



# USE ON REVIEW REPORT

▶ **FILE #:** 1-A-24-UR

**AGENDA ITEM #:** 41

**AGENDA DATE:** 1/11/2024

▶ **APPLICANT:** RALPH SMITH  
**OWNER(S):** Disney Joint Venture

**TAX ID NUMBER:** 77 142

[View map on KGIS](#)

**JURISDICTION:** County Commission District 6

**STREET ADDRESS:** 7509 W EMORY RD

▶ **LOCATION:** North side of W Emory Rd, east side of Howard Bennett Way

▶ **APPX. SIZE OF TRACT:** 1.7 acres

**SECTOR PLAN:** Northwest County

**GROWTH POLICY PLAN:** Planned Growth Area

**ACCESSIBILITY:** The three new lots would be accessed via a shared driveway off of W Emory Road, a major arterial street with a pavement width of 27 ft within a 70-ft right-of-way.

**UTILITIES:** Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

**WATERSHED:** Beaver Creek

▶ **ZONING:** RA (Low Density Residential)

▶ **EXISTING LAND USE:** Single Family Residential

▶ **PROPOSED USE:** 3 duplexes on separate lots

**DENSITY PROPOSED:** 3.5 du/ac

**HISTORY OF ZONING:** Rezoned from A to RA in 2023 (1-R-23-RZ)

**SURROUNDING LAND USE AND ZONING:** North: Agricultural/forestry/vacant - RA (Low Density Residential)

South: Single family residential - PR (Planned Residential) up to 3 du/ac, A (Agricultural)

East: Single family residential - RA (Low Density Residential)

West: Private right-of-way, single family residential - RA (Low Density Residential)

**NEIGHBORHOOD CONTEXT:** This area is primarily single family residential with some large agricultural lots.

## STAFF RECOMMENDATION:

▶ **Approve the request for 3 duplexes, subject to 3 conditions.**

1. Subdividing the property into separate lots as shown on the site plan and meeting all applicable requirements of the platting process and Subdivision Regulations.
2. Meeting all applicable requirements of the Knox County Zoning Ordinance.
3. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.

**COMMENTS:**

This request is for three duplexes on a 1.7-acre lot zoned RA. The RA zone does not allow multiple duplexes on a single lot, so the property needs to be subdivided before the building permit phase. The proposed subdivision will be served by a 25-ft wide Shared Permanent Access Easement (SPAЕ). The existing one-story, single-family structure on the property will be demolished.

**DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10, SECTION 2)**

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

**1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND SECTOR PLAN.**

A. The Northwest County Sector Plan recommends LDR (Low Density Residential) land use with less than 5 du/ac in the County. The proposed subdivision has a density of 3.53 du/ac.

B. The proposed density is also compatible with the subject property's location in the Planned Growth Area of the Growth Policy Plan.

C. The General Plan's development policy 9.3 encourages that the context of new development, including scale and compatibility, does not impact existing neighborhoods and communities. The duplexes are one story and will be similar in scale and height to the surrounding neighborhood.

**2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.**

A. The RA zone is intended to provide for residential areas with low population densities. The proposed duplexes are permitted via the Use on Review process.

B. The proposed lot size for each of the three lots is well over 12,000 sf, which is the minimum lot size for a duplex in the RA zone.

C. The site plan and elevations as provided conform to the dimensional standards of the RA zone (Article 5.11.04 - 5.11.11) and off-street parking requirements (Article 3.50 - 3.51).

**3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATIONS OF BUILDINGS IN THE VICINITY.**

A. The proposed duplex subdivision has a similar character to other residential subdivisions in this area. Each lot of the 5-lot subdivision north of the property has been approved for duplex development by the Planning Commission on separate occasions (1-B-22-UR, 2-C-12-UR, 1-B-98-UR). Two of these lots currently accommodate duplex structures.

B. The surrounding area is characterized by one- and two-story houses. The proposed single-story structure will be compatible in size and scale with the neighboring single-family houses.

**4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC CONGESTION OR OTHER IMPACTS WHICH MAY DETRACT FROM THE IMMEDIATE ENVIRONMENT.**

A. The proposed duplexes are considered low-density residential uses and are compatible with other low-density residential uses.

**5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.**

A. The development will have one driveway access to Emory Road, a major arterial street. The proposed SPAЕ layout is preliminarily approved by the Knox County Department of Engineering and Public Works, subject to further review during the plating process.

B. Three duplexes would be a minor increase in density for the area and would not significantly impact traffic on surrounding streets.

**6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.**

A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed residential use.

ESTIMATED TRAFFIC IMPACT: 76 (average daily vehicle trips)

