

SPECIAL USE REPORT

► **FILE #:** 7-D-24-SU

AGENDA ITEM #: 56

AGENDA DATE: 7/11/2024

► **APPLICANT:** MIKE STEVENS HOMES

OWNER(S): NTC Holdings LLC

TAX ID NUMBER: 154 F E 006,007 154FG020, 021

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 9426 HORIZON DR (9430, 9434, 9438 Horizon Dr)

► **LOCATION:** Southeast side of Horizon Dr, northeast of Cades Cove Rd

► **APPX. SIZE OF TRACT:** 8423 square feet

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Horizon Dr, a local street with a pavement width of 35 ft, including on-street parking, within 50 ft of right-of-way.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Tennessee River

► **ZONING:** RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside Protection Overlay)

► **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

► **PROPOSED USE:** Increase the maximum height of a townhouse in Northshore Town Center

HISTORY OF ZONING: The property was rezoned from R-1 to TC-1 in 2001 (4-Q-01-RZ).

SURROUNDING LAND USE AND ZONING: North: Multi-family residential - RN-3(C) (General Residential Neighborhood), HP (Hillside Protection Overlay)

South: Commercial, agriculture/forestry/vacant land - RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside Protection Overlay)

East: Multi-family residential - RN-3(C) (General Residential Neighborhood), HP (Hillside Protection Overlay)

West: Multi-family residential - RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside Protection Overlay)

NEIGHBORHOOD CONTEXT: The Beau Monde Subdivision is the residential neighborhood within the Northshore Town Center development, which is developed with a mix of attached and detached houses.

STAFF RECOMMENDATION:

- **Approve the request to amend the previously approved planned district to increase the maximum height of a townhouse from 35 feet to approximately 41 feet, as presented on the development plan, subject to 1 condition.**

1. Meeting all other applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of the former TC-1 (Town Center) zone, the Development Plan and Standards for Northshore Town Center, and the other criteria for approval of a special use for modifications to previously approved planned districts per Article 1.4.G.

COMMENTS:

The residential design standards for the Beau Monde subdivision have a maximum lot height of 35 ft for townhouses, measured from the average ground plane along the frontage of each townhouse unit to the top of flat and low slope roofs. This request is to increase the maximum height to correspond with the attached plan, which is approximately 41 ft for the townhouse on the right side of the plan (front elevation). All units will be the same height from the basement slab to the top of the roof.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The One Year Plan and Southwest City Sector Plan designation for this site are MU-CC (Mixed Use Community Center), which recommends a moderate intensity mix of residential, office, and commercial uses.

B. A portion of the lots is within the HP (Hillside Protection Overlay) district, but they are exempt from those standards because they were platted before the adoption of the current zoning code and are less than 1 acre.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. Except for the proposed height, the request is consistent with the zoning standards and the Northshore Town Center Development Plan and Standards adopted as part of the TC-1 and PC-1 zoning.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The proposed townhouse height is compatible with the surrounding townhouses in the Beau Monde subdivision. The townhouses will have a partial third story set back from the front building elevation, so from the street level, the perceived height of the structure is closer to 30 feet tall. The adjacent townhouses to the south also have a partial third story but are flush with the front elevation, so they have a taller perceived height from the street.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. This proposal will not change the allowed use of the site.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. No additional traffic will be generated.

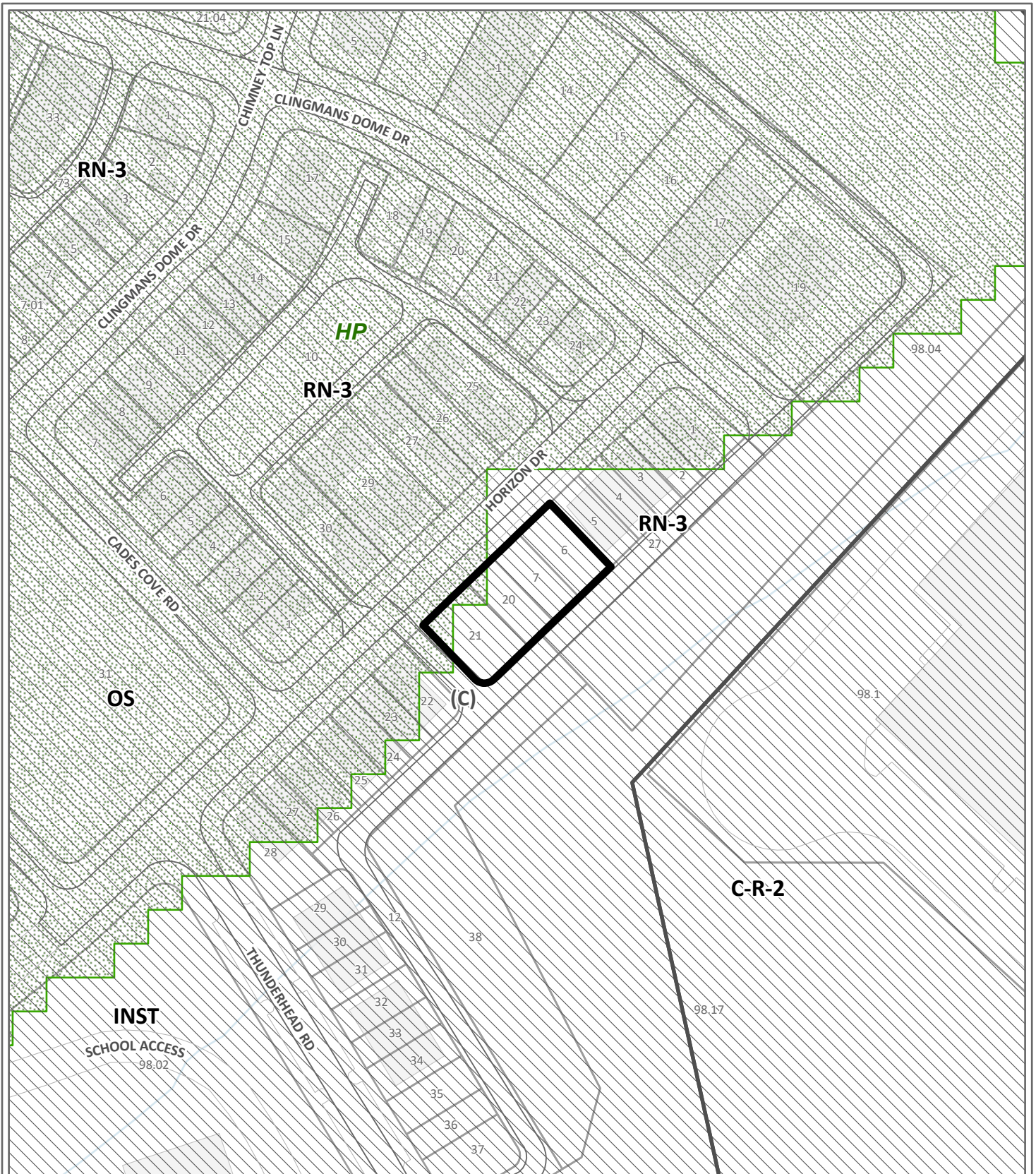
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed uses within the development.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

