



# SPECIAL USE REPORT

▶ **FILE #:** 1-B-24-SU

**AGENDA ITEM #:** 12

**AGENDA DATE:** 1/11/2024

▶ **APPLICANT:** CHARLES PILGRIM

OWNER(S): John Davenport

TAX ID NUMBER: 154 L A 012

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 909 OSPREY POINT LN

▶ **LOCATION:** North side of Osprey Point Ln, southeast side of S Northshore Dr

▶ **APPX. SIZE OF TRACT:** 1.76 acres

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Osprey Point Lane, a local street with a pavement width of 22 ft within 150-ft right-of-way.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Tennessee River

▶ **ZONING:** C-N (Neighborhood Commercial)

▶ **EXISTING LAND USE:** Office / commercial building

▶ **PROPOSED USE:** Medical office

HISTORY OF ZONING: Rezoned A-1 to O-1 in 2012 (7-J-12-RZ), O-1 to C-6 rezoning denied in 2017 (10-C-17-RZ), rezoned O-1 to C-1 in 2019 (7-M-19-RZ).

SURROUNDING LAND USE AND ZONING: North: I-140 and S Northshore Drive rights-of-way

South: Agriculture/forestry/vacant land, single family residential - OB (Office, Medical & Related Services) and PR (Planned Residential) up to 2 du/ac in the County

East: I-140 and Osprey Point Lane rights-of-way

West: S. Northshore Drive right-of-way, Northshore Town Center - C-R-2 (Regional Commercial) in the City

NEIGHBORHOOD CONTEXT: This site is located on the southwest quadrant of the I-140 and S Northshore Drive intersection. The area is developed with a mix of residential, office, and commercial uses under various City and County zoning districts. The Northshore Town Center is located northwest of the property across S Northshore Drive.

## STAFF RECOMMENDATION:

▶ **Approve the request for a medical office in the C-N district, subject to 2 conditions.**

- 1) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
- 2) Meeting all applicable requirements of the City of Knoxville Plans Review and Inspections Department.

**COMMENTS:**

This request is for a medical office use of approximately 1,940 sf within a recently constructed single-story commercial building of 9,247 sf. The proposed medical office will be located at the eastern portion of the building, which will likely accommodate several other nonresidential uses.

**STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2)**

**1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.**

A. The proposed use is consistent with the General Plan's development policy 9.11 that encourages to establish community-serving commercial areas where they can be easily shared by several neighborhoods. The site is located at the intersection of an interstate and a major arterial street, and it has easy vehicular access for residential areas on both sides of the highway.

B. The proposed use also complies with the One Year Plan's location criteria, which recommends medical and dental facilities to be located at convenient locations for all Knoxville residents.

C. The proposed use is consistent with the Southwest County Sector Plan's NC (Neighborhood Commercial) land use classification.

**2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.**

A. The C-N district is intended to provide for an environment of integrated residential development and small-scale commercial and service uses, predominantly serving nearby residential neighborhoods. Medical facilities may be allowed by the special use approval.

B. Per Article 5.3.B, nonresidential use in the C-N district is limited to the maximum gross floor area of 5,000 sf unless it meets some additional requirements. The proposed use is approximately 1,940 sf. The site plan and elevations as provided conform to the dimensional standards (Article 5.3) and design standards (Article 5.4) of the C-N zoning district.

C. The property has an Alternative Landscape Design approved by the City of Knoxville Administrative Review Committee (included in the plan set).

**3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.**

A. The property is located at the edge of an established commercial node and the proposed medical facility is compatible with the surrounding area characterized by a mix of residential, office, and commercial uses.

B. The one-story structure is compatible with other buildings in the vicinity. The elevation of the property and the location of the building makes the structure less visible from the adjacent streets.

**4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.**

A. The property is surrounded by wide right-of-way on all sides and the use is not anticipated to injure the value of any nearby properties.

**5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.**

A. The medical office would be an additional use in the existing commercial building and would not significantly impact traffic on surrounding streets.

**6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.**

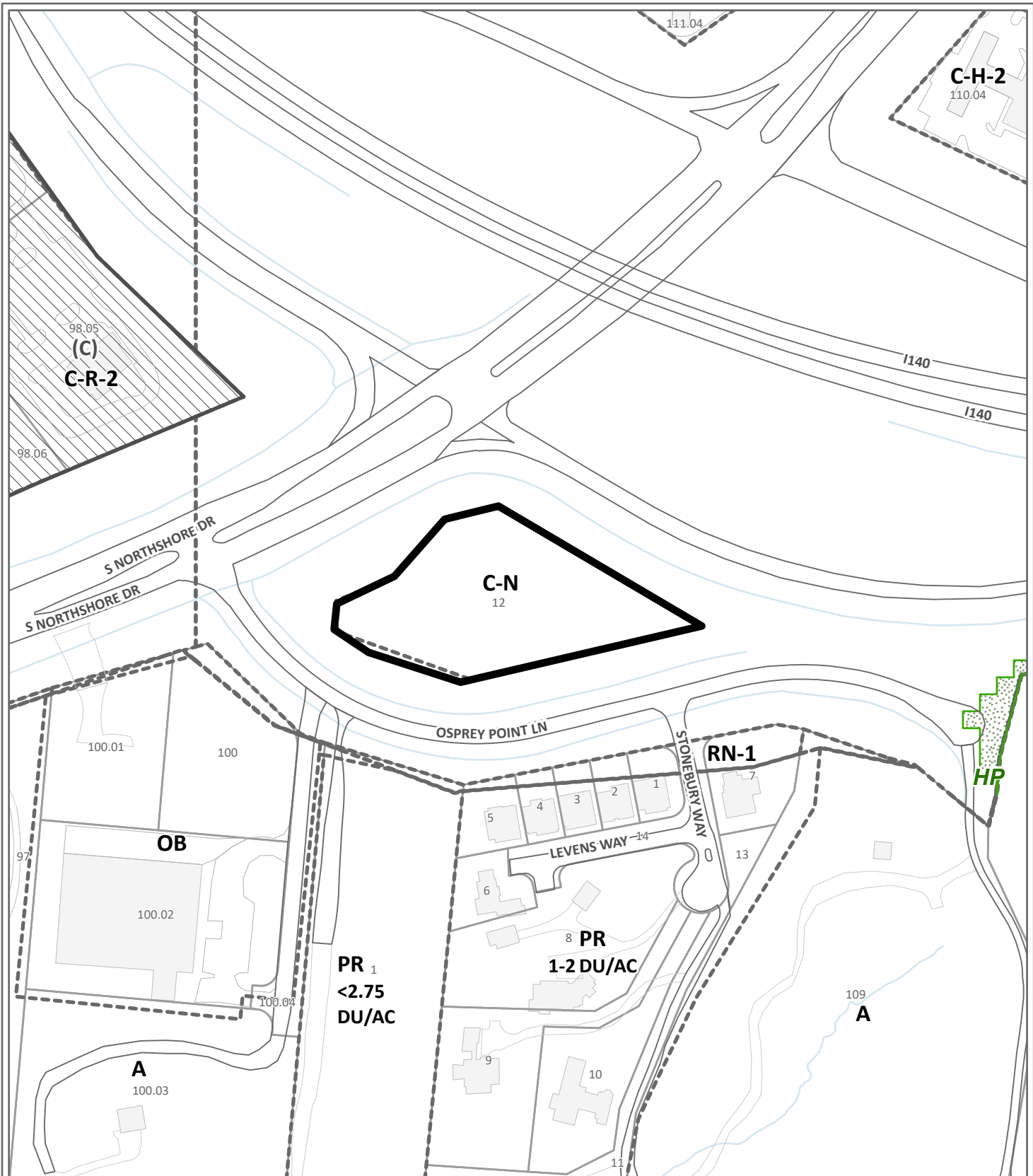
A. There are no known uses immediately surrounding the subject property that would pose a potential hazard or undesirable environment for the proposed use.

ESTIMATED TRAFFIC IMPACT: -25 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



**SPECIAL USE**

**1-B-24-SU**

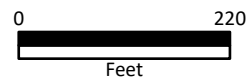
Petitioner: Charles Pilgrim



Medical office in C-N (Neighborhood Commercial),

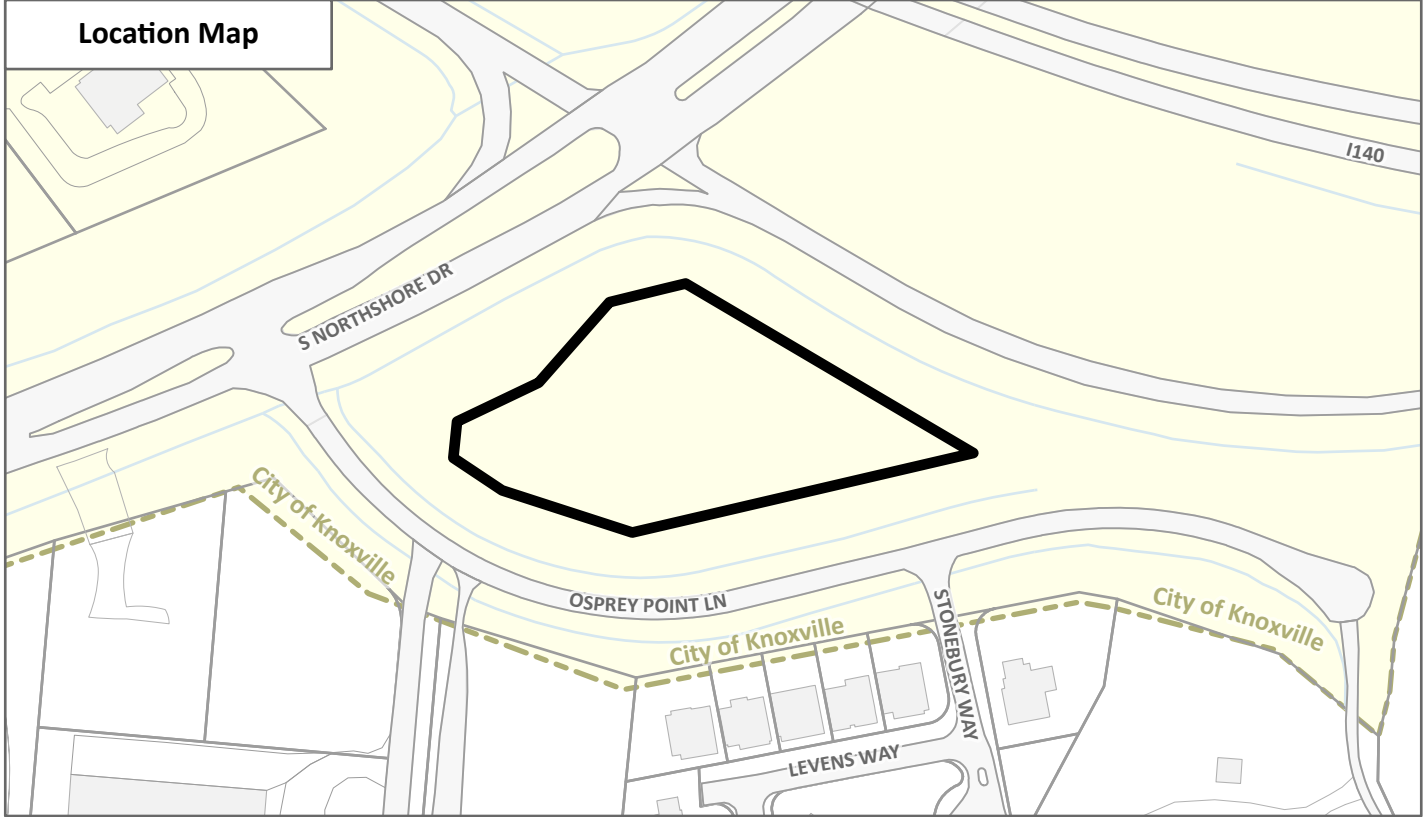
Map No: 154  
Jurisdiction: City

Original Print Date: 12/7/2023  
Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902



# Exhibit A. Contextual Images

Location Map



Aerial Map

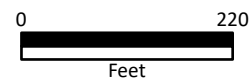


CONTEXTUAL MAPS 1

1-B-24-SU



Case boundary





# A SHELL BUILDING AT OSPREY POINT

## 909 OSPREY POINT LANE KNOXVILLE, TN 37922

### PLANS REVIEW DATA

CITY OF KNOXVILLE GOVERNING CODES & GUIDELINES  
 2018 INTERNATIONAL BUILDING CODE  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 2018 INTERNATIONAL MECHANICAL CODE  
 2018 INTERNATIONAL PLUMBING CODE  
 2018 INTERNATIONAL FUEL GAS CODE  
 2018 INTERNATIONAL FIRE CODE  
 2017 NATIONAL ELECTRICAL CODE  
 2009 ICC / ANS I17.1

### STATEMENT OF INTENT

GEORGE ARMOUR EWART ARCHITECT HAS, TO THE BEST OF ITS PROFESSIONAL EFFORTS, DESIGNED AND PRODUCED THESE DRAWINGS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES APPLICABLE TO THIS PROJECT ON THE DAY OF ISSUANCE, WITHOUT BEING SUBJECT TO ADJUDICIAL INTERPRETATION AND TO BEST OF OUR KNOWLEDGE, THESE DRAWINGS ARE ALSO IN COMPLIANCE WITH THE 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.