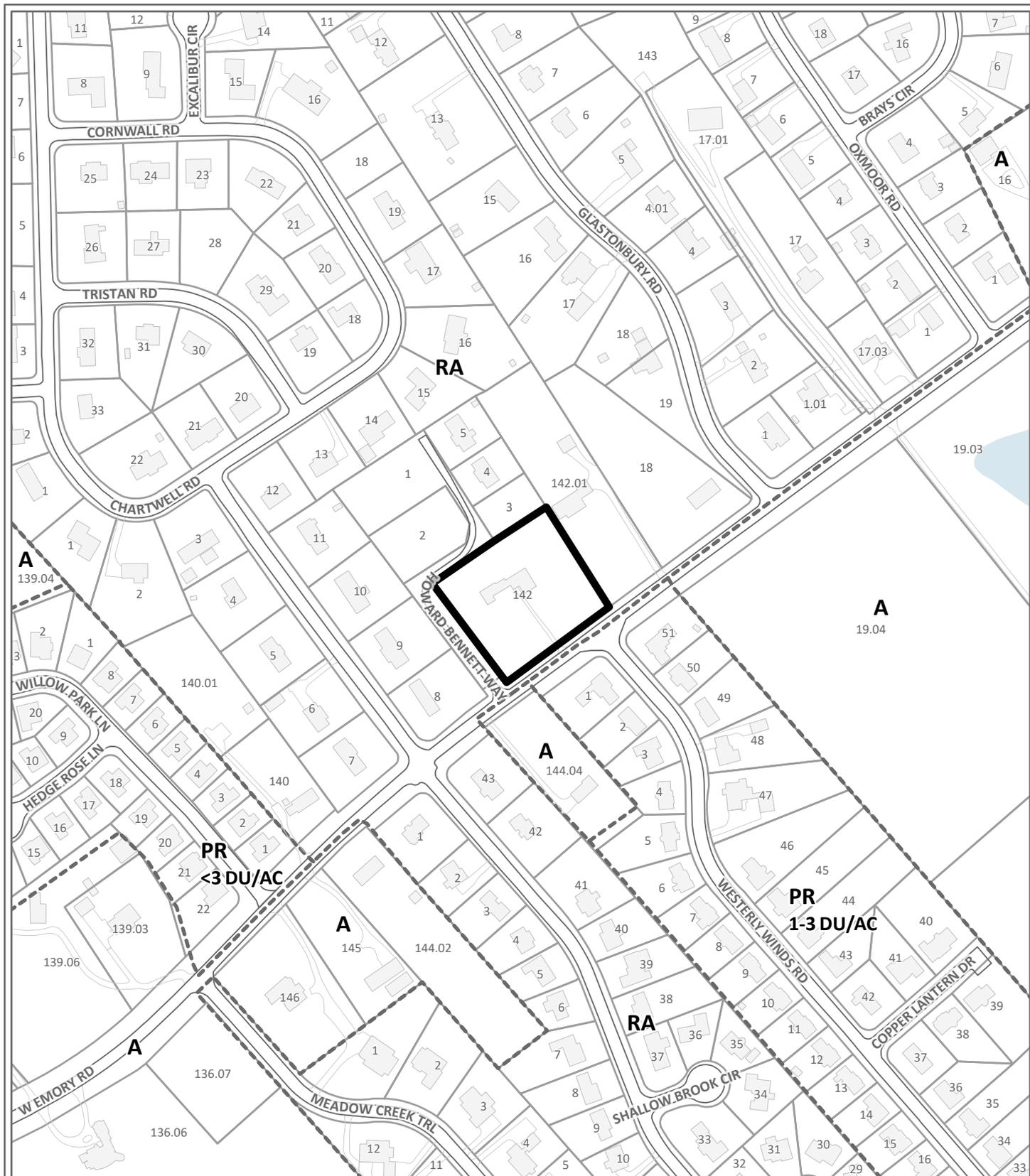
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 1 (public school children, grades K-12)

Schools affected by this proposal: Karns Elementary, Karns Middle, and Karns High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



**USE ON REVIEW**

**1-A-24-UR**

**Petitioner:** Ralph Smith



Duplexes in RA (Low Density Residential)

