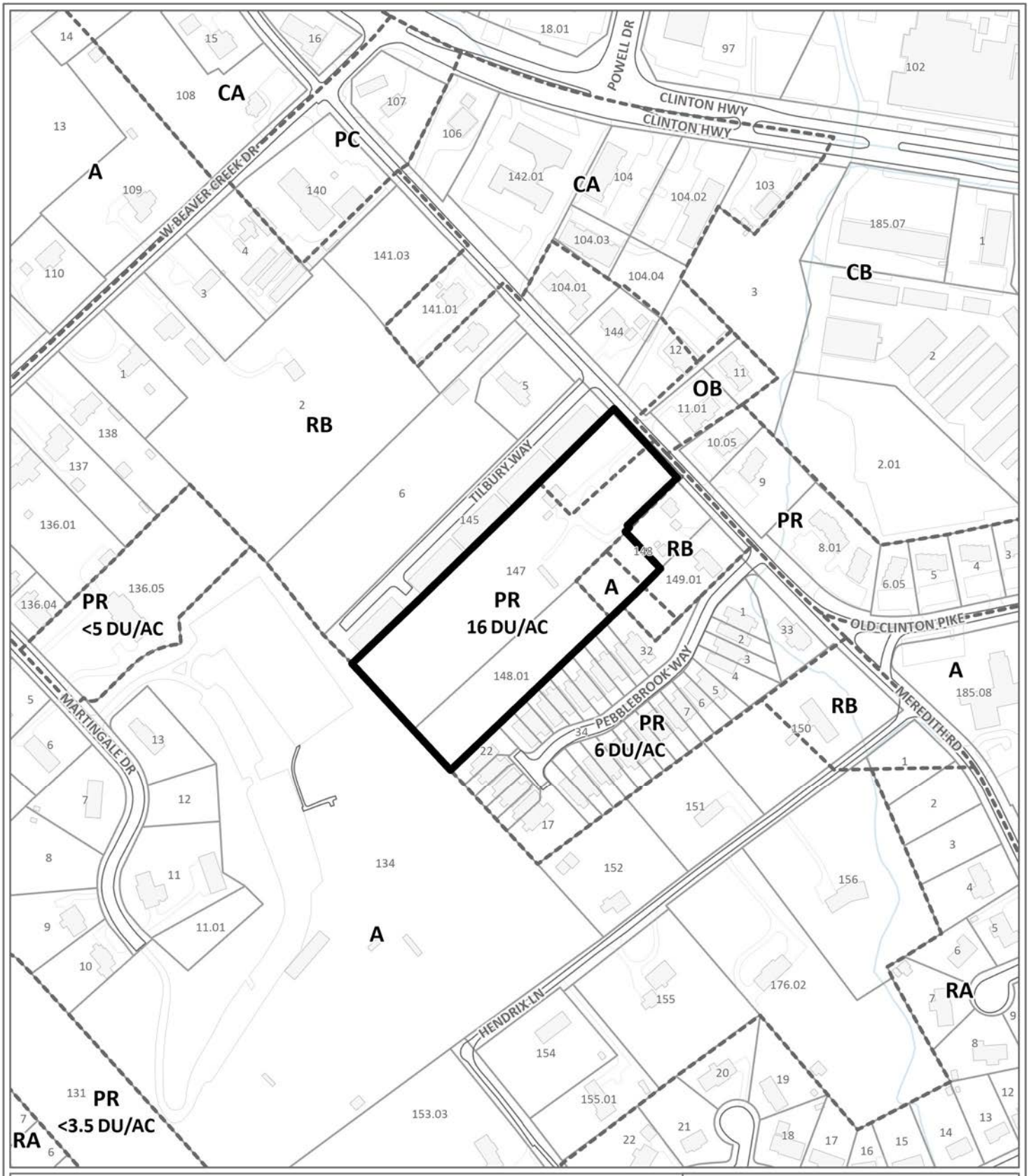
ESTIMATED STUDENT YIELD: 3 (public school children, grades K-12)

Schools affected by this proposal: Powell Elementary, Powell Middle, and Karns High.

• Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
• Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
• Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
• Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

Knoxville-Knox County Planning Commission's approval or denial of this concept plan request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court hearing will depend on when the appeal application is filed.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).



CONCEPT PLAN / DEVELOPMENT PLAN **2-SA-24-C / 2-A-24-DP**

Petitioner: Jenkins Builders

Attached residential subdivision in PR (Planned Residential) up to 12 du/ac (pending)

Map No: 67
Jurisdiction: County

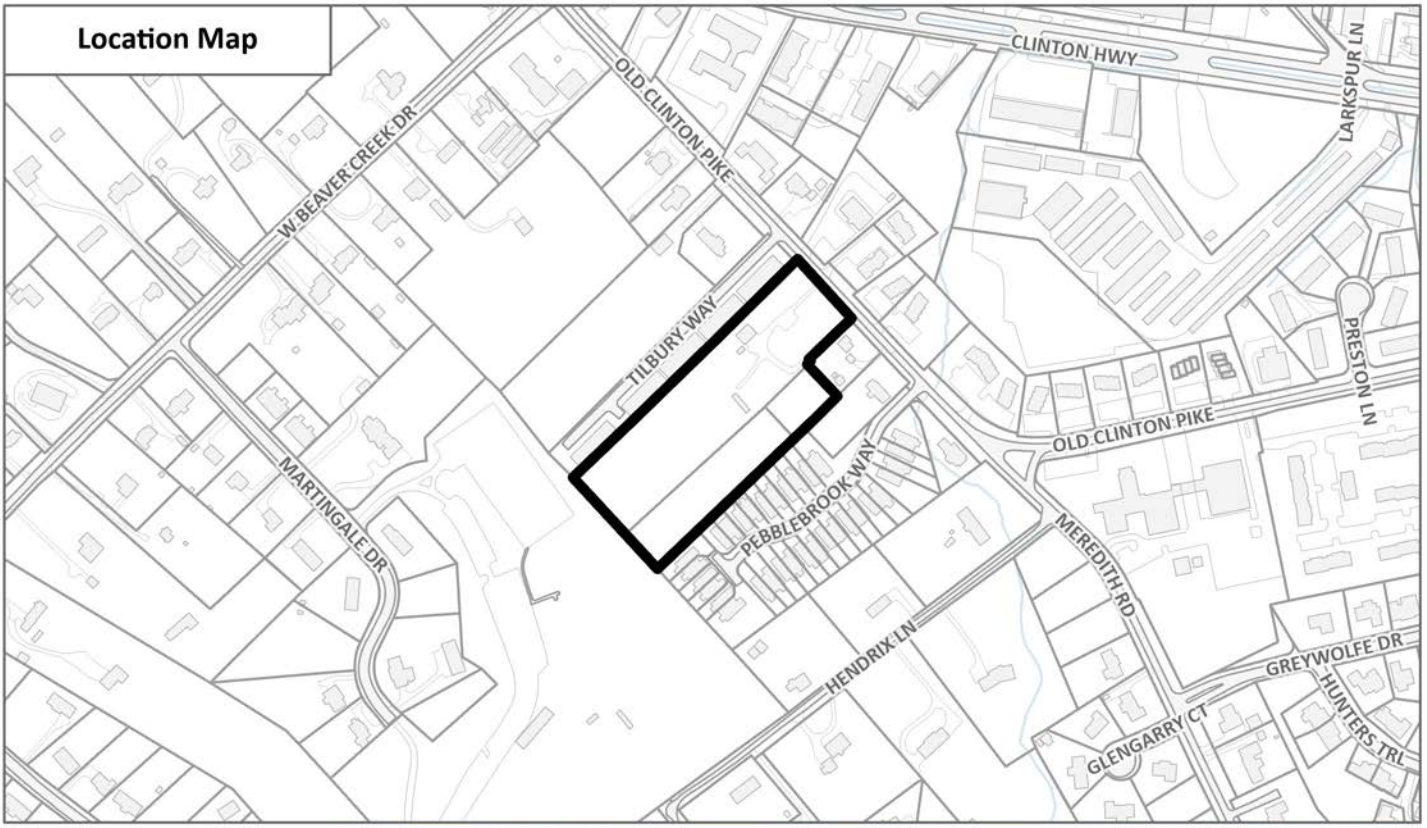
0 310
Feet

Original Print Date: 1/11/2024

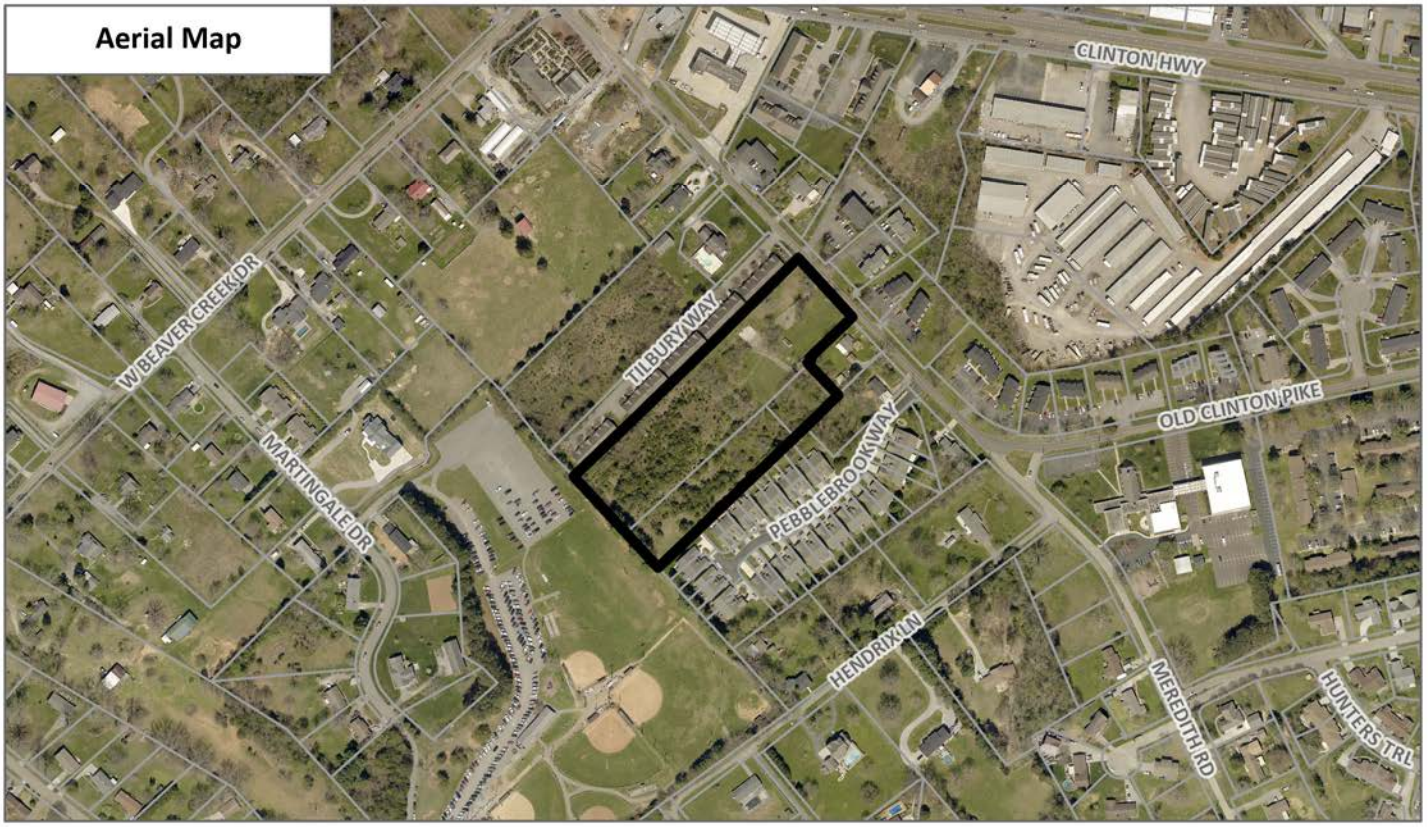
*Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902*

Exhibit A. Contextual Images

Location Map



Aerial Map



CONTEXTUAL MAPS 1 **2-SA-24-C / 2-A-24-DP**

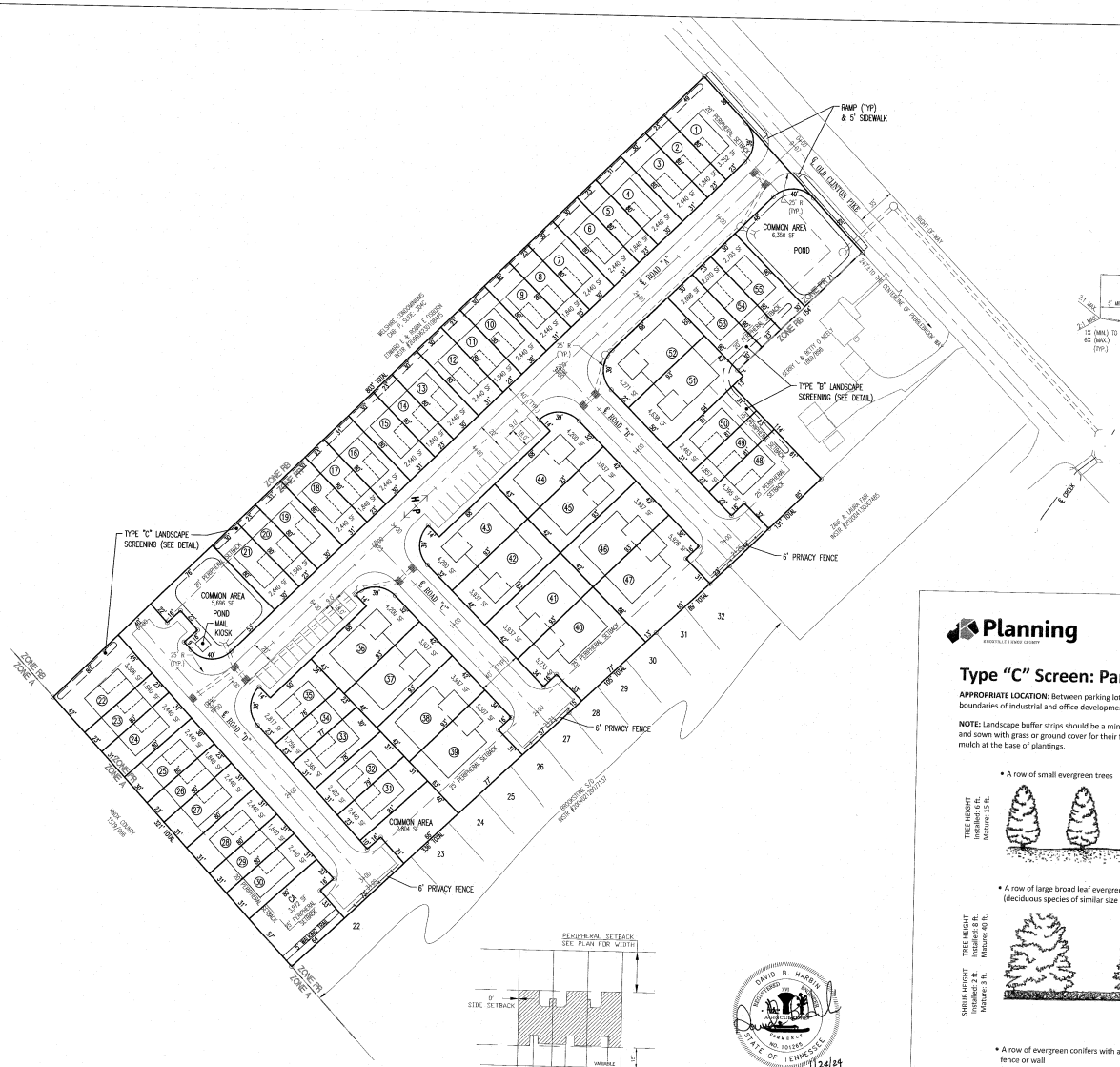
Case boundary

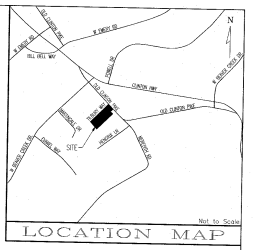
0 550
Feet

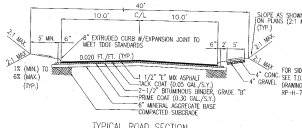
N

NOTES:

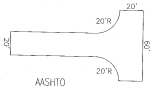
1. ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAT.
2. A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
3. A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
4. THIS PROPERTY CONTAINS APPROXIMATELY 5.593 ACRES SUBDIVIDED INTO 55 SINGLE FAMILY ATTACHED LOTS AND 4 COMMON AREA LOTS.
5. THIS PROPERTY IS ZONED PR @ 12 UNITS/ACRE.
6. ALL ROAD PROFILES ARE BASED ON LIDAR CONTOURS.
7. UTILITIES:
   WATER: HALLSDALE POWELL
   SEWER: HALLSDALE POWELL
   ELECTRIC: KNOXVILLE UTILITIES BOARD
   GAS: KNOXVILLE UTILITIES BOARD
   TELEPHONE: FRONTIER COMMUNICATIONS
8. GEOTECHNICAL ENGINEER SHALL CERTIFY THE SLOPE STABILITY ON ALL FILL SLOPES.
9. BUILDING SETBACKS ARE AS FOLLOWS:
   FRONT= 20'
   REAR= 15'
   SIDE= 5' (0' UNDER BUILDINGS)
10. EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS RESPONSIBLE TO FIELD LOCATE ALL UTILITIES, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION.
11. ALTERNATIVE DESIGN STANDARDS REQUIRING KNOX PLANNING APPROVAL
    a. LOT FRONTAGE LESS THAN 25'
    b. PRIVATE STREET RIGHT OF WAY FROM 50' TO 40'.
12. ALTERNATIVE DESIGN STANDARDS REQUIRING KNOX COUNTY ENGINEERING APPROVAL
    a. PAVEMENT WIDTH FROM 26' TO 20'.
    b. INTERSECTION ROAD GRADE FROM 1% TO 2% ROAD "A" @ OLD CLINTON PIKE.
    c. INTERSECTION ROAD GRADE FROM 1% TO 3% ROAD "C" @ ROAD "A".
    d. INTERSECTION ROAD GRADE FROM 1% TO 2% ROAD "D" @ ROAD "A".
13. PERIPHERAL SETBACK REQUEST ARE AS FOLLOWS:
    NE SIDE (LOTS 1-22) 20 FEET
    SW SIDE (LOTS 22-30) 20 FEET
    SE SIDE (LOTS 31, 39, 40, 47, 48) 25 FEET
    NE SIDE (LOTS 48-51) 15 FEET
    SE SIDE (LOTS 53-55) 20 FEET
    NE SIDE (ADJACENT TO OLD CLINTON PIKE) 20 FEET







TYPICAL ROAD SECTION
THRU 40' ROAD
"PRIVATE ROAD"



AASHTO
TURN-AROUND

Planning
KNOXVILLE | KNOX COUNTY

Design Guidelines
Landscape Screening

Type "B" Screen: Continuous

APPROPRIATE LOCATION: Screening parking and loading areas from adjoining residential and office districts

NOTE: Landscape buffer strips should be a minimum of 12 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

- Two offset rows of evergreen shrubs — Maximum 4' Centers
  SHRUB HEIGHT Installed: 4 ft. Mature: 8 ft.
- A continuous row of evergreen shrubs on a 3 ft. high earth berm — Maximum 3' Centers
  SHRUB HEIGHT Installed: 2 ft. Mature: 5 ft.
- A 5 ft. high masonry wall or timber fence with evergreen trees and low shrubs or climbing vines — Maximum 50' Centers
  TREE HEIGHT Installed: 6 ft. Mature: 15 ft.
- One row of evergreen trees with branches touching the ground — Maximum 10' Centers
  TREE HEIGHT Installed: 6 ft. Mature: 20 ft.

Knoxville-Knox County Planning | KnoxPlanning.org
400 Main Street, Suite 403 | Knoxville, TN 37902 | 865.215.2500

INTRODUCTION
Landscape screening reduces the impact of intense development upon adjacent land uses by providing visual separation, reducing the transmission of glare and air pollution, and limiting access. Screening also promotes the aesthetic appeal of a neighborhood and promotes higher property values.

This series of design guidelines defines several types of landscape screen. Each type is applicable to a certain intensity of conflict between adjacent land uses. Each screen type is illustrated by several planting schemes with an equivalent height, density and opacity of landscaping.

Planning uses these guidelines to illustrate desirable levels of screening appropriate to various site planning situations. Creative alternatives which achieve a comparable effect are encouraged.

The contents of these guidelines are advisory and are intended to supplement, but not replace, the requirements of the Knoxville Zoning Ordinance and the Knox County Zoning Ordinance.

TYPICAL LOT LAYOUT
FOR SINGLE FAMILY ATTACHED

CERTIFICATION OF CONCEPT PLAN

I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE IN THE STATE OF TENNESSEE, UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE CONCEPT PLAN ACCOMPANYING DRAWINGS, DOCUMENTS AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAVE BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

REGISTERED ENGINEER: David B Al
TENNESSEE CERTIFICATE NO. 101265

OWNER/DEVELOPER
JENKINS BUILDERS, INC.
5328 TURTLE POINT LANE
KNOXVILLE, TN 37919
PHONE: (865) 388-2753

DEED REFERENCES: DEED BK 1869 PG 898
DEED BK 1969 PG 895
INSTR #201104010058252

2-5A-24-C/2-A-24-DP

Planning
KNOXVILLE | KNOX COUNTY

Design Guidelines
Landscape Screening

Type "C" Screen: Partial

APPROPRIATE LOCATION: Between parking lots and public streets; boundaries of industrial and office development

NOTE: Landscape buffer strips should be a minimum of 8 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

- A row of small evergreen trees — Maximum 20' Centers
  TREE HEIGHT Installed: 6 ft. Mature: 20 ft.
- A row of large broad leaf evergreen trees with a 3 ft. high wall or hedge (deciduous species of similar size & form could be used for every second tree) — Maximum 50' Centers, Maximum 3' Centers
  TREE HEIGHT Installed: 8 ft. Mature: 40 ft.
  SHRUB HEIGHT Installed: 3 ft. Mature: 5 ft.
- A row of evergreen conifers with a 3 ft. high earth berm or solid fence or wall — Maximum 40' Centers
  TREE HEIGHT Installed: 6 ft. Mature: 15 ft.

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BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

DESIGNED	DBH		
DRAWN	SEW		
CHECKED	DBH	1 11/16/24	KKCP COMMENTS
		NO. DATE	REVISION APPR.

		NO.	DATE REVISION APPR.

SCALE
HORIZONTAL: 1"= 50'
VERTICAL: 2' INTERVAL

DATE
11/21/23

0' 50' 100' 150' 200'
1"=50'

CONCEPT PLAN OF
JENKINS BUILDERS-OLD CLINTON PIKE
TAX MAP 67 PARCELS 147, 148.01 & PART OF PARCEL 148
6TH CIVIL DISTRICT, KNOX COUNTY, TENNESSEE

25549-C

SHEET 1 OF 2 SHEET(S)

Q:\25549\25549-C.DWG

GENERAL NOTES

Watertown

This plan was designed and drafted BY Advanced House Plans to meet average conditions and codes in the State of Nebraska at the time it was designed. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, AHP cannot warrant compliance with any specific code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements, however, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal). The purchaser and/or builder of this plan releases the designer from any claims or lawsuits that may arise during the construction of this structure or anytime thereafter.

• If the contractor or sub-contractor, in the course of their work finds any discrepancies between the plan and the physical conditions of the site or structure, or any errors in the plans or specifications, it shall be their responsibility to immediately inform AHP, who will promptly verify and if necessary correct the working drawings. Any work done after such discovery will be done at the contractor's expense.

• Only the purchaser of this plan has permission to build this plan. The purchaser is given permission to reproduce the drawings only as required for such construction. The purchaser also has permission to modify this plan. No permission is given to any party to claim copyright on the original or modified plan. The modified plans shall remain subject to the license and may not be sold, distributed or otherwise transferred without the express written consent of Advanced House Plans. Infringing upon Advanced House Plans copyright through reproduction, distribution, construction or recreating a design is punishable by law with fine up to $150,000 as defined by architectural copyright laws.

