



DEVELOPMENT PLAN REPORT

► **FILE #:** 7-F-24-DP

AGENDA ITEM #: 27

AGENDA DATE: 7/11/2024

► **APPLICANT:** **RON WHITTAKER**

OWNER(S): Bradley & Amanda Rueter

TAX ID NUMBER: 20 101.02

[View map on KGIS](#)

JURISDICTION: County Commission District 7

STREET ADDRESS: 7707 BELL RD (7709 Bell Rd)

► **LOCATION:** **West side of Bell Rd and Mountain Rise Dr intersection**

► **APPX. SIZE OF TRACT:** **6.1 acres**

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Bell Rd, a major collector with a pavement width of 20 ft within a right-of-way width of 50 ft.

UTILITIES: Water Source: Hallsdale-Powell Utility District

Sewer Source: Hallsdale-Powell Utility District

WATERSHED: Beaver Creek

► **ZONING:** **PR (Planned Residential) up to 3 du/ac**

► **EXISTING LAND USE:** **Agriculture/Forestry/Vacant Land**

► **PROPOSED USE:** **Single family home and garage apartment**

DENSITY PROPOSED: 0.33 du/ac

HISTORY OF ZONING: In 1994, this parcel was rezoned to PR (Planned Residential) up to 3 du/ac.

SURROUNDING LAND USE AND ZONING: North: Transportation/Communications/Utilities - I (Industrial)

South: Agriculture/forestry/vacant land - A (Agricultural)

East: Single family residential - PR (Planned Residential) up to 3 du/ac

West: Rural residential - A (Agricultural)

NEIGHBORHOOD CONTEXT: This property is along a major collector road with a mix of single family subdivisions and agricultural uses.

STAFF RECOMMENDATION:

► **Approve the development plan for one single-family residence, a garage apartment, and a reduction of the peripheral setback from 35-ft to 15-ft on the west lot line, as depicted on the site plan, subject to 2 conditions.**

1) Meeting all other applicable requirements of the Knox County Zoning Ordinance.

2) Meeting all requirements of the Knox County Department of Engineering and Public Works.

With the conditions noted, this plan meets the requirements for approval in the PR district and the criteria for approval of a development plan.

COMMENTS:

This proposal is to create one 4,937 sq ft single family home and one 3,199 sq ft RV garage with an apartment on a 6.1-acre forested lot. The applicant is requesting to reduce the 35-ft peripheral setback down to 15 ft on the western lot line because of a sinkhole on the property. The Planning Commission may reduce this setback to 15 ft. The peripheral setback reduction shouldn't affect the adjacent property, which is within the stream protection overlay, and the closest dwelling is more than 450 ft from the proposed house.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE

PR (Planned Residential) up to 3 du/ac:

A. The PR zone allows single family houses and garage apartments as permitted uses. The RV garage is permissible as an accessory structure in the PR zone. The administrative procedures for the PR zone require the Planning Commission to approve the development plan before permits can be issued (Article 5, Section 5.13.15).

B. This PR zone is approved for a maximum of 3 du/ac. The proposed density is 0.33 du/ac.

2) KNOX COUNTY COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES

A. Ensure that development is sensitive to existing community character. (Implementation Policy 2) - The proposed single-family residence with a garage apartment is similar to other rural residential properties and single-family residential subdivisions in the area.

3) KNOX COUNTY COMPREHENSIVE PLAN - RURAL CONSERVATION PLACE TYPE

A. The property is classified RC (Rural Conservation), which allows consideration of Planned Residential up to 5 du/ac as an indirectly related zone. The proposed development has a density of 0.33 du/ac.

B. The RC place type is intended to conserve forested areas, ridges, wetlands, and other significant natural areas by clustering development and minimizing land disturbance. Generally, these areas are to conserve between 50-70 percent of a site as natural open space. The total disturbed area is 1.5 acres on this 6.1-acre site.

4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

A. The property is within the Planned Growth Boundary. The purposes of the Planned Growth Boundary designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. The proposed development meets the relevant standards of the Growth Policy Plan.

ESTIMATED TRAFFIC IMPACT: 28 (average daily vehicle trips)

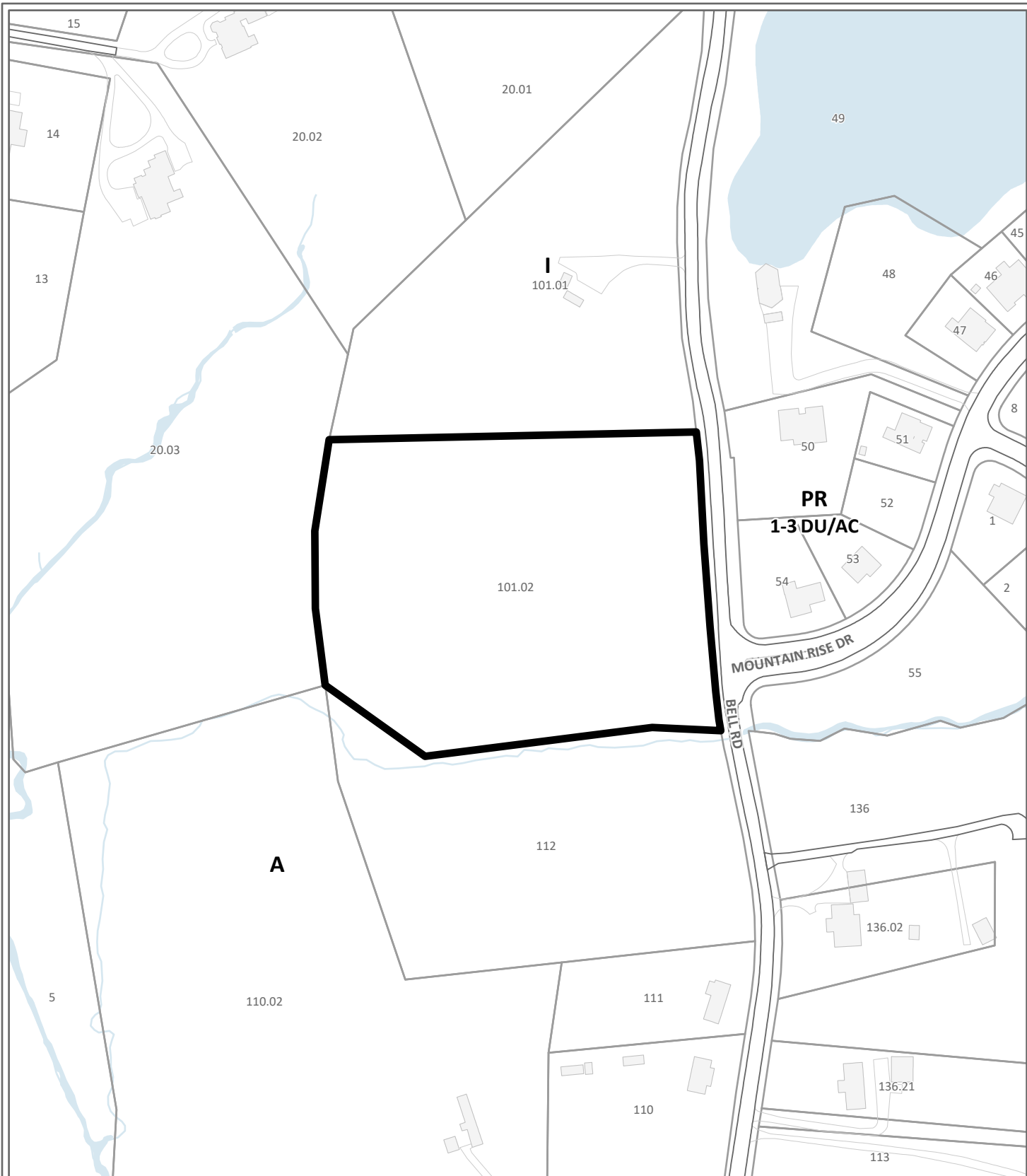
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 1 (public school children, grades K-12)

Schools affected by this proposal: Halls Elementary, Halls Middle, and Gibbs High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).