7-D-24-SU

Petitioner: Mike Stevens Homes



Increase the maximum height of a townhouse in the Northshore Town Center Master Plan in RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside

Original Print Date: 6/3/2024

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 154

Jurisdiction: City

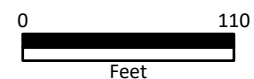
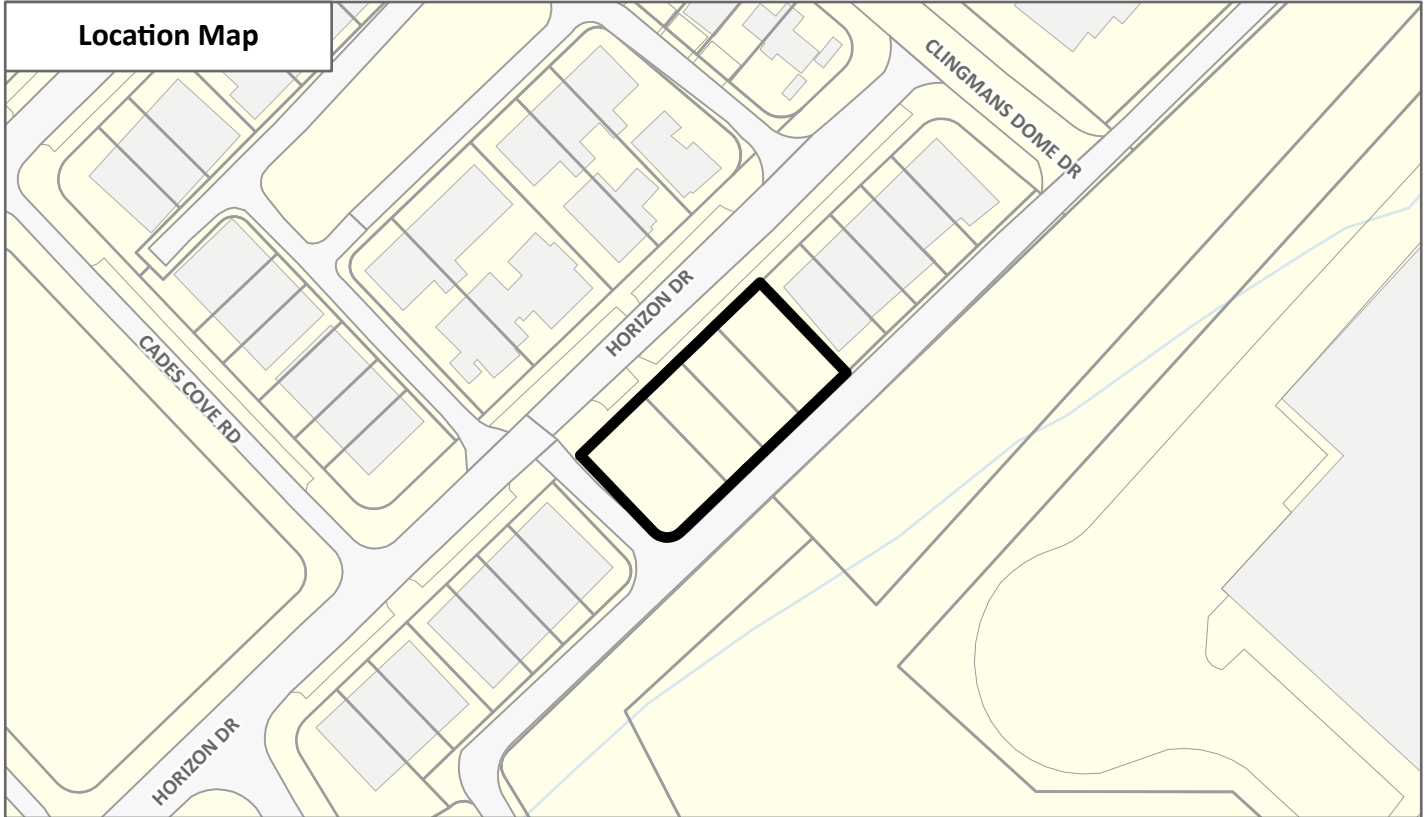