DESIGN LOADS:

• Ultimate design wind speed: 115 mph, Exposure Category B

• Seismic Design Category A

Floor:	Roof:	Ceiling:
40 psf. live	30 psf. live	10 psf. live
15 psf. dead	10 psf. dead	5 psf. dead

• Soil bearing Capacity - 1500 psf.

• Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:
- All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- Provide proper expansion and control joints as per local requirements.
- All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
- All 48" x 48" x 24" concrete pads to have (4) #5 rods each way.
- Foundation walls are not to be backfilled until properly braced.
- Verify depth of frost footings with your local codes.
- Provide termite protection as required by HUD minimum property standards.
- Foundation bolts must be anchored to sill plate with 5/8" bolts embedded 15" in concrete walls.
- For window openings in conc. wall, provide #5 bars @4" o.c. (two total) w/ clearance from top 4 sides of opng. for jamb & lintel reinforcing. Extend reinforcing a minimum of 2' past opening edges.

STEEL:
- All structural steel for beams and plates shall comply with ASTM specification A-36.
- All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501
- All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- Provide steel shims in all beam pockets.
- Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:
- Unless noted otherwise, all framing lumber shall have the following characteristics:
  Fb = 1000 psi Fv = 75 psi E = 1,400,000 psi
- Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- Wall bracing method assumed as CS-WSP. Since braced wall line spacing and braced wall panel calculations vary by location, purchaser will need to consult a local professional for specific wall bracing calculations and diagrams.
- Hole sizes and locations in GLULAM or Laminated Veneered Lumber (L.V.L.) members are to be confirmed by a professional engineer.
- Any structural or framing members not indicated on the plan are to be sized by contractor.
- Double floor joists under all partition walls, unless noted otherwise.
- All subflooring is assumed to be 3/4" thick, glued & nailed.
- All exterior walls are dimensioned to outside of 1/2" sheathing
- Calculated dimensions take precedence over scaled dimensions.
- All angled walls on floor plans are at 45 degree angle, unless otherwise noted.
- Laterally unsupported walls 12'-0" high or higher shall be 2x6 and balloon framed unless noted otherwise.
- Unless noted otherwise, above all openings that are:
  (1) Load bearing and less than or equal to 3 ft. ..... use 4x6.
  (2) Load bearing and more than 3 ft. .....use (2) 2x12 with 1/2" Plywood between.
  (3) Non-load bearing and less than or equal to 6 ft. .....use 4x6.
  (4) Non-load bearing and more than 6 ft. ..... use (2) 2x12 with 1/2" Plywood between.
  (5) All exterior openings use (2) 2x12 with 1/2" Plywood between.
- All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
- All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- Collar ties are to be spaced 4'-0" o.c.
- All purlins and kickers are to be 2x6's unless noted otherwise.
- Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:
- Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- All materials, supplies and equipment to be installed as per manufacturer's specifications and per local codes and requirements.
- Provide proper insulation for all plumbing.
- 1/2" water-resistant drywall around showers, tubs and whirlpools.
- 1/2" drywall on interior walls and ceilings.
- 5/8" type "X" fire code drywall on garage walls and ceilings.
- When no brand is specified, windows are called out by glass size only.
- In dwelling units, where the top of the sill of an operable window opening unit is located less than 24 inches above the finished floor and greater than 72 inches above the finished grade, fall protection must comply with R312.2.1
- Window opening control devices on windows serving as a required emergency escape and rescue shall comply with ASTM F2090.
- Windows, if not noted, are assumed to be Casements.
- Header heights are labeled to bottom of arched transoms.
- Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- Headroom at stairs shall have a minimum clearance of 6'-8" high.
- Provide proper handrails at stairs per local codes.
- The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- Jog flue to rear of ridge as necessary.
- Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools per manufacturer's specifications.
- Air conditioner locations may vary depending on restrictive covenants and codes.

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SCAN TO RECEIVE OUR LATEST DESIGNS

SCAN TO VISIT OUR WEBSITE

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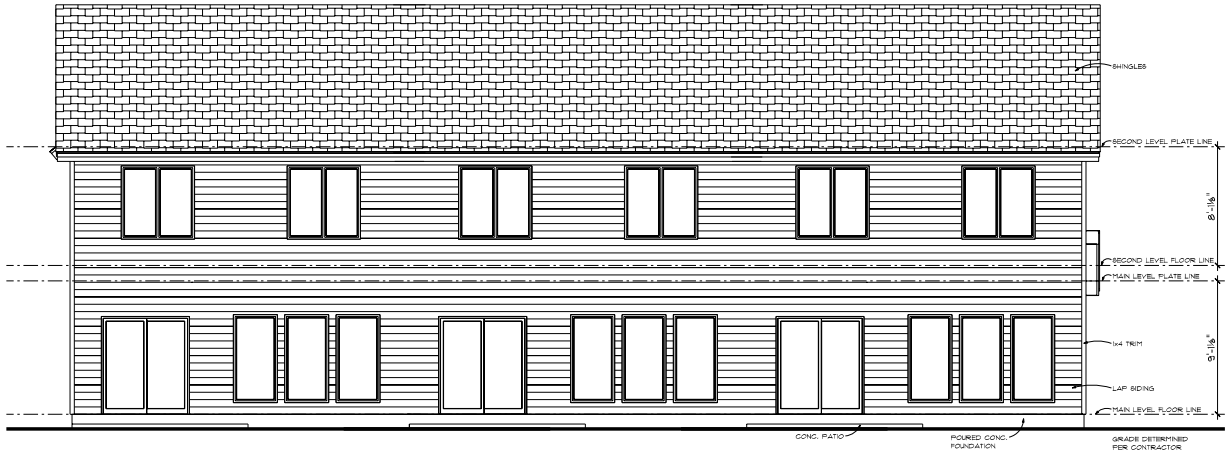
"100% SCALE = 24"x36"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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2
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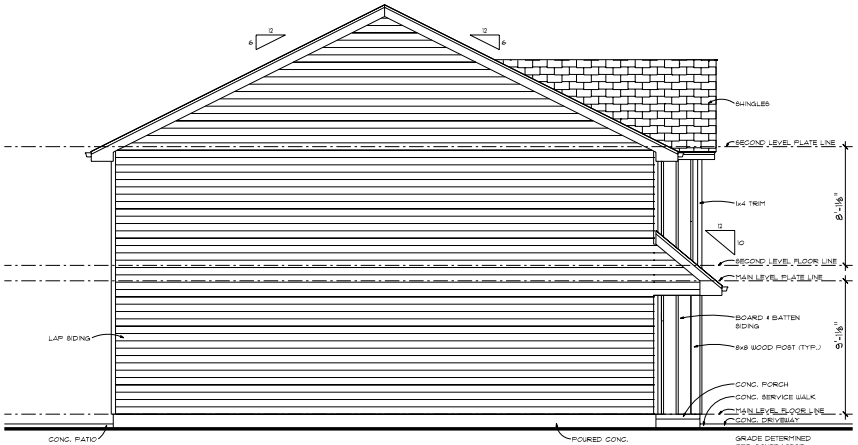
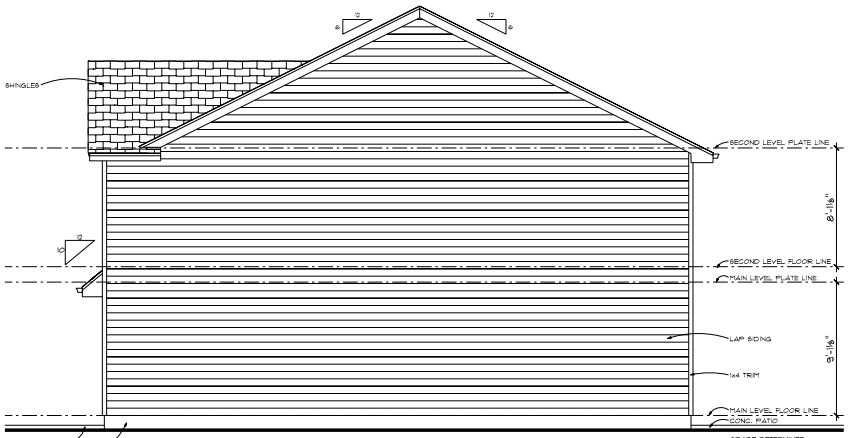


LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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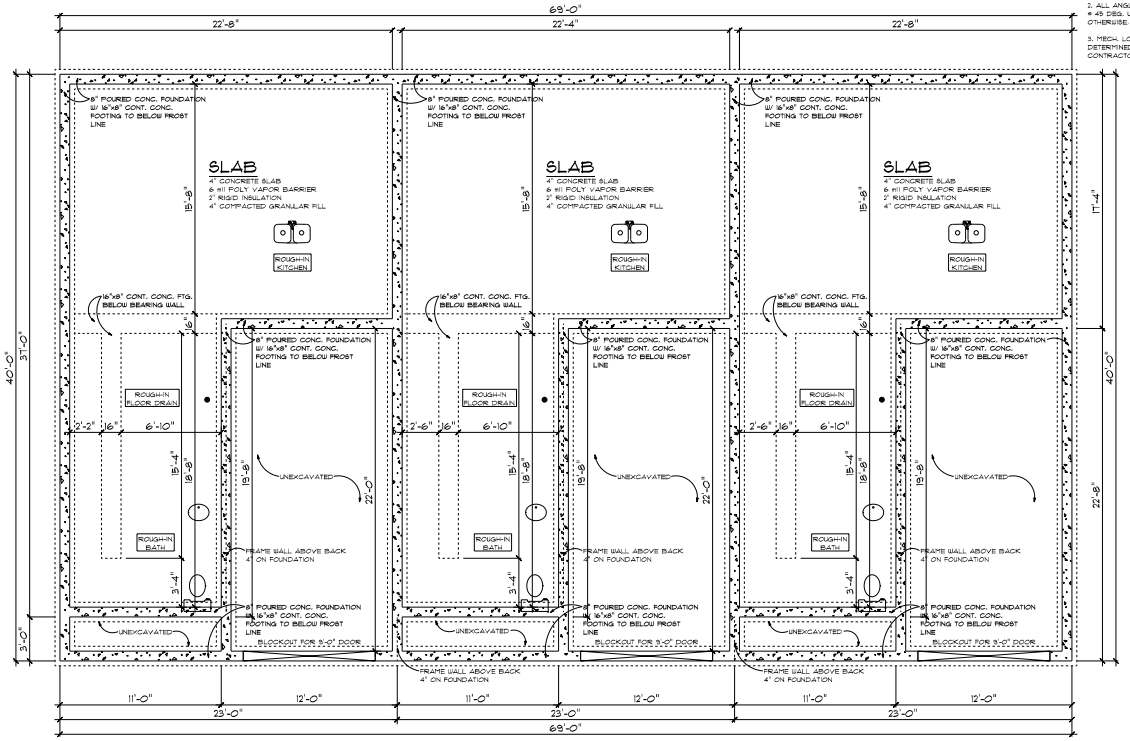
"100% SCALE = 24"x36"



GENERAL NOTES:

1. FOUNDATION WALLS ARE 8" TO BELOW FROST LINE UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE.

3. MECH. LOCATION DETERMINED PER CONTRACTOR.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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OF
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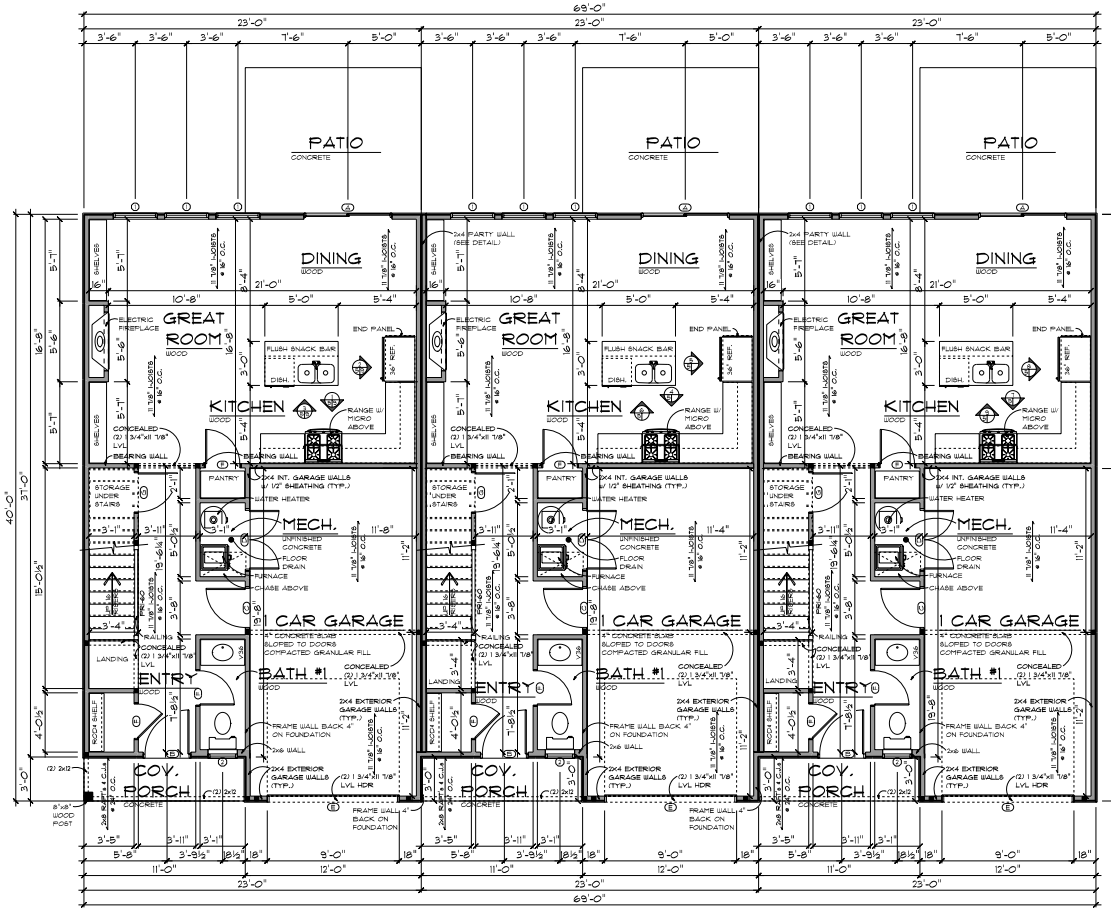
"100% SCALE @ 24"x36"

OPENING SCHEDULE - UNIT A				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	72X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR	4'-0" x 6'-8"	1
E	GARAGE	108X84 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	3
G	DOOR	32X80 1	2'-8" x 6'-8"	1

OPENING SCHEDULE - UNIT B				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	72X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR	4'-0" x 6'-8"	1
E	GARAGE	108X84 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	3
G	DOOR	32X80 1	2'-8" x 6'-8"	1

OPENING SCHEDULE - UNIT C				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	72X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR	4'-0" x 6'-8"	1
E	GARAGE	108X84 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	3
G	DOOR	32X80 1	2'-8" x 6'-8"	1



GENERAL NOTES:

1. ALL MAIN LEVEL WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE

2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE

3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD+1/2" SHEATHING) & ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE

4. MECH. LOCATION DETERMINED PER CONTRACTOR

UNIT A	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	264 sq. ft.
COVERED PORCH	33 sq. ft.

UNIT B	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	264 sq. ft.
COVERED PORCH	33 sq. ft.

UNIT C	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	264 sq. ft.
COVERED PORCH	33 sq. ft.

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

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ADVANCED HOUSE PLANS IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM LICENSED IN THE STATE OF SOUTH CAROLINA. WE ARE NOT LICENSED TO PRACTICE ARCHITECTURE OR ENGINEERING. THE CONSTRUCTION DOCUMENTS WE PROVIDE ARE NOT ARCHITECTURAL OR ENGINEERING DRAWINGS AND ARE NOT INTENDED FOR USE AS SUCH. THE ASSIGNMENT OF A CONSTRUCTION PROFESSIONAL, ARCHITECT/ENGINEER/CONTRACTOR TO REVIEW AND APPROVE OUR PLANS IS THE RESPONSIBILITY OF THE BUILDER AND/OR HOMEOWNER. THE BUILDER AND/OR HOMEOWNER IS RESPONSIBLE FOR ENSURING THAT THE PLANS COMPLY WITH ALL APPLICABLE CODES, LAWS AND REGULATIONS. IT IS ALSO THE RESPONSIBILITY OF THE BUILDER AND/OR HOMEOWNER TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. ADVANCED HOUSE PLANS IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR DURING OR AFTER THE BUILDING PROCESS.

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SHEET
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100% SCALE = 24"x36"

OPENING SCHEDULE - UNIT A				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
3	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	3
4	WINDOW	60X42 CASEMENT 2	5'-0" x 3'-6"	1
G	DOOR	32X80 1	2'-8" x 6'-8"	3
F	DOOR	28X80 1	2'-4" x 6'-8"	3
H	DOOR	42X80 2	3'-6" x 6'-8"	2
I	SLIDING DOOR	72X80 SLIDING 2	6'-0" x 6'-8"	2

OPENING SCHEDULE - UNIT B				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
3	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	3
4	WINDOW	60X42 CASEMENT 2	5'-0" x 3'-6"	1
G	DOOR	32X80 1	2'-8" x 6'-8"	3
F	DOOR	28X80 1	2'-4" x 6'-8"	3
H	DOOR	42X80 2	3'-6" x 6'-8"	2
I	SLIDING DOOR	72X80 SLIDING 2	6'-0" x 6'-8"	2

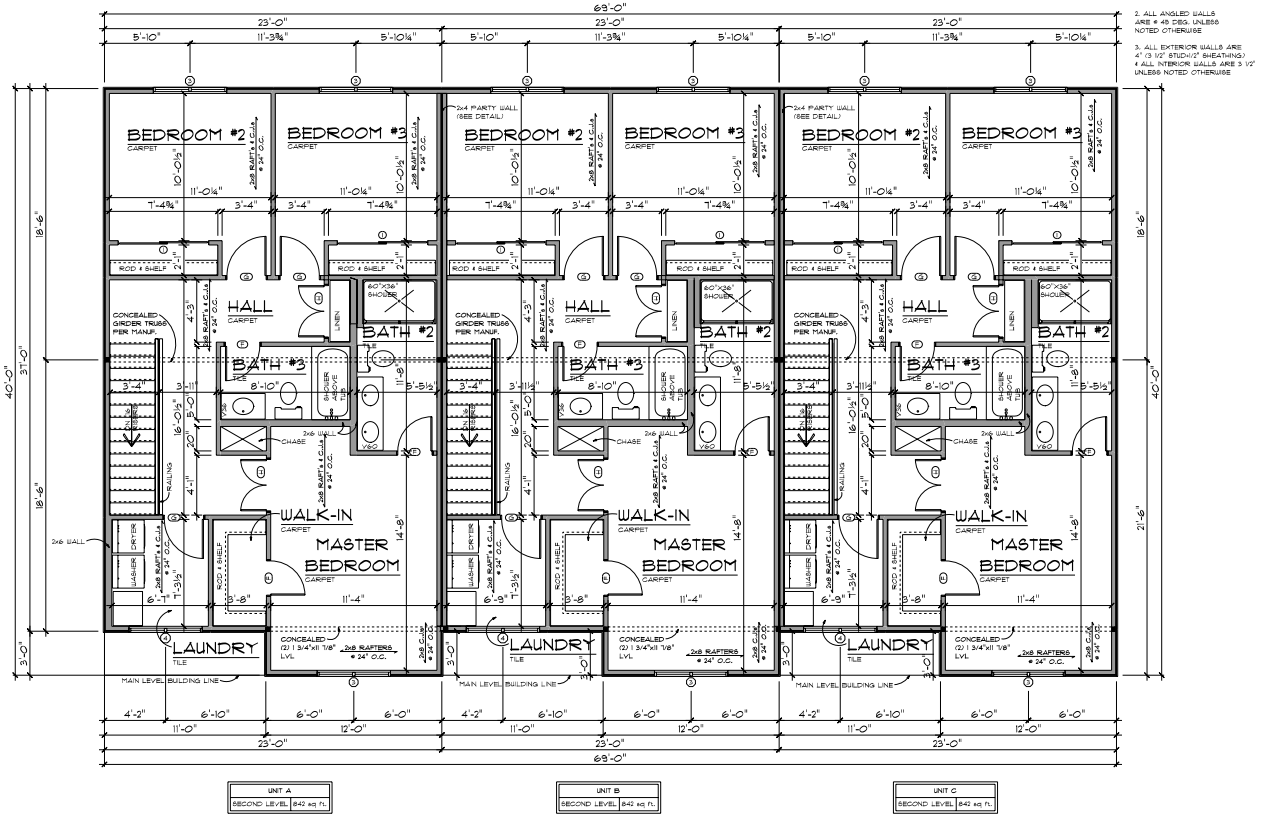
OPENING SCHEDULE - UNIT C				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
3	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	3
4	WINDOW	60X42 CASEMENT 2	5'-0" x 3'-6"	1
G	DOOR	32X80 1	2'-8" x 6'-8"	3
F	DOOR	28X80 1	2'-4" x 6'-8"	3
H	DOOR	42X80 2	3'-6" x 6'-8"	2
I	SLIDING DOOR	72X80 SLIDING 2	6'-0" x 6'-8"	2

GENERAL NOTES:

1. ALL SECOND LEVEL WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE

2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE

3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD+1/2" SHEATHING) & ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE



UNIT A	
SECOND LEVEL	842 sq ft.

UNIT B	
SECOND LEVEL	842 sq ft.

UNIT C	
SECOND LEVEL	842 sq ft.