DEVELOPMENT PLAN

7-F-24-DP

Petitioner: Ron Whittaker



Garage apartment in PR (Planned Residential) up to 3 du/ac

Original Print Date: 6/3/2024

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 20

Jurisdiction: County

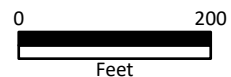
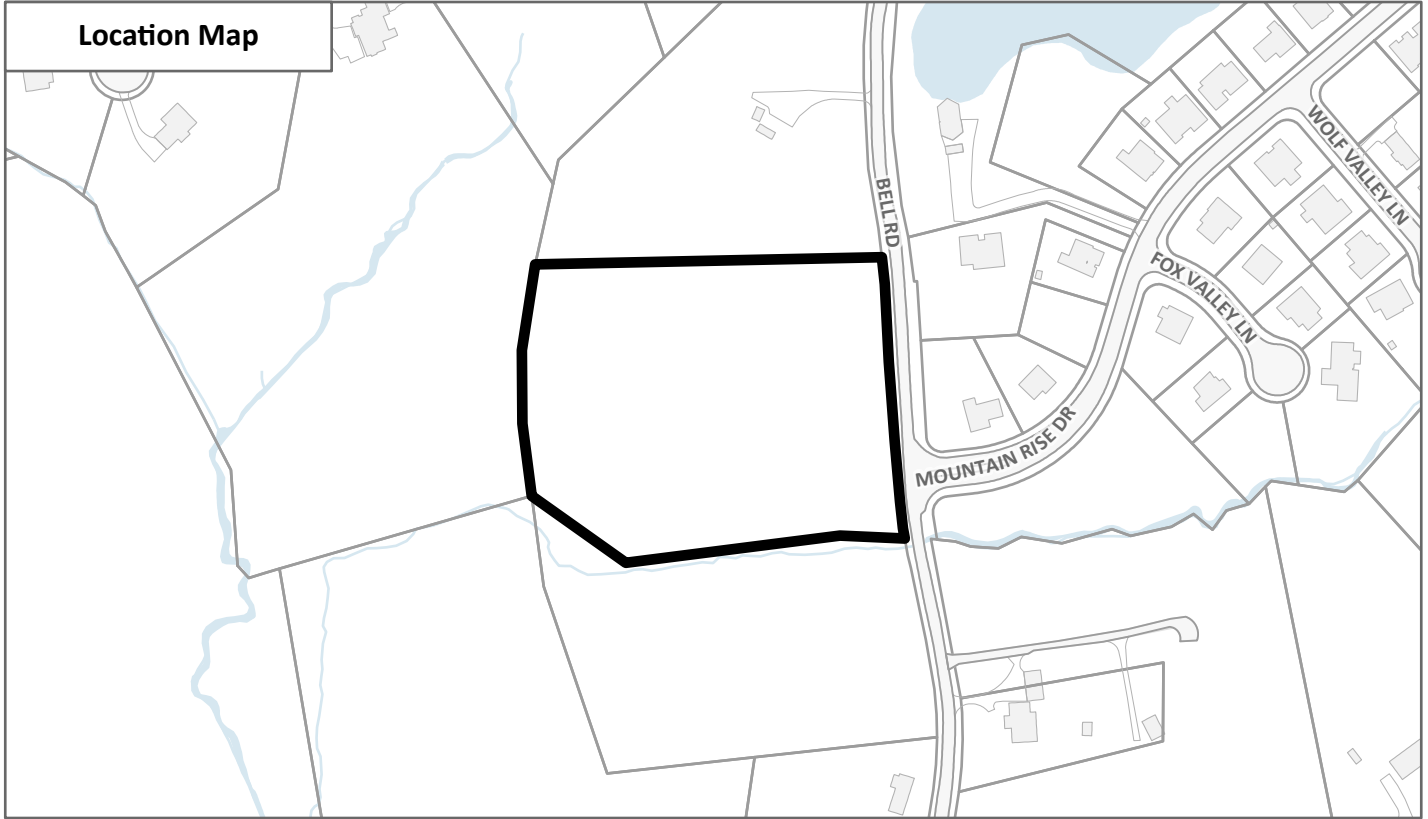


Exhibit A. Contextual Images

Location Map



Aerial Map

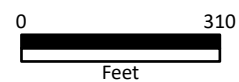


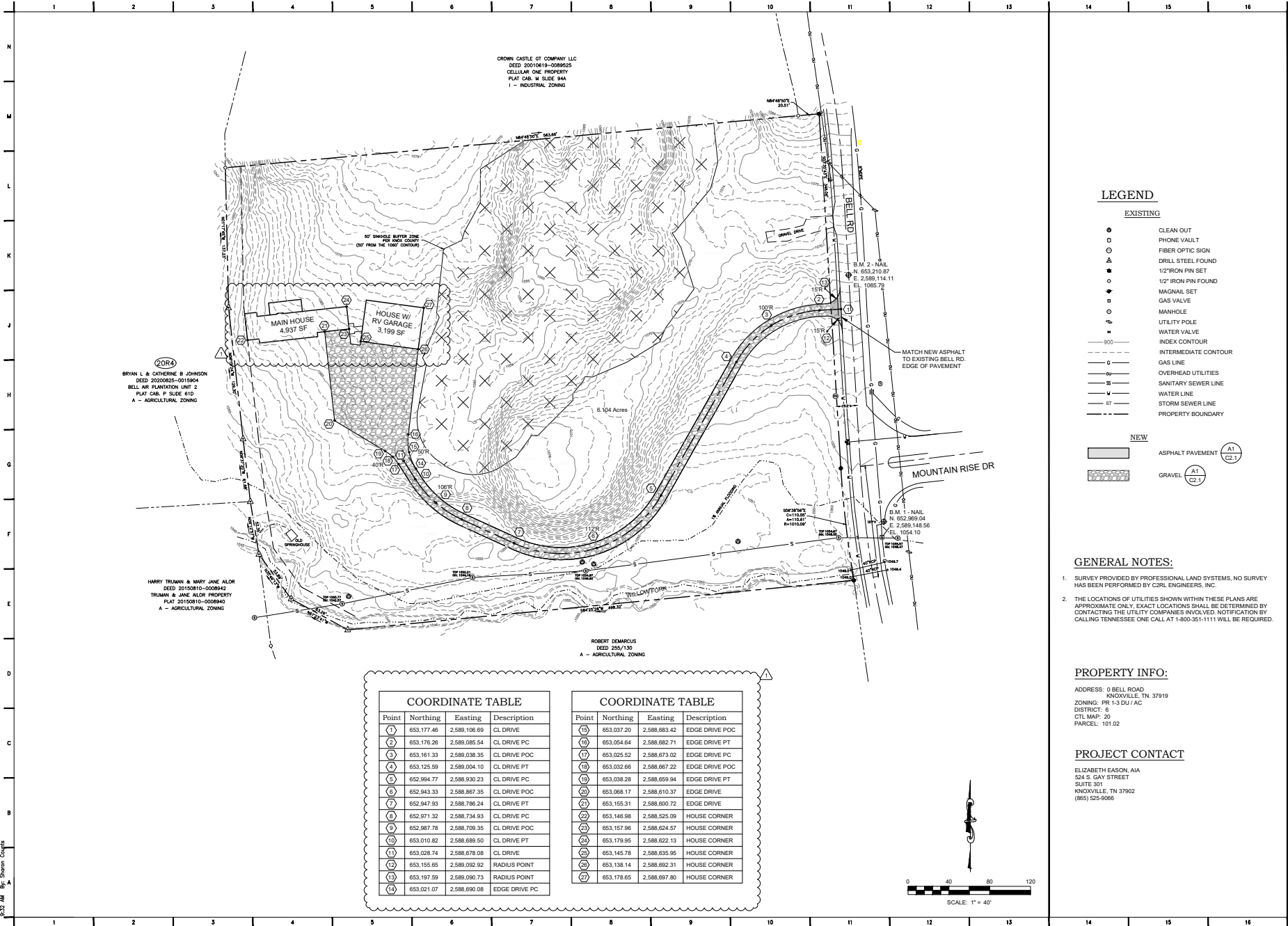
CONTEXTUAL MAPS 1

7-F-24-DP



Case boundary





LEGEND

EXISTING

- CLEAN OUT
- PHONE VAULT
- FIBER OPTIC SIGN
- △ DRILL STEEL FOUND
- 1/2" IRON PIN SET
- 1/2" IRON PIN FOUND
- MAGNAIL SET
- GAS VALVE
- MANHOLE
- UTILITY POLE
- WATER VALVE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- GAS LINE
- OVERHEAD UTILITIES
- SANITARY SEWER LINE
- WATER LINE
- STORM SEWER LINE
- PROPERTY BOUNDARY

NEW

- ASPHALT PAVEMENT
- GRAVEL

GENERAL NOTES:

- SURVEY PROVIDED BY PROFESSIONAL LAND SYSTEMS, NO SURVEY HAS BEEN PERFORMED BY C2RL ENGINEERS, INC.
- THE LOCATIONS OF UTILITIES SHOWN WITHIN THESE PLANS ARE APPROXIMATE ONLY. EXACT LOCATIONS SHALL BE DETERMINED BY CONTACTING THE UTILITY COMPANIES INVOLVED. NOTIFICATION BY CALLING TENNESSEE ONE CALL AT 1-800-351-1111 WILL BE REQUIRED.

PROPERTY INFO:

ADDRESS: 0 BELL ROAD
KNOXVILLE, TN 37919
ZONING: PR 1-3 DU / AC
DISTRICT: 6
CTL MAP: 20
PARCEL: 101.02

PROJECT CONTACT

ELIZABETH EASON, AIA
524 S. GAY STREET
SUITE 301
KNOXVILLE, TN 37902
(865) 525-9066

C2RL, INC
Engineers
240 W. Beasler Street Acorn, TN 37701
Ph: (865) 980-3500

DATE:

6.25.24

REVISIONS:

City Comments

Rueters Home
Knoxville, Tennessee

Elizabeth Eason Architecture
Knoxville, Tennessee

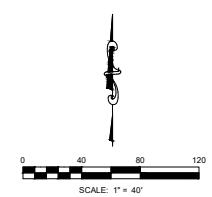
Site Layout Plan



JOB NO: 196.06
DATE: 4.24.23
DRAWN: TCC
CHECKED: JRW

C1.1

SHEET NO.



