

DEVELOPMENT PLAN REPORT

► **FILE #:** 7-H-24-DP

AGENDA ITEM #: 29

AGENDA DATE: 7/11/2024

► **APPLICANT:** TIM WELLS

OWNER(S): Tim Wells

TAX ID NUMBER: 49 J D 004

[View map on KGIS](#)

JURISDICTION: County Commission District 8

STREET ADDRESS: 5283 FOUNTAINHEAD LN

► **LOCATION:** North of Fountainhead Ln, northwest of Lindsey Blair Ln

► **APPX. SIZE OF TRACT:** 5.84 acres

GROWTH POLICY PLAN: Urban Growth Area (Outside City Limits)

ACCESSIBILITY: Access is via Fountainhead Ln, a local street with 26 ft of pavement width within 50 ft of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Whites Creek

► **ZONING:** PR (Planned Residential) up to 5 du/ac

► **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

► **PROPOSED USE:** Detached residential subdivision

DENSITY PROPOSED: 0.69 du/ac

HISTORY OF ZONING: The property was rezoned to PR < 5 du/ac in 2002 (9-C-02-RZ)

SURROUNDING LAND USE AND ZONING: North: Rural residential, single family residential - RA (Low Density Residential), PR (Planned Residential) < 5 du/ac

South: Rural residential, agriculture/forestry/vacant land - RA (Low Density Residential), PR (Planned Residential) < 5 du/ac

East: Rural residential - RA (Low Density Residential)

West: Public-quasi public - INST (Institutional)

NEIGHBORHOOD CONTEXT: The subject property located to the rear of the Fountainhead Village Condominiums, located off of Tazewell Pike and adjacent to Shannondale Elementary. The area is developed with a mix of single family detached and attached houses.

STAFF RECOMMENDATION:

► **Approve the development plan for four (4) single-family residence as depicted on the site plan, subject to 4 conditions.**

- 1) Meeting all other applicable requirements of the Knox County Zoning Ordinance.
- 2) Meeting all requirements of the Knox County Department of Engineering and Public Works.
- 3) The properties shall not be used commercially except for approved home occupations.
- 4) The floor area of individual accessory structures shall not exceed the conditioned floor area of the house on

the lot.

With the conditions noted, this plan meets the requirements for approval in the PR district and the criteria for approval of a development plan.

COMMENTS:

This proposal is to create four (4) house lots on this 5.81-acre site, which is an undeveloped portion of the Fountainhead Village Condominiums. If approved, the combined density of this PR zone district is approximately 2.66 du/ac. The four house lots will be accessed via two access easements that extend from the end of Fountainhead Ln. Each access easement will serve two house lots.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE

PR (Planned Residential) up to 5 du/ac:

A) The PR zone allows detached houses as a permitted use. The administrative procedures for the PR zone require the Planning Commission to approve the development plan before permits can be issued (Article 5, Section 5.13.15).

B) The proposed development has a density of 0.69 du/ac, and the gross density for the PR zoning district is 2.66 du/ac (including the existing condominiums in Fountainhead Village).

2) KNOX COUNTY COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES

A) Ensure that development is sensitive to existing community character. (Implementation Policy 2) - The proposed single-family residences on large lots have a lower density than the attached houses in the Fountainhead Village development but are similar to the other residential uses surrounding the site.

3) KNOX COUNTY COMPREHENSIVE PLAN - SR (SUBURBAN RESIDENTIAL) PLACE TYPE

A) The property is classified as the SR (Suburban Residential) place type, which allows the consideration of Planned Residential up to 12 du/ac as a partially related zone. The proposed development has a density of 0.69 du/ac, and the gross density for the PR zoning district is 2.66 du/ac.

B) Single-family (detached) residential subdivisions are considered a primary use in the SR (Suburban Residential) place type, and the proposal is consistent with the intent of providing a range of lot sizes and the building form height recommendation of 1-2 stories. It is not feasible to implement the recommended street and path connections to adjacent neighborhoods.