Exhibit A. Contextual Images

Location Map



Aerial Map

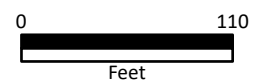


CONTEXTUAL MAPS 1

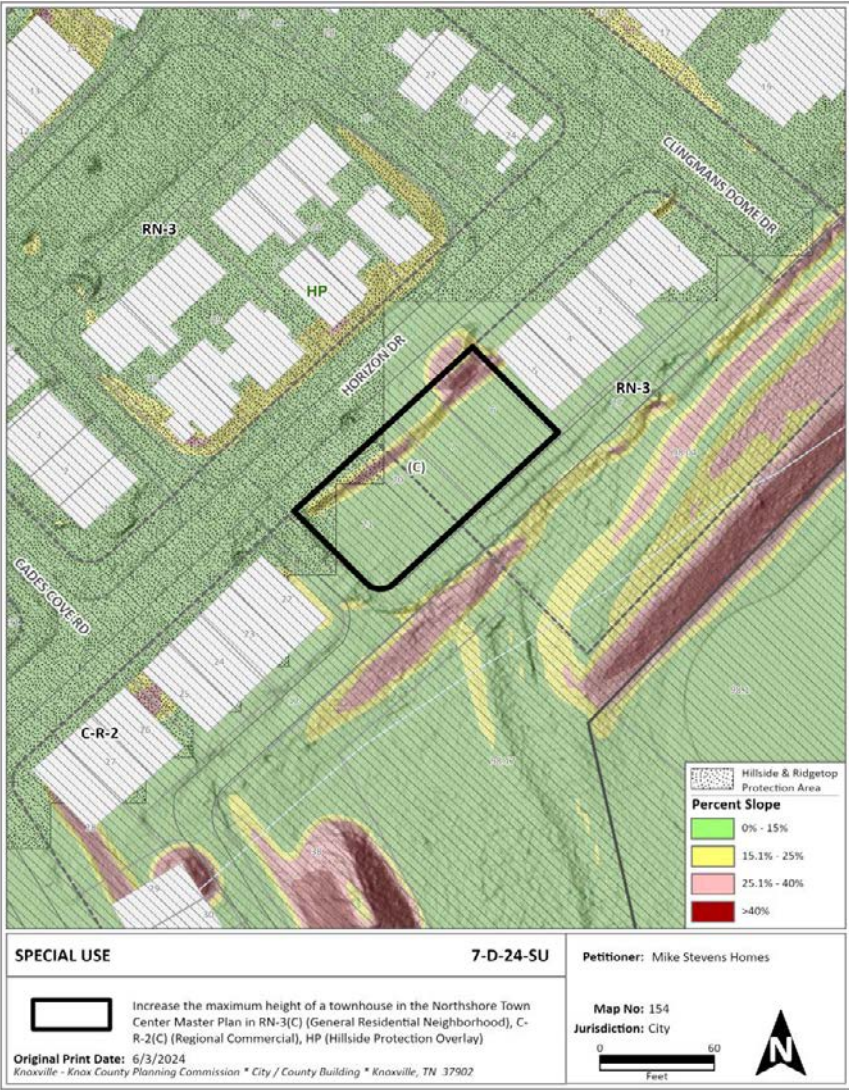
7-D-24-SU



Case boundary



CATEGORY	SQFT	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Sqft)	DISTURBANCE AREA (Acres)
Total Area of Site	8,423.5	0.193			
Non-Hillside	7,474.2	0.172	N/A		
0-15% Slope	491.2	0.011	100%	491.2	0.011
15-25% Slope	317.3	0.007	50%	158.7	0.004
25-40% Slope	140.7	0.003	20%	28.1	0.001
Greater than 40% Slope	0.0	0.000	10%	0.0	0.000
Ridgetops					
Hillside Protection (HP) Area	949.2	0.022	Recommended disturbance budget within HP Area	678.0	0.016
			Percent of HP Area	71.4%	



CONTACT INFORMATION:

GENERAL CONTRACTOR: MIKE STEVENS HOMES
9515 BLUEGRASS RD.
KNOXVILLE, TN 37922
CONTACT: PAIGE BRUMMETT
(865) 368-8333
paigeb@mikestevenshomes.com

DESIGNER: BUCK BAILEY DESIGN, LLC.
1008 SAINT JOHNS DR.
MARYVILLE, TN 37801
(971) 227-2628
buck@buckbaileydesign.com

DRAWING INDEX:

- A1 PROJECT INFO, SITE PLAN
A2 PERSPECTIVES
A3 ELEVATIONS
A4.1-4.4 SIDE ELEVATIONS, SECTIONS
LOTS 182,183,18,19
A5 SECTIONS, DETAILS
- B1.1 FOUNDATION PLAN, DETAILS
B1.2 LOWER FLOOR PLAN
B2 MAIN FLOOR PLAN
B3 SECOND FLOOR PLAN
B4 THIRD FLOOR PLAN
B5 GENERAL NOTES, GARAGE DOOR DETAIL

> SEE TRUSS MANUFACTURER'S DRAWINGS FOR FLOOR AND ROOF TRUSSES AND FRAMING

> TO PRINT PAGES IN SCALE:
BEFORE BATCH PRINTING CHECK PRINT ON 24x36 D-SIZE PAPER
@ 1:1 RATIO, NO SCALING OR "PRINT TO FIT MARGINS".
VERIFY DIMENSIONS ARE IN SCALE USING ARCHITECT SCALE
AND ADJUST PRINT SETTINGS AS NEEDED.

AREA TABULATION:

LOT #	182	183	18	19
GARAGE	623	556	592	745
DRIVEWAY ON LOT*	210	207	185	781
DRIVEWAY TO STREET	302	301	279	965
PATIO, RET'G. WALL	346	347	301	600
LOWER FLR. HTD.	614	535	585	752
MAIN FLOOR HTD.	1237	1087	1162	1496
SECOND FLOOR HTD.	1237	1087	1162	1496
THIRD FLOOR HTD.	440	416	416	584
TOTAL HTD. AREA	3528	3125	3325	4328
UPPER ROOF AREA	743	713	713	954
LOWER ROOF AREA	1219	1087	1145	1449
UPPER: LOWER RATIO	61%	67%	62%	66%
LOT AREA	2115	1692	1692	2935
BUILDING FOOTPRINT	1276	1110	1181	1542
BUILDING COVERAGE	60%	66%	70%	53%
IMPERVIOUS AREA	1583	1438	1478	2097
IMPERVIOUS COVERAGE*	75%	85%	87%	71%

* DRIVEWAYS TO BE PERVIOUS CONC.

SITE PLAN NOTES:

LAND USE: TOWNHOMES

CONNECT DOWNSPOUTS TO CONT'S DRAIN TILE (PERF PIPE)
AROUND BUILDING AT FOOTINGS. LOCATE DRAIN TILE OUTLETS
SUCH THAT WATER FLOWS ARE DIRECTED TO PROPER CATCH
FACILITIES OR NATURAL AREAS.