SHEET NO.

1. THE PURPOSE OF THIS EROSION CONTROL PLAN IS TO MINIMIZE EROSION AND PREVENT SEDIMENT FROM LEAVING THE SITE DURING CONSTRUCTION. THEREFORE, THE FOLLOWING EROSION CONTROL MEASURES, OR THE OWNER MAY REQUIRE CHANGES BE MADE TO THIS PLAN AT ANY TIME.
2. EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS AND THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
3. CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADES OR DENUDED AREAS.
4. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE (WHERE NEEDED) AND FUNCTIONAL, BEFORE THE DAYS WORK MAY BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED WHILE WORK IS PROGRESSING. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
5. PRE-CONSTRUCTION VEGETATIVE GRADING WORK SHALL NOT BE REMOVED OR DISTURBED. VEGETATION SHALL BE PROTECTED FROM WORK IN THAT AREA UNLESS THE AREA IS SEEDED OR MULCHED OR OTHER TEMPORARY COVER INSTALLED.
6. CLEARING AND GRUBBING MUST BE HELD TO THE MINIMUM AREA NECESSARY FOR INSTALLATION OF EROSION CONTROL MEASURES. EXISTING VEGETATION AT THE WORK AREA SHOULD BE PRESERVED TO THE MAXIMUM EXTENT FEASIBLE.
7. TEMPORARY SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE TEMPORARILY HALTED FOR PERIODS OF 30 DAYS OR LONGER. PERMANENT SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE COMPLETED AND CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA.
8. CONTRACTOR SHALL SEED ANY AREAS THAT SHOW SIGNS OF EXCESSIVE EROSION.
9. ALL SLOPES SHALL BE STABILIZED AS SOON AS THEY ARE AT FINISHED GRADE.
10. LITTER, CONSTRUCTION DEBRIS AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER SHALL BE PICKED UP PRIOR TO STORM DRAINAGE EVENTS. BEFORE BEING CARRIED OFF SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
11. PLACEMENT OF PORT-A-POTTIES ON THE PROJECT SHALL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS OR STORM DRAINS.
12. A STORAGE AREA FOR CONSTRUCTION RELATED MATERIALS MUST BE COORDINATED ON SITE WITH THE OWNER. THE OWNER WILL NEED TO HAVE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES IN PLACE TO PREVENT MATERIALS FROM BEING SPILLED OR OVER THE SITE A TRASH RECEPTACLE WITH A LID IS REQUIRED ON SITE. THESE STORAGE AREAS AND RECEPTACLES SHALL BE PROPERLY MAINTAINED AND CLEANED OF DEBRIS AND MATERIALS THROUGHOUT CONSTRUCTION.
13. AFTER USE, MATERIALS USED FOR EROSION PREVENTION AND SEDIMENT CONTROL (SUCH AS SILT FENCE) SHOULD BE REMOVED OR OTHERWISE SEPARATED FROM RECORDS OF POLLUTANT SOURCE.
14. SEDIMENT SHOULD BE REMOVED FROM SILT FENCES AND OTHER SEDIMENT CONTROLS ONCE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
15. IF SEDIMENT ENCASES CONSTRUCTION AREA, OFF SITE ACCUMULATIONS OF SEDIMENT THAT REACHES ASTRAY FROM THE CONSTRUCTION AREA AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS, CONTRACTORS SHALL NOT INITIATE REMEDIATION/RESTORATION OF A STREAM WITHOUT CONSULTING THE FIRST. ABANDONMENT CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED WITH THE ADJOINING PROPERTY OWNER.
16. A RAIN GAUGE SHALL BE MAINTAINED ON SITE OR A REFERENCE SITE IS TO BE USED FOR RECORDING DATA. RAINFALL AMOUNTS, THIS DATA MUST BE RECORDED AND KEPT ON SITE.
17. THE FOLLOWING RECORDS MUST BE KEPT AT OR NEAR THE WORK AREA:
 - A. THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR
 - B. THE DATES WHEN CONSTRUCTION ACTIVITIES BEGIN, TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE
 - C. THE DATES WHEN STABILIZATION MEASURES ARE INITIATED
 - D. TWICE WEEKLY AND OTHER INSPECTION RECORDS
 - E. RAINFALL RECORDS
18. A COPY OF THE SWPPP SHALL BE KEPT ON SITE IN A LOCATION COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER AND BE AVAILABLE TO CONSULT AT ALL TIMES.

1. SURVEY PROVIDED BY PROFESSIONAL LAND SYSTEMS, NO SURVEY HAS BEEN PERFORMED BY CRL ENGINEERS, INC.
2. THE LOCATIONS OF UTILITIES SHOWN WITHIN THESE PLANS ARE APPROXIMATE ONLY. EXACT LOCATIONS SHALL BE DETERMINED BY THE UTILITY COMPANY. THE UTILITY COMPANY SHALL BE NOTIFIED BY CALLING TENNESSEE ONE CALL AT 1-800-351-1111 WILL BE REQUIRED.
3. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR STORMWATER MANAGEMENT MEASURES SHALL BE PROVIDED TO PREVENT EROSION AND SEDIMENT TRANSPORT, DAMAGE TO ADJACENT PROPERTY AND/OR THE ADJACENT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AND/OR MAINTENANCE. THE RESPONSIBILITY OF THE PROPERTY OWNER AND THE CONTRACTOR.
4. EROSION PREVENTION AND SEDIMENT CONTROL, BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS AND THE TENSAR EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
5. EROSION PREVENTION AND SEDIMENT CONTROL AND OTHER MEASURES FOR THE CONTROL OF CONSTRUCTION RELATED WASTES SHALL BE IN ACCORDANCE WITH THE TENSAR CONSTRUCTION WASTE PREVENTION PLAN.

C2RL, INC
engineers

240 W. Bessemer Street, Alcoa, TN, 37701
Ph. (865) 980-3500

Rueters Home
Halls, Tennessee

Elizabeth Eason Architecture
Knoxville, Tennessee

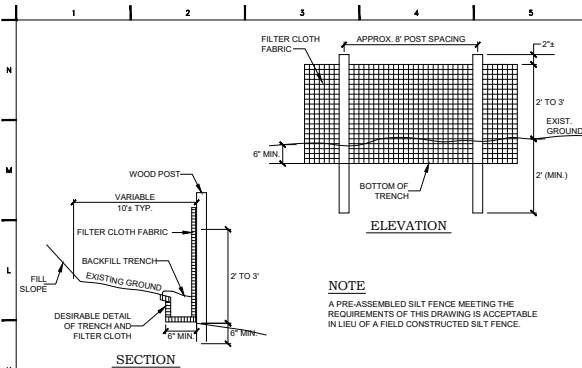
Erosion & Sediment Control Plan - Final



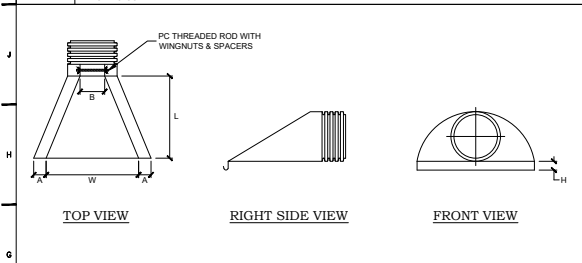
DB NO: 196.06
DATE: 4.24.23
RAWN: SLC
CHECKED: JRW

C1.4

SET NO.