4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

A) The property is within the Urban Growth Boundary. The purposes of the Urban Growth Boundary designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knoxville-Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. The proposed development meets the relevant standards of the Growth Policy Plan.

ESTIMATED TRAFFIC IMPACT: 52 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 1 (public school children, grades K-12)

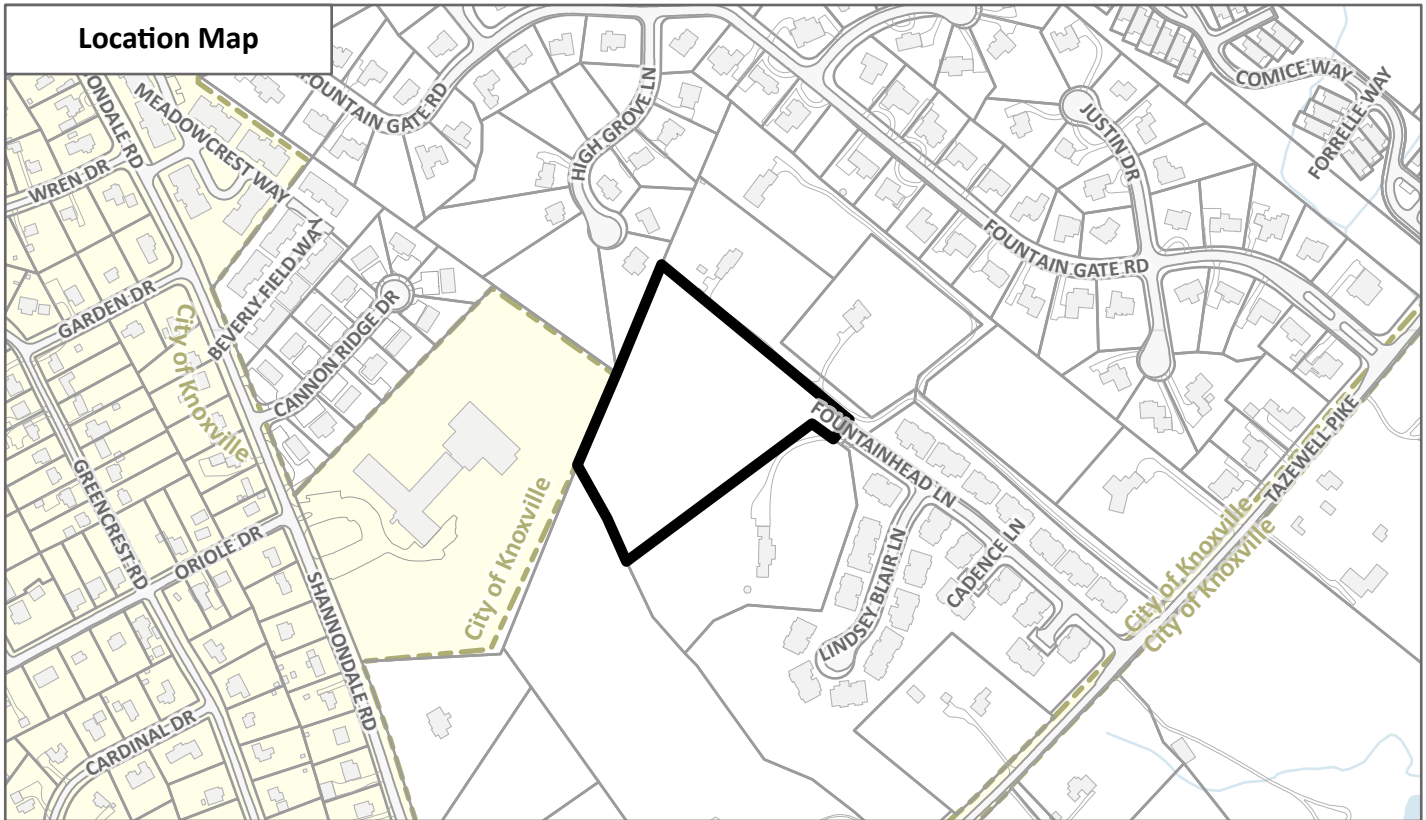
Schools affected by this proposal: Shannondale Elementary, Gresham Middle, and Central High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