SECOND LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

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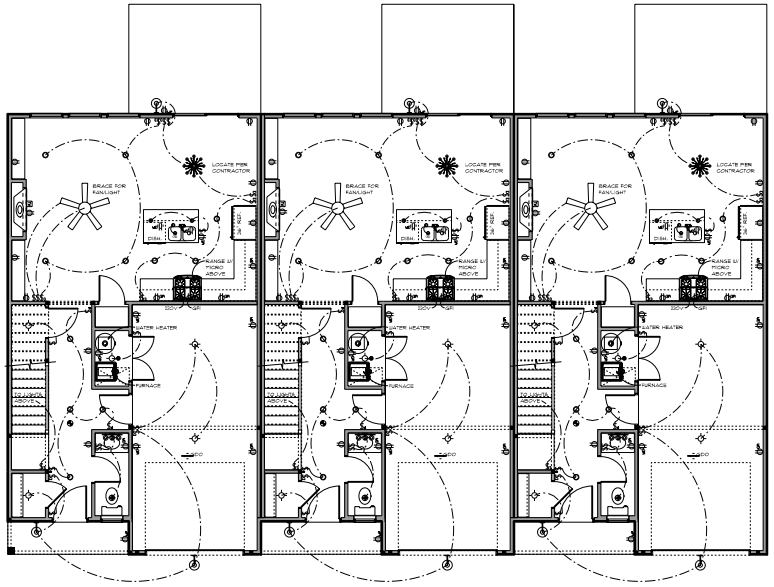
100% SCALE @ 24"x36"

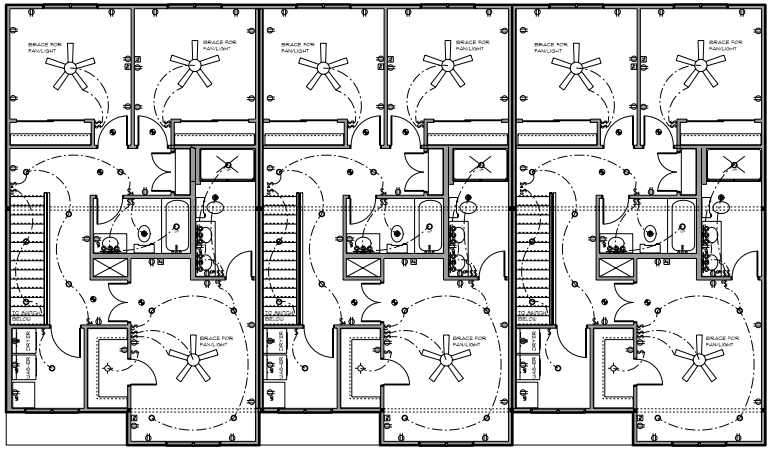
ELECTRICAL LEGEND - UNITS A, B, C		
ELECTRICAL	COUNT	SYMBOL
ceiling fan & blades CH	3	
can light 6inch	30	
ceiling classic	3	
pendant globe	6	
set back savoy	5	
GARAGE DOOR OUTLET	3	
GARBAGE DISPOSAL	3	
PLUNGER SUITCH	3	
cable tv outlet	3	
fan	3	
light	9	
outlet	30	
outlet 220v	3	
outlet gfi	33	
outlet up	6	
smoke detector	3	
switch	30	
switch 3 way	21	
switch 4 way	3	
set mounted G3 3 lights	3	



MAIN LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND - UNITS A, B, C		
ELECTRICAL	COUNT	SYMBOL
ceiling fan & blades CH	6	
CAN LIGHT WATERPROOF 6INCH	6	
can light 6inch	30	
cable tv outlet	12	
fan	6	
light	3	
outlet	78	
outlet 220v	3	
outlet gfi	15	
smoke detector	15	
switch	30	
switch 3 way	5	
switch 4 way	5	
set mounted G3 3 lights	5	



SECOND LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

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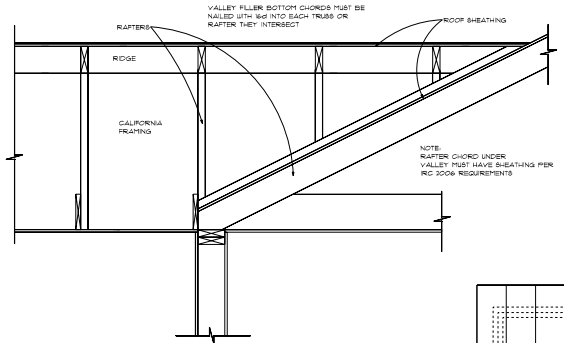
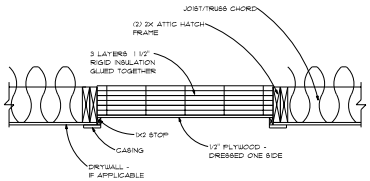


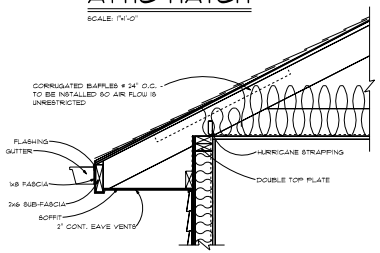
ROOF OVERFRAMING

SCALE: 1"=1'-0"



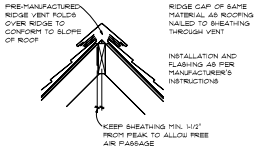
ATTIC HATCH

SCALE: 1"=1'-0"



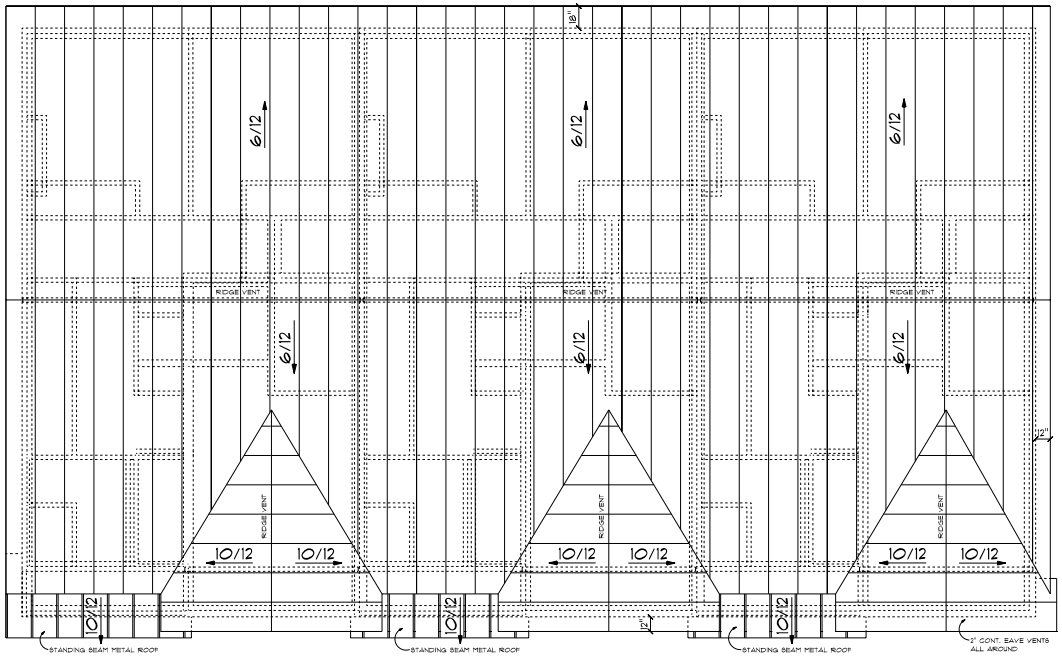
EAVE VENT

SCALE: 1"=1'-0"



RIDGE VENT

SCALE: 1"=1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

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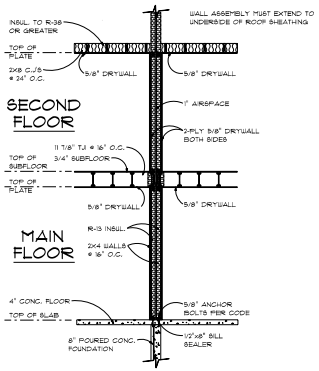
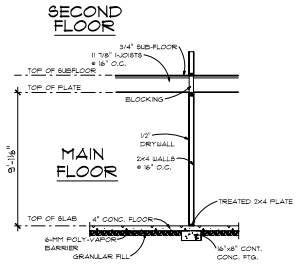


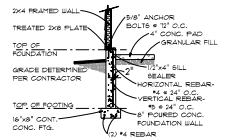
PARTY WALL

SCALE: 1/4" = 1'-0"



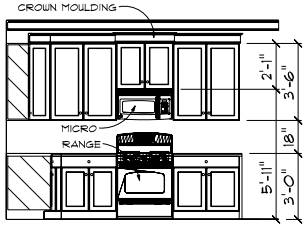
TYP 2x4 BEARING WALL

SCALE: 1/4" = 1'-0"

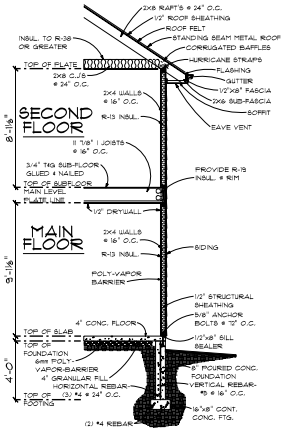


TYP. GARAGE WALL

SCALE: 1/4" = 1'-0"

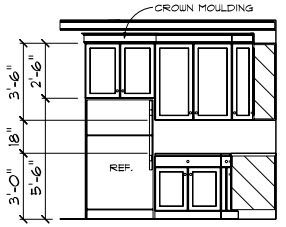


DETAIL 1, 4, 7

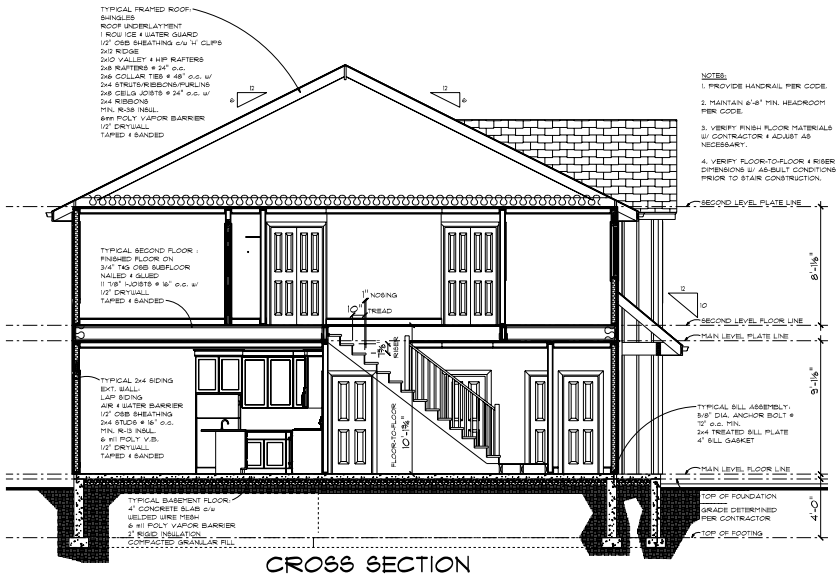


TYP. WALL SECTION

SCALE: 1/4" = 1'-0"

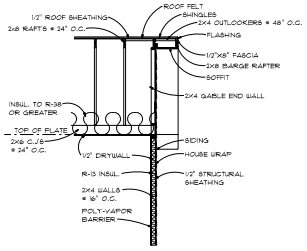


DETAIL 2, 5, 8



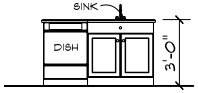
CROSS SECTION

SCALE: 1/4" = 1'-0"



TYP. GABLE END SECTION

SCALE: 1/4" = 1'-0"



DETAIL 3, 6, 9

CABINET ELEVATIONS

SCALE: 3/8" = 1'-0"

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Alternative Design Standards

The minimum design and performance standards shall apply to all subdivisions unless an alternative design standard is permitted within Article 3 Section 3.01.D, Application of Alternative Design Standards, or Article 4.01.C, Street Standards (within Hillside and Ridgetop Areas).

There are some alternative design standards that require Planning Commission approval, and some that can be approved by the Engineering Departments of the City or County. However, the City or County Engineering Departments, as applicable, will provide review comments on any alternative design proposed. These comments will be provided during the review process.

Alternative Design Standards Requiring Planning Commission Approval

Section 3.03.B.2 - Street frontage in the PR (Planned Residential) zone, Knox County
Section 3.03.E.1.e – Maximum grade of private right-of-way
Section 3.03.E.3.a – Pavement width reduction, private rights-of-way serving 6 or more lots
Section 3.04.H.2 – Maximum grade, public streets
Section 3.04.I.1.b.1 – Horizontal curves, local streets in Knox County

Alternative Design Standards Approved by the Engineering Departments of the City of Knoxville or Knox County

Section 3.03.E.3.a – Right-of-way width reduction, private rights-of-way serving 6 or more lots
Section 3.04.A.3.c – Right-of-way dedication, new subdivisions
Section 3.04.F.1 – Right-of-way reduction, local streets
Section 3.04.G.1 – Pavement width reduction, local streets
Section 3.04.H.3 – Intersection grade, all streets
Section 3.04.J.2 – Corner radius reduction in agricultural, residential, and office zones
Section 3.04.J.3 – Corner radius reduction in commercial and industrial zones
Section 3.11.A.2 – Standard utility and drainage easement

By signing this form, I certify that the criteria for a variance have been met for each request, and that any and all requests needed to meet the Subdivision Regulations are requested above or are attached. I understand and agree that no additional variances can be acted upon by the legislative body upon appeal and none will be requested.

Signature	Printed Name	Date
David Harbin	David Harbin	1/19/24

For each alternative design standard requested, identify how the proposed alternative design either meets the intent of the standard in the Subdivision Regulations or meets an alternative, nationally recognized engineering standard such as The American Association of State Highway and Transportation Officials (AASHTO) or Public Right-of-Way Accessibility Guidelines (PROWAG).

1. ALTERNATIVE DESIGN STANDARD REQUESTED:

Reduce private street right-of-way from 50' to 40'

Approval required by: Planning Commission ☐ Engineering ☑

Engineering supports the alternative design standard requested
(to be completed during review process): YES ☐ NO ☐
Engineering Comments:

2. ALTERNATIVE DESIGN STANDARD REQUESTED:

Reduce private street pavement width from 26' to 20'

Approval required by: Planning Commission ☐ Engineering ☑

Engineering supports the alternative design standard requested
(to be completed during review process): YES ☐ NO ☐
Engineering Comments:

3. ALTERNATIVE DESIGN STANDARD REQUESTED:

Street frontage in the PR zone from 25' to 23'

Approval required by: Planning Commission ☑ Engineering ☐

Engineering supports the alternative design standard requested
(to be completed during review process): YES ☐ NO ☐
Engineering Comments:

4. ALTERNATIVE DESIGN STANDARD REQUESTED:

Intersection grade
1% to 2% Road A @ old Clinton PK
1% to 3% Road C @ Rd A
1% + 2% Road D @ Rd A

Approval required by: Planning Commission ☐ Engineering ☒

Engineering supports the alternative design standard requested (to be completed during review process): YES ☐ NO ☐

Engineering Comments:

5. ALTERNATIVE DESIGN STANDARD REQUESTED:

Approval required by: Planning Commission ☐ Engineering ☐

Engineering supports the alternative design standard requested (to be completed during review process): YES ☐ NO ☐

Engineering Comments:

GENERAL NOTES

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This plan was designed and drafted BY Advanced House Plans to meet average conditions and codes in the State of Nebraska at the time it was designed. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, AHP cannot warrant compliance with any specific code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements, however, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal). The purchaser and/or builder of this plan releases the designer from any claims or lawsuits that may arise during the construction of this structure or anytime thereafter.

• If the contractor or sub-contractor, in the course of their work finds any discrepancies between the plan and the physical conditions of the site or structure, or any errors in the plans or specifications, it shall be their responsibility to immediately inform AHP, who will promptly verify and if necessary correct the working drawings. Any work done after such discovery will be done at the contractor's expense.

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DESIGN LOADS:

• Ultimate design wind speed: 115 mph, Exposure Category B

• Seismic Design Category A

Floor:	Roof:	Ceiling:
40 psf. live	30 psf. live	10 psf. live
15 psf. dead	10 psf. dead	5 psf. dead

• Soil bearing Capacity - 1500 psf.

• Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:
- All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- Provide proper expansion and control joints as per local requirements.
- All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
- All 48" x 48" x 24" concrete pads to have (4) #5 rods each way.
- Foundation walls are not to be backfilled until properly braced.
- Verify depth of frost footings with your local codes.
- Provide termite protection as required by HUD minimum property standards.
- Foundation bolts must be anchored to sill plate with 5/8" bolts embedded 15" in concrete walls.
- For window openings in conc. wall, provide #5 bars @4" o.c. (two total) w/ clearance from top 4 sides of opng. for jamb & lintel reinforcing. Extend reinforcing a minimum of 2' past opening edges.

STEEL:
- All structural steel for beams and plates shall comply with ASTM specification A-36.
- All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501
- All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- Provide steel shims in all beam pockets.
- Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:
- Unless noted otherwise, all framing lumber shall have the following characteristics:
  Fb = 1000 psi Fv = 75 psi E = 1,400,000 psi
- Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- Wall bracing method assumed as CS-WSP. Since braced wall line spacing and braced wall panel calculations vary by location, purchaser will need to consult a local professional for specific wall bracing calculations and diagrams.
- Hole sizes and locations in GLULAM or Laminated Veneered Lumber (L.V.L.) members are to be confirmed by a professional engineer.
- Any structural or framing members not indicated on the plan are to be sized by contractor.
- Double floor joists under all partition walls, unless noted otherwise.
- All subflooring is assumed to be 3/4" thick, glued & nailed.
- All exterior walls are dimensioned to outside of 1/2" sheathing
- Calculated dimensions take precedence over scaled dimensions.
- All angled walls on floor plans are at 45 degree angle, unless otherwise noted.
- Laterally unsupported walls 12'-0" high or higher shall be 2x6 and balloon framed unless noted otherwise.
- Unless noted otherwise, above all openings that are:
  (1) Load bearing and less than or equal to 3 ft. ..... use 4x6.
  (2) Load bearing and more than 3 ft. .....use (2) 2x12 with 1/2" Plywood between.
  (3) Non-load bearing and less than or equal to 6 ft. .....use 4x6.
  (4) Non-load bearing and more than 6 ft. ..... use (2) 2x12 with 1/2" Plywood between.
  (5) All exterior openings use (2) 2x12 with 1/2" Plywood between.
- All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
- All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- Collar ties are to be spaced 4'-0" o.c.
- All purlins and kickers are to be 2x6's unless noted otherwise.
- Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:
- Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- All materials, supplies and equipment to be installed as per manufacturer's specifications and per local codes and requirements.
- Provide proper insulation for all plumbing.
- 1/2" water-resistant drywall around showers, tubs and whirlpools.
- 1/2" drywall on interior walls and ceilings.
- 5/8" type "X" fire code drywall on garage walls and ceilings.
- When no brand is specified, windows are called out by glass size only.
- In dwelling units, where the top of the sill of an operable window opening unit is located less than 24 inches above the finished floor and greater than 72 inches above the finished grade, fall protection must comply with R312.2.1
- Window opening control devices on windows serving as a required emergency escape and rescue shall comply with ASTM F2090.
- Windows, if not noted, are assumed to be Casements.
- Header heights are labeled to bottom of arched transoms.
- Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- Headroom at stairs shall have a minimum clearance of 6'-8" high.
- Provide proper handrails at stairs per local codes.
- The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- Jog flue to rear of ridge as necessary.
- Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools per manufacturer's specifications.
- Air conditioner locations may vary depending on restrictive covenants and codes.

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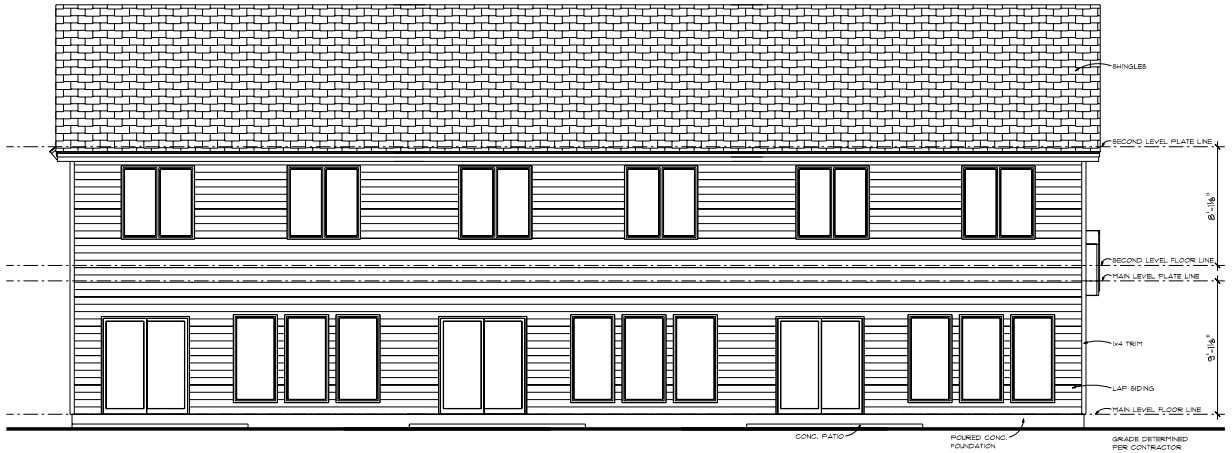

REAR ELEVATION

SCALE: 1/4" = 1'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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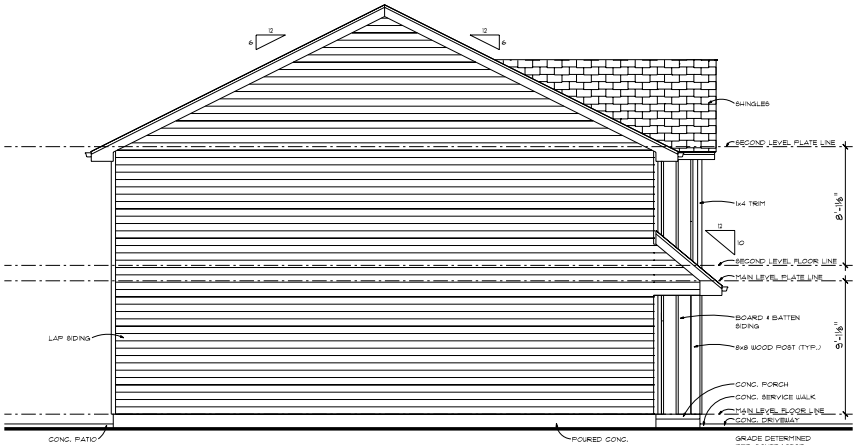
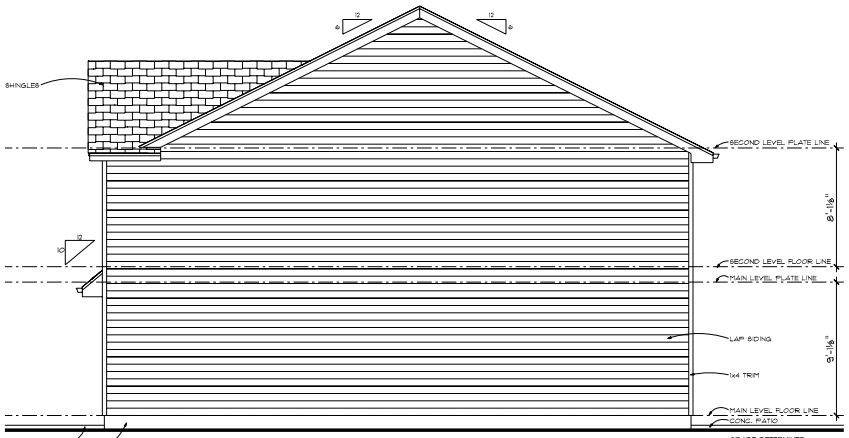


LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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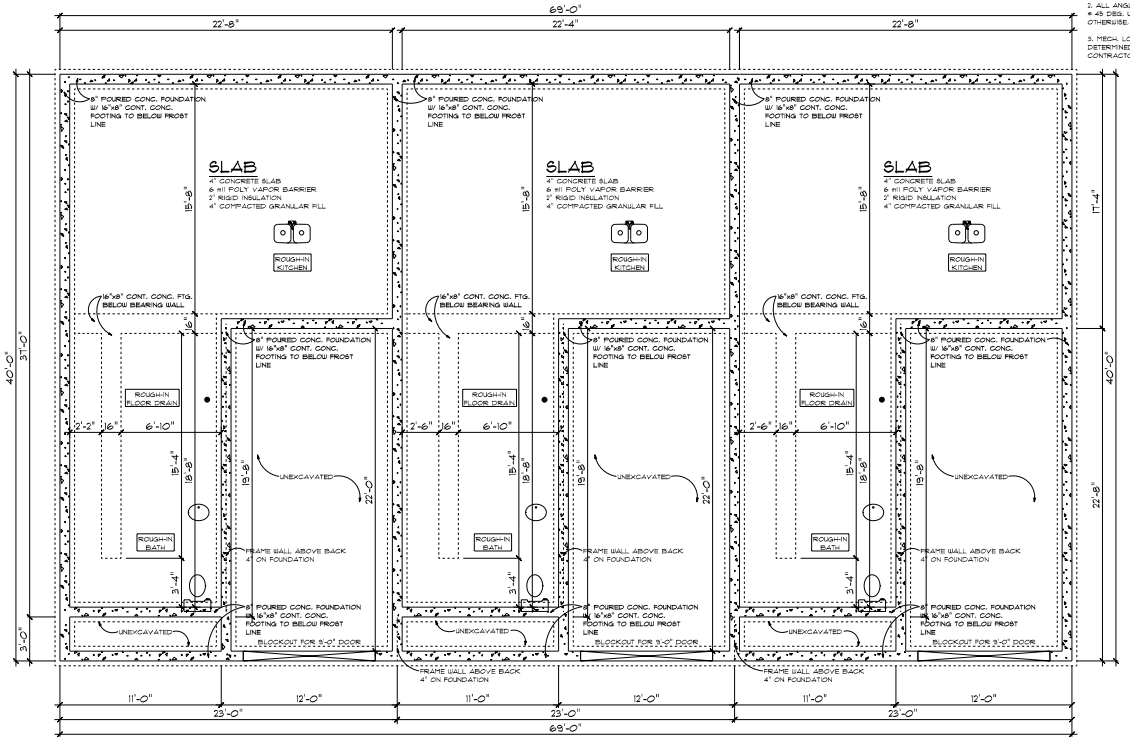

GENERAL NOTES:

1. FOUNDATION WALLS ARE 8" TO BELOW FROST LINE UNLESS NOTED OTHERWISE.

2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE.