K1 SILT FENCE (TEMPORARY)
NOT TO SCALE

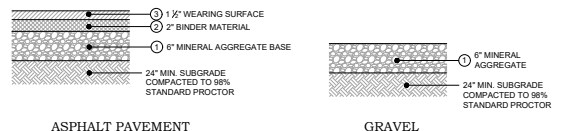


PIPE SIZE	A	B (MAX.)	H	L	W
12" Ø	6.5"	10"	6.5"	25"	29"
15" Ø	6.5"	10"	6.5"	25"	29"
18" Ø	7.5"	15"	6.5"	32"	35"

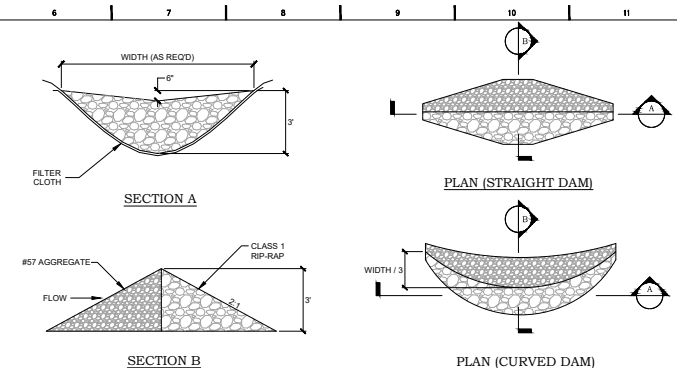
F1 FLARED END SECTION
NOT TO SCALE

PAVEMENT SCHEDULE	
①	MINERAL AGGREGATE BASE - TDOT STANDARD SPECIFICATION SECTION 303 MINERAL AGGREGATE, TYPE "A" BASE, GRADING D
②	BINDER MATERIAL - TDOT STANDARD SPECIFICATION SECTION 307 BITUMINOUS PLANT MIX BASE (HOT MIX) GRADING "B-M2" ASPHALTIC CEMENT FOR BITUMINOUS PLANT MIX (PG64-22)
③	WEARING SURFACE MATERIAL - TDOT STANDARD SPECIFICATION SECTION 307 ASPHALTIC CONCRETE SURFACE (HOT MIX) GRADING "C" ASPHALTIC CEMENT FOR ASPHALTIC CONCRETE SURFACE (PG64-22)

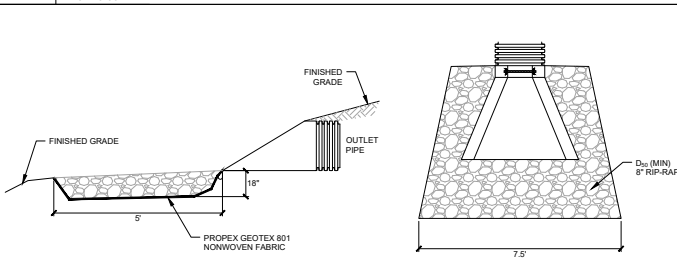
NOTE
SEE TDOT SPECIFICATION SECTION REFERENCED IN PAVEMENT SCHEDULE FOR MATERIAL AND INSTALLATION REQUIREMENTS.



A1 PAVEMENT SECTIONS
NOT TO SCALE



K6 ROCK CHECK DAM (TEMPORARY)
NOT TO SCALE



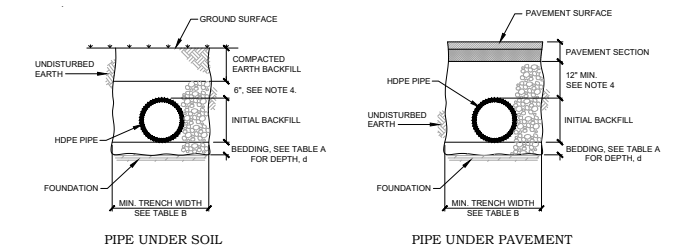
F6 OUTLET PROTECTION - FLARED END
NOT TO SCALE

NOTES

- FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF TDOT CLASS A, GRADING D MATERIAL, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER. THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
- BEDDING:** MATERIAL USED SHALL BE CRUSHED STONE MEETING THE REQUIREMENTS OF TDOTSS, 2021, SECTION 903, GRADING SIZE #57 OR #67.
- INITIAL BACKFILL:** MATERIAL USED SHALL MEET REQUIREMENTS OF TDOT CLASS A, GRADING D.
- BACKFILL:** MATERIAL UNDER PAVEMENT SHALL BE CRUSHED STONE, CLASS A AGGREGATE GRADING D, AS SPECIFIED IN SUBSECTION 903.05 OF THE TDOTSS, 2021.

TABLE A	
PIPE DIAM.	d (MIN.)
12" - 24"	4"
30" - 60"	6"

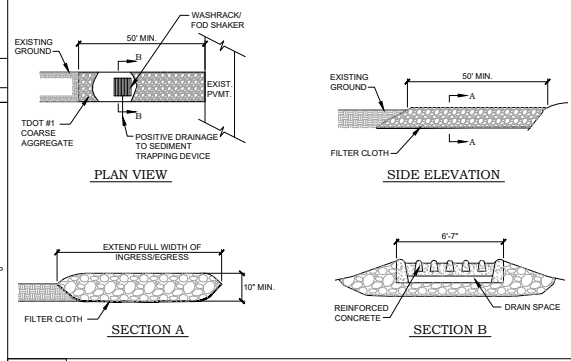
TABLE B	
PIPE DIAM.	MIN. TRENCH WIDTH
15"	34"
18"	39"
24"	48"



A6 PIPE BEDDING (HDPE)
NOT TO SCALE

NOTES

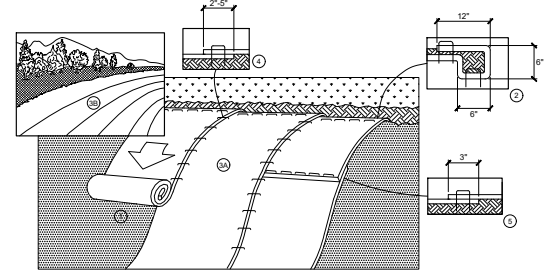
- CONTRACTOR TO COORDINATE LOCATION OF CONSTRUCTION ENTRANCE WITH OWNER.
- WASH RACK ONLY REQUIRED WHEN CONSTRUCTION ENTRANCE ALONE HAS PROVEN INEFFECTIVE AT PREVENTING SEDIMENT TRACKING ONTO LOCAL ROADS.
- CONTRACTOR SHALL CLEAR THE AREA WHERE THE CONSTRUCTION ENTRANCE IS TO BE PLACED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
- CONSTRUCTION ENTRANCE SHALL BE FORMED BY PLACING 2" - 3" STONE IN A MINIMUM 10' LAYER.
- CONSTRUCTION ENTRANCE SHALL COVER THE ENTIRE WIDTH OF SITE INGRESS AND EGRESS.
- CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A MANNER TO PREVENT GRAVEL FROM ENTERING ROADWAYS UNTIL A PERMANENT ACCESS DRIVE IS CONSTRUCTED.
- STONE SHALL BE OVERLAIN AS NECESSARY WITH NEW STONE TO ENSURE THAT SEDIMENT IS NOT TRANSPORTED OFF SITE.
- WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY OR MORE OFTEN IF DEEMED NECESSARY.
- SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A SEDIMENT-CONTROLLED DISPOSAL AREA.



G12 CONSTRUCTION ENTRANCE / EXIT (TEMPORARY)
NOT TO SCALE

SLOPE INSTALLATION NOTES

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING/APPLY SEED TO THE COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OF (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" OVERLAP DEPENDING ON BLANKET TYPE.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- IN LOOSE SOIL CONDITIONS THE USE OF STAPLE OR STAKE LENGTH GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.



A12 EROSION CONTROL BLANKETS (SLOPES)
NOT TO SCALE

RUETER HOME

0 BELL ROAD | KNOXVILLE, TN 37918

CONTACT INFORMATION

OWNER

BRADLEY AND AMANDA RUETER
300 OWNER STREET
CITY: ST. JOHNS

CONTACT: Bradley and Amanda Rueter
PHONE: (555) 555-5555
E-MAIL: a2bproperties@gmail.com

CONTRACTOR

PARKS ICF LLC
PO BOX 10081
KNOXVILLE, TN 37939

CONTACT: Charles Parks
PHONE: (865) 856-2365
E-MAIL: charles@parksicf.com

ARCHITECT

ELIZABETH EASON ARCHITECTURE, LLC
524 SOUTH GAY STREET, SUITE 301
KNOXVILLE, TN 37902

CONTACT: Elizabeth Eason
PHONE: (865) 525-4066
E-MAIL: ee@eetah.com

CIVIL ENGINEER

CZL ENGINEERS INC
240 W REISNER STREET
ALCOA TN 37701
CONTACT: Russ Whitaker
PHONE: (865) 980-3000
E-MAIL: rwhitake@CZL.com

STRUCTURAL ENGINEER

MALLA ENGINEERING CO
1527 WHITE AVENUE
KNOXVILLE, TN 37916

CONTACT: Maurice Malla
PHONE: (865) 637-3224
E-MAIL: mmalla@mallaeng.biz

ABBREVIATIONS

ACT ACOUSTICAL CEILING TILE
AFF ABOVE FINISHED FLOOR
ALUM ALUMINUM
ARCH ARCHITECTURE, ARCHITECTURAL
AWING AWING
BO BOARD
BM BEAM
BTM BOTTOM
BTW BETWEEN
C TO C CENTER TO CENTER
CP CAST-IN-PLACE
CJ CONTROL JOINT
CMU CONCRETE MASONRY UNIT
CPT CARPET
CO CASED OPENING
COL COLUMN
CONC CONCRETE
CONT CONTINUOUS
CONTR CONTRACTOR
CSMT CEMENT
CT CERAMIC TILE
CTR CENTER

DEMO DEMOLITION
DN DOWN
DR DRAIN
DS DOWN SPOUT
EA EACH
EJ EXPANSION JOINT
EL ELEVATION
ELIC ELECTRICAL
EQ EQUAL
EQIP EQUIPMENT
EXT EXTERIOR
EXTST EXISTING
FC FIBER CEMENT
FE FIRE EXTINGUISHER
FFE FINISH FLOOR ELEVATION
FIN FINISH FINISHED
FL TO FL FLOOR TO FLOOR
FO FACE OF
FURN FURNITURE
GA GAUGE
GALV GALVANIZED
GYB GYPSUM BOARD
GYR-MR MOISTURE RESISTANT GYPSUM BOARD