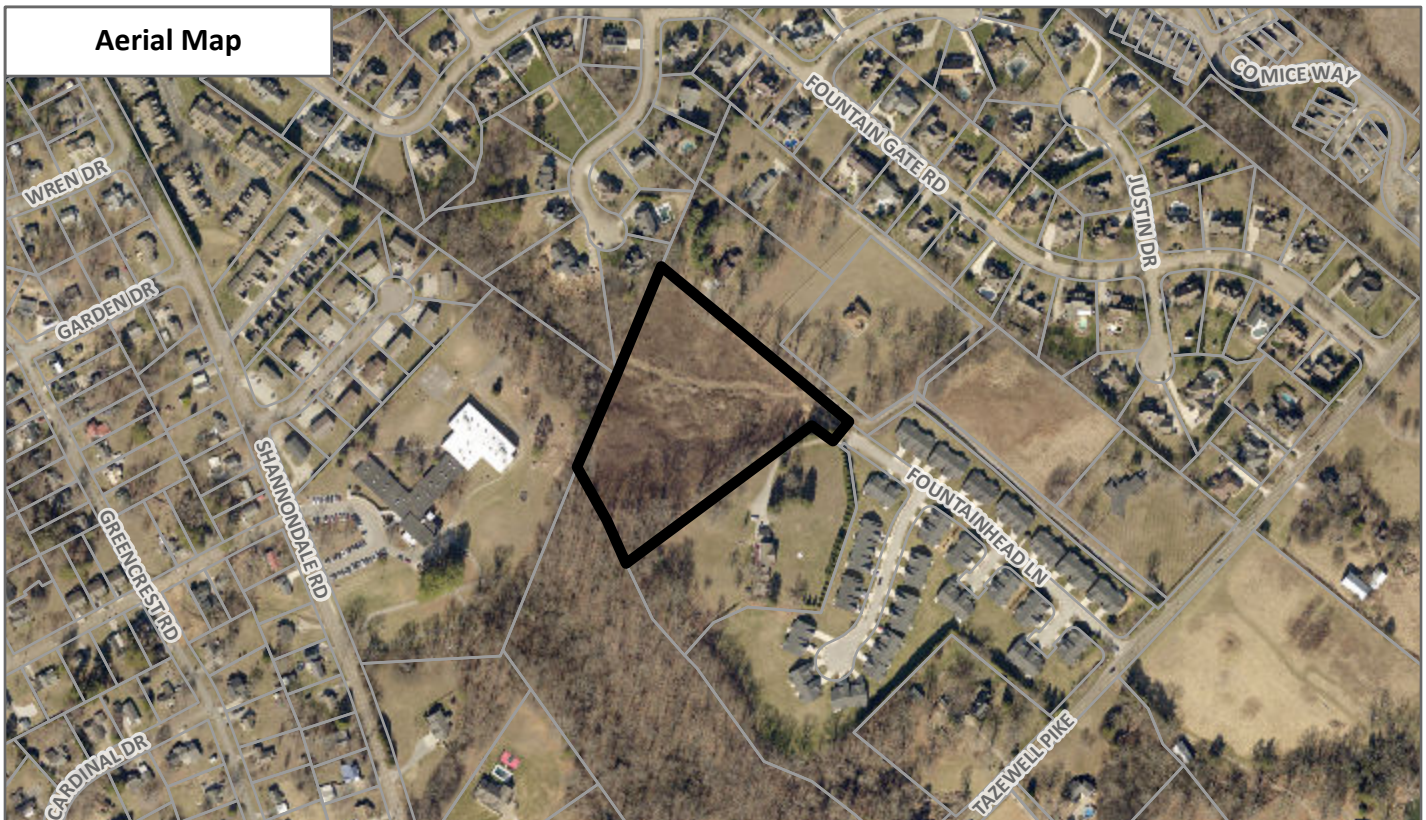
The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).