CONTRACTOR TO ESTABLISH TEMPORARY ANNUAL RYE GRASS
DURING CONSTRUCTION, AND PERMANENT PERENNIAL
TURFGRASS AFTER CONSTRUCTION IN DISTURBED AREAS.

CONTRACTOR TO PROVIDE SILT FENCING, SWAYLES, AND OTHER
CATCHMENTS AS PER LOCAL CODE.

CONTRACTOR TO MARK CONSTRUCTION ACTIVITY BOUNDARY
AND PERFORM REGULAR CLEANUP OF BLOWN DEBRIS, ETC.

CONTRACTOR TO PROVIDE GARAGE CONSTRUCTION DRIVEWAY,
MATERIAL AND VEHICLE STAGING AREAS AS PER LOCAL CODE.

REVISION INFORMATION:

MASTER SET
revisions as per PB

RADON MITIGATION VENTING:

TO VENT SLABS:

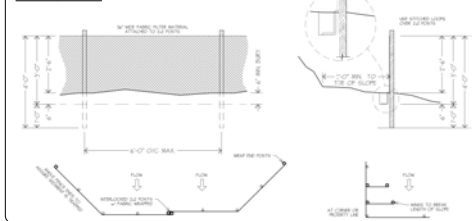
INSTALL 4" PVC SCHED 40 PIPE SWEEP INTO STEM WALL WITH 90 DEGREE TURN TO 10' PERF
PIPE EXTENDING INTO GRAVEL BED.

EXTEND VENT THROUGH HEATED WALL TO ROOF TOWARDS REAR OF BLDG. TERMINATE
MIN 12" ABOVE ROOF AND 10' HORIZ FROM OPERABLE WINDOWS.

PROVIDE ONE VENT FOR EVERY SEPARATE SLAB AND ONE VENT FOR EVERY 2000 SF OF
SLAB OR SEALED CRAWL SPACE AREA.

ADD FAN IN ATTIC IF TESTING YIELDS MORE THAN 4 PCIL CONTINUAL CONCENTRATION.

SILT FENCE DETAIL



This site plan is intended as a design drawing, not a technical or certified drawing. Additional information not
appearing shall be provided by others.

Designer provides site plans per client instructions. Client will be responsible for obtaining all applicable current
site planning information (see below).

Designer is not responsible for verifying site planning information obtained from client or any source, and does not
guarantee site plan to be permissible.

Site planning information includes zoning, setbacks, easements, overlays, utility locations, accessibility
requirements, fire department access, etc.

Site planning information also includes topographics, drainage and water retention requirements, silt fence details,
construction site requirements, etc.

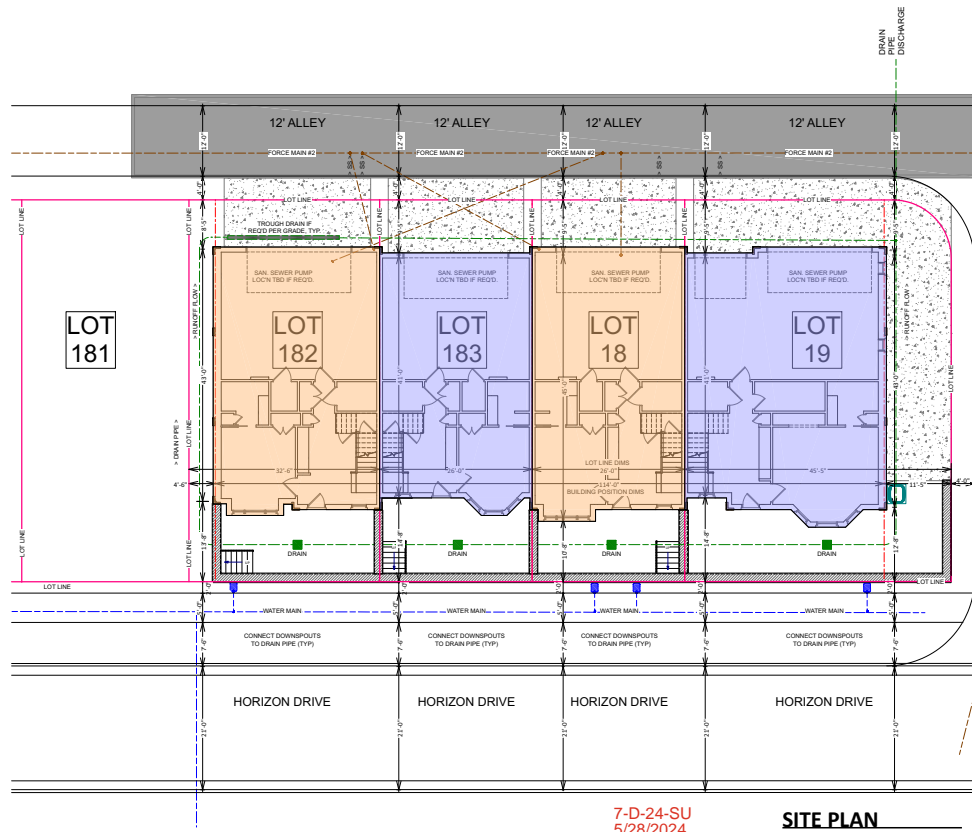
Client is advised hire a registered surveyor, civil engineer, and geotech to verify all site plan information and advise
client and designer of changes needed for permitting.

CODE AND ZONING COMPLIANCE, PERMITABILITY, and I/O POLICIES

Buck Bailey, designer, is practicing as a "building designer", not as an "architect" or "engineer".
Service scope is limited to providing design drawings. Designer does not carry a professional
stamp, and therefore cannot certify building or site plans to be fully compliant with zoning or
building codes.

Compliance is to be achieved via information gathered from various sources, and will be
included in the plans as provided to the designer. Any non-compliance issues shall be reported to
the designer.

By using these design plans for construction, client, builder, and subcontractors acknowledge
and accept that Buck Bailey dba Buck Bailey Design will not be held responsible for any costs
associated with remediating zoning or code compliance issues, or any issues resulting from
errors and omissions.