### OWNER

JOHN C. DAVENPORT

### PROJECT ADDRESS

909 OSPREY POINT LANE  
KNOXVILLE, TN 37922

### OCCUPANCY CLASSIFICATION

IBC: GROUP B, BUSINESS IDENTICAL OFFICE, BEAUTY SALON, MEDICAL OFFICE  
 OCCUPANCY CLASSIFICATION: B, B-1, B-2, B-3, B-4, B-5, B-6, B-7, B-8, B-9, B-10, B-11, B-12, B-13, B-14, B-15, B-16, B-17, B-18, B-19, B-20, B-21, B-22, B-23, B-24, B-25, B-26, B-27, B-28, B-29, B-30, B-31, B-32, B-33, B-34, B-35, B-36, B-37, B-38, B-39, B-40, B-41, B-42, B-43, B-44, B-45, B-46, B-47, B-48, B-49, B-50, B-51, B-52, B-53, B-54, B-55, B-56, B-57, B-58, B-59, B-60, B-61, B-62, B-63, B-64, B-65, B-66, B-67, B-68, B-69, B-70, B-71, B-72, B-73, B-74, B-75, B-76, B-77, B-78, B-79, B-80, B-81, B-82, B-83, B-84, B-85, B-86, B-87, B-88, B-89, B-90, B-91, B-92, B-93, B-94, B-95, B-96, B-97, B-98, B-99, B-100

### BUILDING CLASSIFICATION

TYPE V-B, UNPROTECTED, NON-SPRINKLERED, ONE-STORY

### STRUCTURAL FRAME

0

### BEARING WALLS

EXTERIOR: 0  
 INTERIOR: 0

### NON-BEARING WALLS & PARTITIONS

EXTERIOR: 0  
 INTERIOR: 0

### FLOOR CONSTRUCTION

0

### ROOF CONSTRUCTION

0

### FLOOR AREA

NUMBER OF STORIES: 1  
 MAX AREA ALLOWED: 9,000 S.F. + 75% IBC 506.3.3 FRONTAGE INCREASE = 15,750 S.F.  
 ACTUAL BUILDING AREA: 9,247 S.F.

### ENERGY CONSERVATION:

- THIS BUILDING HAS BEEN DESIGNED TO BE COMPLIANT WITH THE REQUIREMENTS OF CHAPTER 4 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (CLIMATE ZONE 4)
- ROOFS, WITH INSULATION ENTIRELY ABOVE DECK, ARE DESIGNED TO EXCEED R-30s
- ROOFS, WITH INSULATION IN ATTIC, ARE DESIGNED TO EXCEED R-38
- METAL BUILDING ROOFS, ARE DESIGNED TO EXCEED R-19 + R-11.5
- MASS WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-8.5s
- METAL FRAMED WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-13 + R-7.5s
- METAL BUILDING WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-13 + R-13s
- WALLS, BELOW GRADE, ARE DESIGNED TO EXCEED R-7.5s
- THERE ARE NO FLOORS ABOVE OUTDOOR OR UNCONDITIONED SPACES
- SLAB-ON-GRADE UNHEATED FLOORS ARE DESIGNED TO EXCEED R-10 FOR 24" BELOW.
- SWINGING DOORS ARE DESIGNED TO BE LESS THAN U = 0.61
- VERTICAL FENESTRATION:  
 FIXED FENESTRATION SHALL HAVE A U-FACTOR LESS THAN U = 0.38  
 OPERABLE FENESTRATION SHALL HAVE A U-FACTOR LESS THAN U = 0.45  
 ENTRANCE DOORS SHALL HAVE A U-FACTOR LESS THAN U = 0.77 SHGC SHALL BE:  
 SEW (PF 0.2 to 0.36mm) (0.25PF 0.0 to 0.43mm) (PF 0.0 to 0.86mm)  
 N (PF 0.2 to 0.48mm) (0.25PF 0.0 to 0.53mm) (PF 0.0 to 0.86mm)
- SKYLIGHTS SHALL HAVE A U-FACTOR OF LESS THAN 0.50 AND A SHGC OF LESS THAN 0.40

### ABBREVIATIONS

ACT	ACOUSTICAL TILE
AFF	ABOVE FINISH FLOOR
ALM	ALUMINUM
BLDG	BUILDING
BLDG	BUILDING
CAB	CABINET
CT	CERAMIC TILE
CC	CENTER TO CENTER
CCT	CUBICLE CURTAIN TRACK
CL	CENTER LINE
CL or CL	CORNER GUARD
CLR	CLEAR
CG	CORRUGATED METAL PIPE
CMP	CONCRETE BLOCK MASONRY UNIT
CML	COLUMN
COL	CONCRETE
CONC.	CARPET
DBL	DOUBLE
DFG	DRINKING FOUNTAIN
DIS	DOOR FRAME GUARD
DS	DOWNSPOUT
ECG	EXISTING CORNER GUARD
DT	DRAPERY TRACK
ELEV.	ELEVATION
EW	ELECTRICAL PANEL
EW	ELECTRIC WATER COOLER
EXP. JT. or EJ	EXPANSION JOINT
EXIT or EX	EXIT
FF	FINISH FLOOR
FCU	FAN COIL UNIT
FIN	FINISH
FB	FACE OF BRICK
FB	FACE OF MASONRY
FB	FACE OF STUD
FB	FACE TO FACE
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FE	FIRE EXTINGUISHER CABINET
FEC	FIRE HOSE CABINET
FHC	FIRE HOSE CABINET
GALV.	GALVANIZED
GB	GRAB BAR
GC or GEN. CON	GENERAL CONTRACTOR
GGT	GROUND FAULT INTERRUPT
GIP	GROUND POST
GRD	GRASS BOARD
HC	HANDICAP
HPL	HIGH PRESSURE DECORATIVE LAMINATE
INSUL.	INSULATION
INTV	INVERT (ELEVATION)
JT	JOINT
MBL	MARBLE
MTL	METAL
N/A	NOT APPLICABLE
NC	NONE COMBUSTIBLE
NIC	NOT IN CONTRACT
NOM	NORMAL
OC	ON CENTER
OC	OWNER FINISHED, CONTRACTOR INSTALLED
OP	OPPOSITE HAND
OSG	OUTSIDE TO OUTSIDE
P. LAM or PL	PLASTIC LAMINATE
PART	PARTIAL
PLAST	PLASTER
PT	PAINT
PTD	PAPER TOWEL DISPENSER
PTM	PATCH TO MATCH EXISTING
PTN	PARTITION
REF	REFRIGERATOR
REV	REVISION
SD	SOAP DISPENSER
SF or SQ. FT	SQUARE FEET
SQ. IN	SQUARE INCHES
SHV	SHEET VEIL
T&G	TONGUE AND GROOVE
TOS	TO MATCH EXISTING
TMB	TOWEL BAR
TMBD	TOWEL BAR
TPH	TOILET PAPER HOLDER
UNL	UNLESS NOTED OTHERWISE
VNT	VINYL
VNT	VINYL COMPOSITION TILE
VF	VERIFY IN FIELD
WC	WALL COVERING OR WATER CLOSET
WD	WOOD
WGS	WALL GUARD

### DRAFTING CONVENTIONS

	CONCRETE MASONRY (PLAN)
	CONCRETE MASONRY (SECTION)
	BRICK
	CONCRETE
	PRECAST CONCRETE
	STONE
	STEEL
	GYP SUM BOARD
	PLYWOOD OR COMPOSITE WOOD
	RIGID BOARD INSULATION
	BATT OR LOOSE INSULATION
	FINISH WOOD
	SOUND INSULATED PARTITION
	1 HOUR RATED PARTITION
	2 HOUR RATED PARTITION
	SMOKE RESISTANT WALL
	CENTERLINE / COLUMN LINE

### GRAPHICS SYMBOLS

	DOOR NO. DESIGNATION
	REVISION MARKER
	WINDOW DESIGNATION
	DETAIL OR SECTION NO. SHEET DRAW NO.
	INTERIOR ELEVATION NO. SHEET DRAW NO.
	SECTION NO. SHEET DRAW NO.
	EXTERIOR ELEVATION SHEET DRAW NO.
	ENLARGED AREA SHEET DRAW NO.
	INTERIOR PARTITION TYPE

### GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL ON-SITE DIMENSIONS. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- DIMENSIONS ARE REFERENCED TO FACE OF NEW INTERIOR STUD WALLS, COLUMN CENTERLINES & TO THE FACE OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED.
- PROVIDE PRESSURE TREATED WOOD FOR CONGOLEATED MEMBERS IN CONTACT WITH MASONRY OR CONCRETE.
- PROVIDE FIRE-RETARDANT TREATED WOOD BLOCKING IN WALLS TO SUPPORT EQUIPMENT, RAILINGS, ACCESSORIES, DRAPERY TRACKS, RECESSED ITEMS, ETC. AS REQD. HANDRAILS, GRAB BARS AND WALL MOUNTED TOILET FIXTURES SHALL BE INSTALLED TO WITHSTAND A MIN. VERT. OR HORIZ. FORCE OF 250 LBS.
- AREA OF INDIVIDUAL METALLIC OUTLET OR SWITCH BOXES SHALL NOT EXCEED 19 SQUARE INCHES. THE AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET. BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES MINIMUM.
- ALL RATED PARTITIONS SHALL BE TIGHTLY SEALED TO THE UNDERSIDE OF DECK. INTEGRITY OF RATED PARTITIONS SHALL BE MAINTAINED AT CORNERS AND INTERSECTIONS OF OTHER PARTITION TYPES.
- EACH PENETRATION IN RATED PARTITIONS FOR CONDUIT, PIPING OR OTHER ITEMS SHALL BE PROTECTED BY AN APPROVED UL LISTED ASSEMBLY TO PROHIBIT THE PASSAGE OF FIRE AND SMOKE.
- CONTRACTOR SHALL VERIFY AND COORDINATE ROUTING, PLACEMENT, SPACE & CLEARANCE REQUIREMENTS FOR MECHANICAL, ELECTRICAL, & OTHER TRADES - REFERENCE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS.
- ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED, EXCEPT MECHANICAL EQUIPMENT ROOMS. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISHED AREAS.
- THE CONTRACTOR SHALL FINISH ACCESS PANELS IN WALLS AND NON-ACCESSIBLE TYPE. GEL IN'S WHERE SERVICE AND ADJUSTMENT TO MECHANICAL, PLUMBING AND ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL HAVE A FIRE RATING EQUAL TO THAT OF THE SURFACE IN WHICH THEY OCCUR. LOCATION OF ACCESS PANELS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO THE APPLICATION OF GYPSUM BOARD.
- ALL CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO UNIT FABRICATION.
- SEAL ALL PENETRATIONS IN THE EXTERIOR ENVELOPE AIR TIGHT AT BOTH THE INTERIOR (VAPOR RETARDER AND GYPSUM BOARD) AND EXTERIOR (SHEATHING AND AIR BARRIER) FACES.
- UNLESS THIS PROJECT IS BEING BID, THE INTENT OF THESE DRAWINGS IS TO BE PART OF A "DESIGN BUILD" PROJECT. ALTHOUGH THE ARCHITECT HAS ATTEMPTED TO SHOW CONSTRUCTION, THE ARCHITECT AND CONTRACTOR ARE TO COORDINATE ANY AREAS NOT NOTED ON THESE DRAWINGS. ANY ADDITIONAL INFORMATION REQUIRED WILL BE PROVIDED DURING CONSTRUCTION.