Exhibit A. Contextual Images

Location Map



Aerial Map

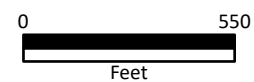


CONTEXTUAL MAPS 1

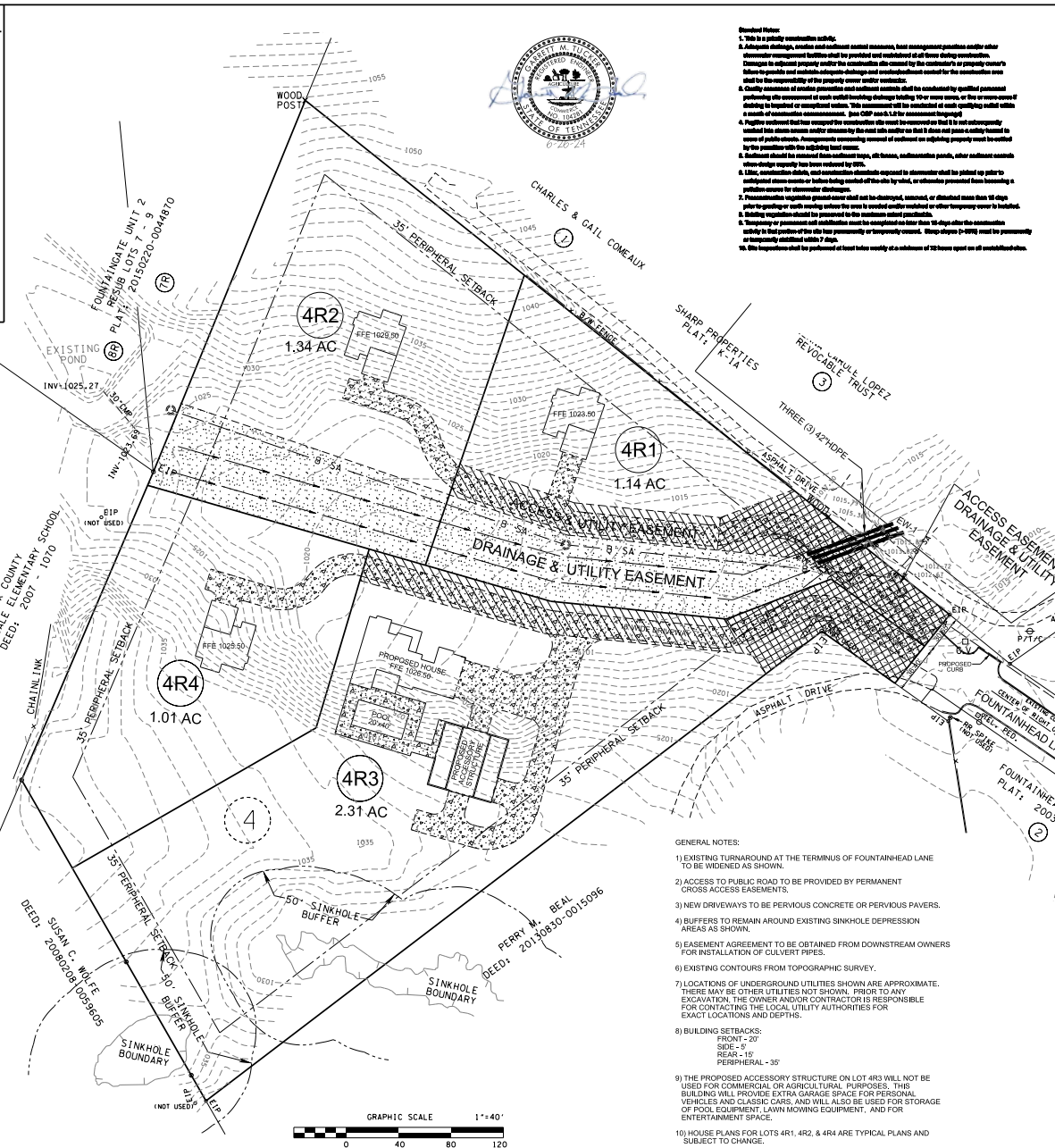
7-H-24-DP



Case boundary



LEGEND			
5' x 5' x 5' x 5' SILT FENCE	ETP	IRON PIN FOUND	
CONSTRUCTION EXIT	PIPE	PIPE FOUND	
STORM DRAIN INLET PROTECTION	G.V.	GAS VALVE	
STORM DRAIN OUTLET PROTECTION	W.M.	WATER METER	
OVERLAND DRAINAGE PATTERN	M.H.	MANHOLE	
EROSION CONTROL MATING	SIGN	SIGN	
ENHANCED ROCK CHECK AM	W.V.	WATER VALVE	
EXISTING GRADE	F.H.	FIRE HYDRANT	
PROPOSED GRADE	P.T.	POWER/TELEPHONE	
PROPOSED SWALE	GUY WIRE	GUY WIRE	
PERVIOUS CONCRETE / PERVIOUS PAVERS			
PERMANENT CROSS ACCESS / UTILITY EASEMENT			
PERMANENT CROSS ACCESS / UTILITY / DRAINAGE EASEMENT			
DRAINAGE / UTILITY EASEMENT			



LOCATION MAP - NO SCALE

OWNER:
TIMOTHY AARON & SARAH DENISE WELLS
600 EAST EMORY ROAD
POWELL, TN 37365
PHONE: (865) 406-7584

ENGINEER:
ROBERT G. CAMPBELL & ASSOCIATES, L.P.
7523 TAGGART LANE
KNOXVILLE, TN 37938
PHONE: (865) 947-5998
FAX: (865) 947-7556