3. MECH. LOCATION DETERMINED PER CONTRACTOR.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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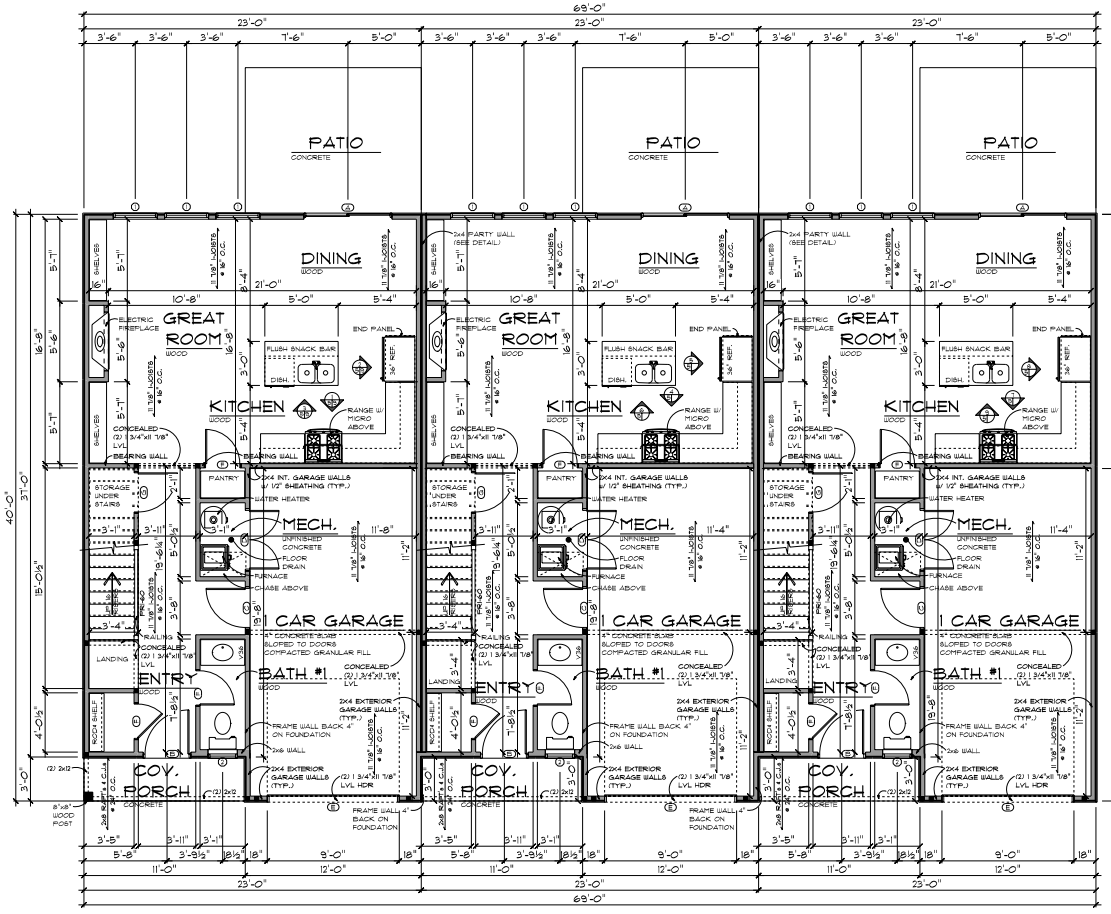
"100% SCALE @ 24"x36"

OPENING SCHEDULE - UNIT A				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	72X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR	4'-0" x 6'-8"	1
E	GARAGE	108X84 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	3
G	DOOR	32X80 1	2'-8" x 6'-8"	1

OPENING SCHEDULE - UNIT B				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	72X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR	4'-0" x 6'-8"	1
E	GARAGE	108X84 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	3
G	DOOR	32X80 1	2'-8" x 6'-8"	1

OPENING SCHEDULE - UNIT C				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	36X72 CASEMENT 1	3'-0" x 6'-0"	3
2	WINDOW	24X48 CASEMENT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	72X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X80 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR	4'-0" x 6'-8"	1
E	GARAGE	108X84 - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	28X80 1	2'-4" x 6'-8"	3
G	DOOR	32X80 1	2'-8" x 6'-8"	1



GENERAL NOTES:

1. ALL MAIN LEVEL WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE

2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE

3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD+1/2" SHEATHING) & ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE

4. MECH. LOCATION DETERMINED PER CONTRACTOR

UNIT A	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	264 sq. ft.
COVERED PORCH	33 sq. ft.

UNIT B	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	264 sq. ft.
COVERED PORCH	33 sq. ft.

UNIT C	
MAIN LEVEL	622 sq. ft.
SECOND LEVEL	842 sq. ft.
TOTAL FINISHED	1464 sq. ft.
GARAGE	264 sq. ft.
COVERED PORCH	33 sq. ft.

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

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OPENING SCHEDULE - UNIT A				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
3	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	3
4	WINDOW	60X42 CASEMENT 2	5'-0" x 3'-6"	1
G	DOOR	32X80 1	2'-8" x 6'-8"	3
F	DOOR	28X80 1	2'-4" x 6'-8"	3
H	DOOR	42X80 2	3'-6" x 6'-8"	2
I	SLIDING DOOR	72X80 SLIDING 2	6'-0" x 6'-8"	2

OPENING SCHEDULE - UNIT B				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
3	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	3
4	WINDOW	60X42 CASEMENT 2	5'-0" x 3'-6"	1
G	DOOR	32X80 1	2'-8" x 6'-8"	3
F	DOOR	28X80 1	2'-4" x 6'-8"	3
H	DOOR	42X80 2	3'-6" x 6'-8"	2
I	SLIDING DOOR	72X80 SLIDING 2	6'-0" x 6'-8"	2

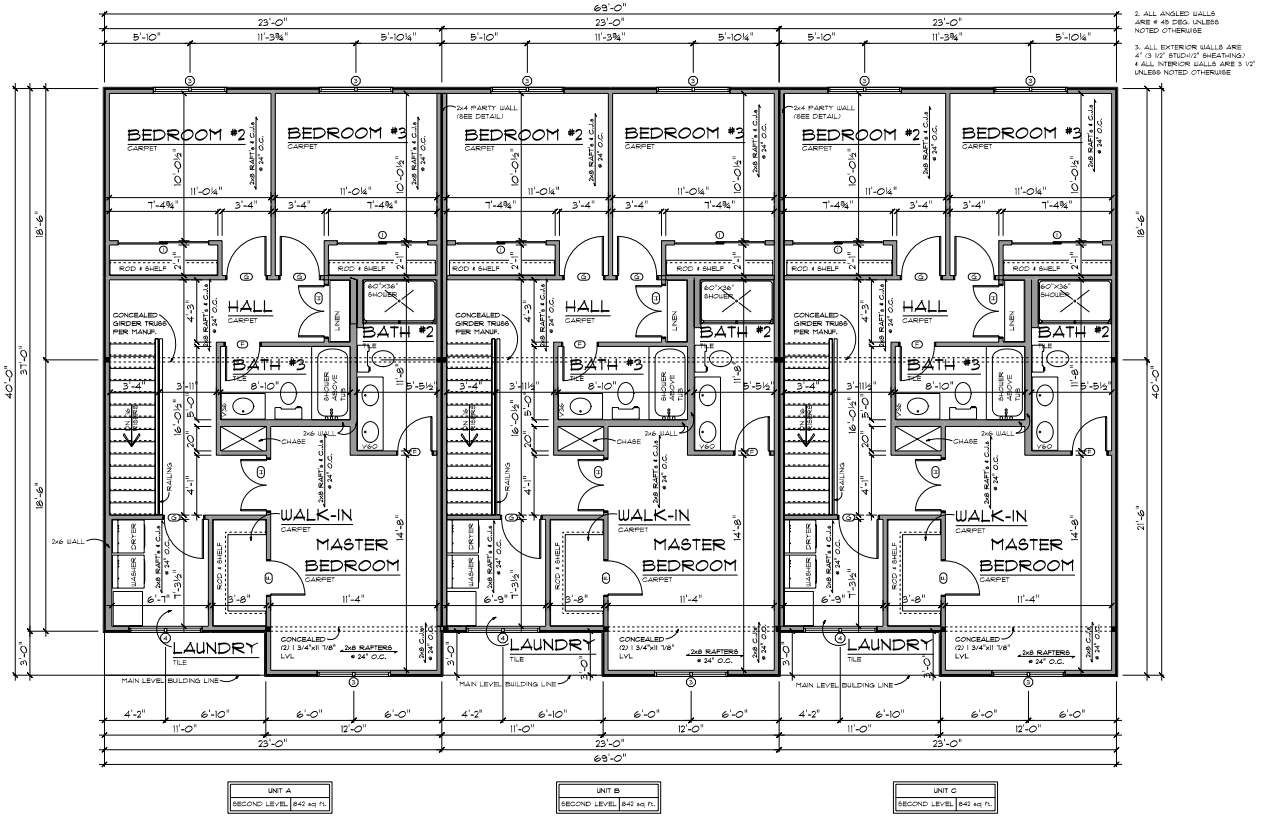
OPENING SCHEDULE - UNIT C				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
3	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	3
4	WINDOW	60X42 CASEMENT 2	5'-0" x 3'-6"	1
G	DOOR	32X80 1	2'-8" x 6'-8"	3
F	DOOR	28X80 1	2'-4" x 6'-8"	3
H	DOOR	42X80 2	3'-6" x 6'-8"	2
I	SLIDING DOOR	72X80 SLIDING 2	6'-0" x 6'-8"	2

GENERAL NOTES:

1. ALL SECOND LEVEL WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE

2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE

3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD+1/2" SHEATHING) & ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE



UNIT A	
SECOND LEVEL	842 sq ft.

UNIT B	
SECOND LEVEL	842 sq ft.

UNIT C	
SECOND LEVEL	842 sq ft.

SECOND LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

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100% SCALE @ 24"x36"

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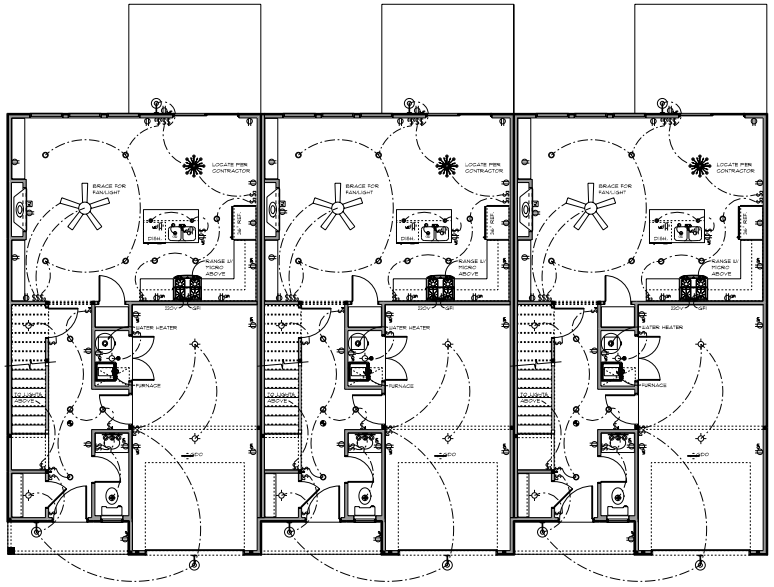
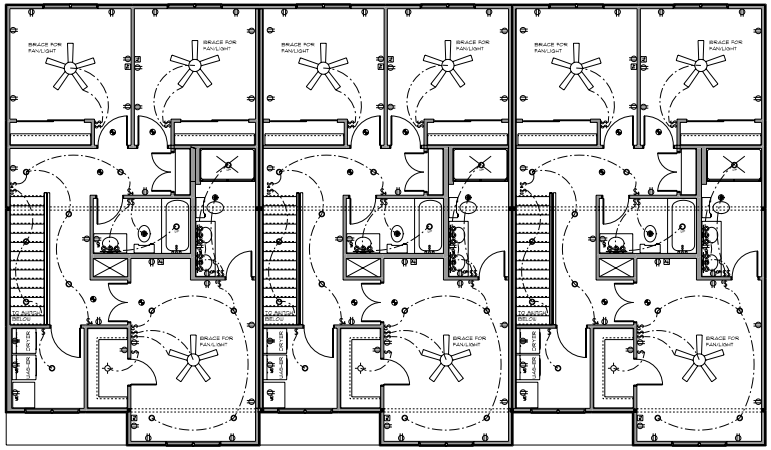
ELECTRICAL LEGEND - UNITS A, B, C		
ELECTRICAL	COUNT	SYMBOL
ceiling fan & blades CH	3	
can light 6inch	30	
ceiling classic	3	
pendant globe	6	
set back savoy	5	
GARAGE DOOR OUTLET	3	
GARBAGE DISPOSAL	3	
PLUNGER SUITCH	3	
cable tv outlet	3	
fan	3	
light	9	
outlet	30	
outlet 220v	3	
outlet gfi	33	
outlet up	6	
smoke detector	3	
switch	30	
switch 3 way	21	
switch 4 way	3	
set mounted G3 3 lights	3	



MAIN LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND - UNITS A, B, C		
ELECTRICAL	COUNT	SYMBOL
ceiling fan & blades CH	6	
CAN LIGHT WATERPROOF 6INCH	6	
can light 6inch	30	
cable tv outlet	12	
fan	6	
light	3	
outlet	78	
outlet 220v	3	
outlet gfi	15	
smoke detector	15	
switch	30	
switch 3 way	5	
switch 4 way	5	
set mounted G3 3 lights	5	



SECOND LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

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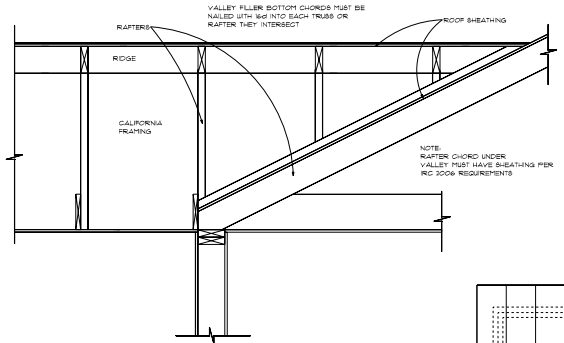
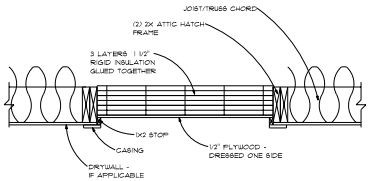


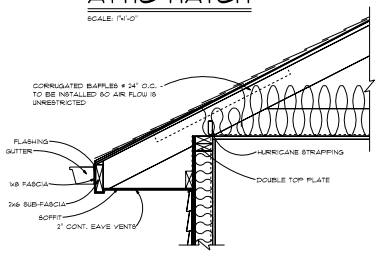
ROOF OVERFRAMING

SCALE: 1"=1'-0"



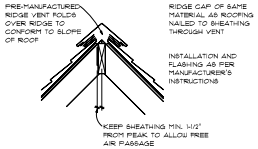
ATTIC HATCH

SCALE: 1"=1'-0"



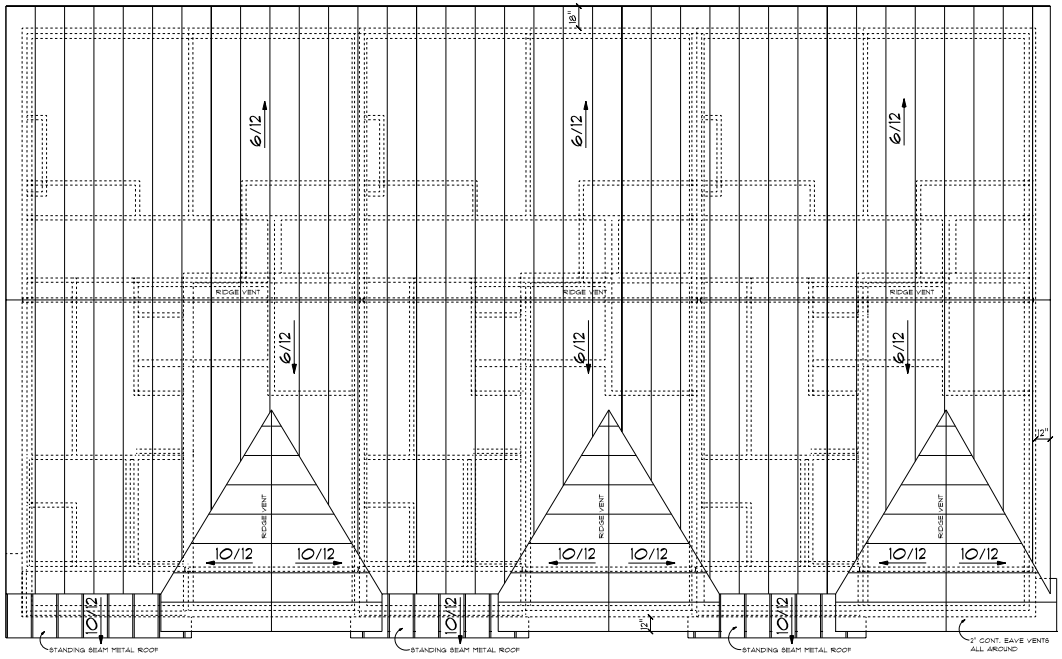
EAVE VENT

SCALE: 1"=1'-0"



RIDGE VENT

SCALE: 1"=1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

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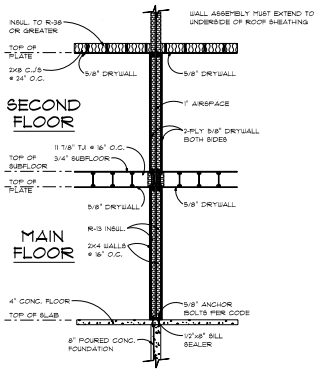
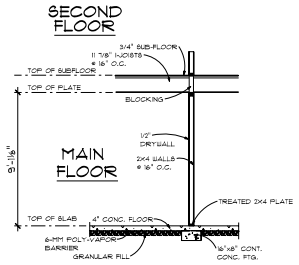


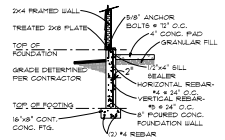
PARTY WALL

SCALE: 1/4" = 1'-0"



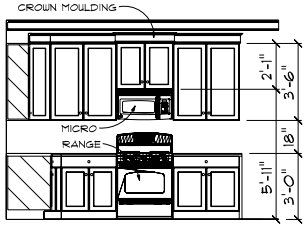
TYP 2x4 BEARING WALL

SCALE: 1/4" = 1'-0"

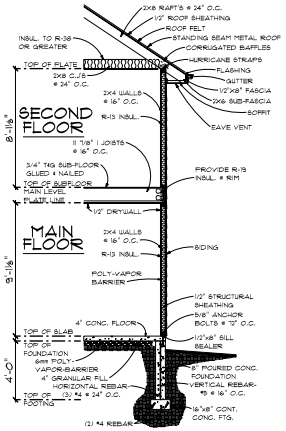


TYP. GARAGE WALL

SCALE: 1/4" = 1'-0"

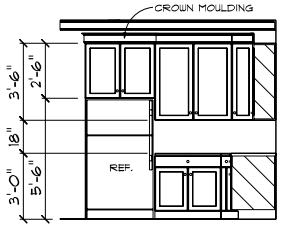


DETAIL 1, 4, 7

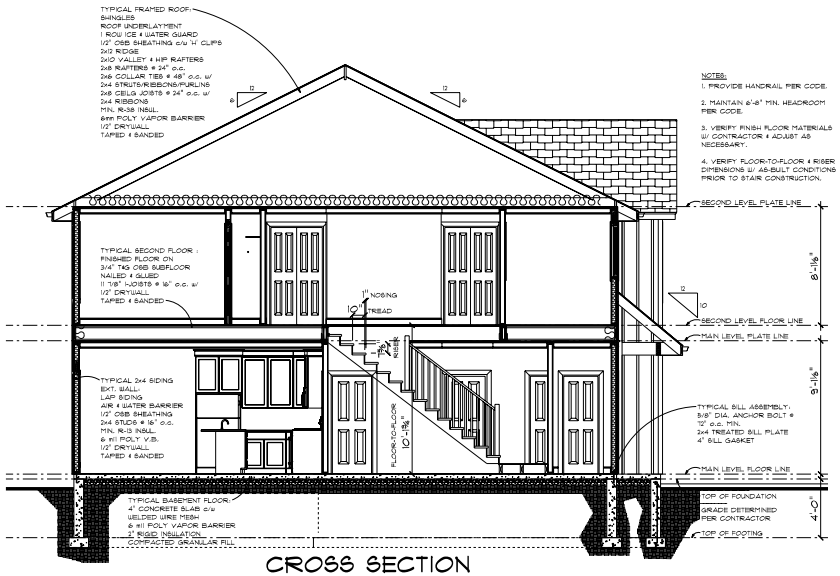


TYP. WALL SECTION

SCALE: 1/4" = 1'-0"

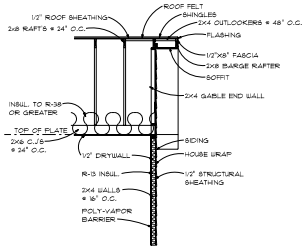


DETAIL 2, 5, 8



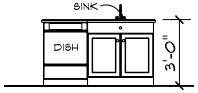
CROSS SECTION

SCALE: 1/4" = 1'-0"



TYP. GABLE END SECTION

SCALE: 1/4" = 1'-0"



DETAIL 3, 6, 9

CABINET ELEVATIONS

SCALE: 3/8" = 1'-0"

30151

SHEET 9 of 9

Watertown Slab

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GENERAL NOTES & DESIGN CRITERIA

This plan was designed and drafted by Design Basics, Inc., to meet average conditions and codes in the State of Nebraska at the time it was designed. This plan was also designed for seismic zone 1. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, Design Basics, Inc. cannot warrant compliance with any specific code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements, but also, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal). The purchaser and/or builder of this plan releases Design Basics, Inc., its shareholders, directors, officers, and employees from any claims or lawsuits that may arise during the construction of this structure or anytime thereafter.

DESIGN LOADS:
* Floor: 40 psf. live, 15 psf. dead
* Roof: 30 psf. live, 10 psf. dead
* Ceiling: 10 psf. live, 10 psf. dead
* Soil bearing Capacity - 2000 PSF
* Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:
* All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
* All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
* Provide proper expansion and control joints as per local requirements.
* All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
* All 48" x 48" x 18" concrete pads to have (4) #5 rods each way.
* Foundation walls are not to be backfilled until properly braced.
* Verify depth of frost footings with your local codes.
* Provide termite protection as required by HUD minimum property standards.
* Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 15" in concrete walls.

REBAR & BOLT SCHEDULE:

BAR SIZE AND SPACING	VERTICAL	HORIZONTAL
8" Wall thickness	#5 @ 16" o.c.	#5 @ 16" o.c.
10" Wall thickness (w-brick)	#5 @ 12" o.c.	#5 @ 16" o.c.