**Map No:** 77  
**Jurisdiction:** County

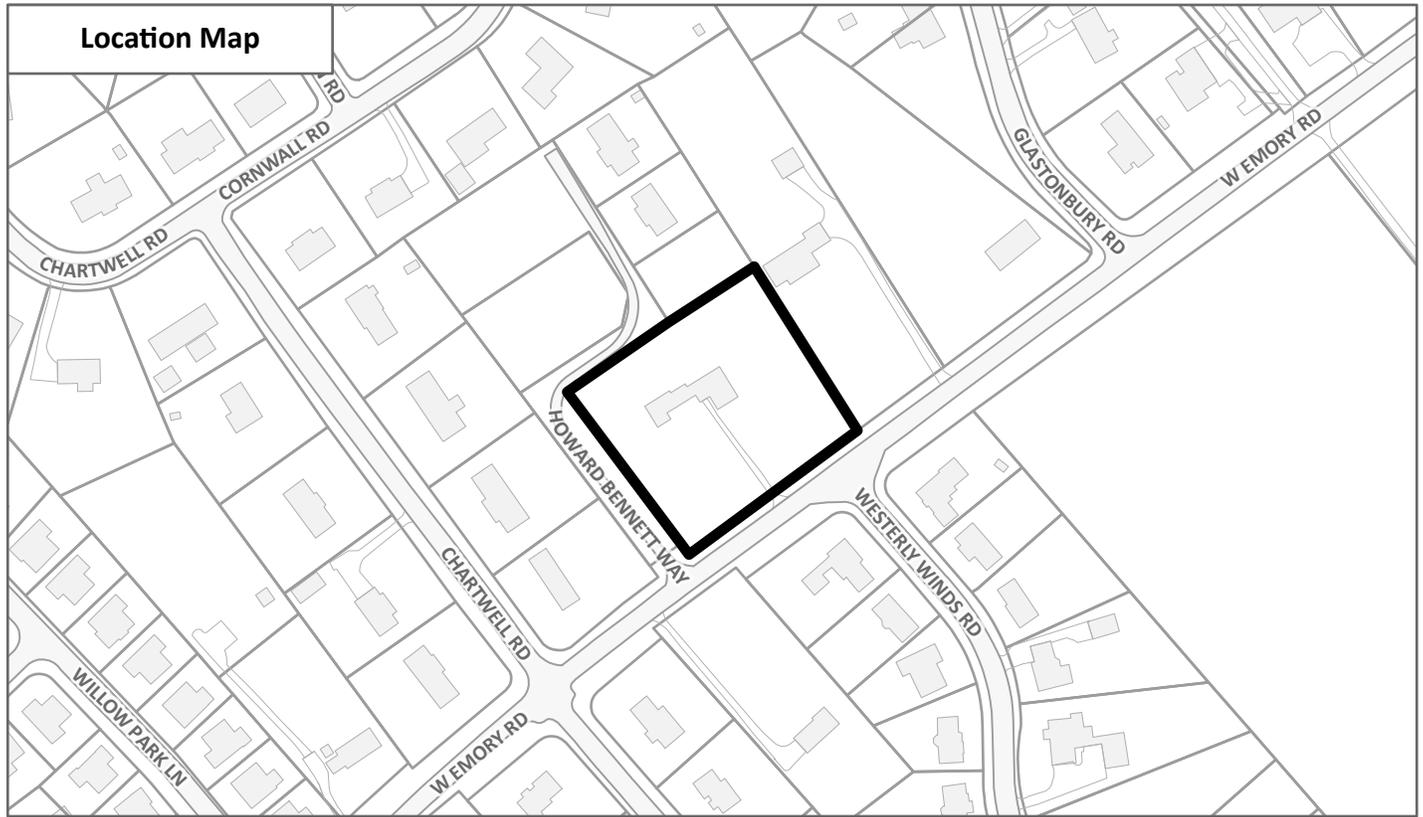


**Original Print Date:** 12/7/2023

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

# Exhibit A. Contextual Images

Location Map



Aerial Map

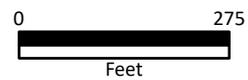


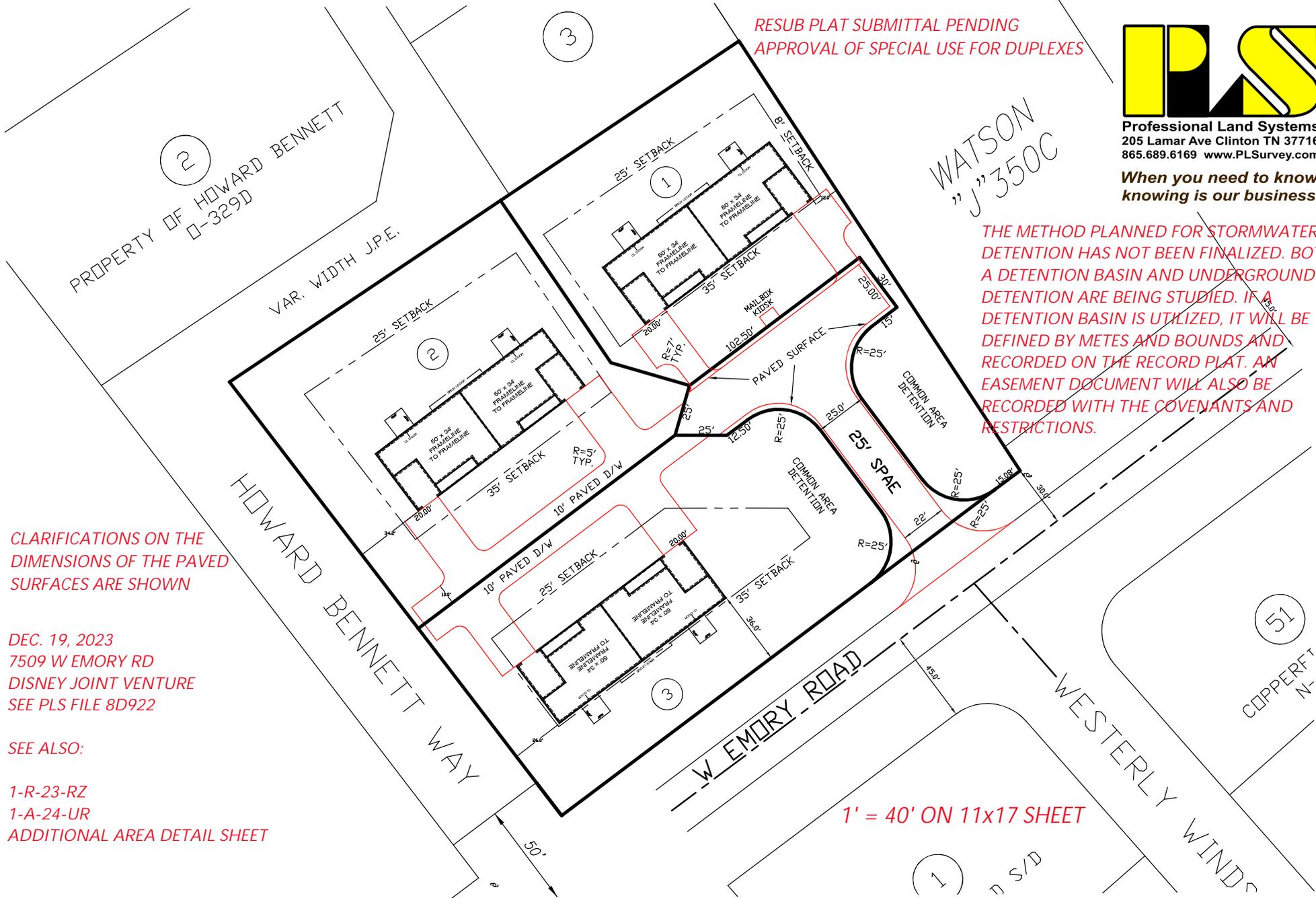
CONTEXTUAL MAPS 1

1-A-24-UR



Case boundary





RESUB PLAT SUBMITTAL PENDING  
 APPROVAL OF SPECIAL USE FOR DUPLEXES

WATSON  
 "J" 350C



Professional Land Systems  
 205 Lamar Ave Clinton TN 37716  
 865.689.6169 www.PLSurvey.com

When you need to know,  
 knowing is our business.

THE METHOD PLANNED FOR STORMWATER  
 DETENTION HAS NOT BEEN FINALIZED. BOTH  
 A DETENTION BASIN AND UNDERGROUND  
 DETENTION ARE BEING STUDIED. IF A  
 DETENTION BASIN IS UTILIZED, IT WILL BE  
 DEFINED BY METES AND BOUNDS AND  
 RECORDED ON THE RECORD PLAT. AN  
 EASEMENT DOCUMENT WILL ALSO BE  
 RECORDED WITH THE COVENANTS AND  
 RESTRICTIONS.

CLARIFICATIONS ON THE  
 DIMENSIONS OF THE PAVED  
 SURFACES ARE SHOWN

DEC. 19, 2023  
 7509 W EMORY RD  
 DISNEY JOINT VENTURE  
 SEE PLS FILE 8D922

SEE ALSO:

1-R-23-RZ  
 1-A-24-UR  
 ADDITIONAL AREA DETAIL SHEET

1' = 40' ON 11x17 SHEET

PROPERTY OF HOWARD BENNETT  
 □-329D

VAR. WIDTH J.P.E.