HB HOSE BIBB
HD HUB DRAIN
HDWD HARDWOOD
HM HOLLOW METAL
HORIZ HORIZONTAL
INSUL INSULATION
INST INSTRUCTIONS
INT INTERIOR
JT JOINT
LAM LAMINATE
LIN LINEUM
LTL LITTLE

MAX MAXIMUM
MECH MECHANICAL
MFR MANUFACTURER
MIN MINIMUM
MO MASONRY OPENING
MTL METAL
NIC NOT IN CONTRACT
NTS NOT TO SCALE
OC ON CENTER
OH OPPOSITE HAND
PC PRECAST
PNT PAINT
PREMFD PREMANUFACTURED
PT PRESSURE TREATED

R&S ROD & SHELF
RENF REINFORCED, REINFORCING
RD ROOF DRAIN
RO ROUGH OPENING

SM SIMILAR
SPEC(S) SPECIFICATION(S)
STRUCT STRUCTURAL

T&G TONGUE & GROOVE
TEMP TEMPERED
TOS TOP OF STEEL
TOP TOP OF WALL
TYP TYPICAL
UNO UNLESS NOTED OTHERWISE

VERT VERTICAL
VF VERIFY IN FIELD
VOC VOLATILE ORGANIC COMPOUND
W WITH
WC WATER CLOSET
WD WOOD
WH WATER HEATER
WWF WELDED WIRE FABRIC

XPS EXTRUDED POLYSTYRENE
C CENTERLINE
D DIAMETER

DRAWING INDEX

G001 COVER SHEET
C1.1 GML SITE PLAN
C1.2 GRADING AND DRAINAGE PLAN
C1.3 EROSION CONTROL PLAN - INITIAL
C1.4 EROSION CONTROL PLAN - FINAL
C2.1 DETAILS
S100 STRUCTURAL
S101 STRUCTURAL NOTES & SPECIAL INSPECTIONS
S102 FOUNDATION/BASEMENT PLAN
S103 MAIN FLOOR FRAMING PLAN
S104 UPPER FLOOR FRAMING PLAN
S105 ROOF FRAMING PLAN
S106 FOUNDATION/BASEMENT PLAN (MARK'S)
S107 MAIN FLOOR FRAMING (MARK'S)
S201 ROOF FRAMING PLAN (MARK'S)
S202 EXTERIOR ELEVATIONS
S301 EXTERIOR ELEVATIONS (MARK'S)
S302 DETAILS AND SECTIONS
S303 DETAILS AND SECTIONS
S304 DETAILS AND SECTIONS
A001 ARCHITECTURE
A01 LOWER LEVEL FLOOR PLAN
A101 MAIN LEVEL FLOOR PLAN
A102 UPPER LEVEL FLOOR PLAN
A103 LOWER LEVEL FLOOR PLAN (MARK'S)
A104 UPPER LEVEL FLOOR PLAN (MARK'S)
A201 EXTERIOR ELEVATIONS
A202 EXTERIOR ELEVATIONS
A203 EXTERIOR ELEVATIONS (MARK'S)
A301 BUILDING SECTIONS
A401 WALL SECTIONS
A402 STAR SECTIONS AND ENLARGED PLAN
A500 LOWER LEVEL CEILING PLAN & POWER PLAN
A501 MAIN LEVEL CEILING PLAN & POWER PLAN
A502 UPPER LEVEL CEILING PLAN & POWER PLAN
A503 LOWER LEVEL CEILING PLAN & POWER PLAN (MARK'S)
A504 UPPER LEVEL CEILING PLAN & POWER PLAN (MARK'S)
A600 INTERIOR PLANS & ELEVATIONS
A601 INTERIOR PLANS & ELEVATIONS
A602 ENLARGED BATHROOM PLANS & ELEVATIONS
A603 ENLARGED PLANS AND ELEVATIONS
A605 INTERIOR ELEVATIONS (MARK'S)
A606 ENLARGED BATHROOM PLANS & ELEVATIONS (MARK'S)
A900 SCHEDULES

PROJECT SCOPE

NEW CONSTRUCTION OF A MAIN HOME WITH TWO LEVELS PLUS A BASEMENT. NEW CONSTRUCTION OF A FREE STANDING GARAGE WITH A DWELLING UNIT ABOVE. ASSOCIATED SITE WORK FOR NEW DRIVEWAY AND UTILITIES.

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL CODES, ORDINANCES, AMENDMENTS, AND COVENANTS.
- ALL DIMENSIONS SHOULD BE READ OR CALCULATED. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE THE FACE OF STUD OR FACE OF JOINT UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED REFERENCE (REF) OR VERIFY IN FIELD (VF) SHALL NOT BE UTILIZED FOR LAYOUT. NOTIFY ARCHITECT PRIOR TO PROCEEDING IF SUCH DIMENSIONS VARY FROM ACTUAL CONDITIONS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING. CONTRACTOR IS RESPONSIBLE FOR CONDITIONS THAT ARE NOT REPORTED.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- OWNER WILL PROVIDE WORK NOTED BY OTHERS OR NIC UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- PROTECT AREAS OF WORK AND ADJACENT AREAS FROM DAMAGE.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH UNLESS OTHERWISE NOTED.
- ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES.

PROJECT CLASSIFICATION

APPLICABLE CODES
2018 INTERNATIONAL RESIDENTIAL BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
ZONING ORDINANCE
THE ZONING ORDINANCE OF KNOX COUNTY, TENNESSEE

PARCEL & ZONING INFORMATION

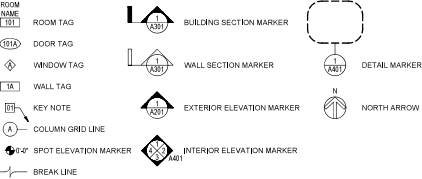
ADDRESS: 0 BELL ROAD
KNOXVILLE TN 37918
ZONING: PR 1-3 DUAC
DISTRICT: 6
CLT MAP: 20
PARCEL: 101.02

DEVELOPMENT PLAN 6-23-OP APPROVED 4240203



LOCATION MAP NOT TO SCALE

SYMBOLS



524 S. Gay St., Suite 301
Knoxville, TN 37902
T 865.525.4066 F 865.525.2277
email: info@EEArchitecture.com



RUETER HOME

BELL ROAD | KNOXVILLE, TN 37918

ISSUE:

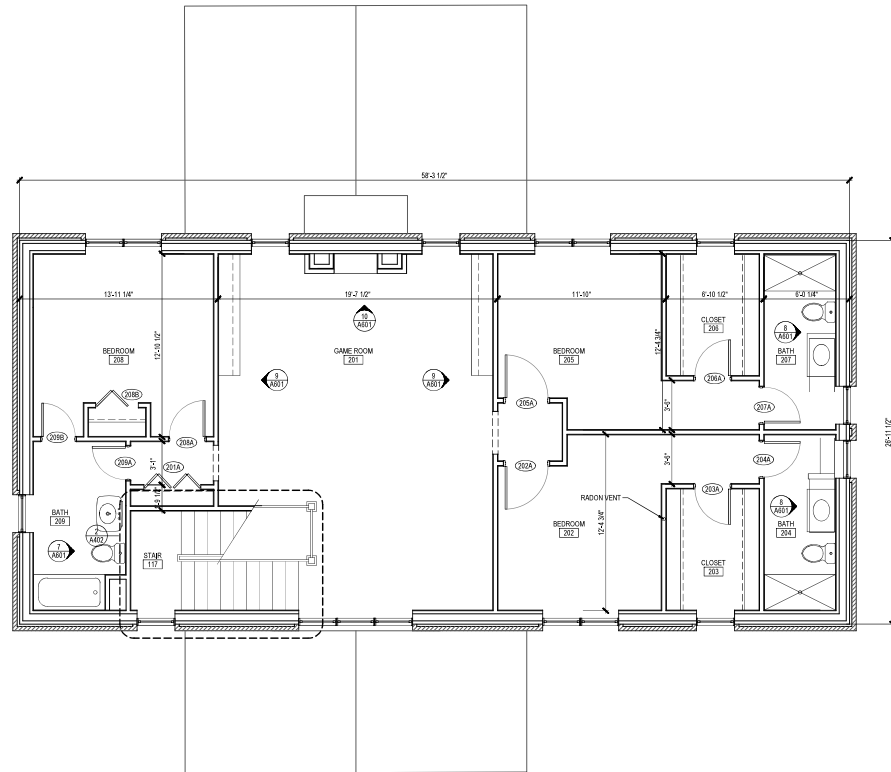
07.21.2023 ISSUE FOR CONSTRUCTION

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COVER SHEET

G 001

Project Number 190105



UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

**ELIZABETH RASON
ARCHITECTURE LLC**

624 S. Gay St., Suite 301
Knoxville, TN 37902
t 865.525.9086 f 865.525.2277
email: info@ERArchitecture.com



RUETER HOME

BELL ROAD | KNOXVILLE, TN 37916

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**UPPER LEVEL
FLOOR PLAN**

A 102

Project Number 190105



024 S. Gay St., Suite 301
Knoxville, TN 37902
t 865.525.9086 f 865.525.2277
email: info@EMArchitecture.com



RUETER HOME

BELL ROAD | KNOXVILLE, TN 37916

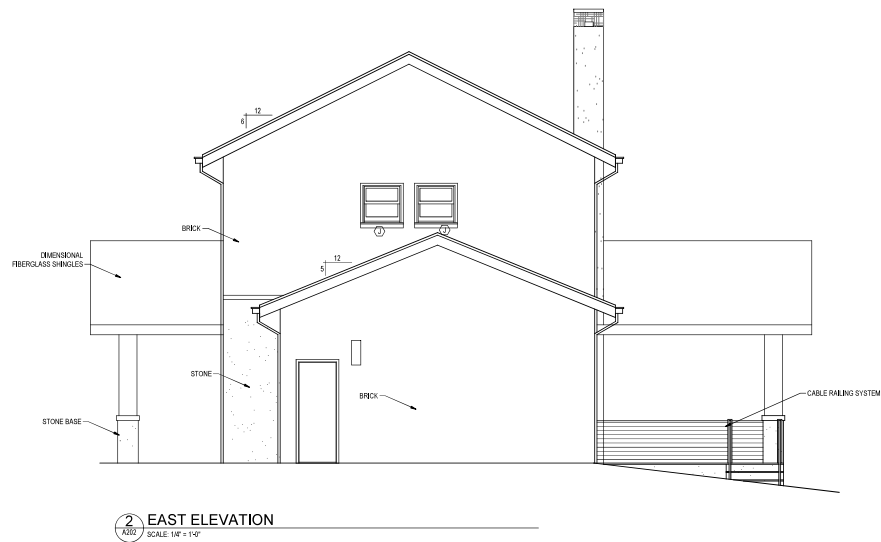
ISSUE:
07/21/2023 ISSUE FOR CONSTRUCTION

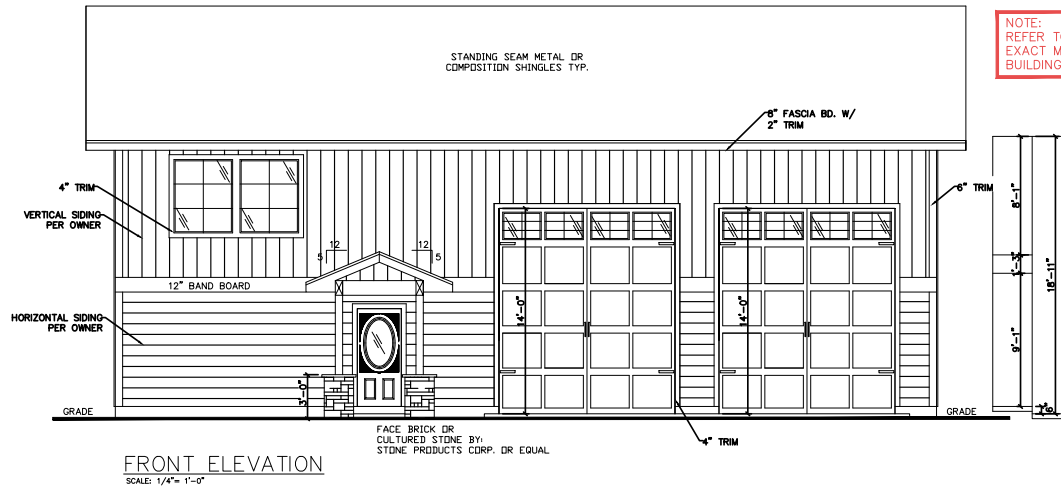
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EXTERIOR
ELEVATIONS

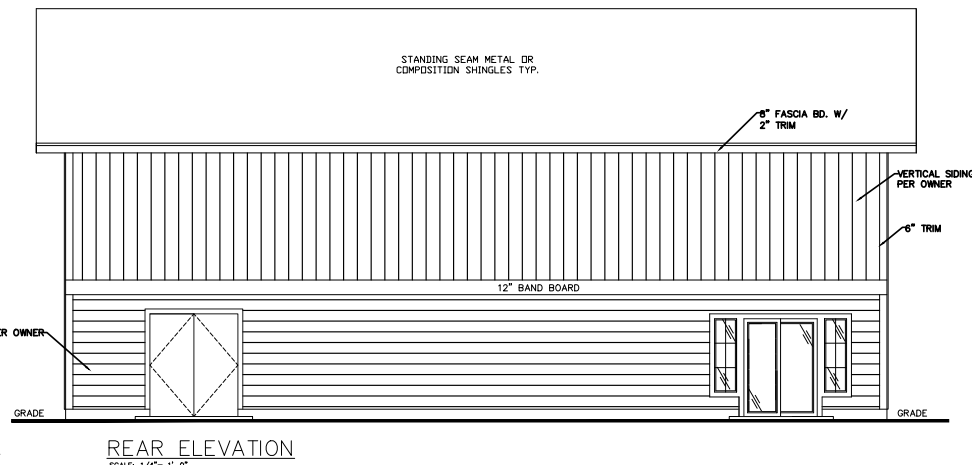
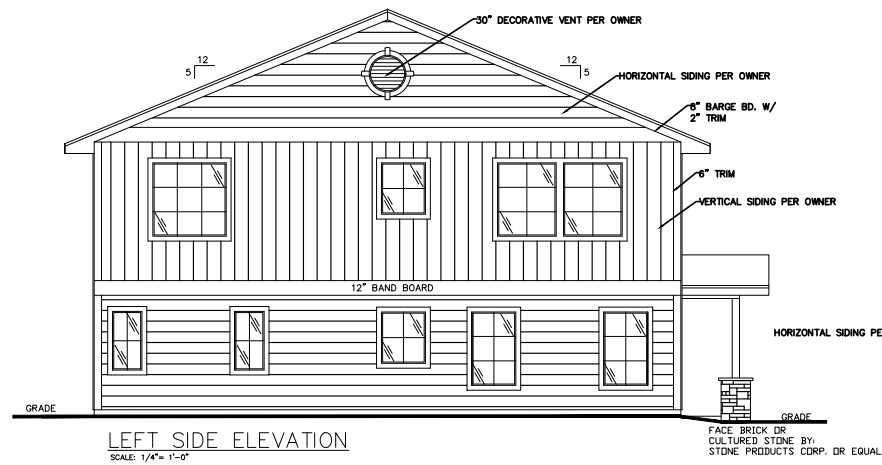
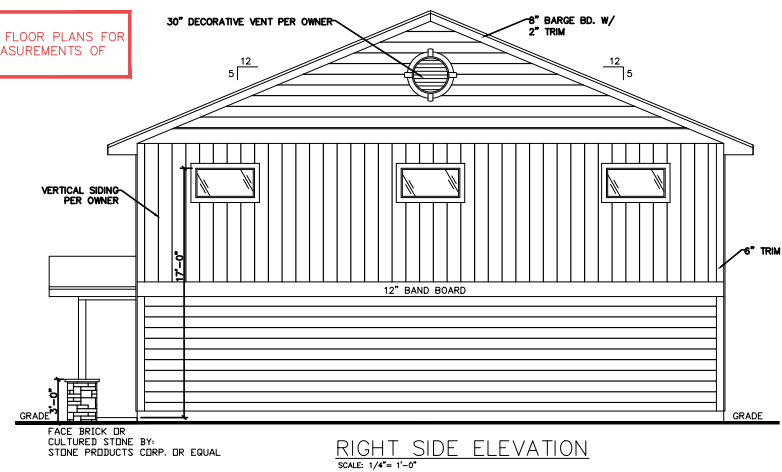
A 202

Project Number 190105





NOTE:
REFER TO FLOOR PLANS FOR
EXACT MEASUREMENTS OF
BUILDING



"THESE PLANS AND THEIR ENTIRE CONTENT WERE
DESIGNED BY "GREAT HOUSE DESIGN"
TIPTON HOME DESIGNS, LLC WAS HIRED TO REVISE
SAID PLANS PER THE CLIENT'S REQUEST. THE
CLIENT WAS GIVEN PERMISSION BY HOUSE PLAN
COMPANY TO BUY AND MODIFY PLANS. TIPTON
HOME DESIGNS IS TO BE HELD HARMLESS FOR ANY
MISCOMMUNICATION OR UNLAWFULNESS
BETWEEN THE CLIENT AND HOUSE GREAT HOUSE
DESIGN, AS WELL AS ANY BUILDING
DISCREPANCIES OR ERRORS ON PLANS THAT MAY
OCCUR



2244 SPENCE PLACE KNOXVILLE, TN 37920
(865)356-4498
tim@tiptonhomedesigns.com

REVISIONS MADE TO PLANS ON 11/24/23

NOTES:

- 1) ALL ROOF AND SITE WATER TO DRAIN TO STREET
OR TO AN APPROVED DRY-WELL SYSTEM
- 2) ALL NAILING TO BE IN COMPLIANCE W/ 2018 I.R.C.
- 3) SHEARWALL NAILING TO BE: 4"D.C. ON EDGE
8"D.C. IN FIELD
- 4) EXPOSED PLYWOOD AT ROOF OVERHANG TO BE
CC-X OR BETTER.