EXTERIOR FILL	BOLT SPACING
0" to 3'-6"	72" o.c.
3'-7" to 6'-0"	48" o.c.
6'-1" to 7'-0"	32" o.c.
Over 7'-0"	Additional engineering may be required

STEEL:
* All structural steel for beams and plates shall comply with ASTM specification A-36.
* All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
* All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
* Provide steel shimns in all beam pockets.
* Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:
* Unless noted otherwise, all framing lumber shall have the following characteristics:
  Fb = 1,000 psi Fv = 75 psi E = 1,400,000 psi
* Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
* Hole sizes and locations in GluLam or Laminated Veneered Lumber members are to be confirmed by a professional engineer.
* Any structural or framing members not indicated on the plan are to be sized by contractor.
* Double floor joists under all partition walls, unless noted otherwise.
* All subflooring is assumed to be 3/4" thick.-Glued&Nailed
* All exterior walls are dimensioned to outside of 1/2" rigid insulation.
* All exterior walls are 4" (3 1/2" stud plus 1/2" rigid insulation), All interior walls are 3 1/2" unless otherwise shown.
* Calculated dimensions take precedence over scaled dimensions.
* All walls are 9'-1 1/8" high unless otherwise noted or implied.
* All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

FRAMING MEMBERS (continued):
* Any wall 12'-0" high or higher shall be 2x6 and balloon framed.
* Unless noted otherwise, above all openings that are:
  (1) Load bearing and less than or equal to 3 ft. ..... use 4x6.
  (2) Load bearing and more that 3 ft. ..... use (2) 2x12 w/1/2" Plywood between.
  (3) Non-load bearing and less than or equal to 6 ft. .....use 4x6.
  (4) Non-load bearing and more than 6 ft. ..... use (2) 2x12 w/1/2" Plywood between.
  (5) All exterior openings use (2) 2x12 w/1/2" Plywood between.
* All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
* All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
* Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
* Collar ties are to be spaced 4'-0" o.c.
* All purlins and kickers are to be 2x6's, unless noted otherwise.
* Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:
* Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
* All materials, supplies and equipment to be installed as per manufacturer's specifications and as per local codes and requirements.
* Note: Provide proper insulation for all plumbing.
* 1/2" water-resistant drywall around showers, tubs and whirlpools.
* 1/2" drywall on interior walls and ceilings.
* 5/8" type "X" fire code drywall on garage walls and ceilings.
* Windows are called out by glass size only.
* Windows, if not noted, are assumed to be casements.
* Header heights are labeled to bottom of arched transoms
* Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
* Headroom at stairs shall have a minimum clearance of 6'-8" high.
* Provide proper handrails at stairs as per local code.
* The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
* Jog flue to rear of ridge as necessary.
* Note: Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools as per manufacturer's specifications.
* All air conditioner locations may vary depending on restrictive covenants and codes.
* Typical overhang sizes unless noted otherwise on drawing are as follows:
  On pitches of 4/12 - 5/12 - 6/12 = 24" overhang
  7/12 = 20" overhang
  8/12 = 18" overhang
  9/12 = 16" overhang
  10/12 - 11/12 - 12/12 = 12" overhang
* Note: Adjust overhangs to provide clearance for windows to open. Adjust overhangs to maintain a consistent level when the plans call for (2) different pitches at a hip.
* Minor alterations to this plan can be made by builder. Please contact our drafting department for information and price quotes if major changes are required.
* Design Basics, Inc. determines finished square footage by measuring to the outside of all walls. We include: interior fireplaces and every location in which the floor joists project from the foundation. We do not include: window boxes where the floor joists do not project from the foundation; 2-story entries; exterior fireplaces; garage; decks; patios; porches; unfinished storage areas; basements or any other unfinished areas.

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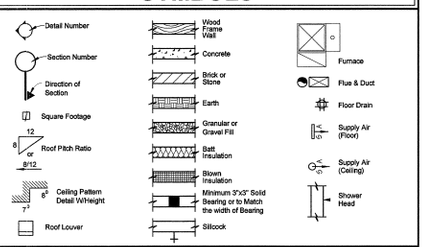
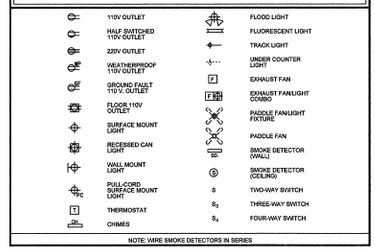
SYMBOLS



ELECTRICAL LEGEND



NOTE: WIRE SMOKE DETECTORS IN SERIES

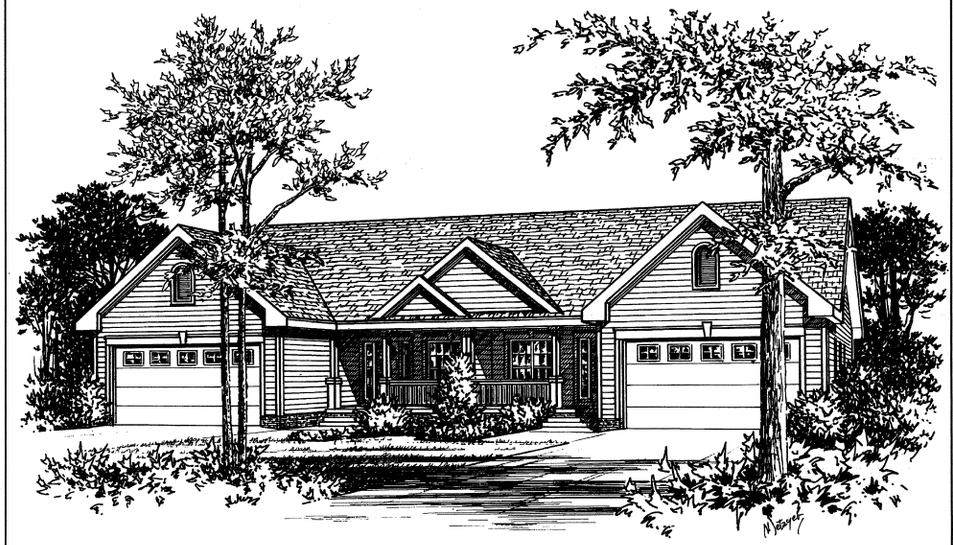
ABBREVIATIONS

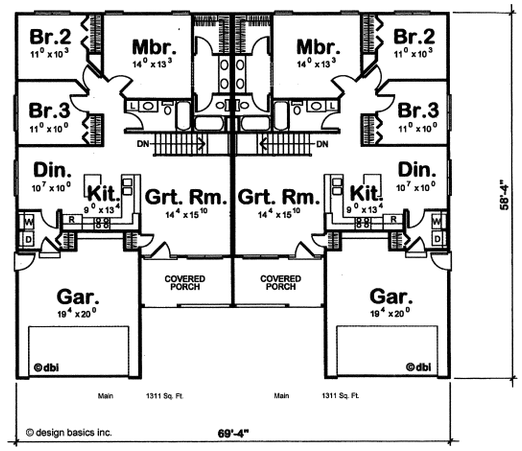
A/C	Air Conditioner	DISH	Dishwasher	INSUL	Insulation	PROJ	Projection	TRAP	Trapezoid
ADJ	Adjustable	DN	Down	INT	Interior	RAD	Radius	U.L.	Underlayment
AWN	Awning	DRY	Dryer	JST	Joist	RAFT'S	Rafters	UNEX	Unexcavated
BLDG	Building	EA	Each	LVL	Laminated Veneer Lumber	REFRIG	Refrigerator	WASH	Washer
BSMT	Basement	ENT	Entertainment	LIN	Linen	RM	Room	WD	Wood
BTM	Bottom	EXP	Exposure	MAX	Maximum	SEC	Second	WH	Water Heater
BTW	Between	EXT	Exterior	MBR	Master Bedroom	SHWR	Shower	W.W.M.	Welded Wire Mesh
CANT	Cantilever	FIN	Finished	MICRO	Microwave	S.L.	Side Lite		
C.J.	Ceiling Joist	FJ	Floor Joist	MIN	Minimum	SPP	Sump Pump Pit	@	At
CLG	Ceiling	FLOR	Fluorescent	MISC	Miscellaneous	STA	Stationary		Line
CEIL	Ceiling	FTG	Footing	O.C.	On Center	STD	Standard	2W	Two Wide
CMU	Concrete Masonry Unit	GALV	Galvanized	O.H.D.	Overhead Door	STL	Steel	3W	Three Wide
C.O.	Cased Opening	GARB	Garbage Disposal	OPNG	Opening	STRUCT	Structural	4W	Four Wide
CONC	Concrete	G.B.N.	Glued & Nailed	PC	Pull Chord	T.C.	Trash Compactor		Center Line
DBL	Double	G.L.	Gluelam Header	PICT	Picture	T. & G.	Tongue & Groove	W/	With
DH	Double Hung	HDR	Header	POLY	Polyethylene	TRANS	Transom		Diameter

ARTIST CONCEPTION ONLY

Allston

ARTWORK NOT TO SCALE





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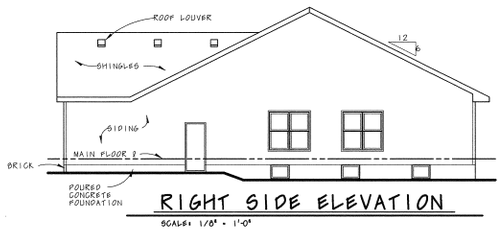
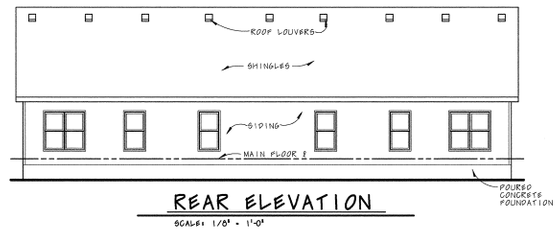


RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

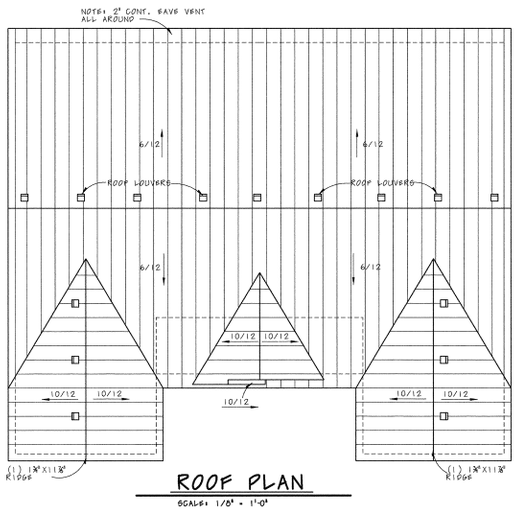


REAR ELEVATION

SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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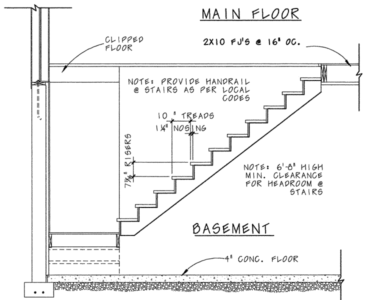

1 STAIR SECTION
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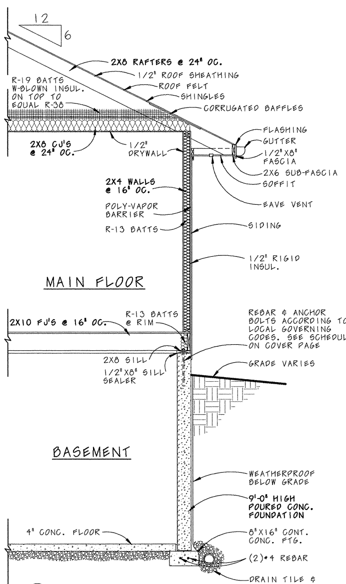

2 WALL SECTION
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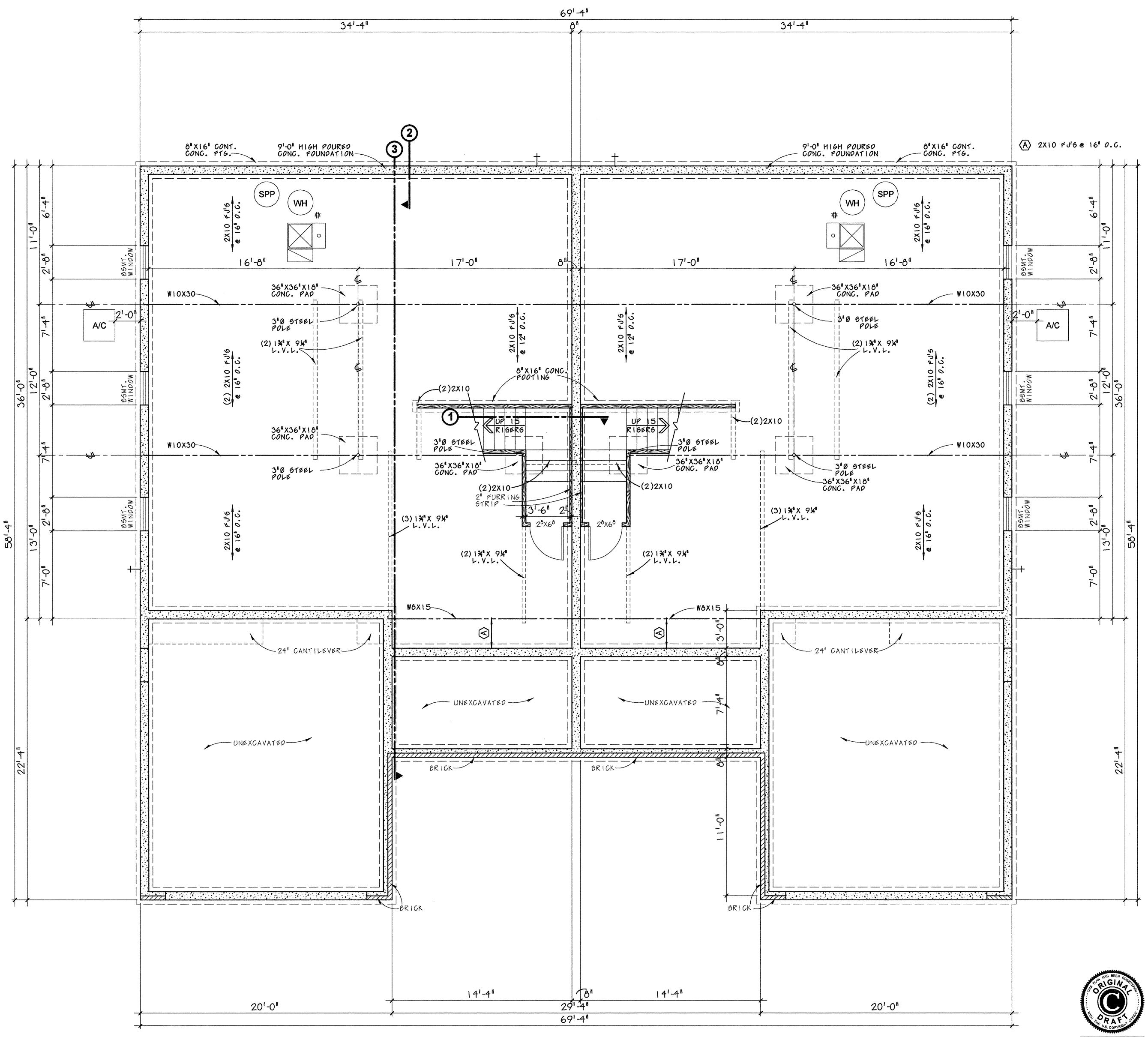

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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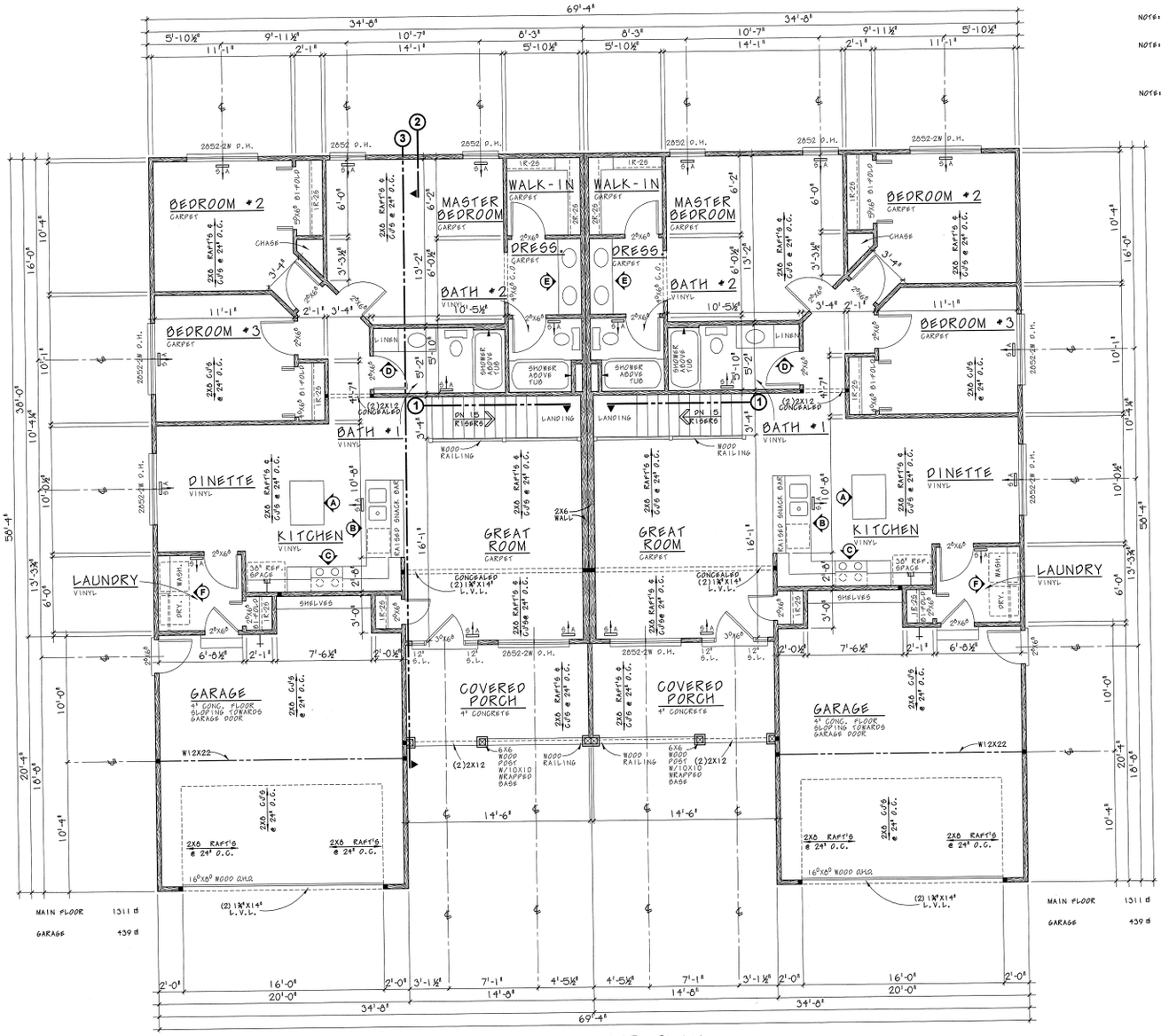

MAIN FLOOR PLAN

SCALE: 1/4"=1'-0"

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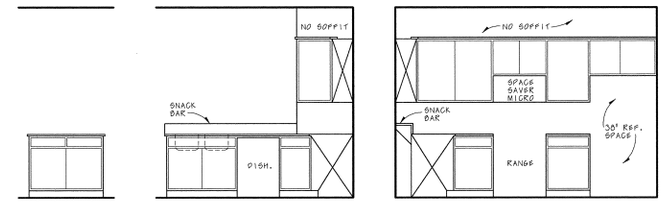
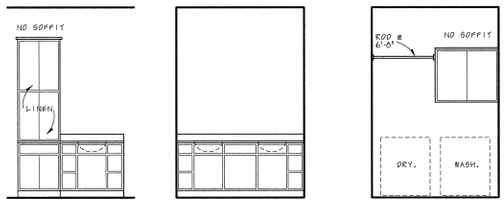


Ⓐ KITCHEN Ⓑ KITCHEN Ⓒ KITCHEN

FOUNDATION ELECTRICAL NOTE:

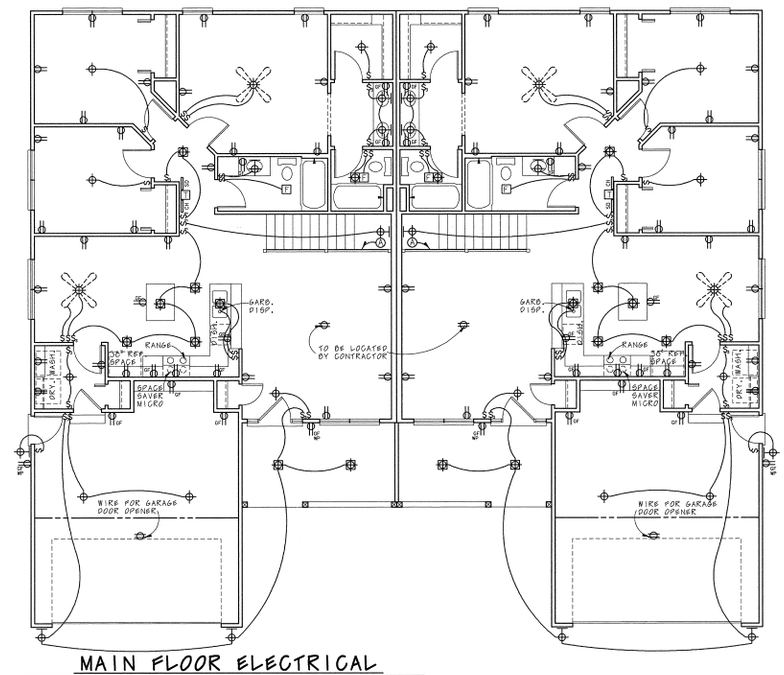
* LIGHTING IN BASEMENT TO BE DETERMINED BY CONTRACTOR AND/OR HOME OWNER
* OUTLETS AND SMOKE DETECTORS IN BASEMENT TO BE DETERMINED BY LOCAL GOVERNING CODES.
* VERIFY ELECTRICAL REQUIREMENTS OF ALL MECHANICAL AND ELECTRICAL DEVICES WITH CONTRACTOR.