- GENERAL NOTES:
- EXISTING TURNAROUND AT THE TERMINUS OF FOUNTAINHEAD LANE TO BE WIDENED AS SHOWN.
 - ACCESS TO PUBLIC ROAD TO BE PROVIDED BY PERMANENT CROSS ACCESS EASEMENTS.
 - NEW DRIVEWAYS TO BE PERVIOUS CONCRETE OR PERVIOUS PAVERS.
 - BUFFERS TO REMAIN AROUND EXISTING SINKHOLE DEPRESSION AREAS AS SHOWN.
 - EASEMENT AGREEMENT TO BE OBTAINED FROM DOWNSTREAM OWNERS FOR INSTALLATION OF CULVERT PIPES.
 - EXISTING CONTOURS FROM TOPOGRAPHIC SURVEY.
 - LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES NOT SHOWN. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATIONS AND DEPTHS.
 - BUILDING SETBACKS:
FRONT - 20'
SIDE - 5'
REAR - 15'
PERIPHERAL - 35'
 - THE PROPOSED ACCESSORY STRUCTURE ON LOT 4R3 WILL NOT BE USED FOR COMMERCIAL OR AGRICULTURAL PURPOSES. THIS BUILDING WILL PROVIDE EXTRA GARAGE SPACE FOR PERSONAL VEHICLES AND CLASSIC CARS, AND WILL ALSO BE USED FOR STORAGE OF POOL EQUIPMENT, LAWN MOWING EQUIPMENT, AND FOR ENTERTAINMENT SPACE.
 - HOUSE PLANS FOR LOTS 4R1, 4R2, & 4R4 ARE TYPICAL PLANS AND SUBJECT TO CHANGE.