### PROJECT NO.: 21048

### DRAWING LOG

ISSUE DATE: 27 MAY 2022

REVISION #1: 03 AUG 2022

### INDEX TO DRAWINGS

COVER SHEET GENERAL NOTES & PLANS REVIEW DATA

CIVIL	C1.1 SITE LAYOUT PLAN
	C1.2 EROSION CONTROL - 1
	C1.3 EROSION CONTROL - 2
	C1.4 SITE GRADING PLAN
	C1.5 SITE UTILITY PLAN
	C1.6 SITE DISTANCE STUDY
	C2.1 SITE DETAILS - 1
	C2.2 SITE DETAILS - 2
	C2.3 SITE DETAILS - 3
	C2.4 SITE DETAILS - 4
LANDSCAPE	L100 ALTERNATIVE LANDSCAPE PLAN
	L101 LANDSCAPE DETAILS AND NOTES

ARCHITECTURAL	A5 ARCHITECTURAL SPECIFICATIONS
	A6 ACCESSIBLE DESIGN STANDARDS
	A11 FLOOR AND ROOF PLANS, SCHEDULES AND DETAILS
	A4.1 EXTERIOR ELEVATIONS
	A4.2 PERSPECTIVE VIEWS
	A6.1 WALL SECTIONS

STRUCTURAL	S1.0 STRUCTURAL NOTES
	S1.0A STRUCTURAL NOTES - SPECIAL INSPECTIONS
	S1.1 FOUNDATION PLAN
	S2.1 ROOF Framing PLAN
	S3.1 STRUCTURAL DETAILS

MECHANICAL	M1.1 FLOOR PLAN - HVAC
	M1.1 FLOOR PLAN - HVAC

ELECTRICAL	E1.0 SITE PLAN - ELECTRICAL
	E1.1 SITE PLAN - ILLUMINATION (SUBMITTED BY SITE RECEPTION)
	E1.2 FLOOR PLANS - LIGHTING, POWER AND COMMUNICATIONS
	E2.1 LEGEND, SCHEDULES, DETAILS

### CONSULTANTS

**CIVIL ENGINEER**  
 WILL ROBINSON & ASSOCIATES  
 131 BRENTWOOD DRIVE  
 OAK RIDGE, TN 37830  
 865-386-4200

**LANDSCAPE DESIGNER**  
 BEASLEY LANDSCAPE ARCHITECTS  
 2616 TEEPLE ST.  
 KNOXVILLE, TN 37917  
 (865) 441-4428

**STRUCTURAL ENGINEER**  
 BENDER & ASSOCIATES  
 110 FOREST CT.  
 KNOXVILLE, TN 37919  
 (865) 584-6532

**MECHANICAL ENGINEER**  
 ALBERT BEDINGER CONSULTING ENGINEERS  
 5641 MERCHANTS CENTER BLVD., SUITE A104  
 KNOXVILLE, TN 37912  
 (865) 637-8339

**ELECTRICAL ENGINEER**  
 VREELAND ENGINEERS  
 3107 SUTHERLAND AVE.  
 KNOXVILLE, TN 37919  
 (865) 637-4451

### LOCATION MAP



1-B-24-SU  
 11/13/2023



**GEORGE  
 ARMOUR  
 EWART  
 ARCHITECT**

404 Bearden Park Circle  
 Knoxville, TN 37919  
 865.602.7771  
 Fax 865.602.7742  
 www.georgewart.com



PROJECT NO.: 21048  
 ISSUE DATE: 27 MAY 2022  
 SET #:



**GEORGE  
ARMOUR  
EWART  
ARCHITECT**  
404 Barden Park Circle  
Knoxville, TN 37919  
866.862.7771  
Fax 865.602.7742  
www.georgeewart.com

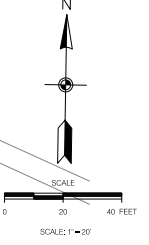
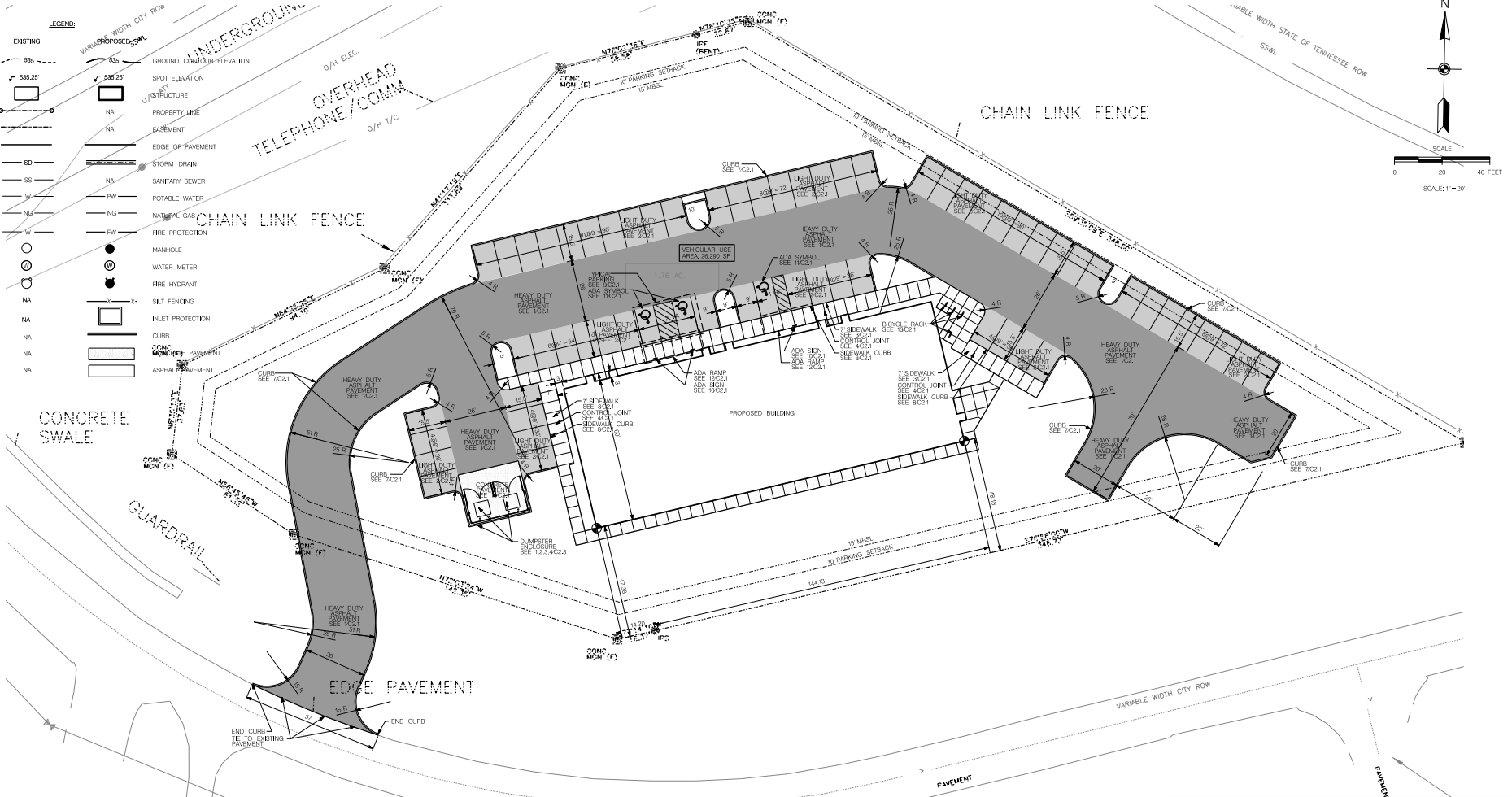
A NEW FACILITY FOR  
**OSPREY POINT**  
OSPREY POINT LANE  
KNOXVILLE, TN



SITE LAYOUT PLAN

DATE: 01 JUNE 2022  
PROJECT NO.: \*\*\*\*\*  
PROJ. MGR.: STUART

C1.1



**LEGEND:**

EXISTING	PROPOSED	GROUND COURSE ELEVATION
535.25	535.25	SPOT ELEVATION
U/STRUCTURE	NA	PROPERTY LINE
NA	NA	EASEMENT
SD	SD	EDGE OF PAVEMENT
SS	SS	STORM DRAIN
SW	NA	SANITARY SEWER
NG	PW	POTABLE WATER
W	NG	NATURAL GAS
W	PW	FIRE PROTECTION
○	○	MANHOLE
○	○	WATER METER
○	○	FIRE HYDRANT
○	○	SILT FENCING
NA	□	INLET PROTECTION
NA	□	CURB
NA	□	CONCRETE PAVEMENT
NA	□	ASPHALT PAVEMENT

**SITE LAYOUT NOTES**

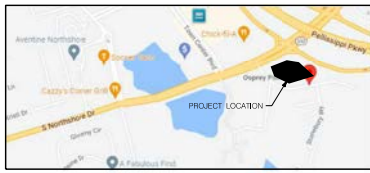
- USE OFFICE ZONING: (CA) PARCELS 154L002 AND 184 1001
- TOTAL BUILDING AREA: PROPOSED 9,560 SF (1 STORY)
- TOTAL SITE: 1.76 AC, TOTAL DBT AREA: 1.82 AC, TOTAL NEW IMPERVIOUS: 0.31 AC.
- DEED REFERENCE: 2021001-0027248, CITY BLOCK: 51009, WARD: 01
- THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA. SEE MAP 08803.
- SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK, DATUM: NAVD 83.
- SEE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY SCOTT WILLIAMS SURVEYING DATED 02/09/19. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- PARKING SUMMARY:**  
4,500 SF DENTAL MIN. 4,000 MAX. 10,000; 15-41  
2,500 SF SALON MIN. 2,000 MAX. 6,000; 3-11  
2,500 SF MEDICAL MIN. 4,000 MAX. 10,000; 11-25  
TOTAL REQUIRED: 95-84 SPACES  
TOTAL PROVIDED BY CAR SPACES: 3 ADA SPACES  
BIKE PARKING REQUIRED: 8 SPACES PROVIDED: 8 SPACES
- SETBACKS:**  
FRONT: 15'  
SIDE: NA  
REAR: NA
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
- DIMENSIONS ARE TO FACE OF CURB EDGE OF PAVEMENT OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMP ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