PH # (877) 238-7056 E-MAIL - info@greathousedesign.com (Copyright Great House Design)

"IF YOU CAN DREAM IT, WE CAN DESIGN IT."

Date	
Scale	1/4"=1'-0"
Drawn	ARP
Job	4215
Sheet	1
Of	9 Sheets

REVISIONS	BY
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A NEW HOME FOR:
BRADLEY & AMANDA REUTER

Great House Design
Spokane, Washington
www.greathousedesign.com

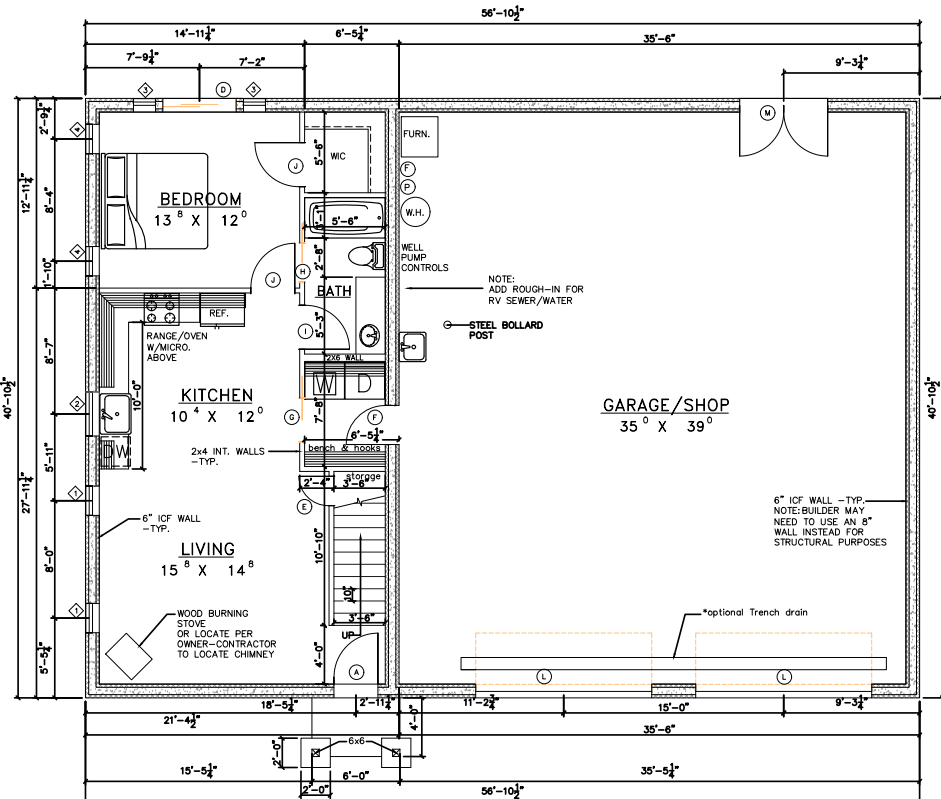
ELEVATIONS
"IF YOU CAN DREAM IT, WE CAN DESIGN IT."



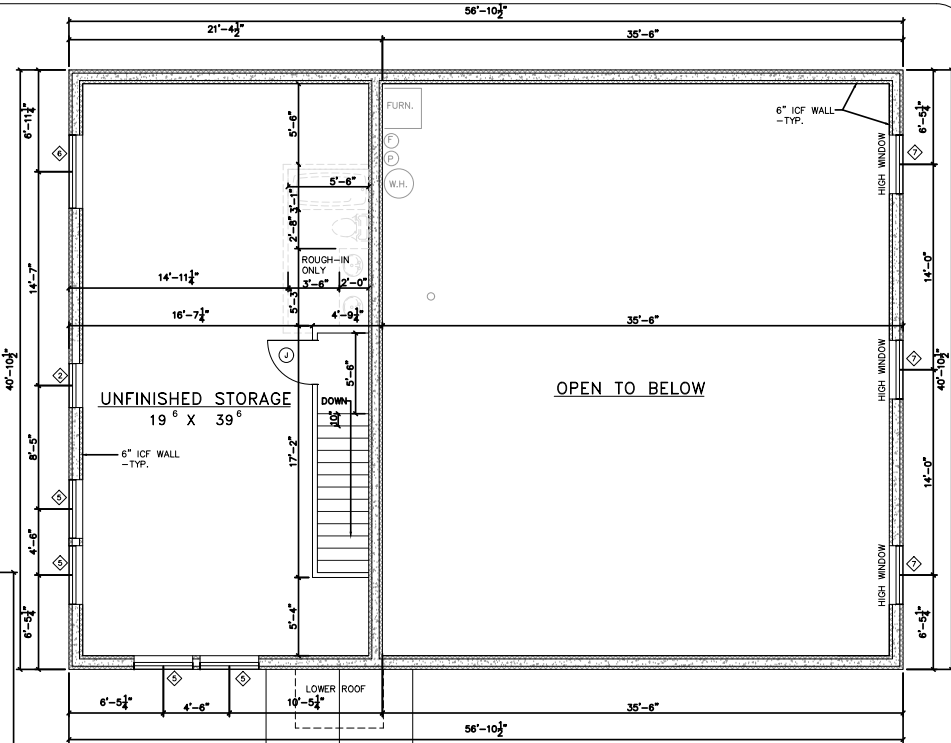
2018 ENERGY CODE PRESCRIPTIVE REQUIREMENTS FOR GROUP R OCCUPANCY CLIMATE ZONE 5											
OPTION	CLIMATE ZONE	MINIMUM U-VALUE	MINIMUM R-VALUE	MINIMUM U-VALUE	MINIMUM R-VALUE	MINIMUM U-VALUE	MINIMUM R-VALUE	MINIMUM U-VALUE	MINIMUM R-VALUE	MINIMUM U-VALUE	MINIMUM R-VALUE
I	RES	0.09	1.90	0.09	1.90	0.09	1.90	0.09	1.90	0.09	1.90
II	RES	0.09	1.90	0.09	1.90	0.09	1.90	0.09	1.90	0.09	1.90
III	RES	0.09	1.90	0.09	1.90	0.09	1.90	0.09	1.90	0.09	1.90
IV	UNLIMITED	0.09	1.90	0.09	1.90	0.09	1.90	0.09	1.90	0.09	1.90

WINDOW SCHEDULE									
SYM	SIZE	MANUF	MAT	GLAZING	OPER	QUAN	REMARKS		
W1	2050	CHW/W	CHW/W	CHW/W	FIXED	2			
W2	3036	CHW/W	CHW/W	CHW/W	SLIDING	2			
W3	1650	CHW/W	CHW/W	CHW/W	FIXED	2			
W4	2040	CHW/W	CHW/W	CHW/W	SLIDING	2			
W5	4050	CHW/W	CHW/W	CHW/W	SLIDING	4			
W6	5050	CHW/W	CHW/W	CHW/W	SLIDING	1			
W7	4020	CHW/W	CHW/W	CHW/W	FIXED	3			

DOOR SCHEDULE									
SYM	SIZE	CORE	MAT	HW/WRE	FINISH	QUAN	REMARKS		
D1	3068	FF	CHW/W	BOLTS	CHW/W	1	ENTRY		
D2	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D3	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D4	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D5	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D6	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D7	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D8	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D9	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D10	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D11	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D12	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D13	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D14	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D15	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D16	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D17	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D18	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D19	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		
D20	3068	HC	CHW/W	BOLTS	CHW/W	1	ENTRY		



MAIN LEVEL FLOOR PLAN



UPPER LEVEL FLOOR PLAN

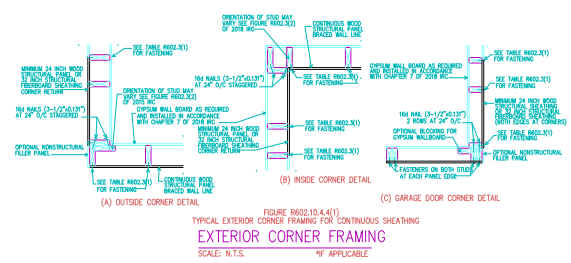


TABLE R602.10.5.2 PARTIAL CREDIT FOR BRACED WALL PANELS LESS THAN 48 INCHES IN ACTUAL LENGTH

ACTUAL LENGTH OF BRACED WALL PANEL (Inches)	CONTRIBUTING LENGTH OF BRACED WALL PANEL (Inches)	
48	8-foot Wall Height	9-foot Wall Height
42	36	48
36	27	n/a