HOWARD BENNETT WAY

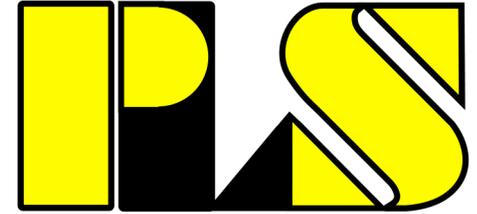
W EMORY ROAD

WESTERLY WINDS

51  
 COPPERPT N

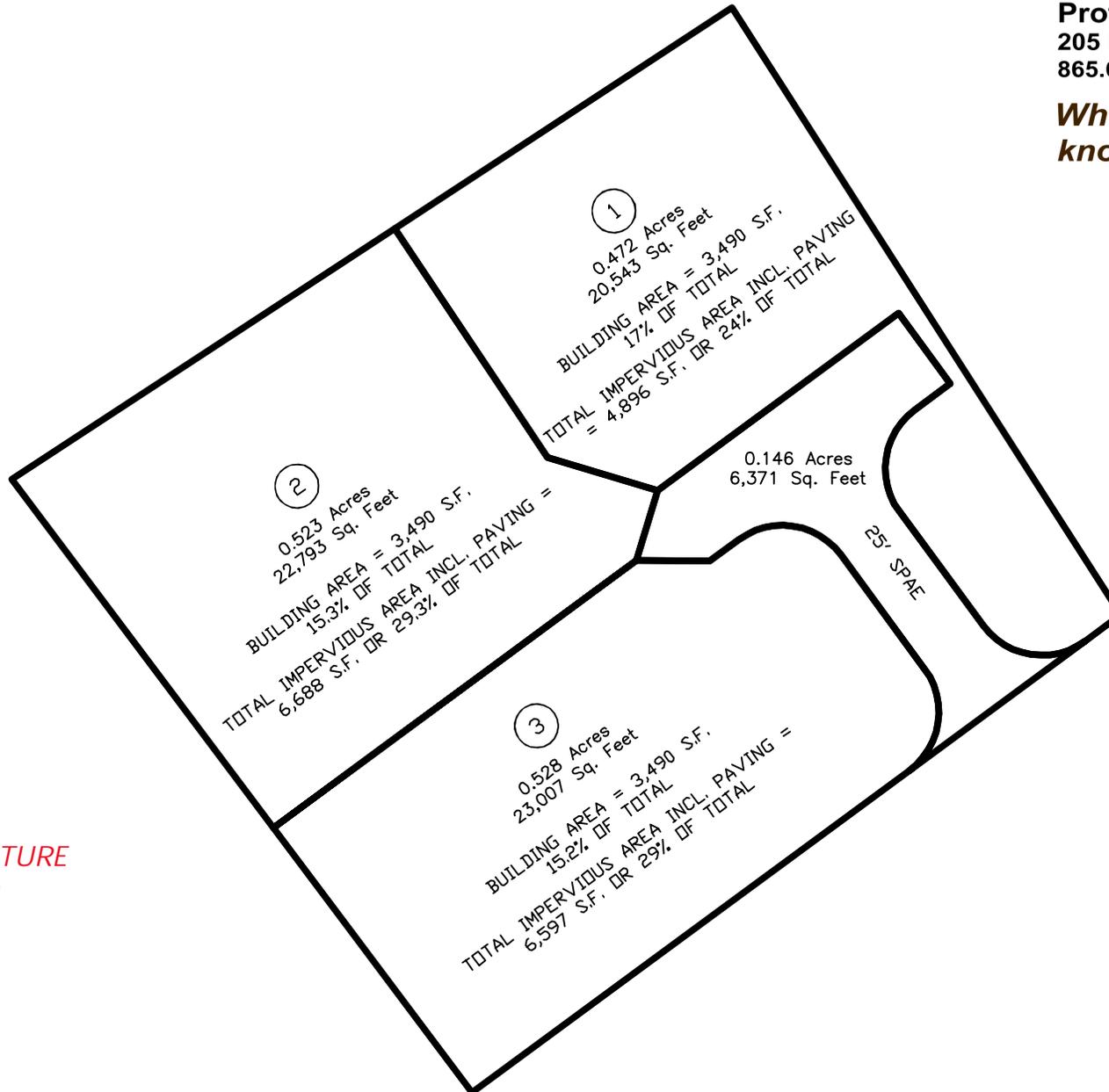
1  
 D S/D

# LOT AREA DETAILS



**Professional Land Systems**  
205 Lamar Ave Clinton TN 37716  
865.689.6169 www.PLSurvey.com

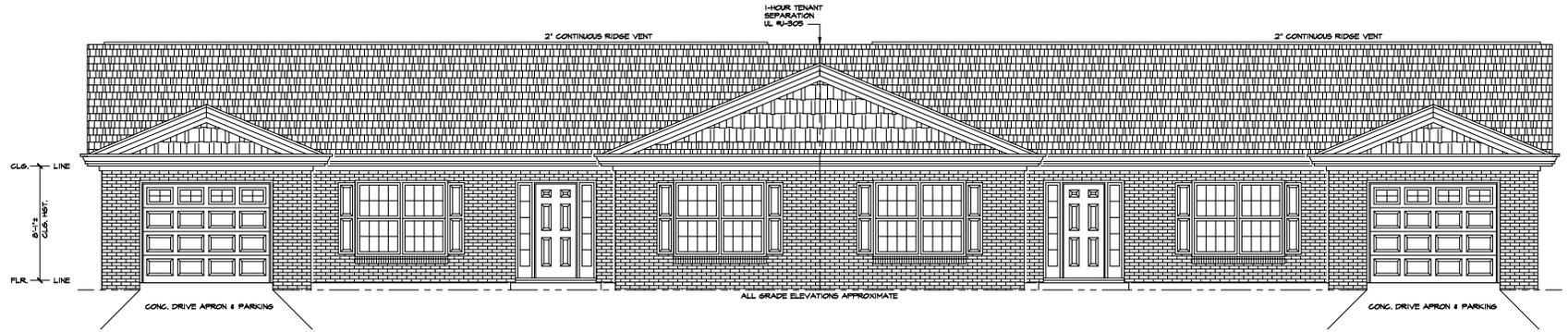
*When you need to know,  
knowing is our business.*