1-B-24-SU  
11/13/2023

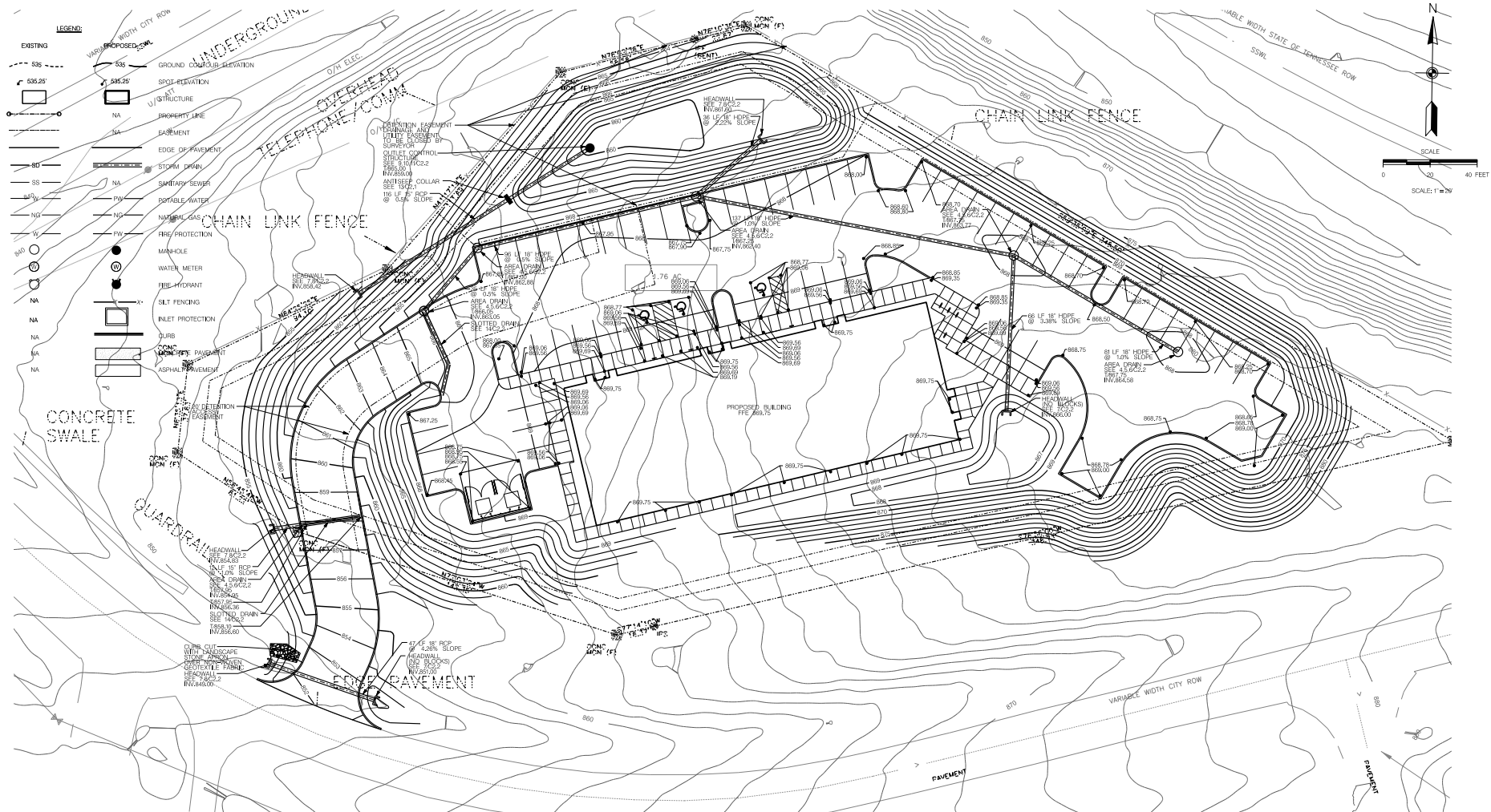
OWNER/DEVELOPER:  
JOHN DAVENPORT DEVELOPMENT  
PO BOX 859  
JELLS, TN 37762  
CONTACT: JOHN DAVENPORT  
PH: 423-671-6410

ENGINEER:  
WILL ROBINSON & ASSOCIATES  
1208 N. SHOREWOOD LN.  
CORVALLIS, TN 37312  
CONTACT: WILL ROBINSON  
PH: 386-4200

CONTRACTOR:  
TBD



PROJECT LOCATION MAP - NOT TO SCALE



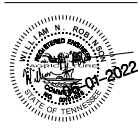
**SITE GRADING NOTES**

1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS NGVD88.
2. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY SCOTT WILKINS DATED 02/07. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, #10 PMP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
4. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN 1-3% OF OPTIMUM.
5. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
6. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN 5-7 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
7. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
8. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
9. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
10. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION.
11. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE LOCK IN OF EROSION MAT.
12. DETENTION POND WILL BE THE FIRST ORDER OF CONSTRUCTION IN ORDER TO ACT AS A SEDIMENT BASIN. IF THE POND CANNOT BE CONSTRUCTED FIRST A SEDIMENT BASIN WILL HAVE TO BE CONSTRUCTED FIRST AT A DIFFERENT LOCATION UNTIL THE DETENTION POND CAN BE CONSTRUCTED.
13. ADEQUATE DRAINAGE EROSION AND SEDIMENT CONTROL MEASURES BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
14. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
15. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS OR STORM DRAINS.
16. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ON-SITE.
17. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND MIDDLEBROOK PIKE FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN A NEAT AND ORDERLY MANNER.
18. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE.
19. LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.

1-B-24-SU  
11/13/2023



A NEW FACILITY FOR  
**OSPREY POINT**  
OSPREY POINT LANE  
KNOXVILLE, TN



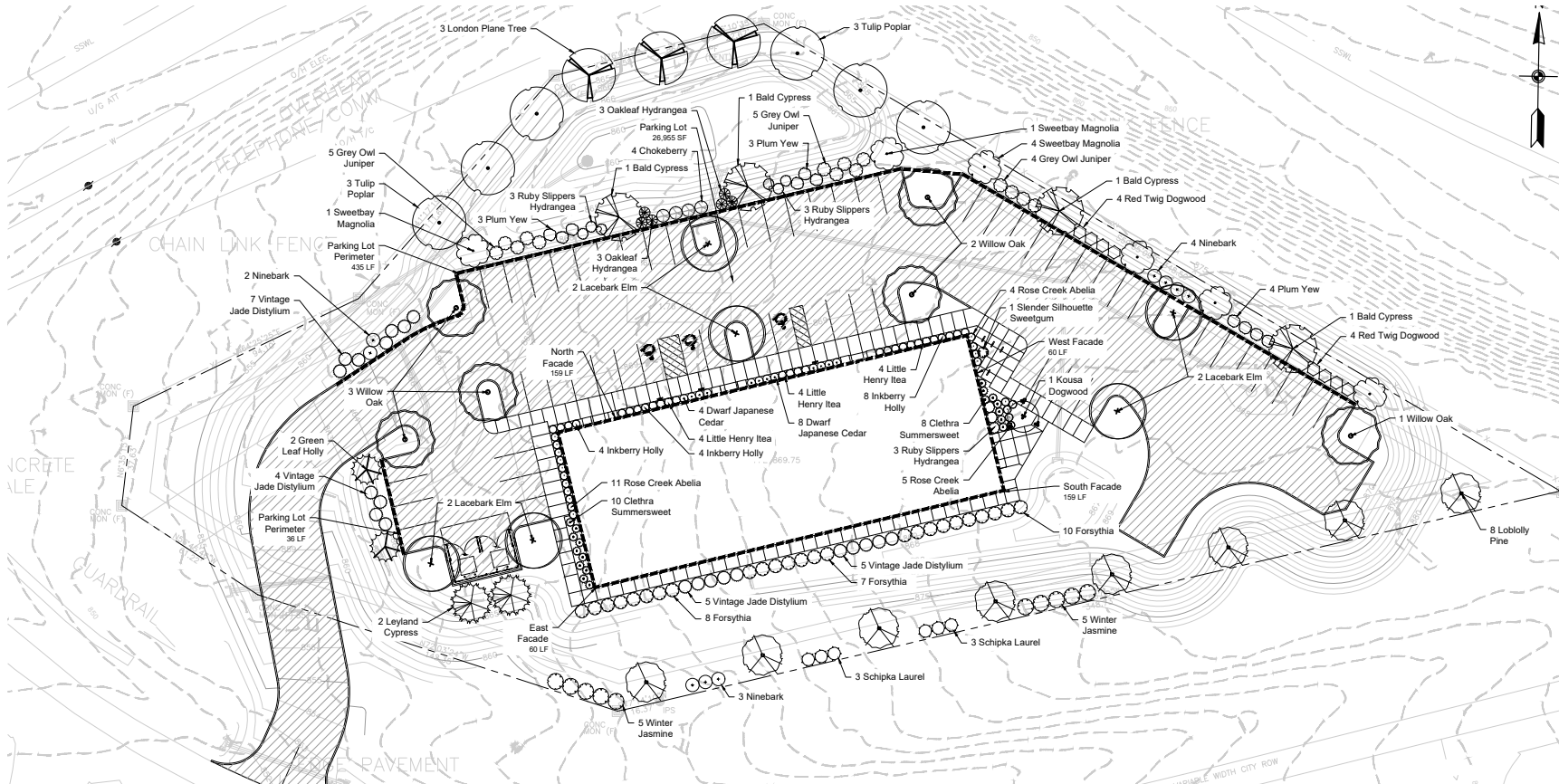
SITE GRADING PLAN

DATE: 01 JUNE 2022  
PROJECT NO.: \*\*\*\*\*  
PROJ. MGR.: STUART

C1.4







**LANDSCAPE REQUIREMENT NOTES:**

**12.5 PARKING LOT PERIMETER LANDSCAPE YARD**  
 - 3 trees and 10 shrubs required per every 100 LF  
 - 116 = 4.71, 4.71\*3 = 15 trees, 4.71\*10 = 48 shrubs

**12.6 INTERIOR PARKING LOT LANDSCAPE**  
 - 1 shade tree required in each parking lot island  
 - 12 trees proposed in parking lot islands

**12.7 SITE LANDSCAPE**  
 One shrub for every three feet.  
 - North Facade  
 159 LF of facade, 159/3 = 53 shrubs required  
 - East Facade  
 60 LF of facade, 60/3 = 20 shrubs required  
 - West Facade  
 60 LF of facade, 60/3 = 20 shrubs required  
 - South Facade  
 159 LF of facade, 159/3 = 53 shrubs required

Shade trees are required in the amount of one tree every 50 feet.  
 - North Facade  
 159 LF of facade, 159/50 = 4 trees required  
 - East Facade  
 60 LF of facade, 60/50 = 2 trees required  
 - West Facade  
 60 LF of facade, 60/50 = 2 trees required  
 - South Facade  
 159 LF of facade, 159/50 = 4 trees required

**12.8 BUFFER YARDS**  
 - No buffer yard required as there are no adjacent residential zoning.

**Trees**  
 - Total property area = 1.76 acres. 8 trees per acre required. 1.76\*8 = 15 trees required. 35 trees proposed

**ALTERNATE LANDSCAPE PLAN NOTES:**

**12.5 PARKING LOT PERIMETER LANDSCAPE YARD**  
 - 19 trees and 65 shrubs proposed

**12.6 INTERIOR PARKING LOT LANDSCAPE**  
 - 12 trees proposed in parking lot islands

**12.7 SITE LANDSCAPE**  
 One shrub for every three feet.  
 - North Facade  
 53 shrubs required

Note: Due to site constraints, only 40 shrubs are proposed between the facade and parking. 4 trees have been proposed in the parking lot perimeter landscape yard to provide improved shading on parking lot.  
 - North Facade  
 4 trees required  
 Note: Due to site constraints, 0 trees are proposed between the facade and parking. 2 trees have been proposed behind the dumpster.  
 - East Facade  
 2 trees required

**12.8 BUFFER YARDS**

**Trees**  
 - Total property area = 1.76 acres. 8 trees per acre required. 1.76\*8 = 15 trees required. 45 trees proposed

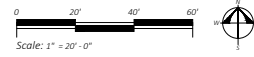
**PLANTING LEGEND:**

Qty	Botanical Name	Common Name	Size	Notes	Mature Height
<b>Deciduous Trees</b>					
1	Cornus kousa	Kousa Dogwood	2.5" cal.	central leader, full and dense	20' to 25'
6	Liriodendron tulipifera	Tulip Poplar	2" cal.	central leader, full and dense	50' to 70'
1	Liquidambar styraciflua	Slender Silhouette Sweetgum	2" cal.	central leader, full and dense	40' to 50'
3	Platanus x acerifolia	London Plane Tree	2" cal.	central leader, full and dense	40' to 50'
6	Quercus phellos	Willow Oak	2" cal.	central leader, full and dense	40' to 75'
6	Ulmus parvifolia	Lacebark Elm	2" cal.	central leader, full and dense	40' to 50'

<b>Evergreen Trees</b>					
2	Cupressus x leylandii	Leyland Cypress	8' ht.	central leader, full and dense	40' to 50'
2	Ilex opaca	Green Leaf Holly	8' ht.	central leader, full and dense	20' to 25'
6	Magnolia virginiana	Sweetbay Magnolia	8' ht.	central leader, full and dense	20' to 35'
8	Pinus taeda	Loblolly Pine	8' ht.	central leader, full and dense	40' to 50'
4	Taxodium distichum	Bald-cypress	8' ht.	central leader, full and dense	40' to 50'

Qty	Botanical Name	Common Name	Size	Notes
<b>Deciduous Shrubs</b>				
4	Aronia melanocarpa	Chokeberry	18" ht.	full and dense
18	Clethra alnifolia	Clethra summersweet	18" ht.	full and dense
8	Cornus sericea	Red Twig Dogwood	18" ht.	full and dense
25	Forsythia spp.	Forsythia	18" ht.	full and dense
9	Hydrangea quercifolia	Ruby Slippers Hydrangea	18" ht.	full and dense
6	Hydrangea quercifolia	Oakleaf Hydrangea	3 gallon	full and dense
12	Itea virginica 'Sprich'	Little Henry Itea	18" ht.	full and dense
9	Physocarpus	Ninebark	18" ht.	full and dense