CLT MAP: 049J GROUP D
PARCEL: 004
DEED REFERENCE: 20240220-0040068
PLAT REFERENCE: 20030603-0111441

NUMBER OF LOTS: 4
TOTAL AREA: 5.81 ACRES
DISTURBED AREA: 4.8 ACRES
PROPERTY ZONED: PR-5 DU/AC

Revised: 6/27/2024

KNOX PLANNING FILE NO. 7-H-24-DP

NO.	DATE	DESCRIPTION	BY	CHKD.
		REVISIONS		



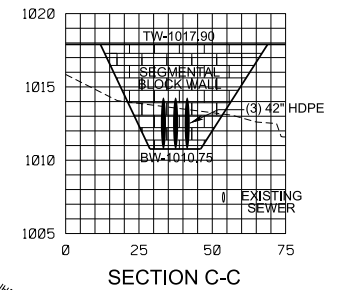
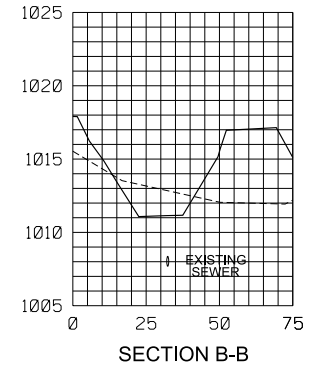
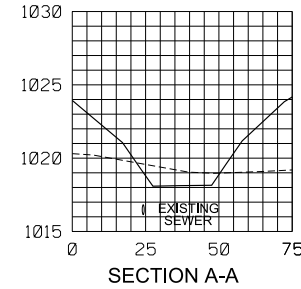
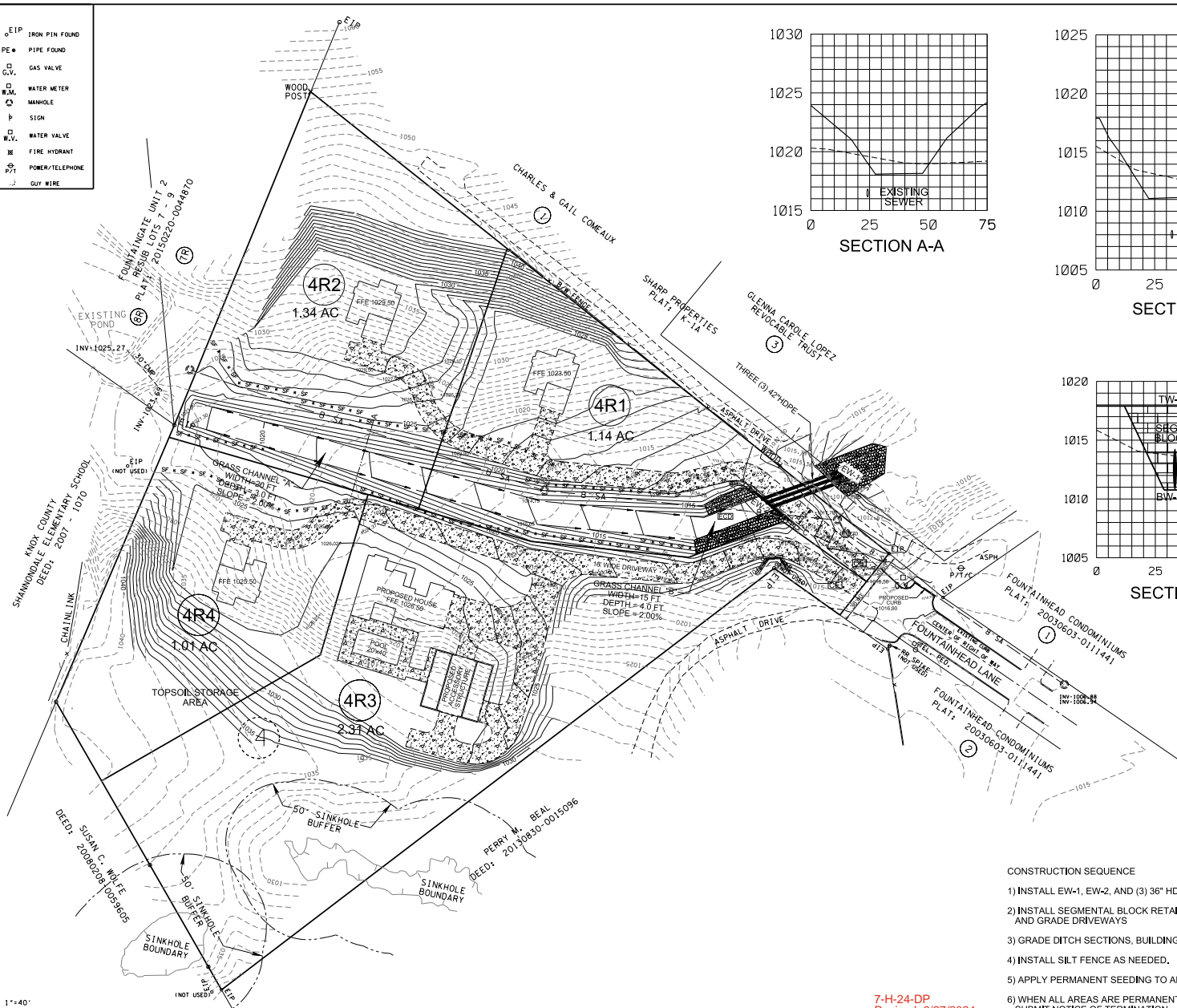
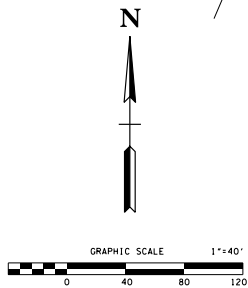
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CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