7-D-24-SU
5/28/2024

SITE PLAN

SCALE: 1" = 10'



1/A2



3/A2



2/A2



4/A2

7-D-24-SU
5/28/2024



1/A3

FRONT ELEVATION

SCALE: 3/16" = 1'-0"

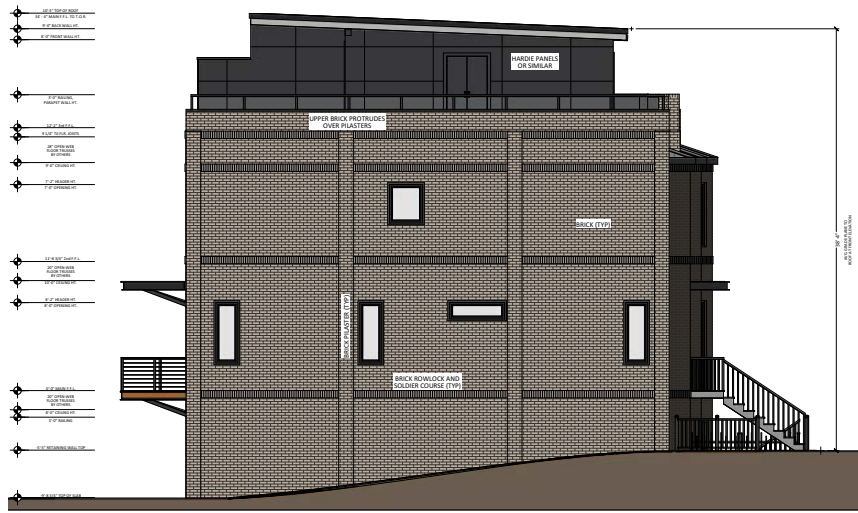


2/A3

REAR ELEVATION

SCALE: 3/16" = 1'-0"

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5/28/2024



1/A4

LEFT SIDE ELEVATION

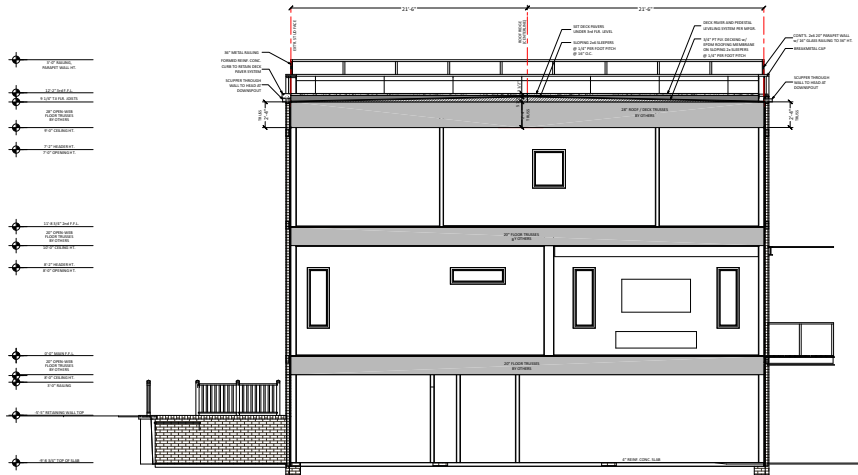
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2/A4

RIGHT SIDE ELEVATION

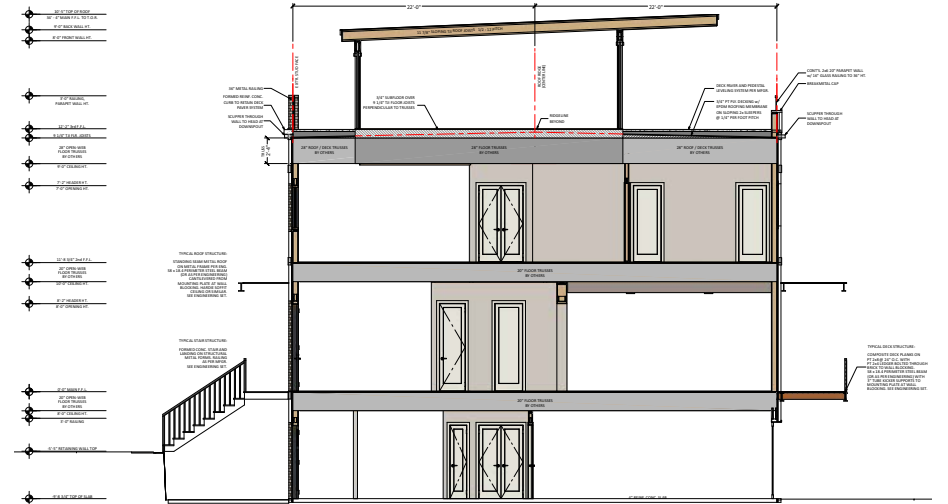
SCALE: 3/16" = 1'-0"



3/A4 - Lot 182

SECTION AT PARAPET WALL

SCALE: 3/16" = 1'-0"



4/A4 - Lot 182

SECTION AT INTERIOR

SCALE: 3/16" = 1'-0"

SHEET METAL FLASHING NOTE:
THE SHEET METAL ASSEMBLIES PROVIDED SHALL BE WARRANTED AS A COMPLETE WEATHER BARRIER SYSTEM INCLUDING MOST PENETRATION. SHEET METAL REPRESENTATIONS ON THESE DOCUMENTS ARE FOR LOCATION AND AESTHETIC EFFECT ONLY AND ARE NOT INTENDED AS APPLICATION DETAILS.

FABRICATOR AND INSTALLER ARE RESPONSIBLE FOR JOINT CAULKING, FLASHING, CONNECTIONS TO SIMILAR MATERIALS, COMPATIBILITY WITH DISSIMILAR MATERIALS, AND ALL OTHER APPLICATION AND CONNECTION DETAILS NEEDED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER BARRIER WITH NO SUBSTRATE DAMAGE SYSTEM. ALL SHEET METAL CORNINGS, FLASHING, AND TRIMS ARE TO BE FABRICATED AS RECOMMENDED BY THE ARCHITECTURAL SHEET METAL MANUAL, 7TH EDITION.