<b>Evergreen Shrubs</b>				
20	Abelia x chinensis	Rose Creek Abelia	18" ht.	full and dense
10	Cephalotaxus harringtonia 'Prostrata'	Plum Yew	18" ht.	full and dense
12	Cryptomeria japonica 'nana glubosa'	Dwarf Japanese Cedar	18" ht.	full and dense
21	Distylium	Vintage Jade	18" ht.	full and dense
16	Ilex glabra	Inkberry Holly	18" ht.	full and dense
10	Jasminum nudiflorum	Winter Jasmine	18" ht.	full and dense
14	Juniperus virginiana	Grey Owl Juniper	18" ht.	full and dense
6	Prunus laurocerasus 'Schipkaensis'	Schipka Laurel	18" ht.	full and dense



1-B-24-SU  
11/13/2023

**CITY OF KNOXVILLE**  
**ALTERNATIVE LANDSCAPE DESIGN**  
**REVIEWED AND APPROVED**  
**DATE: 11/04/2022**

**GEORGE ARMOUR EWART ARCHITECT**  
 404 Boarder Park Circle  
 Knoxville, TN 37919  
 865.832.7771  
 Fax 865.832.7740  
 www.georgeewart.com

Patrick Beasley  
 865.441.4428  
 patrick@beasleyla.com

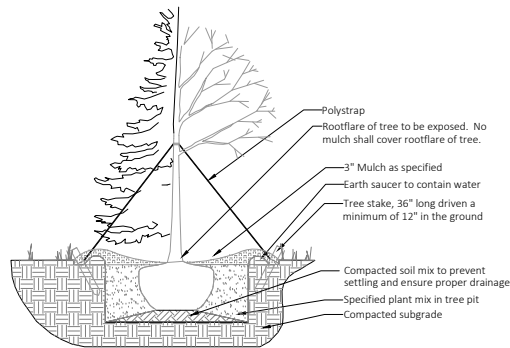
A SHELL BUILDING AT  
**OSPREY POINT**  
 909 OSPREY POINT LANE  
 KNOXVILLE, TN 37922



**Alternative Landscape Plan**

DATE: 10 June 2022  
 PROJECT NO.:  
 PROJECT MGR.:

**L100**

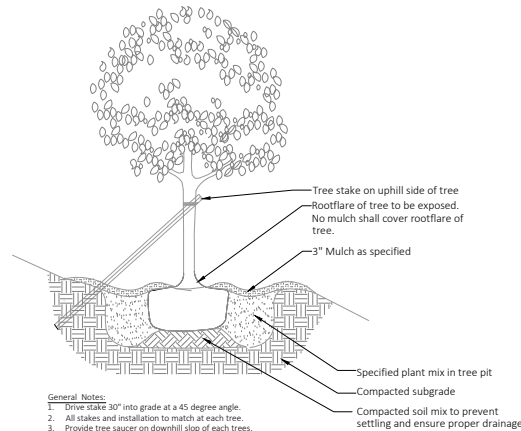


**General Notes:**

1. Excavate tree pit to a depth equal to depth of rootball plus 24", and a width equal to two times the diameter of the rootball.
2. Fill tree pit with water and confirm percolation rate. (Notify landscape architect if poor drainage conditions exist.)
3. Install tree 2-3" above finished grade. Avoid any damage to rootball or trunk of tree.
4. Add specified plant mix and soil amendments.
5. Remove burlap on top 2/3 of tree rootball.
6. Immediately soak tree pit with water and remove any air pockets that may have occurred during backfilling.
7. Stake and guy tree with specified materials.

**1 General Tree Planting**

Scale: NTS

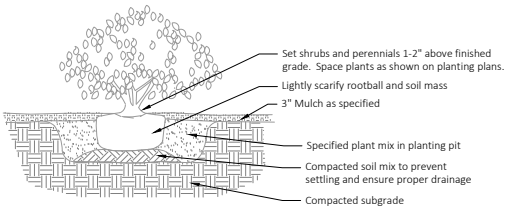


**General Notes:**

1. Drive stake 30" into grade at a 45 degree angle.
2. All stakes and installation to match at each tree.
3. Provide tree saucer on downhill slope of trees.
4. Secure stake to tree with polystraps.
5. Minimum one stake per tree under 2" caliper. Stake to be 2"x2" pine.
6. If rootball is wrapped in non-biodegradable burlap, remove entire wrap after placed in pit.

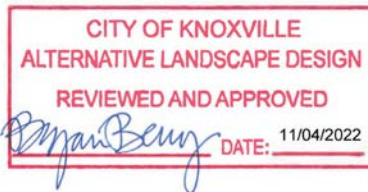
**2 Tree Planting on a Slope**

Scale: NTS



**3 Shrub & Perennial Planting**

Scale: NTS



**Planting Notes:**

1. Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
2. Contractor to provide allowance for soil amendments, percolation tests, soil tests, mulch and irrigation.
3. Contractor to complete work within schedule established by owner.
4. Contractor to provide one year warranty for all plant material from date of substantial completion.
5. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
6. The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
7. All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition. Quality of the plant material to be judged by the landscape architect. Inferior plant material to be rejected.
8. Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
9. No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
10. Planting plans may need to be adjusted in the field. Contractor to coordinate layout of plant material with landscape architect for on site approval prior to installation.
11. Test plant beds and plant pits for adequate drainage. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
12. Trees shall be installed 3" above finish grade in hardpan areas to provide good drainage unless otherwise directed.
13. Groundcover and shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and weeds. Add specified soil amendments and fertilizer. Install plants, edge bed area, mulch and water thoroughly.
14. Set all plants plumb and turned so that the most attractive side is viewed.
15. Plants shall be measured to their main structure, not tip to tip of branches.
16. Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix.
17. Broken root balls for trees shall be rejected. Contractor to check root balls and expose rootflares to check for root girdling. Do not assume the rootflare is exposed upon purchase from the nursery.
18. Any plant materials shipped to site in uncovered vehicles/ trailer shall be rejected regardless of season.
19. All tree scars over 1-1/2" shall be rejected and tree to be replaced.
20. All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type or otherwise noted on plans.
21. Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
22. If rootball is wrapped in non-biodegradable burlap, remove entire wrap after placed in pit.

**Irrigation Notes:**

1. All irrigation to be drip irrigation unless otherwise noted on plans and to be Rainbird, Hunter or Toro product or approved equal.
2. Drip tubes to be staked a minimum of 18-24" on center to prevent exposure under mulch.
3. Irrigation around trees to be zone separately from shrubs and groundcover so the tree zones can eventually be phased out as they mature and become established.
4. Irrigation lids in mulch areas to be black and green in lawn areas unless otherwise noted.
5. Irrigation system to include a rain sensor.
6. Contractor to record as-built conditions of irrigation and provide owner with operation manual, location of zones and control box location.

1-B-24-SU  
11/13/2023



Patrick Beasley  
865.441.4428  
patrick@beasleyla.com

A SHELL BUILDING AT  
**OSPREY POINT**  
909 OSPREY POINT LANE  
KNOXVILLE, TN 37922



Landscape Details and Notes

DATE: 16 May 2022  
PROJECT NO.:  
PROJECT MGR.:

**L101**



**GEORGE  
ARMOUR  
EWART  
ARCHITECT**

404 Bearden Park Circle  
Knoxville, TN 37919  
865.602.7771  
Fax 865.602.7742  
www.georgeewart.com

A SHELL BUILDING AT  
**OSPREY POINT**  
909 OSPREY POINT LANE  
KNOXVILLE, TN 37922



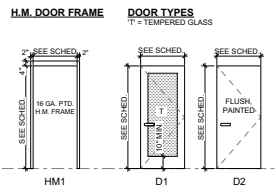
**FLOOR AND ROOF PLANS**

DATE: 27 MAY 2022  
PROJECT NO.: 21048  
PROJECT MGR.: STUART  
REVISION #3: 10 NOV 2022

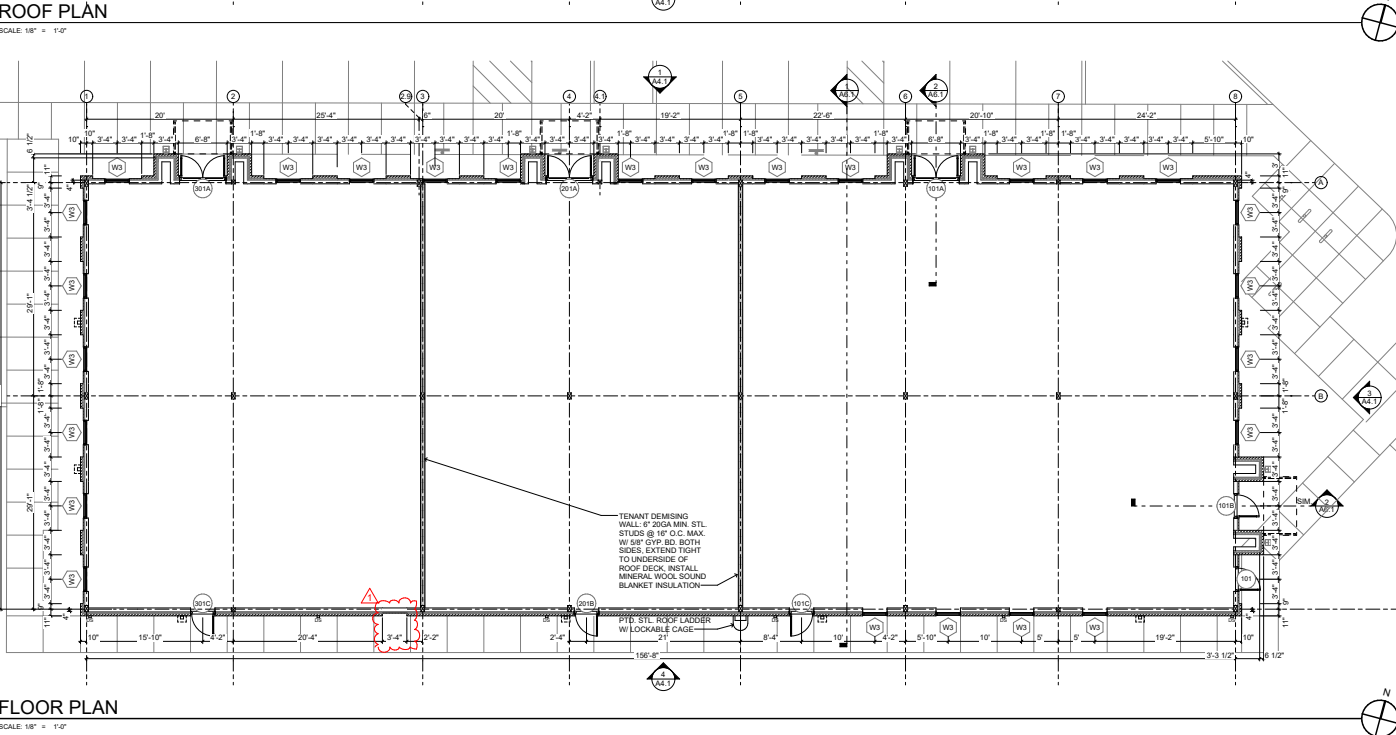
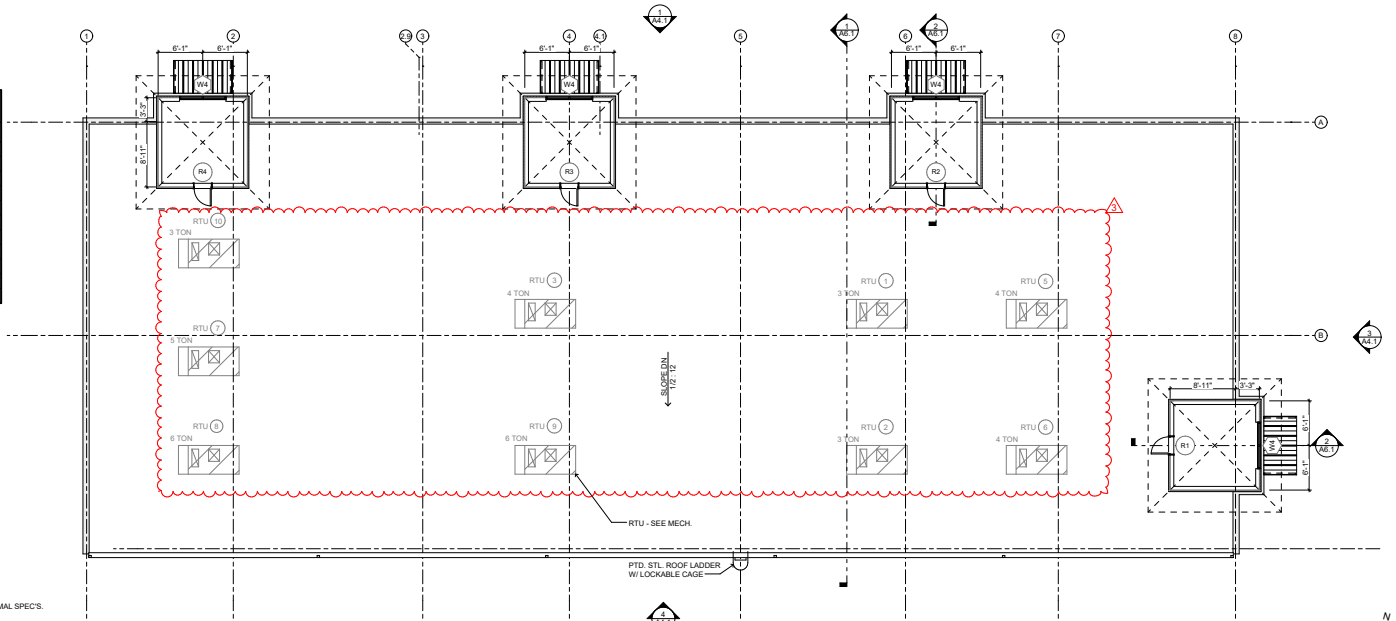
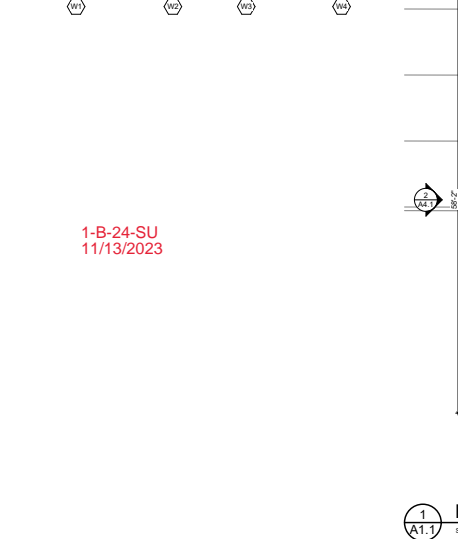
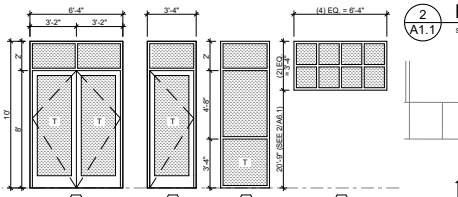
**A1.1**