DEC. 18, 2023  
7509 W EMORY RD  
DISNEY JOINT VENTURE  
SEE PLS FILE 8D922

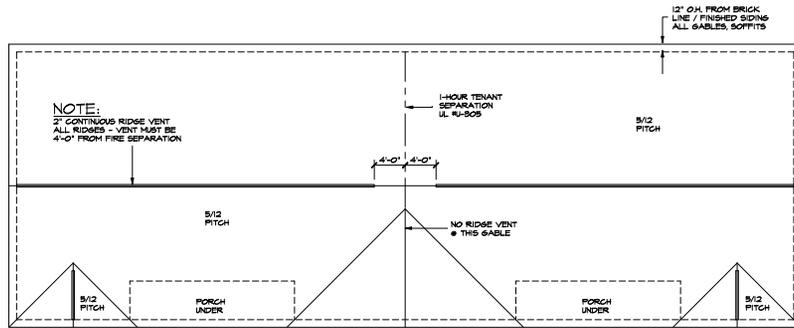
SEE ALSO

1-R-23-RZ  
1-A-24-UR



FRONT ELEVATION - UNIT ONE  
SCALE: 1/4" = 1'-0"

FRONT ELEVATION - UNIT TWO  
SCALE: 1/4" = 1'-0"

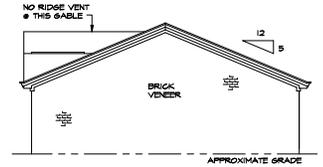


UNIT ONE

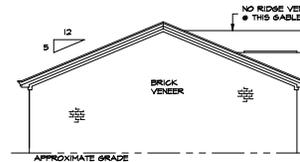
ROOF LAYOUT PLAN  
SCALE: 1/8" = 1'-0"

UNIT TWO

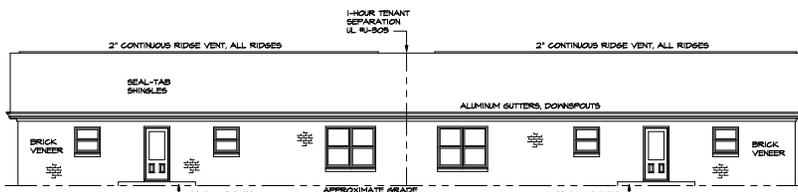
NOTE:  
ALL WINDOW, DOOR, ACCESSORY & TRIM STYLES ARE INDICATED FOR ILLUSTRATION ONLY AND ARE SUBJECT TO APPROVAL/CHANGE BY GENERAL CONTRACTOR - ALL SUCH CHANGES SHALL CONFORM TO APPLICABLE LOCAL / STATE / NATIONAL BUILDING CODES



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



UNIT TWO

REAR ELEVATION  
SCALE: 1/8" = 1'-0"

UNIT ONE

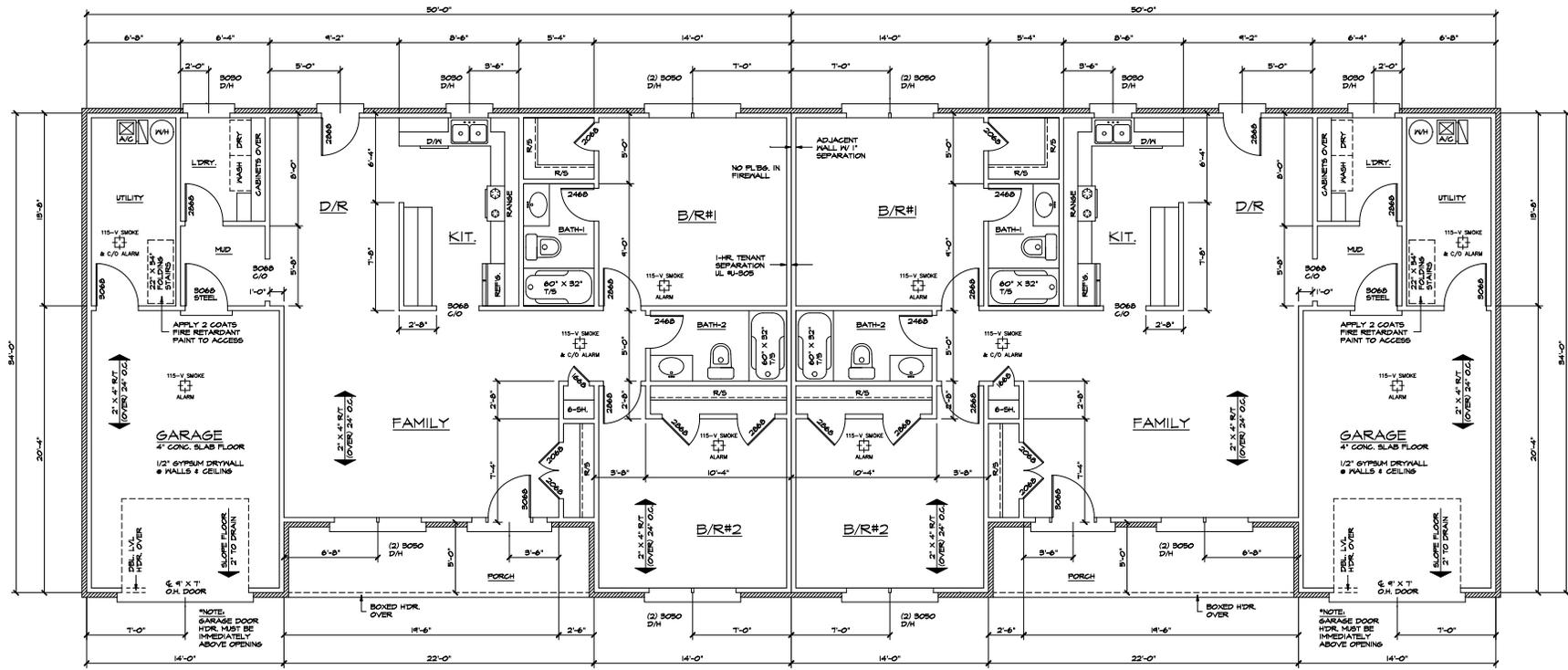
1-A-24-UR  
11/27/2023

**NOTICE**

THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BILLING SITE NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES OF ENGINEER AND PREPARED COMPONENTS IS EXCLUDED. THE PLANS ARE DIAGNOSTIC ONLY AND ARE DESIGNED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING EXHIBITS DO NOT GUARANTEE THE STRUCTURAL INTEGRITY OF FRAMING METHODS USED. THE USER IS RESPONSIBLE IN TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL/REVISED BUILDING CODES AND AMENDMENTS SHALL SUPERSEDE.