IT WILL BE THE RESPONSIBILITY OF THE FABRICATOR/INSTALLER TO SUBMIT SHOP DRAWINGS FOR ALL SHEET METAL WORK TO OWNER AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

7-D-24-SU
5/28/2024



1/A4

LEFT SIDE ELEVATION

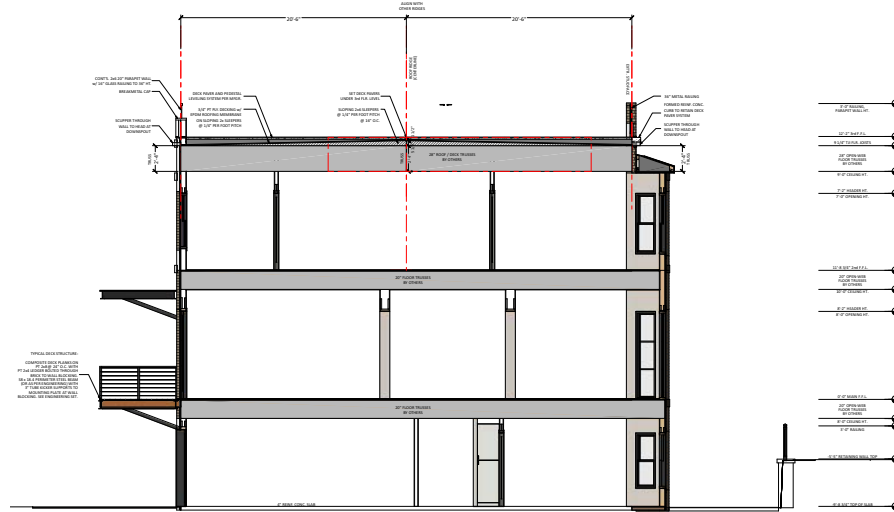
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2/A4

RIGHT SIDE ELEVATION

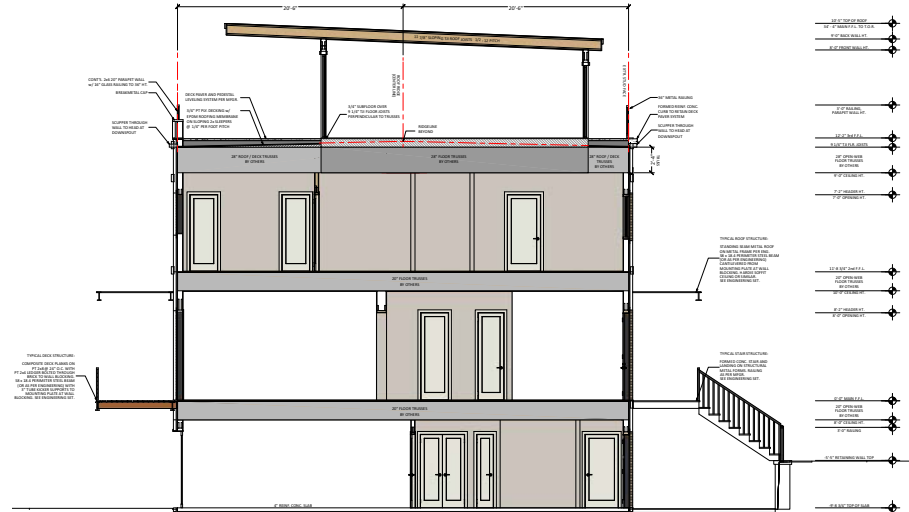
SCALE: 3/16" = 1'-0"



3/A4 - Lot 183

SECTION AT PARAPET WALL

SCALE: 3/16" = 1'-0"



4/A4 - Lot 183

SECTION AT INTERIOR

SCALE: 3/16" = 1'-0"

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7-D-24-SU
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1/A4

LEFT SIDE ELEVATION

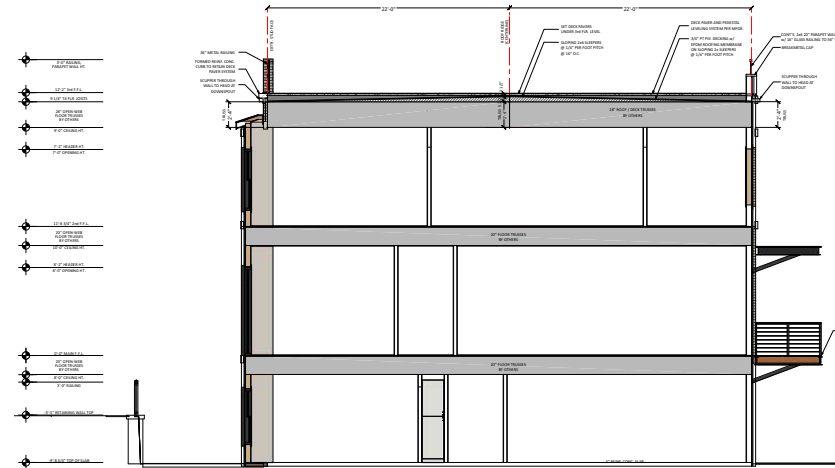
SCALE: 3/16" = 1'-0"