DOOR SCHEDULE										
MARK	W	SIZE	LABEL	MATL	TYPE	MATL	FRAME	HWDR	REMARKS	
101A	3'-0"	8'-0"	1-3A'	-	ALUM	D1	ALUM	-	ENTRY	STOREFRONT W2
101B	(2) 3'-0"	8'-0"	1-3A'	-	ALUM	D1	ALUM	-	ENTRY	STOREFRONT W1
101C	3'-0"	8'-0"	1-3A'	-	ALUM	D1	ALUM	-	ENTRY	STOREFRONT W2
201A	(2) 3'-0"	8'-0"	1-3A'	-	ALUM	D1	ALUM	-	ENTRY	STOREFRONT W1
201B	3'-0"	8'-0"	1-3A'	-	ALUM	D1	ALUM	-	ENTRY	STOREFRONT W2
301A	(2) 3'-0"	8'-0"	1-3A'	-	ALUM	D1	ALUM	-	ENTRY	STOREFRONT W1
301B	3'-0"	8'-0"	1-3A'	-	ALUM	D1	ALUM	-	ENTRY	STOREFRONT W2
R1	2'-4"	3'-8"	1-3A'	-	H.M.	D2	H.M.	-	LOCKSET	FRONT DOOR W/FRM FOR WATER BARRIER
R2	2'-4"	3'-8"	1-3A'	-	H.M.	D2	H.M.	-	LOCKSET	FRONT DOOR W/FRM FOR WATER BARRIER
R3	2'-4"	3'-8"	1-3A'	-	H.M.	D2	H.M.	-	LOCKSET	FRONT DOOR W/FRM FOR WATER BARRIER
R4	2'-4"	3'-8"	1-3A'	-	H.M.	D2	H.M.	-	LOCKSET	FRONT DOOR W/FRM FOR WATER BARRIER

- DOOR NOTES:**
1. CALC. BOTH SIDES OF ALL DOOR FRAMES.
  2. PROVIDE DBL. STUDS AND BASE ANCHORS AT ALL JAMBS, TYP.
  3. HARDWARE ON DOORS SHALL BE LEVER TYPE FOR HANDICAP ACCESSIBILITY.
  4. CONTRACTOR SHALL VERIFY ALL HARDWARE SETS W/ OWNER PRIOR TO INSTALLATION.
  5. THRESHOLDS AT ALL EXT. DOORS SHALL BE MAX. 1/2" HIGH.
  6. REFER TO SHEET AS FOR OTHER REQUIREMENTS AND SPECIFICATIONS.



- ALUM. STOREFRONT:**
1. ALL ALUMINUM STOREFRONT FRAMES TO BE 2-1/4" x 1-1/2" CO. OR DARK BROWN.
  2. ALL EXTERIOR GLAZING TO BE 1" INSUL. PPG SOLARBANTO (OR OWNER APPROVED EQUAL) SEE COVER FOR THERMAL SPEC'S.
  3. "T" = TEMPERED WHERE NOTED



1-B-24-SU  
11/13/2023





**GEORGE  
ARMOUR  
EWART  
ARCHITECT**

404 Bearden Park Circle  
Knoxville, TN 37919  
865.602.7771  
Fax 865.602.7742  
www.georgeewart.com

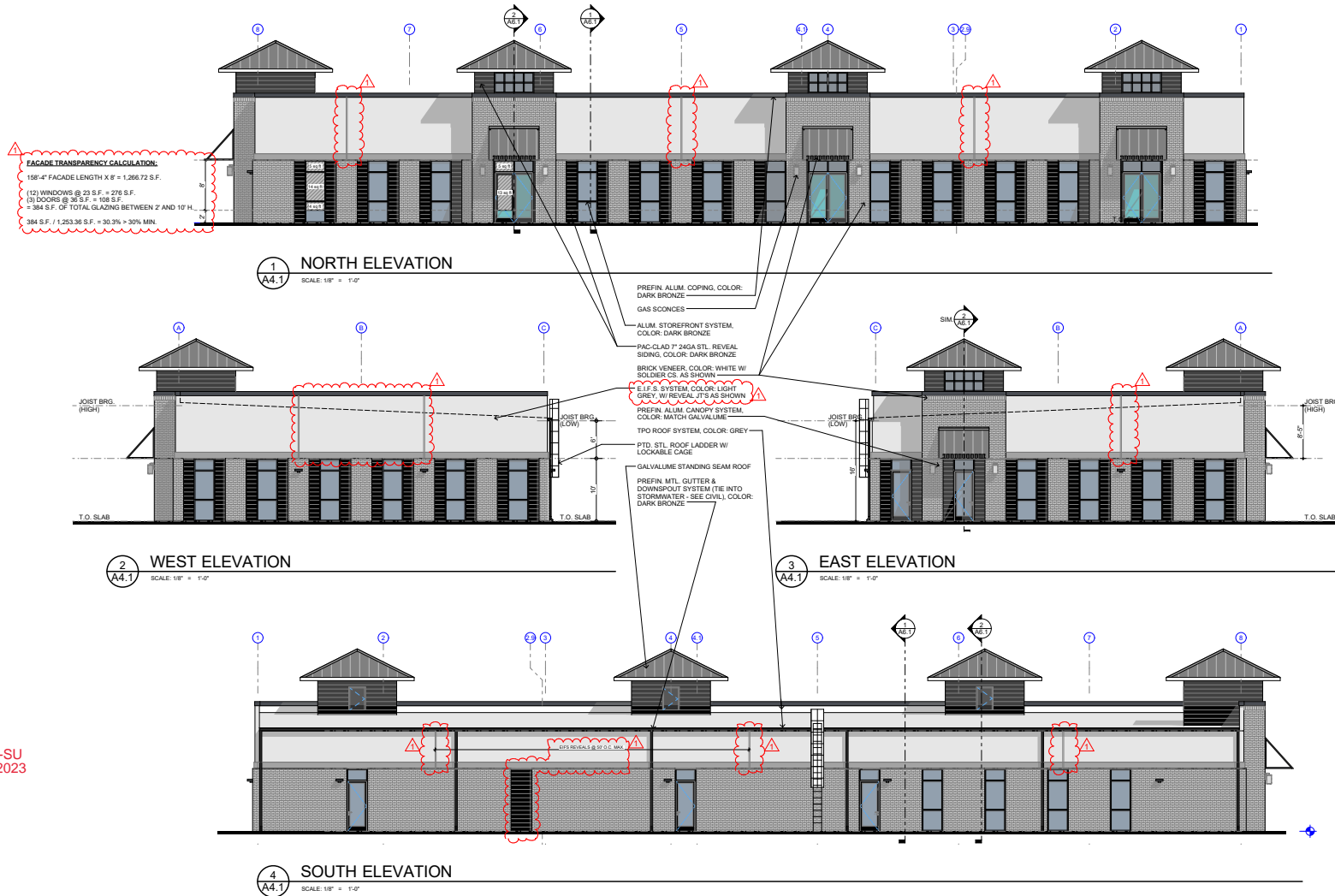
A SHELL BUILDING AT  
**OSPREY POINT**  
909 OSPREY POINT LANE  
KNOXVILLE, TN 37922