Ⓓ BATH #1 Ⓔ DRESS Ⓕ LAUNDRY

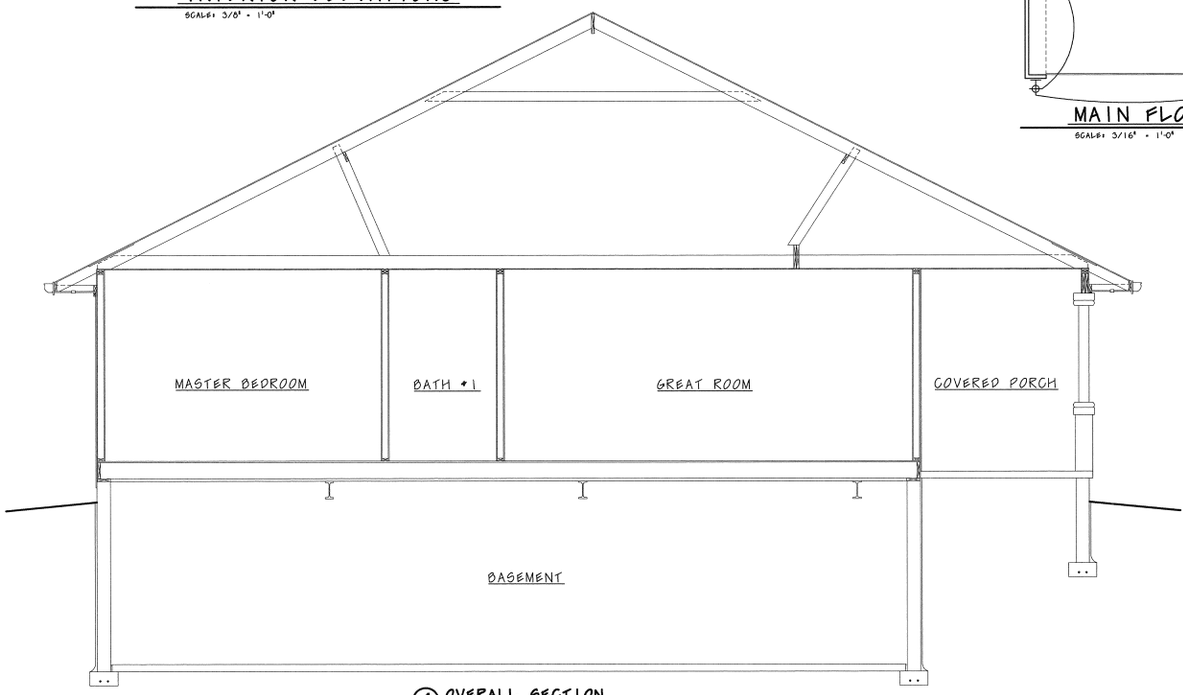
INTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"



MAIN FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"



1 OVERALL SECTION

SCALE: 3/8" = 1'-0"

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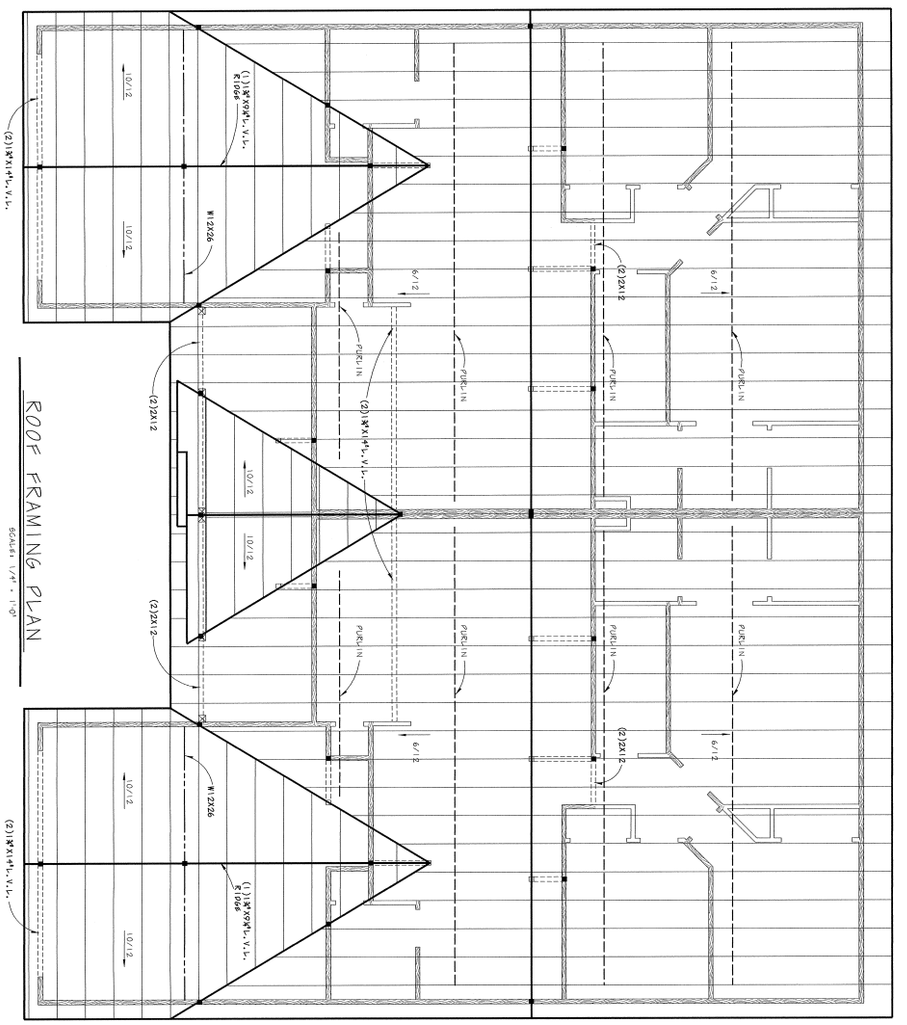

ROOF FRAMING PLAN

SCALE: 1/4" = 1'0"

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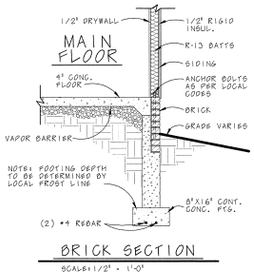
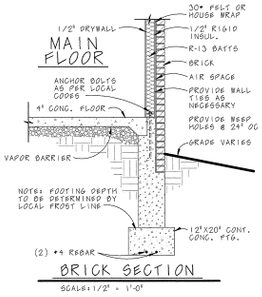
OPTIONAL SLAB FOUNDATION



BRICK SECTION

SCALE: 1/2" = 1'-0"



BRICK SECTION

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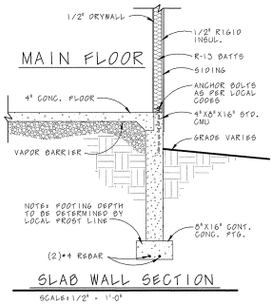
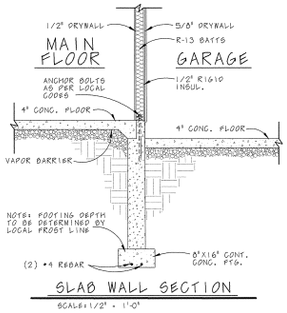


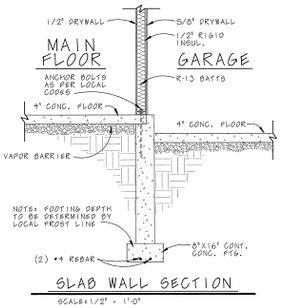
SLAB WALL SECTION

SCALE: 1/2" = 1'-0"



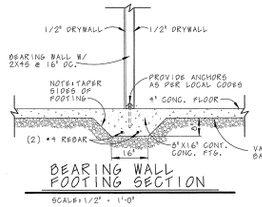
SLAB WALL SECTION

SCALE: 1/2" = 1'-0"



SLAB WALL SECTION

SCALE: 1/2" = 1'-0"



BEARING WALL FOOTING SECTION

SCALE: 1/2" = 1'-0"

GENERAL NOTES

When this optional slab foundation is used it will take presidence over the standard basement foundation. Consult your construction professional before undertaking this option.

This plan was designed and drafted by Design Basics, Inc., to meet average conditions and codes in the State of Nebraska at the time it was designed. This plan was also designed for seismic zone 1. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, Design Basics, Inc. cannot warrant compliance with any specific code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adaptable to your local building codes and requirements, but also, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal). The purchaser and/or builder of this plan releases Design Basics, Inc., its shareholders, directors, officers, and employees from any claims or lawsuits that may arise during the construction of this structure or anytime thereafter.

DESIGN LOADS:

- Floor: 40 lbs. live load, 15 lbs. dead load
- Roof: 30 lbs. live load, 20 lbs. dead load
- Ceiling: 10 lbs. live load, 10 lbs. dead load
- Soil bearing Capacity - 2000 PSF
- Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

MISC. NOTES

- Contractor to determine exact specifications, locations, and sizes of furnace and water heaters.
- Contractor to determine locations of any utilities to be placed prior to the pouring of the slab floor such as the following but not limited to: H.V.A.C., plumbing fixtures, electrical fixtures, natural gas lines and venting systems.

CONCRETE AND FOUNDATIONS:

- All slabs on grade shall be 3000 PSI (28-day compressive strength concrete) unless noted otherwise.
- All slabs on grade shall bear on 4" compacted granular fill with 6x6 - 10x10 welded wire mesh (vwm), unless noted otherwise.
- Interior slabs shall have 6 mil. polyethylene vapor barrier underneath
- Concrete slab in garage shall slope toward garage doors.
- Provide proper expansion and control joints as per local requirements
- Foundation concrete walls shall be constructed with:
  - A) Grade N, type 1, Hollow core load bearing concrete masonry units.
  - B) Grade N, type 1, specialty shapes load bearing concrete masonry units as required.
  - C) Type "M" mortar
  - D) Provide continuous horizontal joint reinforcing with 9 gauge wire every third course.
  - E) Reinforcing must conform with your local building requirements.
- All 36"x36"x18" concrete pads to have (3) #5 rods each way
- All 48"x48"x18" concrete pads to have (4) #5 rods each way
- Verify depth of frost footings with your local codes.
- Provide termite protection as required by HUD minimum property standards.
- Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 15" in filled cores, 6'-0" O.C.

- Contractor to determine the grade level of the garage and make proper adjustments to the plan and sections.
- Contractor to determine exact locations of sillcocks closest to those shown on the standard foundation.
- Contractor to determine the exact use of the voided area at basement stairs.
- Contractor to comfirm all bearing walls with Main Level Floor Plan.

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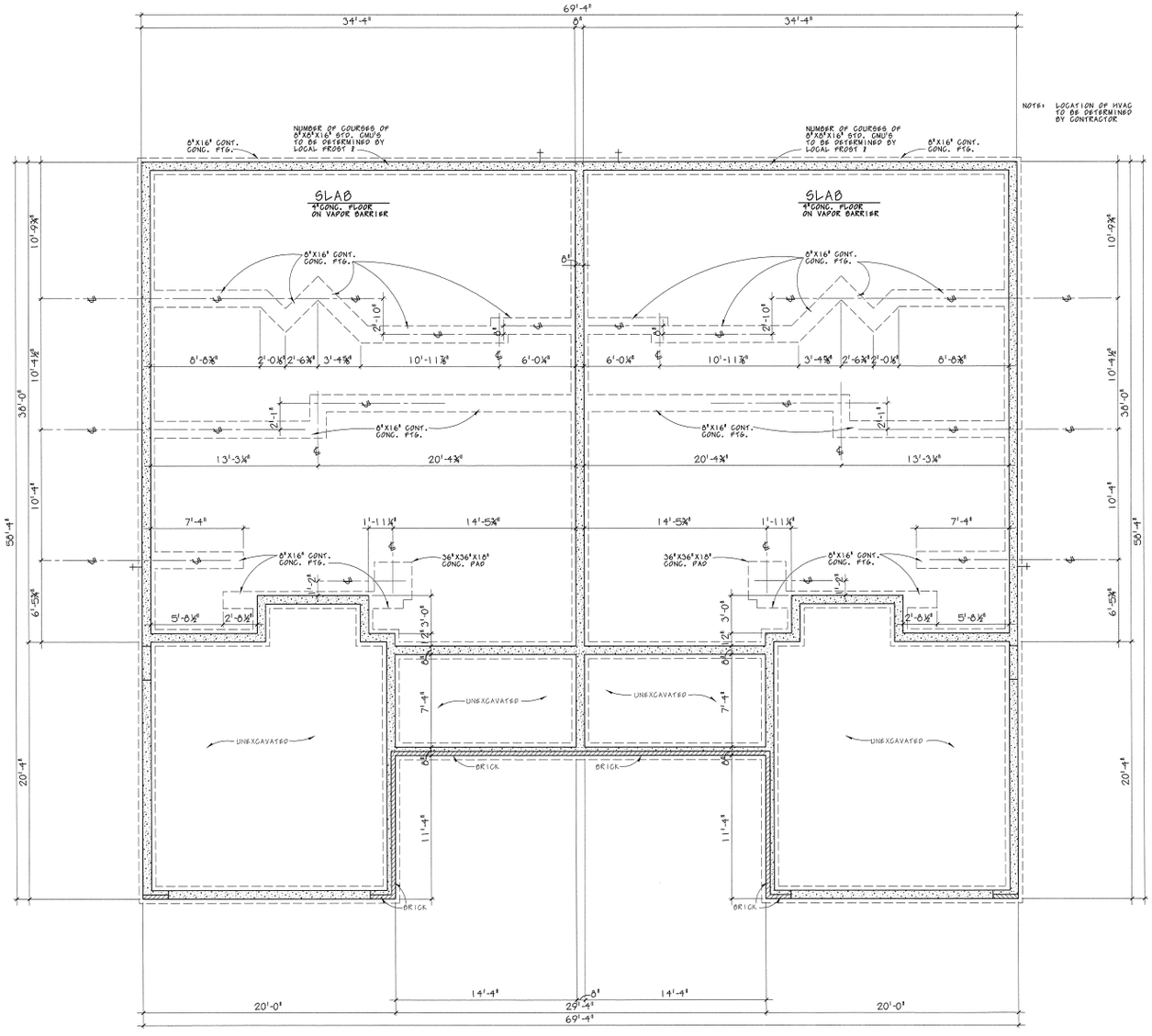

SLAB FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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GENERAL NOTES & DESIGN CRITERIA

This plan was designed and drafted by Design Basics, Inc., to meet average conditions and codes in the State of Nebraska at the time it was designed. This plan was also designed for seismic zone 1. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, Design Basics, Inc. cannot warrant compliance with any specific code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements, but also, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal). The purchaser and/or builder of this plan releases Design Basics, Inc., its shareholders, directors, officers, and employees from any claims or lawsuits that may arise during the construction of this structure or anytime thereafter.

DESIGN LOADS:
* Floor: 40 psf. live, 15 psf. dead
* Roof: 30 psf. live, 10 psf. dead
* Ceiling: 10 psf. live, 10 psf. dead
* Soil bearing Capacity - 2000 PSF
* Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:
* All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
* All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
* Provide proper expansion and control joints as per local requirements.
* All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
* All 48" x 48" x 18" concrete pads to have (4) #5 rods each way.
* Foundation walls are not to be backfilled until properly braced.
* Verify depth of frost footings with your local codes.
* Provide termite protection as required by HUD minimum property standards.
* Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 15" in concrete walls.

REBAR & BOLT SCHEDULE:

BAR SIZE AND SPACING	VERTICAL	HORIZONTAL
8" Wall thickness	#5 @ 16" o.c.	#5 @ 16" o.c.
10" Wall thickness (w-brick)	#5 @ 12" o.c.	#5 @ 16" o.c.

EXTERIOR FILL	BOLT SPACING
0" to 3'-6"	72" o.c.
3'-7" to 6'-0"	48" o.c.
6'-1" to 7'-0"	32" o.c.
Over 7'-0"	Additional engineering may be required

STEEL:
* All structural steel for beams and plates shall comply with ASTM specification A-36.
* All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
* All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
* Provide steel shimns in all beam pockets.
* Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:
* Unless noted otherwise, all framing lumber shall have the following characteristics:
  Fb = 1,000 psi Fv = 75 psi E = 1,400,000 psi
* Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
* Hole sizes and locations in GluLam or Laminated Veneered Lumber members are to be confirmed by a professional engineer.
* Any structural or framing members not indicated on the plan are to be sized by contractor.
* Double floor joists under all partition walls, unless noted otherwise.
* All subflooring is assumed to be 3/4" thick.-Glued&Nailed
* All exterior walls are dimensioned to outside of 1/2" rigid insulation.
* All exterior walls are 4" (3 1/2" stud plus 1/2" rigid insulation), All interior walls are 3 1/2" unless otherwise shown.
* Calculated dimensions take precedence over scaled dimensions.
* All walls are 9'-1 1/8" high unless otherwise noted or implied.
* All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

FRAMING MEMBERS (continued):
* Any wall 12'-0" high or higher shall be 2x6 and balloon framed.
* Unless noted otherwise, above all openings that are:
  (1) Load bearing and less than or equal to 3 ft. ..... use 4x6.
  (2) Load bearing and more that 3 ft. ..... use (2) 2x12 w/1/2" Plywood between.
  (3) Non-load bearing and less than or equal to 6 ft. .....use 4x6.
  (4) Non-load bearing and more than 6 ft. ..... use (2) 2x12 w/1/2" Plywood between.
  (5) All exterior openings use (2) 2x12 w/1/2" Plywood between.
* All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
* All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
* Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
* Collar ties are to be spaced 4'-0" o.c.
* All purlins and kickers are to be 2x6's, unless noted otherwise.
* Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:
* Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
* All materials, supplies and equipment to be installed as per manufacturer's specifications and as per local codes and requirements.
* Note: Provide proper insulation for all plumbing.
* 1/2" water-resistant drywall around showers, tubs and whirlpools.
* 1/2" drywall on interior walls and ceilings.
* 5/8" type "X" fire code drywall on garage walls and ceilings.
* Windows are called out by glass size only.
* Windows, if not noted, are assumed to be casements.
* Header heights are labeled to bottom of arched transoms
* Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
* Headroom at stairs shall have a minimum clearance of 6'-8" high.
* Provide proper handrails at stairs as per local code.
* The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
* Jog flue to rear of ridge as necessary.
* Note: Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools as per manufacturer's specifications.
* All air conditioner locations may vary depending on restrictive covenants and codes.
* Typical overhang sizes unless noted otherwise on drawing are as follows:
  On pitches of 4/12 - 5/12 - 6/12 = 24" overhang
  7/12 = 20" overhang
  8/12 = 18" overhang
  9/12 = 16" overhang
  10/12 - 11/12 - 12/12 = 12" overhang
* Note: Adjust overhangs to provide clearance for windows to open. Adjust overhangs to maintain a consistent level when the plans call for (2) different pitches at a hip.
* Minor alterations to this plan can be made by builder. Please contact our drafting department for information and price quotes if major changes are required.
* Design Basics, Inc. determines finished square footage by measuring to the outside of all walls. We include: interior fireplaces and every location in which the floor joists project from the foundation. We do not include: window boxes where the floor joists do not project from the foundation; 2-story entries; exterior fireplaces; garage; decks; patios; porches; unfinished storage areas; basements or any other unfinished areas.

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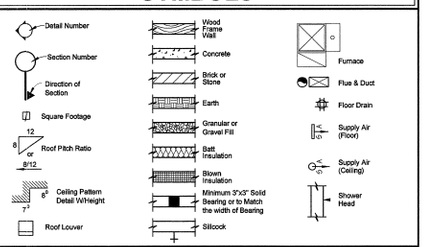
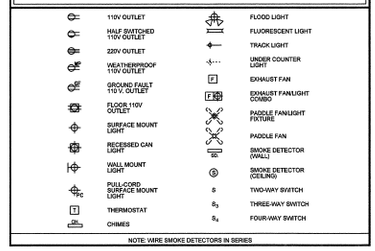
SYMBOLS



ELECTRICAL LEGEND



NOTE: WIRE SMOKE DETECTORS IN SERIES

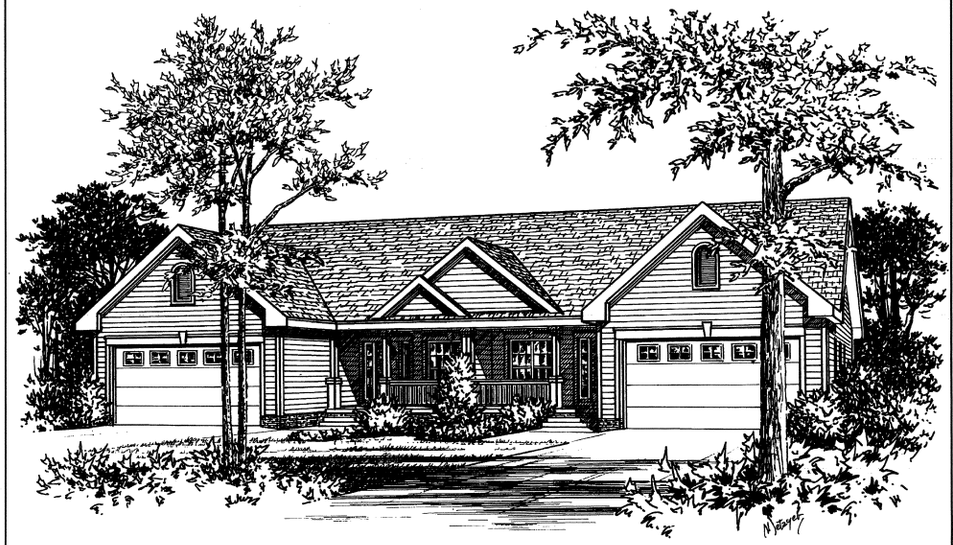
ABBREVIATIONS

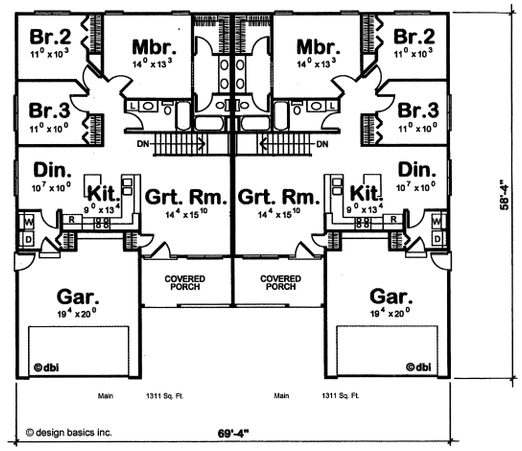
A/C	Air Conditioner	DISH	Dishwasher	INSUL	Insulation	PROJ	Projection	TRAP	Trapezoid
ADJ	Adjustable	DN	Down	INT	Interior	RAD	Radius	U.L.	Underlayment
AWN	Awning	DRY	Dryer	JST	Joist	RAFT'S	Rafters	UNEX	Unexcavated
BLDG	Building	EA	Each	LVL	Laminated Veneer Lumber	REFRIG	Refrigerator	WASH	Washer
BSMT	Basement	ENT	Entertainment	LIN	Linen	RM	Room	WD	Wood
BTM	Bottom	EXP	Exposure	MAX	Maximum	SEC	Second	WH	Water Heater
BTW	Between	EXT	Exterior	MBR	Master Bedroom	SHWR	Shower	W.W.M.	Welded Wire Mesh
CANT	Cantilever	FIN	Finished	MICRO	Microwave	S.L.	Side Lite		
C.J.	Ceiling Joist	FJ	Floor Joist	MIN	Minimum	SPP	Sump Pump Pit	@	At
CLG	Ceiling	FLOR	Fluorescent	MISC	Miscellaneous	STA	Stationary		Line
CEIL	Ceiling	FTG	Footing	O.C.	On Center	STD	Standard	2W	Two Wide
CMU	Concrete Masonry Unit	GALV	Galvanized	O.H.D.	Overhead Door	STL	Steel	3W	Three Wide
C.O.	Cased Opening	GARB	Garbage Disposal	OPNG	Opening	STRUCT	Structural	4W	Four Wide
CONC	Concrete	G.B.N.	Glued & Nailed	PC	Pull Chord	T.C.	Trash Compactor		Center Line
DBL	Double	G.L.	Gluelam Header	PICT	Picture	T. & G.	Tongue & Groove	W/	With
DH	Double Hung	HDR	Header	POLY	Polyethylene	TRANS	Transom		Diameter

ARTIST CONCEPTION ONLY

Allston

ARTWORK NOT TO SCALE





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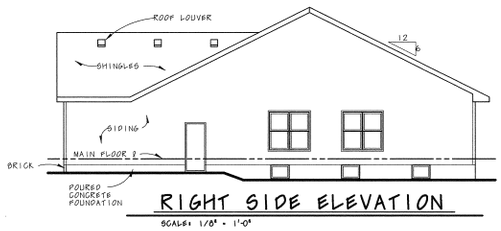
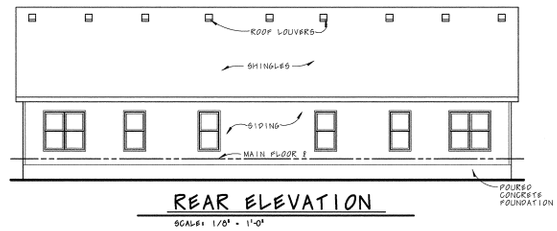


RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

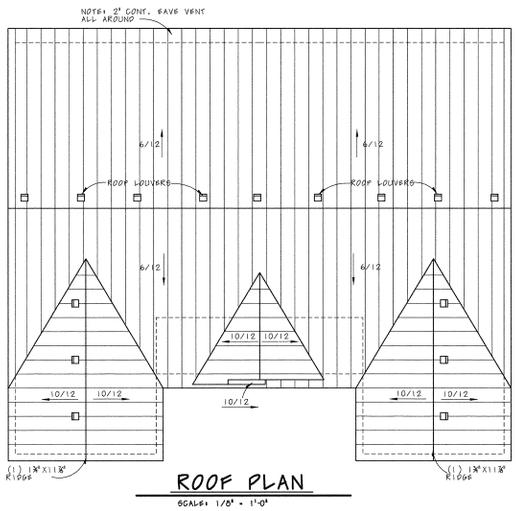


REAR ELEVATION

SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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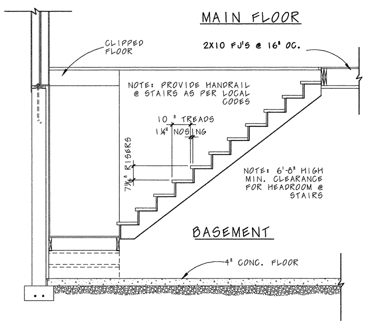