FOUNTAINHEAD VILLAGE
SITE DEVELOPMENT PLAN &
STORMWATER POLLUTION PREVENTION PLAN (TNR 135902)

GENERAL SITE LAYOUT

DESIGNED BY	CHECKED BY	SCALE	AS SHOWN	SHEET	NO.
CMT	RGC	AS	SHOWN	OF	5
DRAWN BY	DATE	FILE NO.	18097		
CMT	6-26-24				

LEGEND	
SF * SF * SF * SF SILT FENCE	● EIP IRON PIN FOUND
☐ CONSTRUCTION EXIT	— PIPE PIPE FOUND
☐ STORM DRAIN INLET PROTECTION	○ G.V. GAS VALVE
☐ STORM DRAIN OUTLET PROTECTION	○ W.M. WATER METER
→ OVERLAND DRAINAGE PATTERN	○ MANHOLE
▨ EROSION CONTROL MATTING	▨ SIGN
☐ ROCK CHECK DAM	○ W.V. WATER VALVE
--- 1150 --- EXISTING GRADE	● FIRE HYDRANT
— 1180 — PROPOSED GRADE	— P/T POWER/TELEPHONE
	— GUY WIRE



- CONSTRUCTION SEQUENCE
- 1) INSTALL EW-1, EW-2, AND (3) 36" HDPE PIPES
 - 2) INSTALL SEGMENTAL BLOCK RETAINING WALLS AND GRADE DRIVEWAYS
 - 3) GRADE DITCH SECTIONS, BUILDING PADS, AND SLOPES.
 - 4) INSTALL SILT FENCE AS NEEDED.
 - 5) APPLY PERMANENT SEEDING TO ALL DISTURBED AREAS.
 - 6) WHEN ALL AREAS ARE PERMANENTLY STABILIZED, SUBMIT NOTICE OF TERMINATION.

7-H-24-DP
Revised: 6/27/2024

NO.	DATE	DESCRIPTION	BY	CHK.