EXTERIOR ELEVATIONS

DATE: 27 MAY 2022  
PROJECT NO.: 21048  
PROJECT MGR.: STUART  
REVISION #1: 03 AUG 2022

**A4.1**



1-B-24-SU  
11/13/2023



1 NW VIEW  
A4.2 SCALE: 1:139.25



2 NE VIEW  
A4.2 SCALE: 1:139.25



3 SW VIEW  
A4.2 SCALE: 1:139.25



4 SE VIEW  
A4.2 SCALE: 1:139.25



**GEORGE  
ARMOUR  
EWART  
ARCHITECT**

404 Beardon Park Circle  
Knoxville, TN 37919  
865.602.7771  
Fax 865.602.7742  
www.georgeewart.com

A SHELL BUILDING AT  
**OSPREY POINT**  
909 OSPREY POINT LANE  
KNOXVILLE, TN 37922



PERSPECTIVE VIEWS

DATE: 27 MAY 2022  
PROJECT NO.: 21048  
PROJECT MGR.: STUART

1-B-24-SU  
11/13/2023

**A4.2**

2018 IBC & IEBC CODE INFORMATION			
PROJECT DESCRIPTION: NEW TENANT IMPROVEMENTS IN EXISTING BUILDING SHELL IN A ONE-STORY, MULTI-TENANT, MIXED OCCUPANCY BUILDING, THE BUILDING IS NOT SPRINKLERED, THE NEW TENANT, CRYOFIT, IS A BUSINESS OCCUPANCY TYPE. THERE WAS NO PREVIOUS TENANT.			
CHAPTER/SECTION	IBC REFERENCE	REQ/MNT	THIS PROJECT
304	USE & OCCUPANCY CLASSIFICATION	--	BUSINESS-GROUP B
TABLE 504.3	ALLOWABLE BLDG HEIGHT IN FT. ABOVE GRADE PLANE - V(B)	40'	20'
TABLE 504.4	ALLOWABLE STORES ABOVE GRADE PLANE - V(B)	2	1
TABLE 506.2	ALLOWABLE AREA IN SQUARE FEET - NOT SPRINKLERED	9,000	SEE LIFE SAFETY PLAN
TABLE 508.4	REGD. SEPARATION OF OCCUPANCIES: BIMB	N (NONE)	N (NONE)
TABLE 601	FIRE RATING-BUILDING ELEMENTS (IN HOURS)		
	PRIMARY STRUCTURAL FRAME	0 (METRNG)	0
	EXTERIOR BEARING WALLS	0 (METRNG)	0
	INTERIOR BEARING WALLS	0 (METRNG)	0
	INTERIOR NON-BEARING WALLS	0 (METRNG)	0
	FLOOR & SECONDARY MEMBERS	0 (METRNG)	0
	ROOF & SECONDARY MEMBERS	0 (METRNG)	0
602.3	BUILDING CONSTRUCTION CLASSIFICATION	--	TYPE V (B)
TABLE 602	FIRE RATING-EXTERIOR WALLS-FIRE SEPARATION DISTANCE & TYPE (VB) - X-30(4)	0 HR.	0 HR.
TABLE 705.6	MAX. AREA EXT. WALL OPGS.-FIRE SEPARATION DIST. > 30'	NL	NL
TABLE 708.4	FIRE WALL-FIRE RESISTANCE RATING	3 HR.	N/A
TBL 707.3.10	FIRE BARRIERS BETWEEN FIRE AREAS	2 HR.	N/A
TBL 715.1(2)	OPENING FIRE PROTECTION ASSEMBLIES	N/A	N/A
TABLE 803	INTERIOR WALLS & CEILINGS FINISH:		OCCUPANCY GROUP B NOT SPRINKLERED
	Interior Exit Stairs, Ramps & Exit Passageways	A	N/A
	Corridors, Enclosure for Exit Access Stairs/Ramps	B	N/A
	Rooms & Enclosed Spaces	C	C
CHAPTER 9	FIRE PROTECTION & LIFE SAFETY SYSTEMS	N/A	N/A
CHAPTER 10	MEANS OF EGRESS		
TBL 1004.5	MAX. FLOOR AREA ALLOW. PER OCCUPANT LOAD FACTOR. SEE LIFE SAFETY PLAN.	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
SECT 1005	OCCUPANTS FOR EGRESS CALCULATION -		
	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
SECT 1005	MEANS OF EGRESS SIZING	Width/Occ.	
SECT 1005.3.1	STAIRWAYS	N/A	N/A
SECT 1005.3.2	OTHER EGRESS COMPONENTS	0.2"	SEE LIFE SAFETY PLAN
SECT 1005.3.2	EXCEPTIONS	N/A	N/A
TBL 1006.2.1	ONE EXIT OR EXIT ACCESS DOOR WAY-Common Path of Travel	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
TBL 1006.3.3	SINGLE EXIT	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
SECT 1007.1.1	2 EXITS MIN. SEPARATION DIST. (MINIMUM OF SPACE @	SEE LIFE SAFETY PLAN	SEE LIFE SAFETY PLAN
TBL 1017.2	EXIT ACCESS TRAVEL DISTANCE: MAXIMUM		
	MAIN FLOOR	200'	SEE LIFE SAFETY PLAN

APPLIED CODES & ORDINANCES		
2018	IBC	INTERNATIONAL BUILDING CODE and Appendices A and B
2018	IPMC	INTERNATIONAL PROPERTY MAINTENANCE CODE
2018	IECC	INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018	IPC	INTERNATIONAL PLUMBING CODE (IPC)
2018	IMC	INTERNATIONAL MECHANICAL CODE (IMC)
2018	IFGC	INTERNATIONAL FUEL GAS CODE (IFGC)
2018	IFCPC	INTERNATIONAL CODE COUNCIL PERFORMANCE CODE FOR BUILDINGS & FACILITIES
2018	IECC	INTERNATIONAL ELECTRICAL CODE
2017	1FC	INTERNATIONAL FIRE CODE (IFC)
2009	ICC/ANSI A117.1	AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS & FACILITIES
2010	ADA	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES
2020	--	CITY OF KNOXVILLE CODE OF ORDINANCES
2020	--	ZONING ORDINANCE FOR KNOXVILLE, TENNESSEE

### GRAPHIC & MATERIALS SYMBOLS

<ul style="list-style-type: none"> <li>ROOM LOCATION</li> <li>DOOR MARK</li> <li>WALL MARK</li> <li>WINDOW IDENTIFIER</li> <li>MINOR MARK</li> <li>DETAIL NUMBER</li> <li>DETAIL DRAWING</li> <li>SECTION NUMBER</li> <li>SECTION DRAWING</li> <li>ELEVATION NUMBER</li> <li>ELEVATION DRAWING</li> <li>ELEVATION MARK</li> <li>EXISTING CONTOURS</li> <li>ELEV. NOTED ON HIGH SIDE</li> </ul>	<ul style="list-style-type: none"> <li>ROUGH FRAMING</li> <li>WOOD BLOCKING OR SHIM</li> <li>PLYWOOD OR G.I.B. PANEL</li> <li>BATTLESHIP FILL INSULATION</li> <li>RIGID INSULATION</li> <li>GYPSUM BOARD/CONCRETE (ELEV.)</li> <li>EARTH/COMPACTED FILL</li> <li>CONCRETE MASONRY UNIT</li> <li>CONCRETE (IN SECTION)</li> <li>BRICK</li> <li>STEEL</li> </ul>
--	--

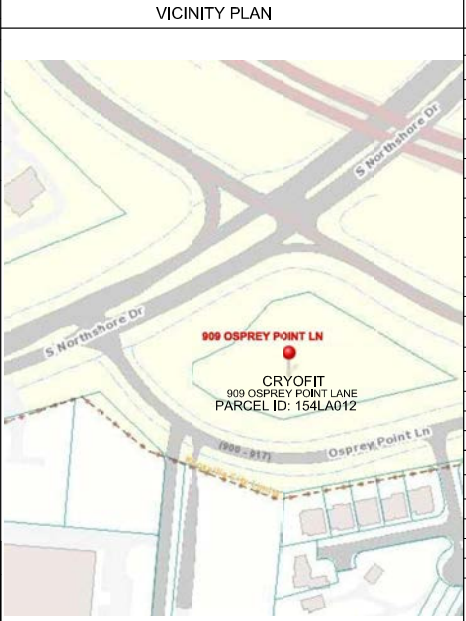
### GENERAL NOTES

- Contractor shall verify all on-site dimensions. Do not scale drawings. The Contractor shall obtain written clarification from the Architect for any questionable dimensions before beginning or continuing with construction.
- Dimensions are referenced to the finish face of existing interior and exterior wall construction unless otherwise indicated. Dimensions are referenced to the face of stud for new interior wall construction unless otherwise indicated.
- Where new walls are an extension of existing walls, the finished face of new wall construction shall align with the finished face of the existing wall construction.
- Provide wood blocking in walls to support equipment, railings, accessories, drapery tracks, recessed items and any other items as required by building codes, by manufacturer's instructions/specifications or otherwise required. Handrails, guardsrails, grab bars and wall mounted toilet fixtures shall be installed to withstand a minimum of 250 lbs. vertical or horizontal force.
- Maintain the integrity of rated walls including, but not limited to, electrical panels, fire extinguisher cabinets and all recessed equipment.
- All rated partitions shall be tightly sealed to the underside of the deck above.
- Penetrations in fire rated assemblies shall be sealed by an approved UL-listed or other approved listing method to prevent the passage of fire and smoke.
- The Contractor shall verify and coordinate routing, placement, space and clearance requirements for mechanical, electrical and other trades.
- All piping above grade and inside the building shall be concealed except for mechanical equipment rooms. The Contractor shall provide furring for piping installed in finished areas.
- The Contractor shall furnish access panels in walls and non-accessible type ceilings where where service and adjustment to mechanical, plumbing and electrical items may be required. Access panels shall have a fire rating equal to that of the surface into which they occur.
- All casework dimensions shall be verified by the Contractor/subcontractor prior to unit fabrication.
- Seal all penetrations in the exterior envelope airtight on both the interior and exterior.
- The intent of these drawings is to be a part of a Design-Build project. The Contractor/Builder shall promptly notify and coordinate with the Architect for any additional information required for construction.

## INTERIOR TENANT FINISH CRYOFIT

909 OSPREY POINT LANE \* #101 \* KNOXVILLE, TN 37922  
PARCEL ID: 154LA012

<b>ARCHITECT:</b> <b>CHARLES PILGRIM ASSOCIATES</b> 015 Langley Wood Lane Knoxville, TN 37919 (865) 406-4881 (mobile) (865) 985-6462 (office) cparchitect@comcast.net cparchitectweb.com (Website)	<b>ELECTRICAL ENGINEER:</b> <b>NORRIS &amp; ASSOCIATES ENGINEERS INC.</b> 5518 Wallwood Road Knoxville, TN 37912 (865) 584-3064 john.tobbs1070@gmail.com	<b>MECHANICAL ENGINEER:</b> <b>KELSO-REGEN ASSOCIATES, INC.</b> 201 Sherlake Ln, #101 Knoxville, TN 37922 (865) 988-5348 (office) gary@kelso-regen.com
---	---	---



### ABBREVIATIONS

AFF ALT ALUM ALUMINUM BLDG BLDG CAB CABINET CT CERAMIC TILE CTR CENTER TO CENTER CUC CURTLE CURTAIN TRACK CL or CL. CLOSET CG CORNER GUARD CLIP CLIP COM COMMUNICATED METAL PIPE CONG CONCRETE BLOCK MASONRY UNIT COL COLUMN CONSP CONCRETE CABT CABINET DRINKING FOUNTAIN DS DOOR FRAME GUARD DS DOWNSPOUT DRAINER TRACK EDG EXISTING CORNER GUARD ELEV ELEVATION ELV ELECTRICAL PANELS EWC ELECTRIC WATER COOLER EXP. JT. or E.J. EXPANSION JOINT EXST or EX EXISTING FL FINISH FLOOR FAN FAN COIL UNIT FLOOR FLOOR F.M. FACE OF BRICK F.M. FACE OF MASONRY F.H. FACE OF STUD F.P. FACE TO FACE FLOOR FLOOR FL FLOOR DRAIN FL FLOOR FIRE FIRE EXTINGUISHER CABINET FIRE FIRE EXTINGUISHER G.V. GALVANIZED G.V. GALVANIZED GEN. CON. GENERAL CONTRACTOR GFI GROUND FAULT INTERRUPTER	CYP. BD. CYPRESS BOARD HD HANGCAP HSP HIGH PRESSURE DECORATIVE LAMINATE INSULATION INSULATION INVERT (ELEVATION) INVERT JT. JOINT MARB MARBLE METL METAL NA NOT APPLICABLE NC NONE CONSTRUCTIBLE NOT IN CONTRACT NOT IN CONTRACT NORM NORMAL ON CENTER ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED OPPOSITE HAND OPPOSITE HAND OUTSIDE TO OUTSIDE P. LAM or PL PLASTIC LAMINATE PARTL PARTIAL PLASTER PLASTER PAPER TOWEL DISPENSER PATCH TO MATCH EXISTING PANK TIRON REFR REFRIGERATOR REVISION REVISION S.P. or SQ. FT. SQUARE FEET SQUARE INCHES SHEET VINYL TAG TAG TONGUE AND GROOVE TOP OF STEEL TO MATCH EXISTING TONE BAR TONGUE AND GROOVE TOL. T. PAPER HOLDER UNLESS NOTED OTHERWISE VINYL VINYL COMPOSITION TILE VERIFY IN FIELD WALL COVERING OR WATER CLOSET WOOD WOOD WALL GUARD
---	--

### INDEX OF DRAWINGS

ARCHITECTURAL	
SHT.	TITLE
A100	COVER SHEET
A101	EXIST-DEMO-CONSTRUCTION PLANS
A102	REFLECTED CLG PLAN & FIXTURE PLAN
A201	SCHEDULES & DETAILS
A202	INTERIOR DETAILS
LS101	LIFE SAFETY PLAN
MECHANICAL-PLUMBING	
SHT.	TITLE
M001	MECHANICAL PLANS HVAC
P000	PLUMBING WASTE VENT & SERVICES
P001	PLUMBING WASTE VENT & SERVICES
ELECTRICAL	
SHT.	TITLE
E1	FLOOR PLAN LIGHTING
E2	FLOOR PLAN COMMUNICATIONS
E3	LEGENDS AND SCHEDULES