Designed To 2012 IRC

	PLAN NO. <b>17-0315</b>
	DATE: 03/02/2023
<b>Dominion Drafting</b> JERRY L. DUNSMORE ~ (865) 388-7291 Knoxville, TN ~ Matthew B. 33	
LICENSED TO: <b>Disney Construction</b> FOR PROJECT: <b>Taryn's Nest Duplex</b>	



UNIT ONE

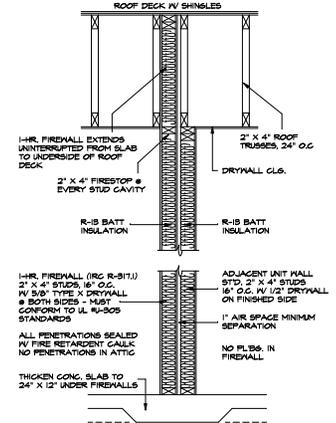
UNIT TWO

**DUPLEX FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

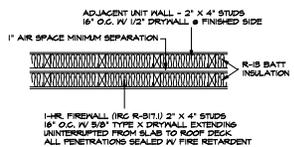
8'-1/2" FINISHED CEILING HEIGHT  
1212 SQ. FT. LIVING AREA EACH UNIT  
200 SQ. FT. GARAGE AREA  
110 SQ. FT. COVERED FRONT PORCH AREA  
40 SQ. FT. STORAGE AREA

NOTE:  
AREA CALCULATIONS ARE MEASURED FROM OUTSIDE FRAMING LINES (EXCLUSIVE OF BRICK OR STUCCO VENEER) VERY CRUDE BY ACTUAL CONSTRUCTION DIMENSIONS

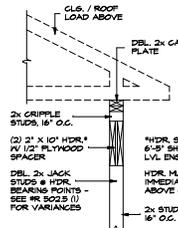
1-A-24-UR  
11/27/2023



**WALL SECTION @ 1-HR. FIREWALL**  
UL STANDARD R-308 OR LATEST REVISION (IRC R-317.1)



**PLAN SECTION - 1-HR. FIRE WALL**  
UL STANDARD R-308 OR LATEST REVISION



**WINDOW & DOOR HEADERS**  
SCALE: 3/4" = 1'-0" (IRC NR 502.3 (1))

**EGRESS WINDOWS:**

BEDROOMS MUST HAVE (1) WINDOW RATED FOR EMERGENCY EGRESS WHICH PROVIDES A CLEAR OPENING OF 5.7 SQ. FT. (BT 50 FT. x SECOND FLOOR) & 44" MAX. SILL HGT. - MIN. NET CLEAR OPENING SHALL BE 20" WIDE x MIN. HGT. 24"

NOTE:  
WINDOWS LOCATED IN STAIRS, LANDINGS, BATHS & FOOT TRAFFIC AREAS WHERE THE SILL IS LESS THAN 18" FROM FINISHED FLOOR & WITH A RASH SIZE GREATER THAN 4.0 SQ.FT. SHALL REQUIRE USE OF TEMPERED GLASS

NOTE:  
WINDOW & DOOR SIZES NOTED ON FLOOR PLANS ARE GENERIC & ARE TO BE READ AS FEET & INCHES WITH FEET & INCHES HGT. (EX. 50SQ D/H = 5'-0" WIDE X 5'-0" HIGH - D/H = DOUBLE HANG)

**FRAMING DIMENSIONS:**

WALL & PARTITION FRAMING DIMENSIONS ARE MEASURED FROM OUTSIDE FRAMING LINE TO FACE OF INTERIOR STUDWALLS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER-LINES VERY CAREFULLY