2/A4

RIGHT SIDE ELEVATION

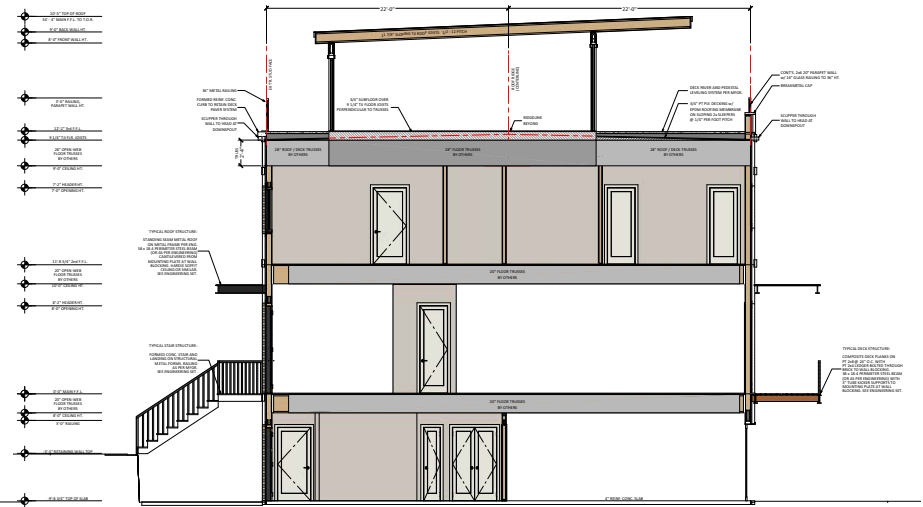
SCALE: 3/16" = 1'-0"



3/A4 - Lot 18

SECTION AT PARAPET WALL

SCALE: 3/16" = 1'-0"



4/A4 - Lot 18

SECTION AT INTERIOR

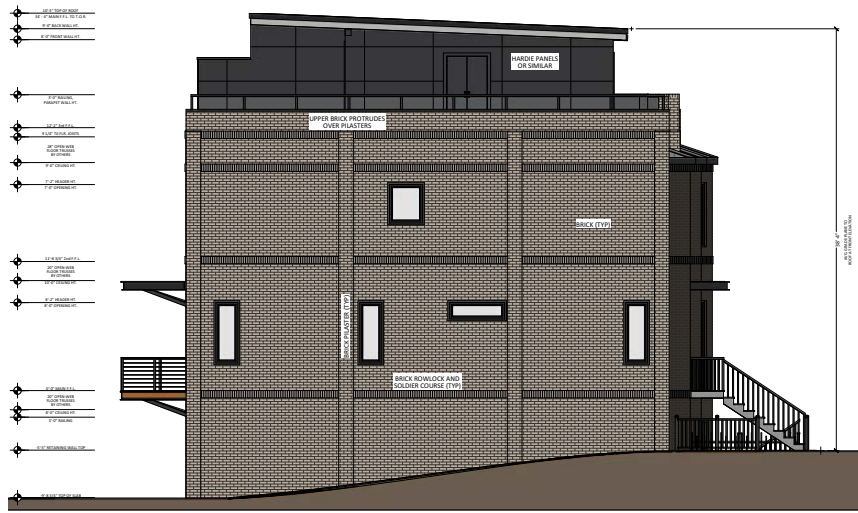
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5/28/2024



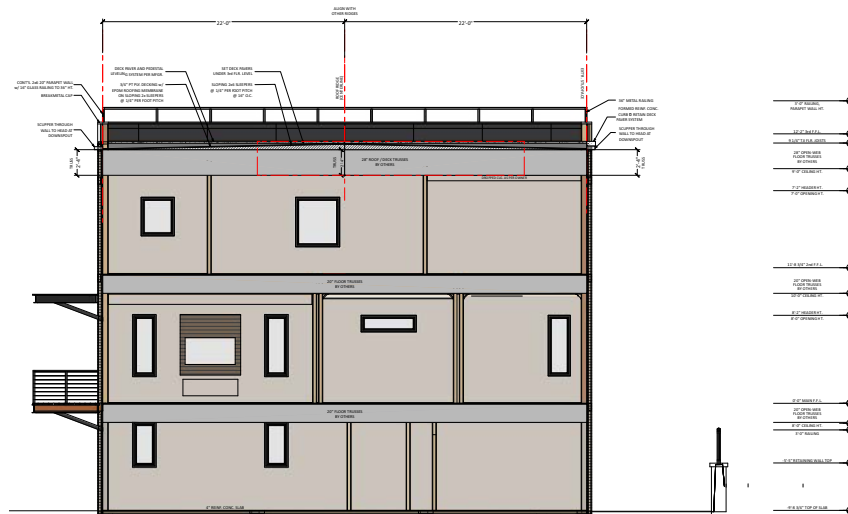
LEFT SIDE ELEVATION

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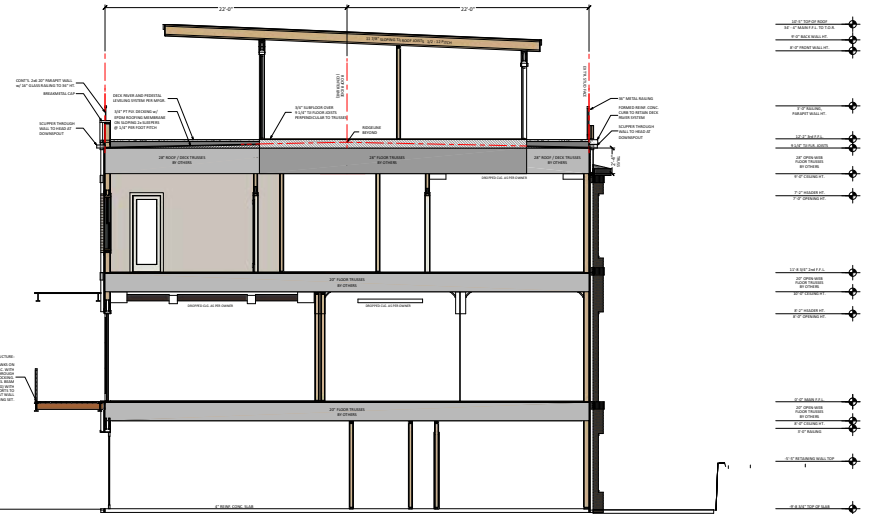
RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



SECTION AT PARAPET WALL

SCALE: 3/16" = 1'-0"



SECTION AT INTERIOR

SCALE: 3/16" = 1'-0"

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7-D-24-SU
5/28/2024



Development Request

DEVELOPMENT

- ☐ Development Plan
☐ Planned Development
☒ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Rezoning
☐ Plan Amendment
☐ Sector Plan
☐ City OYP / County Comp Plan

Mike Stevens Homes

Applicant Name

Affiliation

5/29/2024

Date Filed

7/11/2024

Meeting Date (if applicable)