For S1: 1 inch = 25.4 mm, 1 foot = 304.8 mm.
N/A = Not Applicable.
a. Linear Interpolation shall be permitted.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS PER IRC TABLE 602.3(1) & 602.3(2)	
CS-WSP	7/16" OSB SHEATED BRACED WALL PANEL FASTENED W/ 6d NAILS @ 6" O.C. ALONG SHEET EDGES & 12" O.C. ALONG INTERMEDIATE STUDS.
CS-WSP	7/16" OSB SHEATED BRACED WALL PANEL FASTENED W/ 1-1/4" SCREWS @ 6" O.C. ALONG SHEET EDGES & 12" O.C. ALONG INTERMEDIATE STUDS.
CS-WSP	1/2" GYPSUM BOARD BRACED WALL PANEL FASTENED W/ 1-1/4" SCREWS @ 6" O.C. ALONG SHEET EDGES & 12" O.C. ALONG INTERMEDIATE STUDS.
BRACED WALL DESIGNATIONS BASED ON THE 2015 IRC AND SEISMIC DESIGN CATEGORY A, B or C	
TYPE	BRACED WALL LENGTH REQUIREMENTS
GB	BRACED WALL PANEL CONSTRUCTED IN ACCORDANCE WITH IRC SECTION R602.10.1, GYPSUM WALLBOARD SHALL BE A MINIMUM OF 96" LONG WHEN APPLIED TO ONE FACE AND 48" LONG WHEN APPLIED TO BOTH FACES.
CS-WSP	CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING IN ACCORDANCE WITH IRC SECTION R602.10.5.2 SHEATHING APPLIED TO ENTIRE FACE OF WALL WITH MINIMUM PER LENGTHS IN ACCORDANCE WITH TABLE R602.10.4.

SQUARE FOOTAGE

MAIN LEVEL	874 SQ. FT.
UNFIN. STOR.	874 SQ. FT.
GARAGE/SHOP	1451 SQ. FT.
TOTAL	3199 SQ. FT.

REVISIONS	BY
-----------	----

A NEW HOME FOR:
BRADLEY & AMANDA REUTER

Great House Design
Spokane, Washington
www.greathousedesign.com

IF YOU CAN DREAM IT, WE CAN DESIGN IT.
MAIN AND UPPER LEVEL FLOOR PLAN
IF YOU CAN DREAM IT, WE CAN DESIGN IT.



Date	
Scale	1/4"=1'-0"
Drawn	GPH
Job	4215
Sheet	2
Of	9 Sheets



Development Request

DEVELOPMENT

- ☒ Development Plan
☐ Planned Development
☐ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Rezoning
☐ Plan Amendment
☐ Sector Plan
☐ City OYP / County Comp Plan

Ron Whittaker

Applicant Name

Affiliation

5/28/2024

Date Filed

7/11/2024

Meeting Date (if applicable)

7-F-24-DP

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Ron Whittaker C2RL Engineers, Inc.

Name / Company

240 W Bessemer St Alcoa TN 37701

Address

865-980-3500 / rwhittaker@c2rl.com

Phone / Email

CURRENT PROPERTY INFO

Bradley & Amanda Rueter

Owner Name (if different)

6864 Fraker Rd Knoxville TN 37918

Owner Address

Owner Phone / Email

7707 BELL RD / 7709 Bell Rd

Property Address

20 101.02

Parcel ID

Part of Parcel (Y/N)?

6.1 acres

Tract Size

Hallsdale-Powell Utility District

Sewer Provider

Hallsdale-Powell Utility District

Water Provider

Septic (Y/N)

STAFF USE ONLY

West side of Bell Rd and Mountain Rise Dr intersection

General Location

☐ City Commission District 7 PR (Planned Residential) up to 3 du/ac

☒ County District Zoning District

Agriculture/Forestry/Vacant Land

Existing Land Use

North County RC (Rural Conservation), SP (Stream Protection)

Planning Sector Land Use (City)/Place Type (County)

Planned Growth Area

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input checked="" type="checkbox"/> Development Plan	<input type="checkbox"/> Planned Development	<input type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA	<input type="checkbox"/> Residential	<input type="checkbox"/> Non-residential	
Home Occupation (specify) _____			
Other (specify) Garage apartment			

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment	Proposed Plan Designation(s)	

0.33 du/ac

Proposed Density (units/acre)	Previous Rezoning Requests
Additional Information	

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request
☐ Amendment Request (Comprehensive Plan)

ADDITIONAL REQUIREMENTS

☐ Use on Review / Special Use (Concept Plan)
☐ Traffic Impact Study
☐ COA Checklist (Hillside Protection)

Fee 1	Total
\$200.00	
Fee 2	
Fee 3	

AUTHORIZATION

☐ I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Ron Whittaker	5/28/2024
Applicant Signature	Date

Phone / Email

Bradley & Amanda Rueter	5/28/2024
Property Owner Signature	Date



Development Request

DEVELOPMENT

- ☐ Development Plan
- ☐ Planned Development
- ☐ Use on Review / Special Use
- ☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
- ☐ Final Plat

ZONING

- ☐ Plan Amendment
 - ☐ SP
 - ☐ PA
- ☐ Rezoning

Ron Whittaker		
Applicant Name		Affiliation
May 28, 2024	July 11, 2024	File Number(s)
Date Filed	Meeting Date (if applicable)	7-F-24-DP

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

<input type="checkbox"/> Applicant				<input type="checkbox"/> Property Owner	<input type="checkbox"/> Option Holder	<input type="checkbox"/> Project Surveyor	<input checked="" type="checkbox"/> Engineer	<input type="checkbox"/> Architect/Landscape Architect
Ron Whittaker		C2RL Engineers, Inc.						
Name		Company						
240 W. Bessemer Street		Alcoa	TN	37701				
Address		City	State	ZIP				
865-980-3500		rwhittaker@c2rl.com						
Phone		Email						

Bradley & Amanda Rueter		6864 Fraker Rd Knoxville, TN 37918		
Property Owner Name (if different)		Property Owner Address		Property Owner Phone
7707 & 7709 Bell Road		020 10102		
Property Address		Parcel ID		
Hallsdale-Powell	Hallsdale-Powell	N		
Sewer Provider	Water Provider	Septic (Y/N)		

STAFF USE ONLY		
General Location		Tract Size
<input type="checkbox"/> City	<input type="checkbox"/> County	
District	Zoning District	Existing Land Use
Planning Sector	Land Use / Place Type	Growth Policy Plan Designation
	CITY COUNTY	

DEVELOPMENT REQUEST

☐ Development Plan ☐ Use on Review / Special Use ☐ Hillside Protection COA

☒ Residential ☐ Non-Residential

Home Occupation (specify) **Primary Residences (2 Homes Proposed on Property)**

Other (specify) _____

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name

Unit / Phase Number ☐ Combine Parcels ☐ Divide Parcel

Total Number of Lots Created

☐ Other (specify) _____

☐ Attachments / Additional Requirements

Related Rezoning File Number

ZONING REQUEST

☐ Zoning Change

Proposed Zoning

☐ Plan Amendment Change

Proposed Plan Designation(s)

Pending Plat File Number

Proposed Density (units/acre)

Previous Rezoning Requests

☐ Other (specify) _____

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request

☐ Amendment Request (*Comprehensive Plan*)

ADDITIONAL REQUIREMENTS

☐ Use on Review / Special Use (*Concept Plan*)

☐ Traffic Impact Study

☐ COA Checklist (*Hillside Protection*)

Fee 1		Total \$200
0408	\$200	
Fee 2		
Fee 3		

AUTHORIZATION

☐ I declare under penalty of perjury the foregoing is true and correct:

1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent

Jerry R Whittaker Jr

Digitally signed by Jerry R Whittaker Jr.
DN: OU=Engineer, O=C2RL Engineers, Inc., CN=Jerry R Whittaker Jr., E=rwhittaker@c2rl.com
Reason: I am the author of this document
Date: 2024.05.28 10:43:02-0400
Full PDF Editor Version: 2023.12.0

Ron Whittaker

May 28, 2024

Applicant Signature

Please Print

Date

865-980-3500

rwhittaker@c2rl.com

Phone Number

Email

Bradley Rueter

Digitally signed by Bradley Rueter
Date: 2024.05.28 10:26:39 -05'00'

Bradley & Amanda Rueter

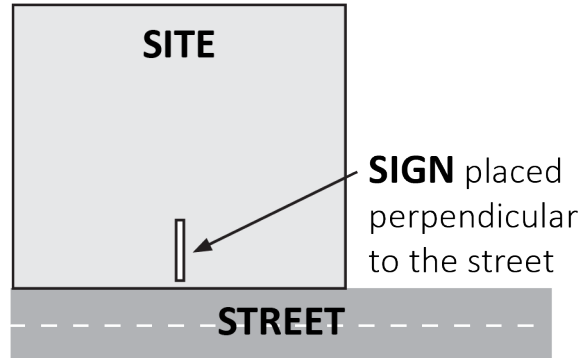
May 28, 2024

Property Owner Signature

Please Print

Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ and _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: _____

Date: _____

File Number: _____

☐

Sign posted by Staff

☐

Sign posted by Applicant