1 STAIR SECTION
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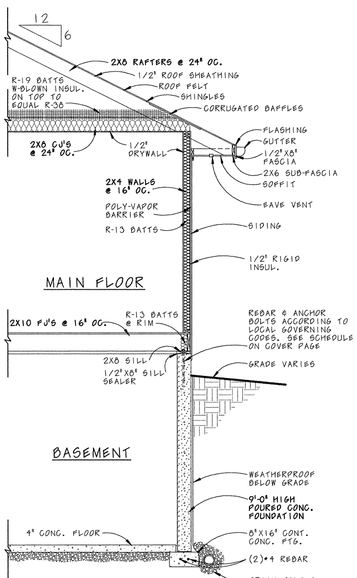

2 WALL SECTION
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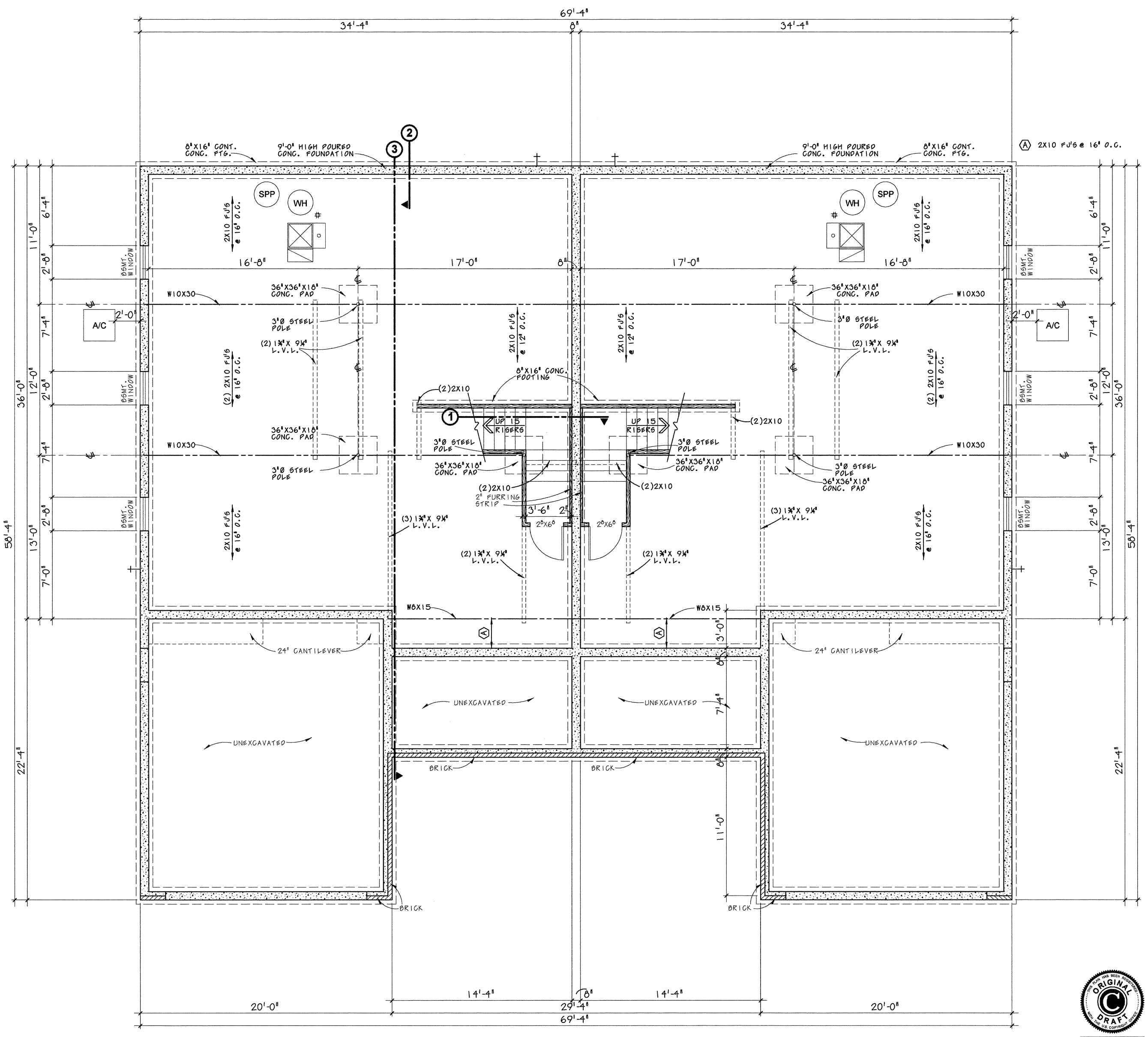

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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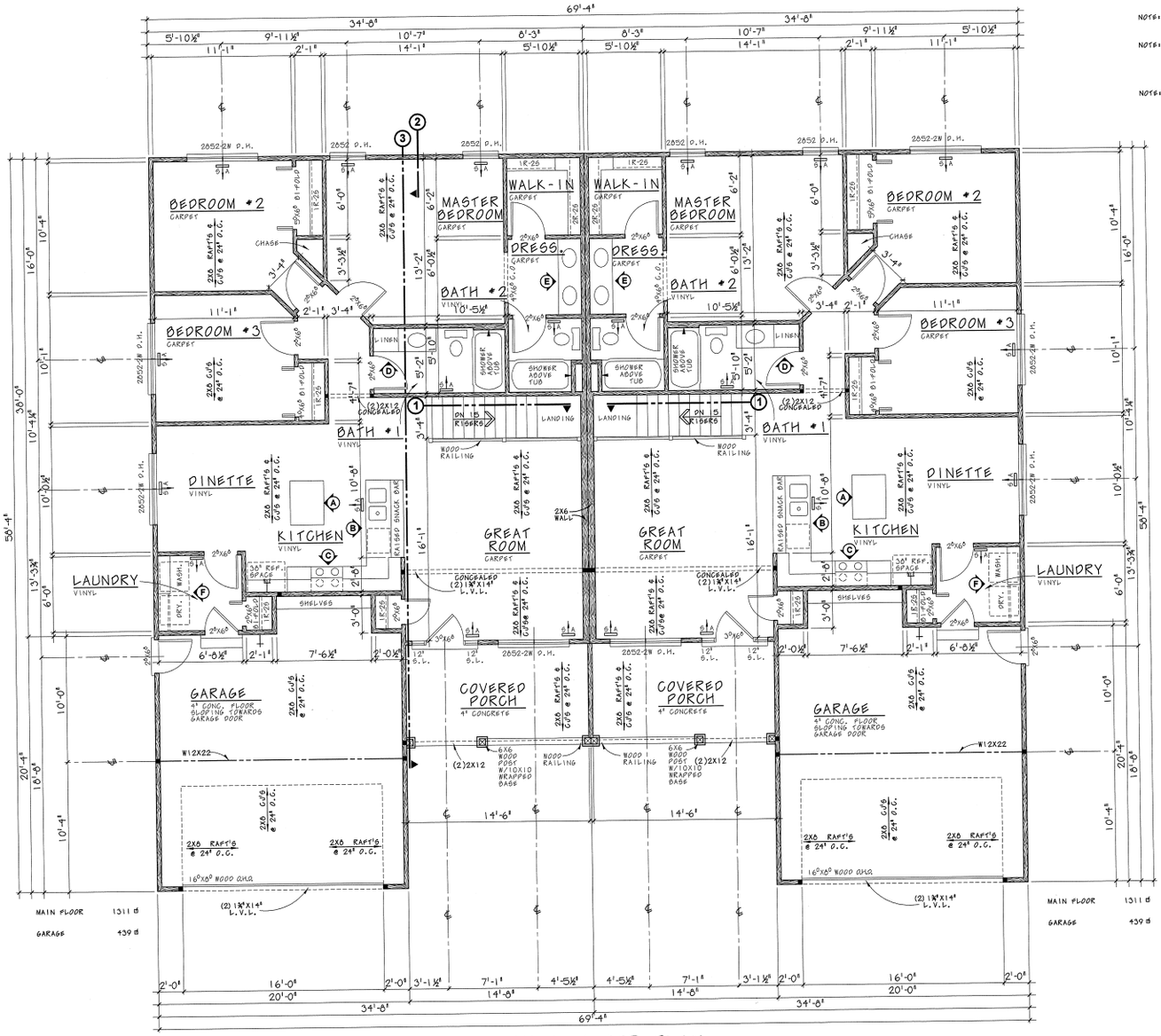

MAIN FLOOR PLAN

SCALE: 1/4"=1'-0"

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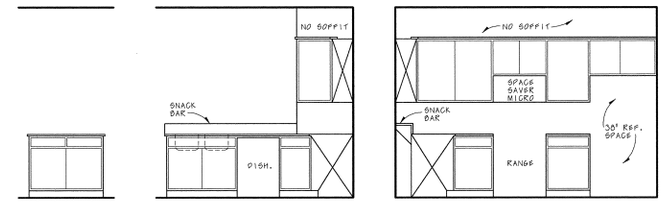
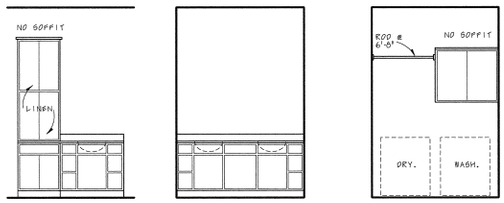


Ⓐ KITCHEN Ⓑ KITCHEN Ⓒ KITCHEN

FOUNDATION ELECTRICAL NOTE:

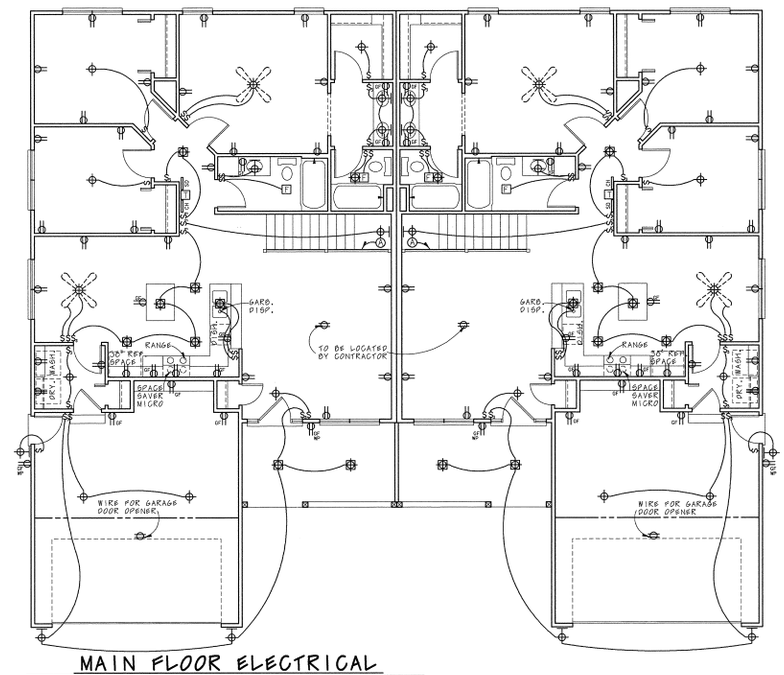
* LIGHTING IN BASEMENT TO BE DETERMINED BY CONTRACTOR AND/OR HOME OWNER
* OUTLETS AND SMOKE DETECTORS IN BASEMENT TO BE DETERMINED BY LOCAL GOVERNING CODES.
* VERIFY ELECTRICAL REQUIREMENTS OF ALL MECHANICAL AND ELECTRICAL DEVICES WITH CONTRACTOR.



Ⓓ BATH #1 Ⓔ DRESS Ⓕ LAUNDRY

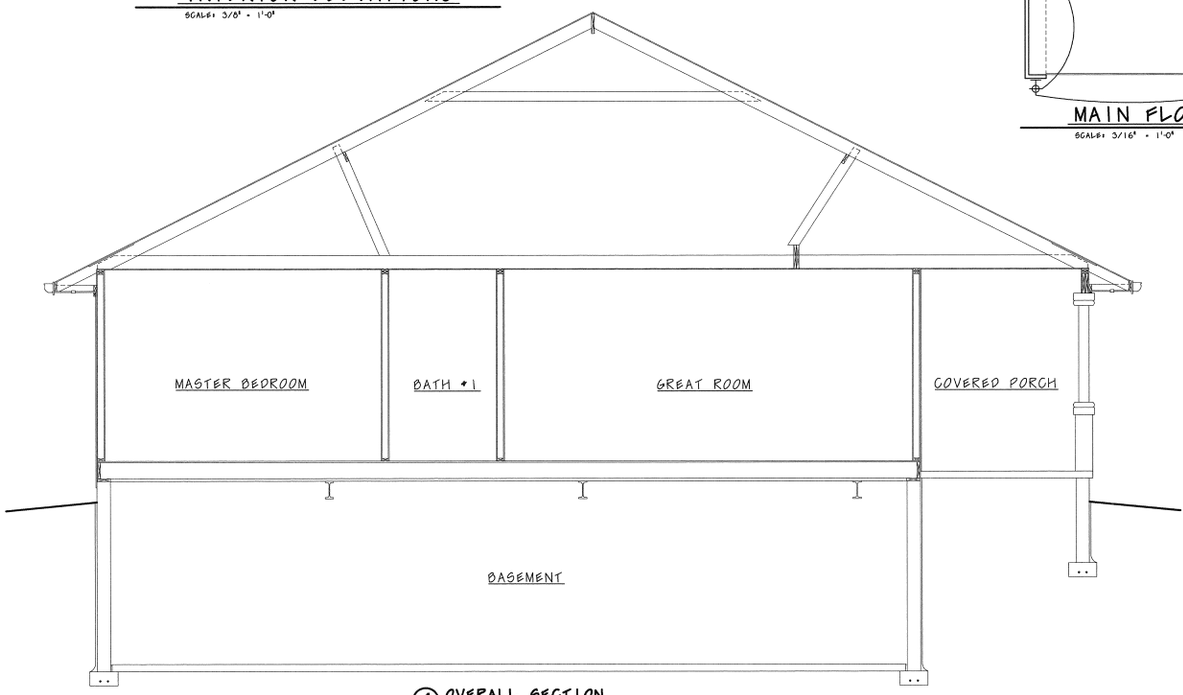
INTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"



MAIN FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"



1 OVERALL SECTION

SCALE: 3/8" = 1'-0"

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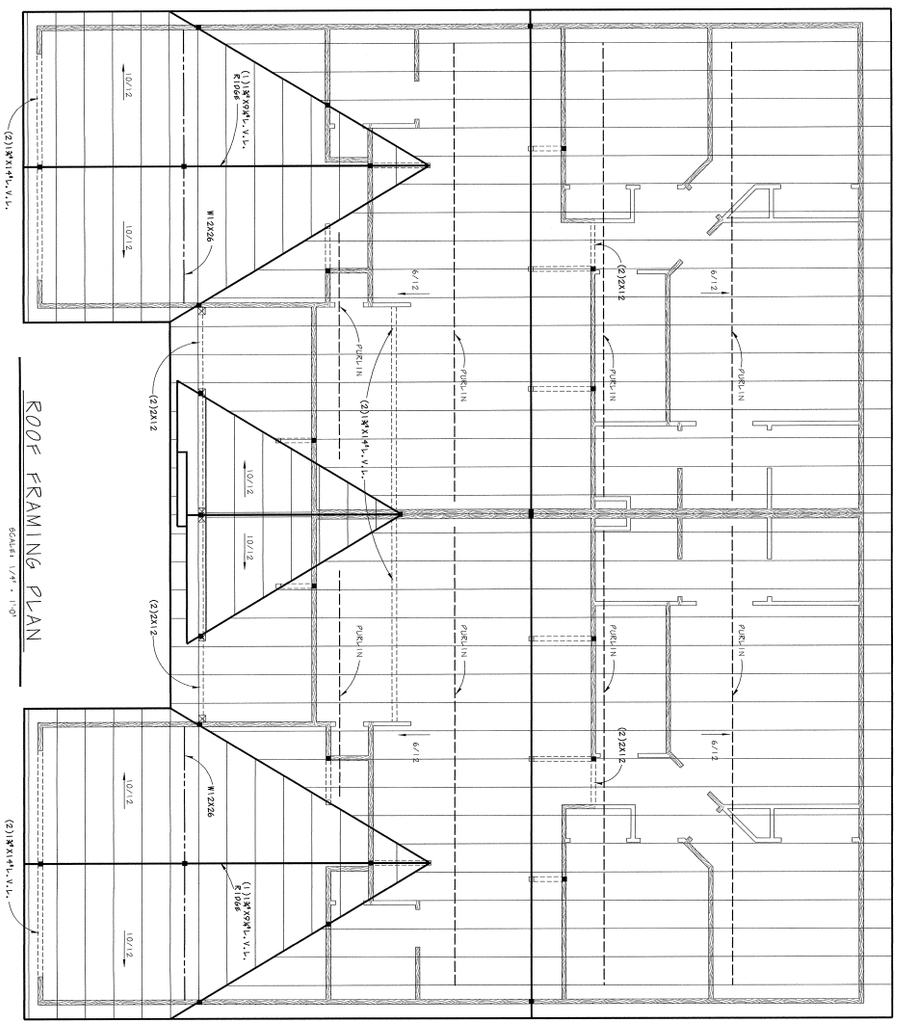

ROOF FRAMING PLAN

SCALE: 1/4" = 1'0"

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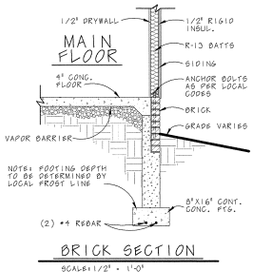
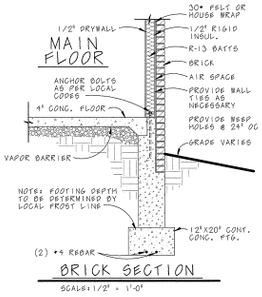
OPTIONAL SLAB FOUNDATION



BRICK SECTION

SCALE: 1/2" = 1'-0"



BRICK SECTION

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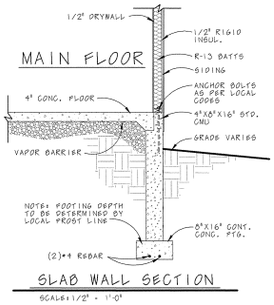
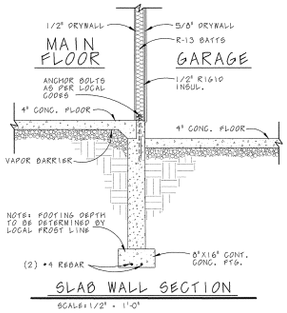


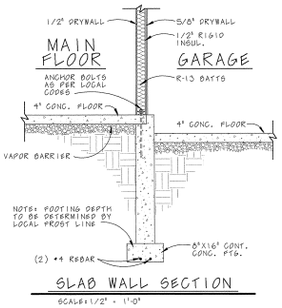
SLAB WALL SECTION

SCALE: 1/2" = 1'-0"



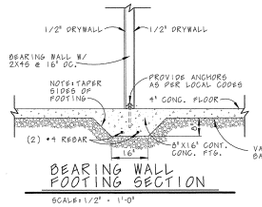
SLAB WALL SECTION

SCALE: 1/2" = 1'-0"



SLAB WALL SECTION

SCALE: 1/2" = 1'-0"



BEARING WALL FOOTING SECTION

SCALE: 1/2" = 1'-0"

GENERAL NOTES

When this optional slab foundation is used it will take presidence over the standard basement foundation. Consult your construction professional before undertaking this option.

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DESIGN LOADS:

- Floor: 40 lbs. live load, 15 lbs. dead load
- Roof: 30 lbs. live load, 20 lbs. dead load
- Ceiling: 10 lbs. live load, 10 lbs. dead load
- Soil bearing Capacity - 2000 PSF
- Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

MISC. NOTES

- Contractor to determine exact specifications, locations, and sizes of furnace and water heaters.
- Contractor to determine locations of any utilities to be placed prior to the pouring of the slab floor such as the following but not limited to: H.V.A.C., plumbing fixtures, electrical fixtures, natural gas lines and venting systems.

CONCRETE AND FOUNDATIONS:

- All slabs on grade shall be 3000 PSI (28-day compressive strength concrete) unless noted otherwise.
- All slabs on grade shall bear on 4" compacted granular fill with 6x6 - 10x10 welded wire mesh (vwm), unless noted otherwise.
- Interior slabs shall have 6 mil. polyethylene vapor barrier underneath
- Concrete slab in garage shall slope toward garage doors.
- Provide proper expansion and control joints as per local requirements
- Foundation concrete walls shall be constructed with:
  - A) Grade N, type 1, Hollow core load bearing concrete masonry units.
  - B) Grade N, type 1, specialty shapes load bearing concrete masonry units as required.
  - C) Type "M" mortar
  - D) Provide continuous horizontal joint reinforcing with 9 gauge wire every third course.
  - E) Reinforcing must conform with your local building requirements.
- All 36"x36"x18" concrete pads to have (3) #5 rods each way
- All 48"x48"x18" concrete pads to have (4) #5 rods each way
- Verify depth of frost footings with your local codes.
- Provide termite protection as required by HUD minimum property standards.
- Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 15" in filled cores, 6'-0" O.C.

- Contractor to determine the grade level of the garage and make proper adjustments to the plan and sections.
- Contractor to determine exact locations of sillcocks closest to those shown on the standard foundation.
- Contractor to determine the exact use of the voided area at basement stairs.
- Contractor to comfirm all bearing walls with Main Level Floor Plan.