**NOTICE**

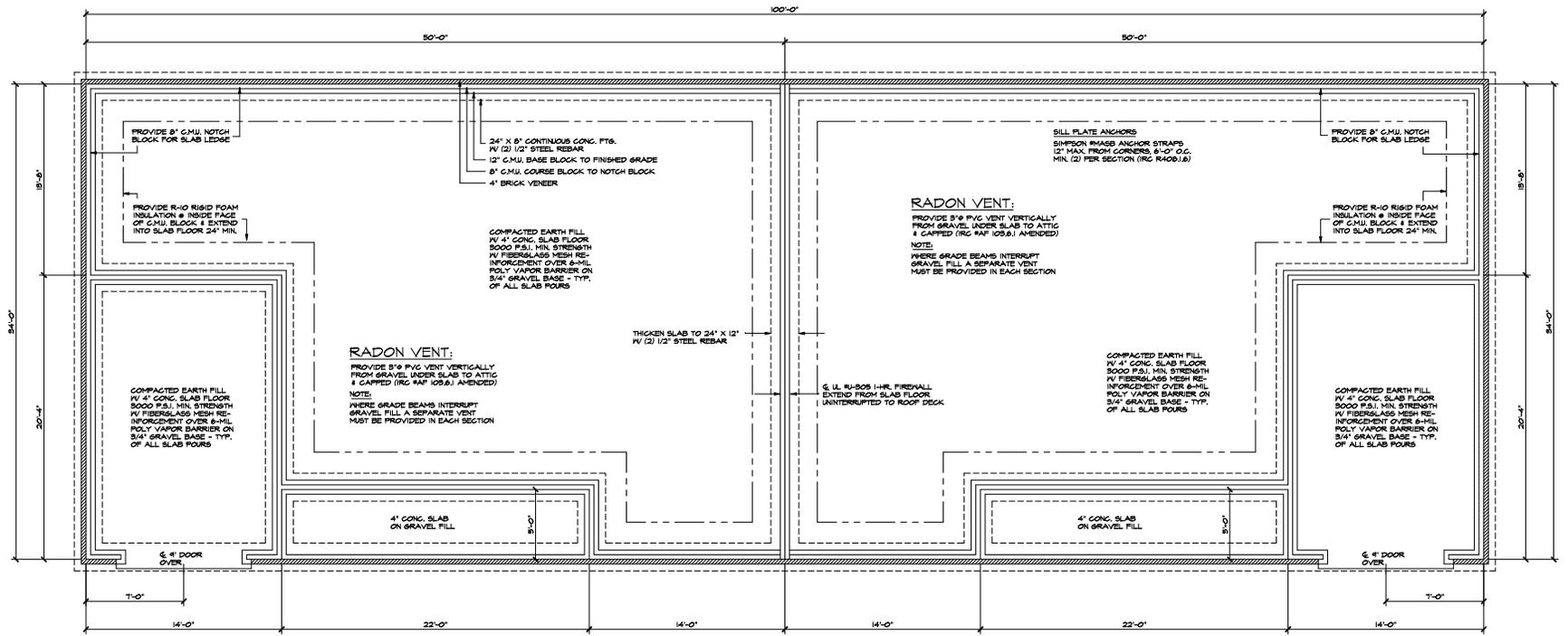
THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BIDDING SITE NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES OF ENGINEER AND PREPARED COMPONENTS IS EXCLUDED. THE PLANS ARE DIAGNOSTIC ONLY AND ARE DESIGNED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING SHEETS DO NOT GUARANTEE THE STRUCTURAL INTEGRITY OF FRAMING METHODS USED ON SITE. THE USER IS RESPONSIBLE IN TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL-REVISED BUILDING CODES AND AMENDMENTS SHALL SUPERSEDE.

Designed To 2012 IRC

PLAN NO. **17-0315**  
DATE: 03/29/23  
PLATE: UNIT FLOOR PLANS (B)-LD

**Dominion Drafting**  
JERRY L. DUNSMORE ~ (865) 388-7291  
Knoxville, TN ~ Matthew B. 33

LICENSED TO: **Disney Construction**  
FOR PROJECT: **Taryn's Nest Duplex**



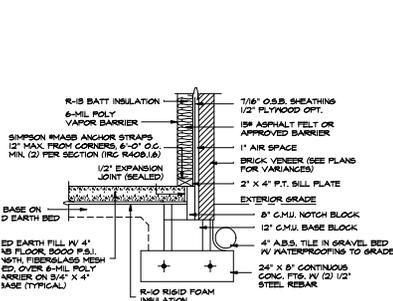
**\*NOTE:**

EXTERIOR FOUNDATION WALLS IN EXPOSURE ABOVE GRADE OF 4'-0" OR GREATER SHALL HAVE SOLID-FILLED CELLS W/ #4 STEEL REBAR FROM FTG. UP THROUGH WALL & INTO SLAB 4'-0" MINIMUM & SPACED 4'-0" O.C.

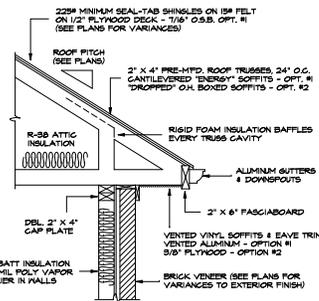
**FTG. DIMENSIONS**

ALL FOUNDATION DIMENSIONS ARE MEASURED FROM OUTSIDE EDGE OF SILL PLATES TO E OF SHEDS, WALLS, VENTS & OPENINGS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER LINES CAREFULLY

**CONC. SLAB FTG. PLAN**  
SCALE: 1/4" = 1'-0"



**TYPICAL WALL SECTION**  
SCALE: 3/4" = 1'-0"



**TYPICAL ROOF SECTION**  
SCALE: 3/4" = 1'-0"

**NOTES ON PRE-MFD. TRUSSES**

PRE-MFD. ROOF TRUSSES SHALL BE DESIGNED AND FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS. THE TRUSS MANUFACTURER SHALL DESIGN AND MODIFY THE TRUSS SYSTEM AS NECESSARY AND SHALL PROVIDE THE GENERAL CONTRACTOR WITH APPROPRIATE CONSTRUCTION DOCUMENTS FOR INSTALLATION. IN ALL COMPONENT SYSTEMS THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS SHALL SUPERSEDE THE GENERAL EXHIBITS INCLUDED IN THESE DRAWINGS.

1-A-24-UR  
11/27/2023

**NOTES ON MFD. COMPONENTS**

ALL PRE-MFD. STRUCTURAL COMPONENTS SHALL BE DESIGNED AND/OR FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS. THE MANUFACTURER SHALL DESIGN AND MODIFY ENGINEERED COMPONENT SYSTEMS AS NECESSARY AND SHALL PROVIDE THE GENERAL CONTRACTOR WITH APPROPRIATE CONSTRUCTION DOCUMENTS FOR INSTALLATION. IN ALL COMPONENT SYSTEMS THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS SHALL SUPERSEDE THE GENERAL EXHIBITS INCLUDED IN THESE DRAWINGS.