7-D-24-SU

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Buck Bailey Mike Stevens Homes

Name / Company

9511 Bluegrass Rd Knoxville TN 37922

Address

971-227-2628 / buckbailey@mikestevenshomes.com

Phone / Email

CURRENT PROPERTY INFO

Buck Bailey Mike Stevens Homes

Owner Name (if different)

9511 Bluegrass Rd Knoxville TN 37922

Owner Address

971-227-2628 / buckbailey@mi

Owner Phone / Email

9426 9430, 9434, 9438 HORIZON DR

Property Address

154 F E 006,007 154FG020, 021

Parcel ID

8423 square feet

Tract Size

First Knox Utility District

Sewer Provider

First Knox Utility District

Water Provider

Septic (Y/N)

STAFF USE ONLY

Southeast side of Horizon Dr, northeast of Cades Cove Rd

General Location

☒ City

Council District 2

RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside Protection Overlay)

Agriculture/Forestry/Vacant Land

☐ County District

Zoning District

Existing Land Use

Southwest County

MU-CC (Community Mixed Use Center), HP (Hillside Protection)

N/A (Within City Limits)

Planning Sector

Land Use (City)/Place Type (County)

Growth Policy Plan Designation

DEVELOPMENT REQUEST

- ☐ Development Plan ☐ Planned Development ☒ Use on Review / Special Use
☐ Hillside Protection COA ☐ Residential ☐ Non-residential

Home Occupation (specify) _____

Other (specify) **Increase the maximum height of a townhouse in the Northshore Town Center**

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name

Related Rezoning File Number

Unit / Phase Number

Total Number of Lots Created

Additional Information

- ☐ Attachments / Additional Requirements

ZONING REQUEST

- ☐ Zoning
Change

Proposed Zoning

Pending Plat File Number

- ☐ Plan
Amendment

Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests

Additional Information

STAFF USE ONLY

PLAT TYPE

- ☐ Staff Review ☐ Planning Commission

ATTACHMENTS

- ☐ Property Owners / Option Holders ☐ Variance Request
☐ Amendment Request (Comprehensive Plan)

ADDITIONAL REQUIREMENTS

- ☐ Use on Review / Special Use (Concept Plan)
☐ Traffic Impact Study
☐ COA Checklist (Hillside Protection)

Fee 1

\$450.00

Total

Fee 2

Fee 3

AUTHORIZATION

- ☐ I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Mike Stevens Homes

5/29/2024

Applicant Signature

Please Print

Date

Phone / Email

Buck Bailey Mike Stevens Homes

5/29/2024

Property Owner Signature

Please Print

Date



Development Request

DEVELOPMENT

- ☐ Development Plan
☐ Planned Development
☒ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ SP ☐ PA
☐ Rezoning

Mike Stevens Homes

Applicant Name

Buck Bailey

Date Filed

Affiliation

File Number(s)

28
May 28, 2024
7/11/2024

Meeting Date (if applicable)

7-D-24-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☒ Architect/Landscape Architect

Buck Bailey, building designer

Name

9511 Bluegrass Rd.

Address

(971) 227-2628

Phone

Mike Stevens Homes

Company

Knoxville

City

TN

State

37922

ZIP

buckbailey@mikestevenshomes.com

Email

CURRENT PROPERTY INFO

Mike Stevens Homes

same as above

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

~~Lots 181, 182, 18, 19 Northshore Towncenter~~

154FE006, 007 & 154FG020, 021

Property Address 9426, 9430, 9434, & 9438 Horizon Dr

Parcel ID

First Utility District

Sewer Provider

Same

Water Provider

N

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

☐ City ☐ County

District

Zoning District

Existing Land Use

Planning Sector

Land Use / Place Type
CITY COUNTY

Growth Policy Plan Designation

April 2024

DEVELOPMENT REQUEST

- ☐ Development Plan ☒ Use on Review / Special Use ☐ Hillside Protection COA
☒ Residential ☐ Non-Residential
Home Occupation (specify) _____

Related City Permit Number(s)

Other (specify) **Increase the maximum height of a townhouse**

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name

Unit / Phase Number ☐ Combine Parcels ☐ Divide Parcel Total Number of Lots Created

☐ Other (specify) _____

☐ Attachments / Additional Requirements

ZONING REQUEST

Pending Plat File Number

☐ Zoning Change
Proposed Zoning

☐ Plan Amendment Change
Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests
☒ Other (specify) **Height limit interpretation - increase as designed**

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☒ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request
☐ Amendment Request (*Comprehensive Plan*)

ADDITIONAL REQUIREMENTS

☐ Use on Review / Special Use (*Concept Plan*)
☐ Traffic Impact Study
☐ COA Checklist (*Hillside Protection*)

Fee 1	Total
Fee 2	
Fee 3	

AUTHORIZATION

☒ I declare under penalty of perjury the foregoing is true and correct:

1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent


Applicant Signature

Mike Stevens Homes
Please Print

May 26, 2024
Date

971-227-2628
Phone Number

buck.bailey@mikestevenshomes.com
Email

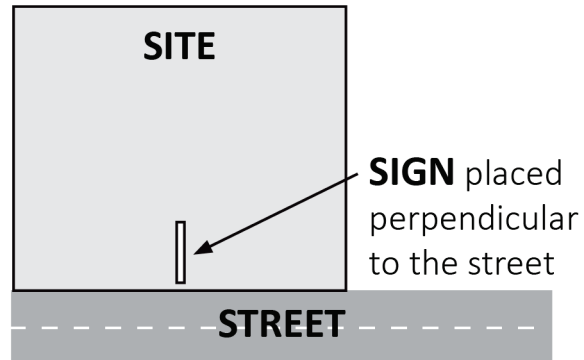

Property Owner Signature

MTC Holding -
Please Print

05/29/2024, SG

5-26-24
Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ **06/28/2024** _____ and _____ **07/12/2024** _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Mike Stevens Homes

Date: 05/29/2024

File Number: 7-D-24-SU



Sign posted by Staff



Sign posted by Applicant