1-B-24-SU  
11/13/2023

**Charles Pilgrim Associates**  
ARCHITECTS

615 Langley Wood Lane  
Knoxville, TN 37919  
(865) 406-4881

cparchitect@comcast.net  
www.cparchitect-web.com



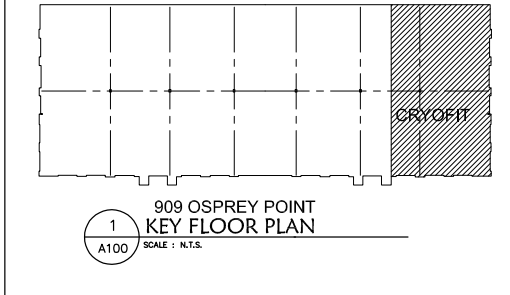
**INTERIOR TENANT FINISH  
CRYOFIT**  
 909 OSPREY POINT LANE #101  
 KNOXVILLE, TN 37922  
**COVER SHEET**

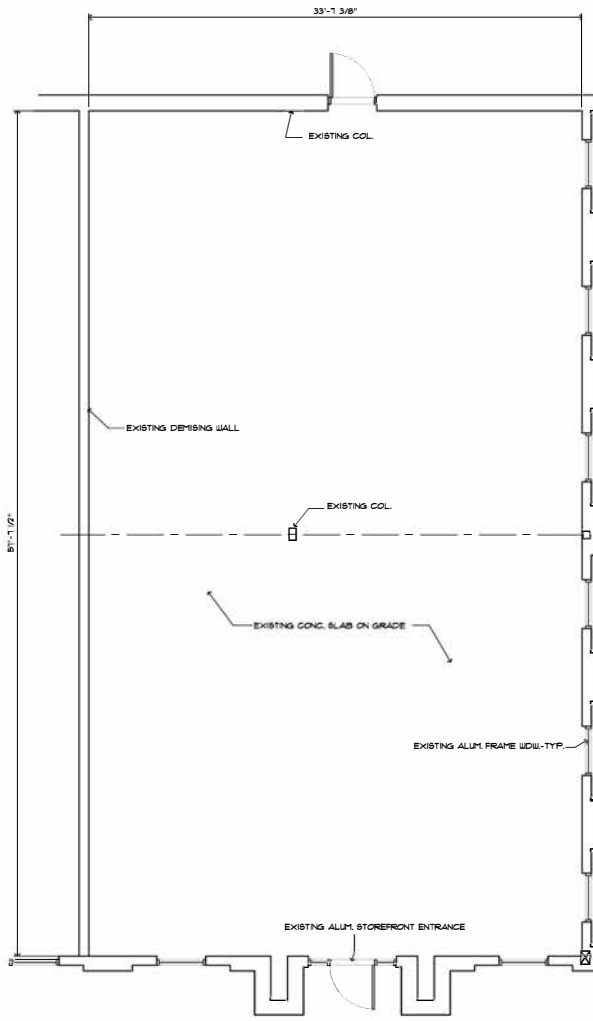
REVISIONS

A100

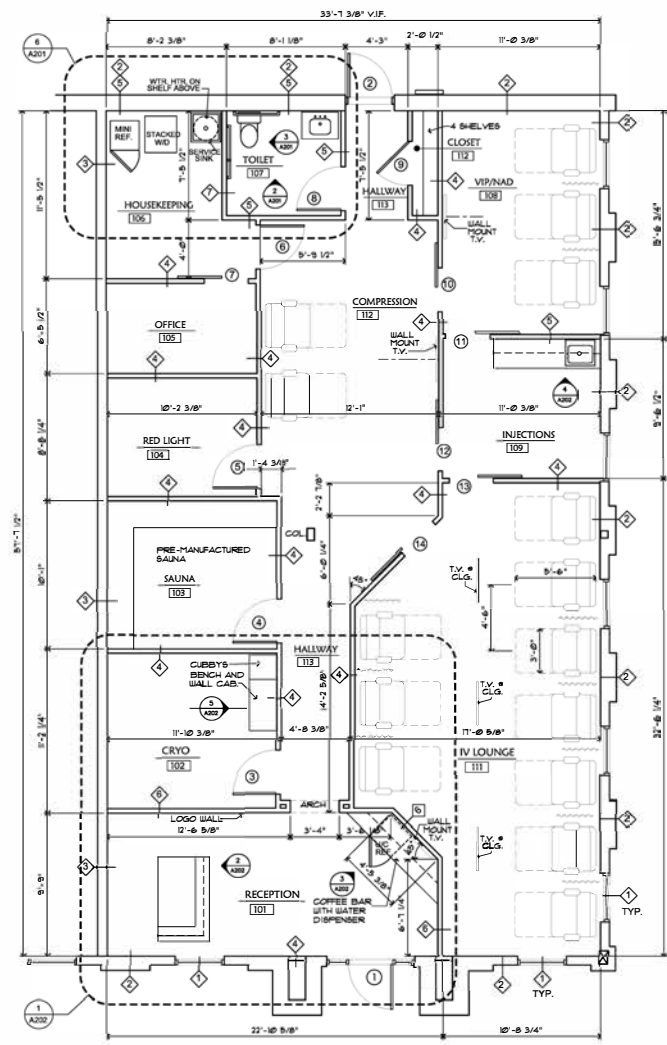
OCT 27, 2023

C.N. 2023.12





1 EXISTING FLOOR PLAN  
 A101 SCALE: 1/4"=1'-0"  
 NORTH



2 CONSTRUCTION FLOOR PLAN  
 A101 SCALE: 1/4"=1'-0"  
 NORTH

1-B-24-SU  
 12/11/2023

**Charles Pilgrim Associates**  
 ARCHITECTS  
 615 Langley Wood Lane  
 Knoxville, TN 37919  
 (865) 406-4881  
 cparchitct@comcast.net  
 www.cparchitct-web.com



INTERIOR TENANT FINISH  
**CRYOFIT**  
 908 OSPREY POINT LANE #101  
 KNOXVILLE, TN 37922  
 EXISTING PLAN - CONSTRUCTION PLAN

REVISIONS

**A101**  
 OCT 27, 2023  
 C.N. 2023.12





# Development Request

### DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

### SUBDIVISION

- Concept Plan
- Final Plat

### ZONING

- Plan Amendment
  - Sector Plan
  - One Year Plan
- Rezoning

**Charles Pilgrim**

Applicant Name

Affiliation

**11/13/2023**

Date Filed

**1/11/2024**

Meeting Date (if applicable)

**1-B-24-SU**

File Number(s)

## CORRESPONDENCE

*All correspondence related to this application should be directed to the approved contact listed below.*

**Charles Pilgrim Charles Pilgrim Associates**

Name / Company

**615 Langley Wood Ln Knoxville TN 37919**

Address

**865-406-4881 / cparchitect@comcast.net**

Phone / Email

## CURRENT PROPERTY INFO

**John Davenport**

Owner Name (if different)

**PO Box 856 Jellico TN 37762**

Owner Address

**423-871-7267**

Owner Phone / Email

**909 OSPREY POINT LN**

Property Address

**154 L A 012**

Parcel ID

**1.76 acres**

Tract Size

Part of Parcel (Y/N)?

**First Knox Utility District**

Sewer Provider

**First Knox Utility District**

Water Provider

Septic (Y/N)

## STAFF USE ONLY

**North side of Osprey North side of Osprey Point Lane, Southwest of Town Center Blvd.**

General Location

City

**Council District 2**

**C-N (Neighborhood Commercial),**

**Agriculture/Forestry/Vacant Land, Right of Way/Open Space**

County District

Zoning District

Existing Land Use

**Southwest County**

Planning Sector

**NC (Neighborhood Commercial), LDR (Low Density Resid**

Sector Plan Land Use Classification

**N/A (Within City Limits)**

Growth Policy Plan Designation

## DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) <b>Medical office</b>	

## SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Additional Information	Total Number of Lots Created
<input type="checkbox"/> Attachments / Additional Requirements	

## ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre)    Previous Zoning Requests		
Additional Information		

## STAFF USE ONLY

### PLAT TYPE

- Staff Review     Planning Commission

### ATTACHMENTS

- Property Owners / Option Holders     Variance Request

### ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)  
 Design Plan Certification (Final Plat)  
 Site Plan (Development Request)  
 Traffic Impact Study  
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
<b>\$1,600.00</b>	
Fee 2	
Fee 3	

## AUTHORIZATION

- I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	<b>Charles Pilgrim</b> Please Print	<b>11/13/2023</b> Date
---------------------	--	---------------------------

Phone / Email		
Property Owner Signature	<b>John Davenport</b> Please Print	<b>11/13/2023</b> Date



# Development Request

**DEVELOPMENT**

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

**SUBDIVISION**

- Concept Plan
- Final Plat

**ZONING**

- Plan Amendment
  - SP
  - OYP
- Rezoning

Charles Pilgrim

Architect

Applicant Name

Affiliation

NOVEMBER 3, 2023

January 11, 2024

File Number(s)

1-B-24-SU

**CORRESPONDENCE**

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Charles Pilgrim

Charles Pilgrim Associates

Name

Company

615 Langley Wood Lane

Knoxville

TN

37919

Address

City

State

ZIP

865-406-4881

cparchitect@comcast.net

Phone

Email

**CURRENT PROPERTY INFO**

John Davenport

PO Box 856 Jellico, TN 37762

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

909 Osprey Point Lane, Suite 101

154LA012

Property Address

Parcel ID

KUB

KUB

Sewer Provider

Water Provider

Septic (Y/N)

**STAFF USE ONLY**

North side of Osprey Point Lane, Southwest of Town Center Blvd.

General Location

Tract Size

City  County

2nd

C-N

AgForVac

District

Zoning District

Existing Land Use

Southwest County

NC

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

May 1, 2023

## DEVELOPMENT REQUEST

- Development Plan   
  Use on Review / Special Use   
  Hillside Protection COA  
 Residential   
  Non-Residential

Related City Permit Number(s)

Home Occupation (specify) \_\_\_\_\_

Other (specify) \_\_\_\_\_

## SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name \_\_\_\_\_

Combine Parcels   
  Divide Parcel   
 \_\_\_\_\_  
 Unit / Phase Number   
 Total Number of Lots Created

Other (specify) \_\_\_\_\_

Attachments / Additional Requirements

## ZONING REQUEST

Pending Plat File Number

Zoning Change   
 Proposed Zoning \_\_\_\_\_

Plan Amendment Change   
 Proposed Plan Designation(s) \_\_\_\_\_

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

Other (specify) \_\_\_\_\_

## STAFF USE ONLY

### PLAT TYPE

- Staff Review   
  Planning Commission

### ATTACHMENTS

- Property Owners / Option Holders   
  Variance Request

### ADDITIONAL REQUIREMENTS

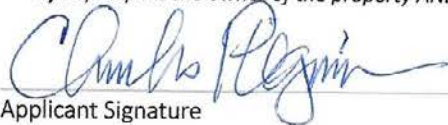
- Design Plan Certification (*Final Plat*)  
 Use on Review / Special Use (*Concept Plan*)  
 Traffic Impact Study  
 COA Checklist (*Hillside Protection*)

Fee 1		Total
0405	\$1,600.00	
Fee 2		\$1600.00
Fee 3		

## AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct:

1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent



Charles Pilgrim

October 31, 2023

Applicant Signature

Please Print

Date

865-406-4881

cparchitect@comcast.net

Phone Number

Email



John Davenport

11/13/2023, SG

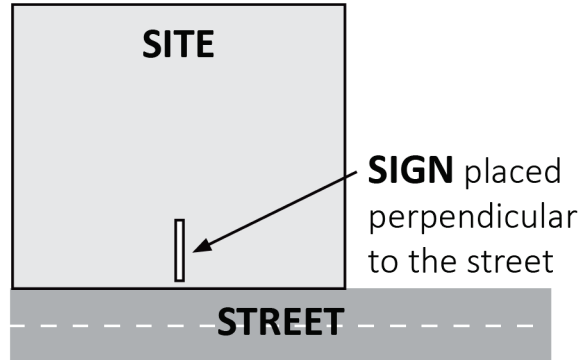
Property Owner Signature

Please Print

Date Paid



The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

*The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:*

\_\_\_\_\_ 12/29/2023 \_\_\_\_\_ and \_\_\_\_\_ 01/12/2024 \_\_\_\_\_  
(applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Charles Pilgrim

Date: 11/14/2023

File Number: 1-B-24-SU



Sign posted by Staff



Sign posted by Applicant