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Designed To 2012 IRC

PAGE NO. <b>3</b>		PLAN NO. <b>17-0315</b>
DATE: 03/29/23		DATE: 03/29/23
<b>Dominion Drafting</b>		JERRY L. DUNSMORE ~ (865) 388-7291 Knoxville, TN ~ Matthew B. 33
LICENSED TO: <b>Disney Construction</b>		FOR PROJECT: <b>Taryn's Nest Duplex</b>



# Development Request

### DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

### SUBDIVISION

- Concept Plan
- Final Plat

### ZONING

- Plan Amendment
  - Sector Plan
  - One Year Plan
- Rezoning

**Ralph Smith**

Applicant Name

Affiliation

**11/29/2023**

Date Filed

**1/11/2024**

Meeting Date (if applicable)

**1-A-24-UR**

File Number(s)

## CORRESPONDENCE

*All correspondence related to this application should be directed to the approved contact listed below.*

**Ralph Smith Professional Land Systems**

Name / Company

**205 Lamar Ave. Ave. Clinton TN 37716**

Address

**865-599-1508 / ralph6169@gmail.com**

Phone / Email

## CURRENT PROPERTY INFO

**Disney Joint Venture**

Owner Name (if different)

**7721 La Barrington Blvd Powell TN 37849**

Owner Address

**865-947-1581**

Owner Phone / Email

**7509 W EMORY RD**

Property Address

**77 142**

Parcel ID

**1.7 acres**

Tract Size

Part of Parcel (Y/N)?

**West Knox Utility District**

Sewer Provider

**West Knox Utility District**

Water Provider

Septic (Y/N)

## STAFF USE ONLY

**North side of W Emory Rd, east side of Howard Bennett Way**

General Location

City **Commission District 6** **RA (Low Density Residential)**

County District

Zoning District

**Single Family Residential**

Existing Land Use

**Northwest County**

Planning Sector

**LDR (Low Density Residential)**

Sector Plan Land Use Classification

**Planned Growth Area**

Growth Policy Plan Designation

## DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) <b>Duplexes</b>	

## SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

## ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre)    Previous Zoning Requests		
Additional Information		

## STAFF USE ONLY

### PLAT TYPE

Staff Review     Planning Commission

### ATTACHMENTS

Property Owners / Option Holders     Variance Request

### ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)  
 Design Plan Certification (Final Plat)  
 Site Plan (Development Request)  
 Traffic Impact Study  
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
<b>\$500.00</b>	
Fee 2	
Fee 3	

## AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	<b>Ralph Smith</b> Please Print	<b>11/29/2023</b> Date
---------------------	------------------------------------	---------------------------

Phone / Email		
Property Owner Signature	<b>Disney Joint Venture</b> Please Print	<b>11/29/2023</b> Date



# Development Request

### DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

### SUBDIVISION

- Concept Plan
- Final Plat

### ZONING

- Plan Amendment
  - SP
  - OYP
- Rezoning

Ralph Smith / PLS

Applicant Name		Affiliation
11/27/2023	January 11, 2024	File Number(s)  <b>1-A-24-UR</b>
Date Filed	Meeting Date (if applicable)	

**CORRESPONDENCE** *All correspondence related to this application should be directed to the approved contact listed below.*

- Applicant  
  Property Owner  
  Option Holder  
 Project Surveyor  
 Engineer  
 Architect/Landscape Architect

<b>Ralph Smith</b>		<b>Professional Land Systems</b>	
Name		Company	
205 Lamar Ave		Clinton	TN 37716
Address		City	State ZIP
865-599-1508		ralph6169@gmail.com	
Phone		Email	

**CURRENT PROPERTY INFO**

Disney Joint Venture	7721 LaBarrington Blvd	865-947-1581
Property Owner Name (if different)	Property Owner Address	Property Owner Phone
7509 W Emory Rd Knoxville TN 37931	077 142	
Property Address	Parcel ID	
WKUD	WKUD	N
Sewer Provider	Water Provider	Septic (Y/N)

**STAFF USE ONLY**

General Location		Tract Size
<input type="checkbox"/> City <input type="checkbox"/> County	District	Zoning District Existing Land Use
Planning Sector	Sector Plan Land Use Classification	Growth Policy Plan Designation

## DEVELOPMENT REQUEST

- Development Plan   
  Use on Review / Special Use   
  Hillside Protection COA  
 Residential   
  Non-Residential

Home Occupation (specify) \_\_\_\_\_

Allow duplexes in RA zoning

Other (specify) \_\_\_\_\_

Related City Permit Number(s)

## SUBDIVISION REQUEST

Proposed Subdivision Name

Combine Parcels   
  Divide Parcel

Unit / Phase Number

Total Number of Lots Created

Other (specify) \_\_\_\_\_

Attachments / Additional Requirements

Related Rezoning File Number

## ZONING REQUEST

Zoning Change

Proposed Zoning

Plan Amendment Change

Proposed Plan Designation(s)

Pending Plat File Number

Proposed Density (units/acre)

Previous Rezoning Requests

Other (specify) \_\_\_\_\_

## STAFF USE ONLY

### PLAT TYPE

- Staff Review   
  Planning Commission

### ATTACHMENTS

- Property Owners / Option Holders   
  Variance Request

### ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat*)  
 Use on Review / Special Use (*Concept Plan*)  
 Traffic Impact Study  
 COA Checklist (*Hillside Protection*)

Fee 1		Total
0402	\$500.00	\$500.00
Fee 2		
Fee 3		

## AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct:

1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent



Ralph Smith / PLS

11-10-23

Applicant Signature

Please Print

Date

865-599-1508

ralph6169@gmail.com

Phone Number

Email

11/29/2023, SG



Dwight Disney

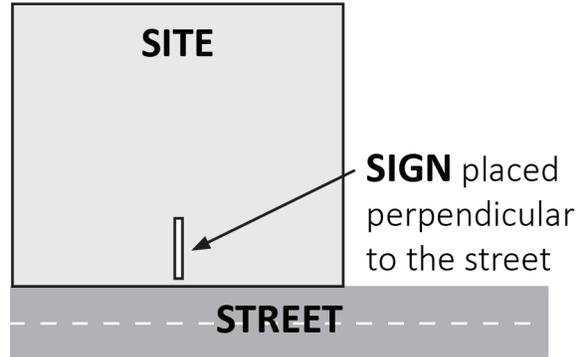
11-27-23

Property Owner Signature

Please Print

Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

*The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:*

\_\_\_\_\_ 12/29/2023 \_\_\_\_\_ and \_\_\_\_\_ 01/12/2024 \_\_\_\_\_  
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Ralph Smith

Date: 11/29/2023

File Number: 1-A-24-UR

- Sign posted by Staff
- Sign posted by Applicant