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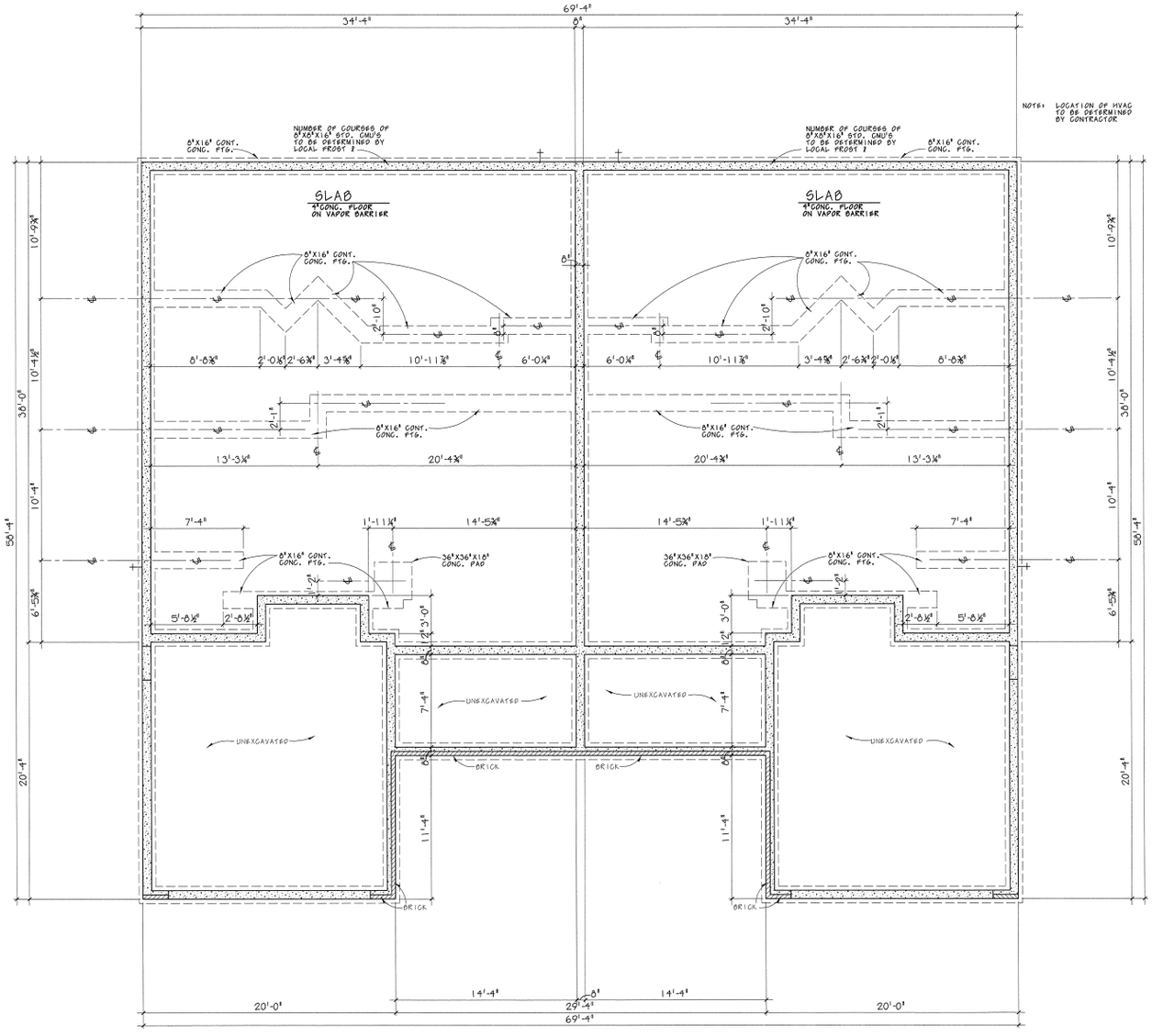

SLAB FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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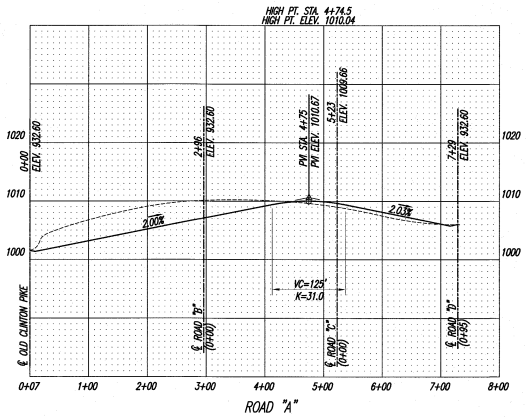
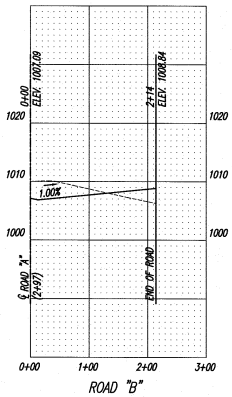
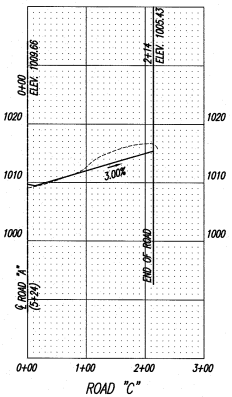


ROAD "A"

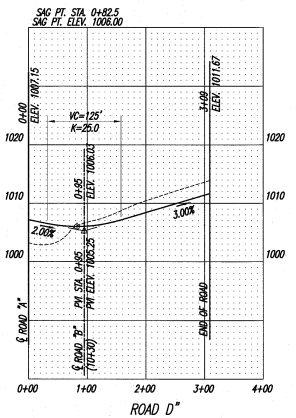


ROAD "B"

Horizontal Scale = 1 :100
Vertical Scale = 1 :10



ROAD "C"



ROAD D"

Horizontal Scale = 1 :100
Vertical Scale = 1 :10

OWNER/DEVELOPER
JENKINS BUILDERS, INC.
5328 TURTLE POINT LANE
KNOXVILLE, TN 37919
PHONE: (865) 388-2753

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

DESIGNED DBH
DRAWN SEW
CHECKED DBH

NO.	DATE	REVISION	APPR.
1	1/16/24	KKCP COMMENTS	

NO.	DATE	REVISION	APPR.

DATE
11/21/23

ROAD PROFILES FOR
JENKINS BUILDERS-OLD CLINTON PIKE
TAX MAP 67 PARCELS 147, 148.01 & PART OF PARCEL 148
6TH CIVIL DISTRICT, KNOX COUNTY, TENNESSEE

25549-RP

SHEET 2 OF 2 SHEET(S)

Q:\25549\25549-C.DWG

Planning
KNOXVILLE | KNOX COUNTY

Alternative Design Standards

The minimum design and performance standards shall apply to all subdivisions unless an alternative design standard is permitted within Article 3 Section 3.01.D, Application of Alternative Design Standards, or Article 4.01.C, Street Standards (within Hillside and Ridgetop Areas).

There are some alternative design standards that require Planning Commission approval, and some that can be approved by the Engineering Departments of the City or County. However, the City or County Engineering Departments, as applicable, will provide review comments on any alternative design proposed. These comments will be provided during the review process.

Alternative Design Standards Requiring Planning Commission Approval

Section 3.03.B.2 - Street frontage in the PR (Planned Residential) zone, Knox County
Section 3.03.E.1.e – Maximum grade of private right-of-way
Section 3.03.E.3.a – Pavement width reduction, private rights-of-way serving 6 or more lots
Section 3.04.H.2 – Maximum grade, public streets
Section 3.04.I.1.b.1 – Horizontal curves, local streets in Knox County

Alternative Design Standards Approved by the Engineering Departments of the City of Knoxville or Knox County

Section 3.03.E.3.a – Right-of-way width reduction, private rights-of-way serving 6 or more lots
Section 3.04.A.3.c – Right-of-way dedication, new subdivisions
Section 3.04.F.1 – Right-of-way reduction, local streets
Section 3.04.G.1 – Pavement width reduction, local streets
Section 3.04.H.3 – Intersection grade, all streets
Section 3.04.J.2 – Corner radius reduction in agricultural, residential, and office zones
Section 3.04.J.3 – Corner radius reduction in commercial and industrial zones
Section 3.11.A.2 – Standard utility and drainage easement

By signing this form, I certify that the criteria for a variance have been met for each request, and that any and all requests needed to meet the Subdivision Regulations are requested above or are attached. I understand and agree that no additional variances can be acted upon by the legislative body upon appeal and none will be requested.

David Harbin — David Harbin — 1/19/24

Signature | Printed Name | Date

For each alternative design standard requested, identify how the proposed alternative design either meets the intent of the standard in the Subdivision Regulations or meets an alternative, nationally recognized engineering standard such as The American Association of State Highway and Transportation Officials (AASHTO) or Public Right-of-Way Accessibility Guidelines (PROWAG).

1. ALTERNATIVE DESIGN STANDARD REQUESTED:

Reduce private street right-of-way from 50' to 40'

Approval required by: Planning Commission ☐ Engineering ☑

Engineering supports the alternative design standard requested
(to be completed during review process): YES ☒ NO ☐
Engineering Comments:

Approve since roads are private

Steve Elliott

2. ALTERNATIVE DESIGN STANDARD REQUESTED:

Reduce private street pavement width from 26' to 20'

Approval required by: Planning Commission ☐ Engineering ☑

Engineering supports the alternative design standard requested
(to be completed during review process): YES ☒ NO ☐
Engineering Comments:

Approve since roads are private

Steve Elliott

3. ALTERNATIVE DESIGN STANDARD REQUESTED:

Street frontage in the PR zone from 25' to 23'

Approval required by: Planning Commission ☑ Engineering ☐

Engineering supports the alternative design standard requested
(to be completed during review process): YES ☒ NO ☐
Engineering Comments:

Steve Elliott

4. ALTERNATIVE DESIGN STANDARD REQUESTED:

Intersection grade
1% to 2% Road A @ old Clinton PK
1% to 3% Road C @ Rd A
1% + 2% Road D @ Rd A

Approval required by: Planning Commission ☐ Engineering ☒

Engineering supports the alternative design standard requested (to be completed during review process): YES ☒ NO ☐

Engineering Comments:

Approve since requests would not create a safety hazard.

Steve Elliott

5. ALTERNATIVE DESIGN STANDARD REQUESTED:

Approval required by: Planning Commission ☐ Engineering ☐

Engineering supports the alternative design standard requested (to be completed during review process): YES ☐ NO ☐

Engineering Comments:

Planning
KNOXVILLE | KNOX COUNTY

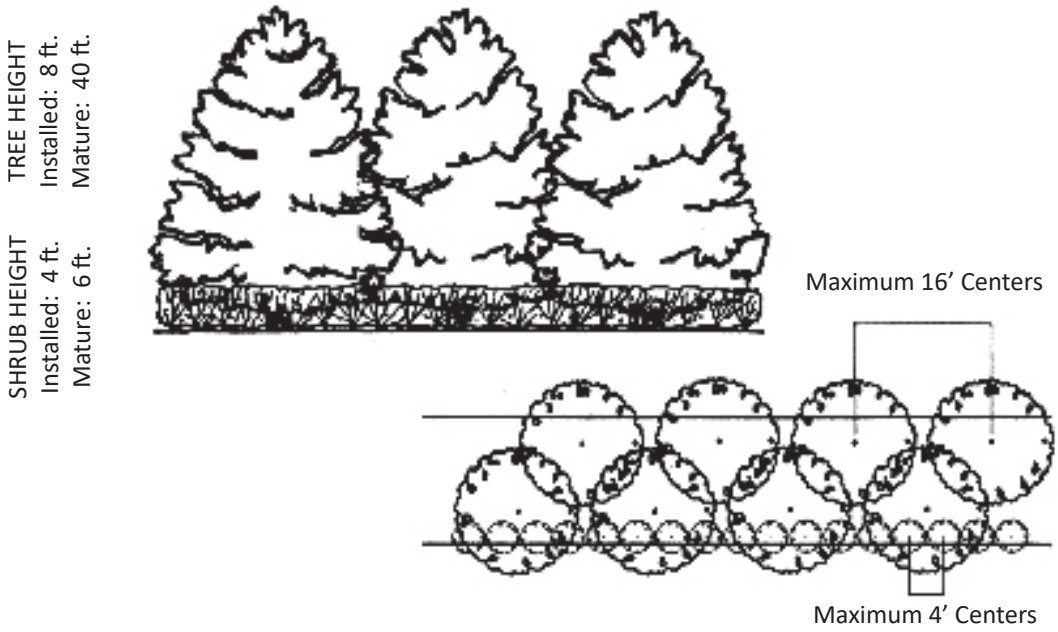
Design Guidelines
Landscape Screening

Type “A” Screen: Dense

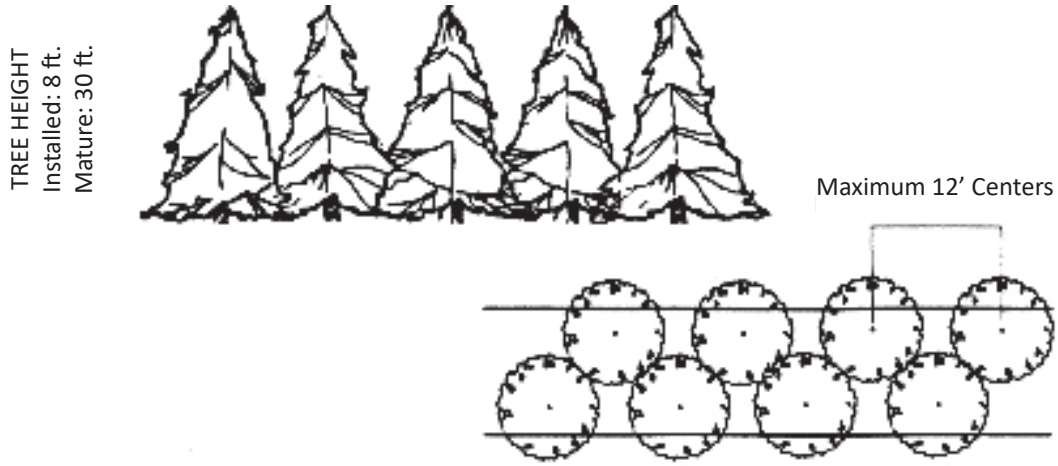
APPROPRIATE LOCATION: Boundaries of commercial and industrial developments adjoining residential areas

NOTE: Landscape buffer strips should be a minimum of 15 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

• Two offset rows of deciduous or evergreen canopy trees with a 6 ft. high continuous dense evergreen hedge, fence, wall or earth berm



• Two offset rows of evergreen trees with branches touching the ground



INTRODUCTION

Landscape screening reduces the impact of intense development upon adjacent land uses by providing visual separation, reducing the transmission of glare and air pollution, and limiting access. Screening also promotes the aesthetic appeal of a neighborhood and promotes higher property values.

This series of design guidelines defines several types of landscape screen. Each type is applicable to a certain intensity of conflict between adjacent land uses. Each screen type is illustrated by several planting schemes with an equivalent height, density and opacity of landscaping.

Planning uses these guidelines to illustrate desirable levels of screening appropriate to various site planning situations. Creative alternatives which achieve a comparable effect are encouraged.

The contents of these guidelines are advisory and are intended to supplement, but not replace, the requirements of the Knoxville Zoning Ordinance and the Knox County Zoning Ordinance.

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400 Main Street, Suite 403 | Knoxville, TN 37902 | 865.215.2500

Planning
KNOXVILLE | KNOX COUNTY

Design Guidelines
Landscape Screening

Type “B” Screen: Continuous

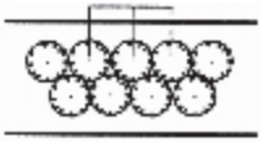
APPROPRIATE LOCATION: Screening parking and loading areas from adjoining residential and office districts

NOTE: Landscape buffer strips should be a minimum of 12 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

SHRUB HEIGHT
Installed: 4 ft.
Mature: 6 ft.

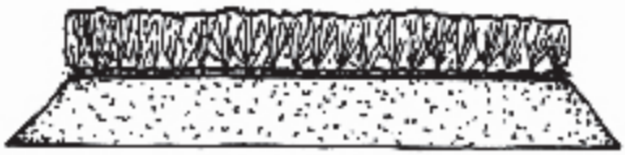
- Two offset rows of evergreen shrubs

Maximum 4’ Centers

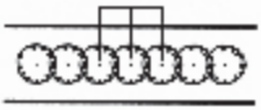


SHRUB HEIGHT
Installed: 2 ft.
Mature: 3 ft.

- A continuous row of evergreen shrubs on a 3 ft. high earth berm



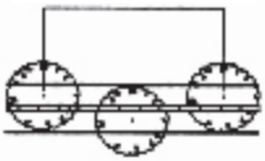
Maximum 3’ Centers



TREE HEIGHT
Installed: 8 ft.
Mature: 15 ft.

- A 5 ft. high masonry wall or timber fence with evergreen trees and low shrubs or climbing vines

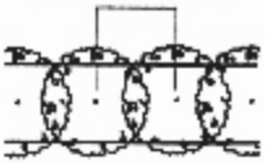
Maximum 50’ Centers



TREE HEIGHT
Installed: 8 ft.
Mature: 20 ft.

- One row of evergreen trees with branches touching the ground

Maximum 10’ Centers



INTRODUCTION

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Planning
KNOXVILLE | KNOX COUNTY

Design Guidelines
Landscape Screening

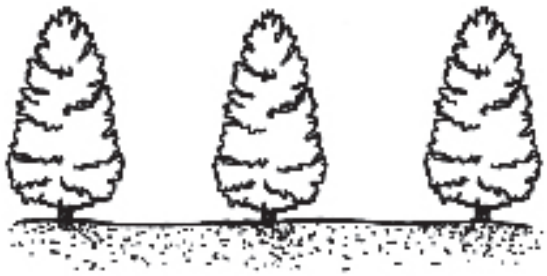
Type “C” Screen: Partial

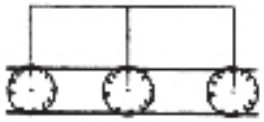
APPROPRIATE LOCATION: Between parking lots and public streets; boundaries of industrial and office development

NOTE: Landscape buffer strips should be a minimum of 8 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

- A row of small evergreen trees

TREE HEIGHT
Installed: 6 ft.
Mature: 15 ft.

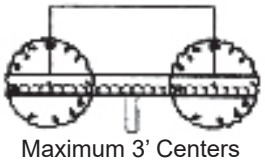




- A row of large broad leaf evergreen trees with a 3 ft. high wall or hedge (deciduous species of similar size & form could be used for every second tree)

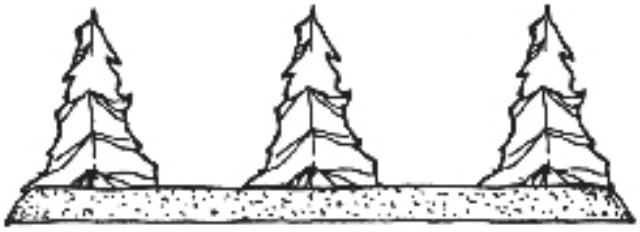
TREE HEIGHT
Installed: 8 ft.
Mature: 40 ft.

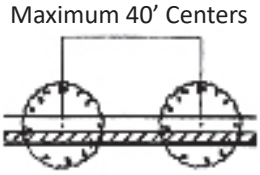
SHRUB HEIGHT
Installed: 2 ft.
Mature: 3 ft.



- A row of evergreen conifers with a 3 ft. high earth berm or solid fence or wall

TREE HEIGHT
Installed: 6 ft.
Mature: 15 ft.





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Development Request

DEVELOPMENT

- ☑ Development Plan
- ☐ Planned Development
- ☐ Use on Review / Special Use
- ☐ Hillside Protection COA

SUBDIVISION

- ☑ Concept Plan
- ☐ Final Plat

ZONING

- ☐ Plan Amendment
  - ☐ Sector Plan
  - ☐ One Year Plan
- ☐ Rezoning

Applicant Name	Affiliation
Jenkins Builders	

Date Filed	Meeting Date (if applicable)	File Number(s)
12/21/2023	**2/8/2024**	**2-SA-24-C / 2-A-24-DP**

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

David Harbin Batson Himes Norvell & Poe
Name / Company

4334 Papermill Dr Knoxville TN 37909
Address

865-588-6472 / harbin@bhn-p.com
Phone / Email

CURRENT PROPERTY INFO

Owner Name (if different)	Owner Address	Owner Phone / Email
Jenkins Builders Inc	**5328 Turtle Point Ln Knoxville TN 37919**	**865-388-2753**

0 OLD CLINTON PIKE / 7311, 7321 OLD CLINTON PIKE
Property Address

Parcel ID	Part of Parcel (Y/N)?	Tract Size
67 147,148 01,148 (part of)		**5.593 acres**

Sewer Provider	Water Provider	Septic (Y/N)
Hallsdale-Powell Utility District	**Hallsdale-Powell Utility District**	

STAFF USE ONLY

Southwest side of Old Clinton Pike, southeast of Tilbury Way
General Location

	District	Zoning District	Existing Land Use
☐ City	**Commission District 6**	**PR (Planned Residential) up to 12 du/ac (pending)**	**Single Family Residential, Rural Residential, Agriculture/Forestry/Vacant Land**
☑ County			

Planning Sector	Sector Plan Land Use Classification	Growth Policy Plan Designation
Northwest County	**MDR (Medium Density Residential)**	**Planned Growth Area**

DEVELOPMENT REQUEST

☑ Development Plan ☐ Planned Development ☐ Use on Review / Special Use

☐ Hillside Protection COA ☐ Residential ☐ Non-residential

Related City Permit Number(s)

Home Occupation (specify)

Other (specify) **Attached residential subdivision**

SUBDIVSION REQUEST

Jenkins Builders - Old Clinton Pike

Proposed Subdivision Name

Related Rezoning File Number

Unit / Phase Number

☑ Split Parcels

57

Total Number of Lots Created

Additional Information

☑ Attachments / Additional Requirements

ZONING REQUEST

☐ Zoning Change

Proposed Zoning

Pending Plat File Number

☐ Plan Amendment

Proposed Plan Designation(s)

Proposed Density (units/acre)

Previous Zoning Requests

Additional Information

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

☐ COA Checklist (Hillside Protection)

☐ Design Plan Certification (Final Plat)

☑ Site Plan (Development Request)

☐ Traffic Impact Study

☑ Use on Review / Special Use (Concept Plan)

Fee 1	Total
$1,600.00	
Fee 2	
Fee 3	

AUTHORIZATION

☐ **I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.**

	Jenkins Builders	**12/21/2023**
Applicant Signature	Please Print	Date

Phone / Email

	Jenkins Builders Inc	**12/21/2023**
Property Owner Signature	Please Print	Date

Development Request

Planning
KNOXVILLE | KNOX COUNTY

DEVELOPMENT
- ☑ Development Plan
- ☐ Planned Development
- ☐ Use on Review / Special Use
- ☐ Hillside Protection COA

SUBDIVISION
- ☒ Concept Plan
- ☐ Final Plat

ZONING
- ☐ Plan Amendment
  - ☐ SP ☐ OYP
- ☐ Rezoning

Jenkins Builders
Applicant Name — Affiliation

12/21/2023 — Date Filed
2/8/2024 — Meeting Date (if applicable)
File Number(s): 2-SA-24-C, 2-A-24-DP

CORRESPONDENCE
All correspondence related to this application should be directed to the approved contact listed below.

☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☐ Architect/Landscape Architect

David Harbin — Name
Batson Himes Norvell & Poe — Company
4334 Papermill Drive — Address
Knoxville — City
tn — State
37909 — ZIP
865-588-6472 — Phone
harbin@bhn-p.com — Email

CURRENT PROPERTY INFO

5328 Turtle Point Lane, Knoxville, TN 37919 — Property Owner Name (if different) / Property Owner Address
865-388-2753 — Property Owner Phone

7321, 7311 & 0 Old Clinton Pike — Property Address
TAX MAP 67 PARCEL 147, 148.01 & PART OF 148 — Parcel ID

HPUD — Sewer Provider
HPUD — Water Provider
NO — Septic (Y/N)

STAFF USE ONLY

General Location — Tract Size

☐ City ☐ County — District — Zoning District — Existing Land Use

Planning Sector — Sector Plan Land Use Classification — Growth Policy Plan Designation

May 1, 2023

DEVELOPMENT REQUEST

Related City Permit Number(s)

☑ Development Plan ☐ Use on Review / Special Use ☐ Hillside Protection COA

☑ Residential ☐ Non-Residential

Home Occupation (specify)

Other (specify) Attached residential subdivision

SUBDIVISION REQUEST

Related Rezoning File Number

Jenkins Builders - Old Clinton Pike

Proposed Subdivision Name

Unit / Phase Number ☐ Combine Parcels ☒ Divide Parcel 57 lots Total Number of Lots Created

☐ Other (specify)

☐ Attachments / Additional Requirements

ZONING REQUEST

Pending Plat File Number

☐ Zoning Change Proposed Zoning

☐ Plan Amendment Change Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests

☐ Other (specify)

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

☐ Design Plan Certification *(Final Plat)*

☐ Use on Review / Special Use *(Concept Plan)*

☐ Traffic Impact Study

☐ COA Checklist *(Hillside Protection)*

Fee 1	Total
Fee 2	
Fee 3	

AUTHORIZATION

☐ ***I declare under penalty of perjury*** *the foregoing is true and correct:*
1) *He/she/it is the owner of the property AND* ***2)*** *The application and all associated materials are being submitted with his/her/its consent*

Applicant Signature David Harbin Please Print 12-20-23 Date

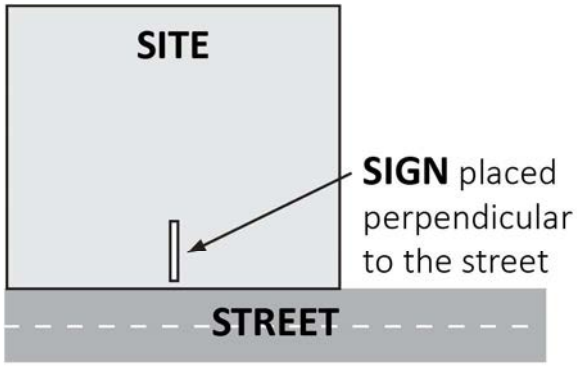
865-588-6472 Phone Number harbin@bhn-p.com Email

Property Owner Signature James Jenkins Please Print Date Paid

Sign Posting & Removal Requirement

Revised April 2021

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged $10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

January 26, 2024 and February 9, 2024

(applicant or staff to post sign) **(applicant to remove sign)**

Applicant Name: Jenkins Builders

Date: 12/21/2023

File Number: 2-SA-24-C & 2-A-24-DP

■ Sign posted by Staff

☐ Sign posted by Applicant