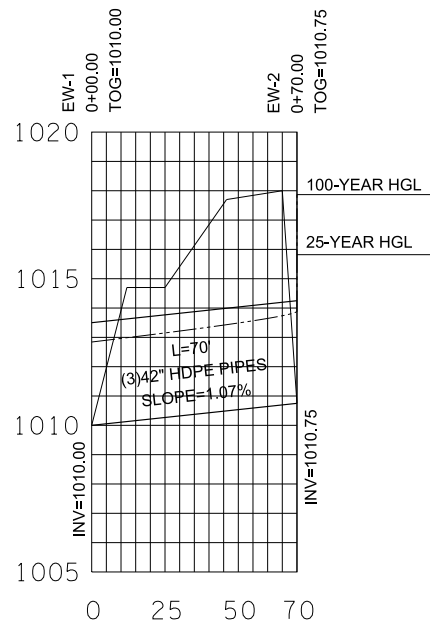
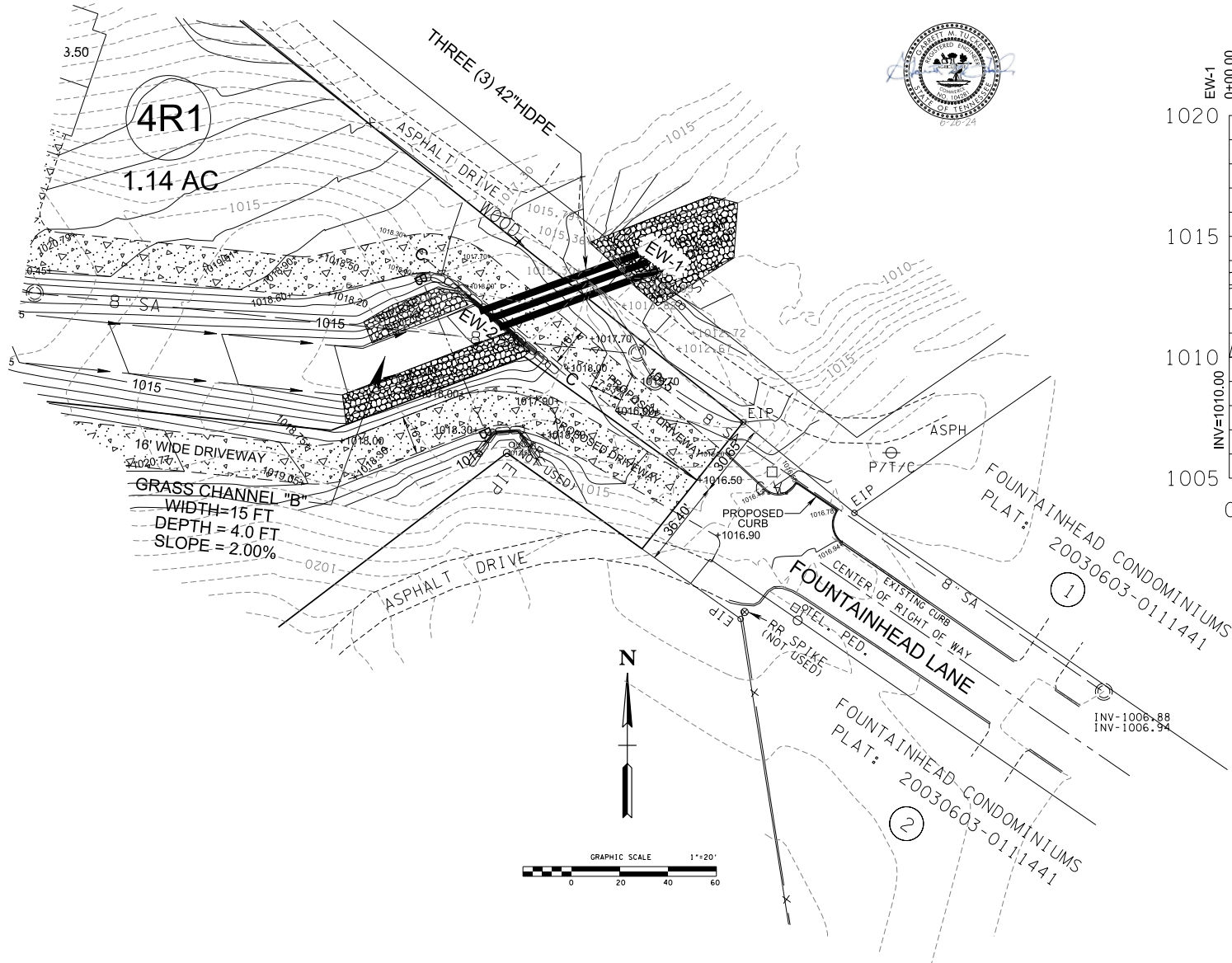


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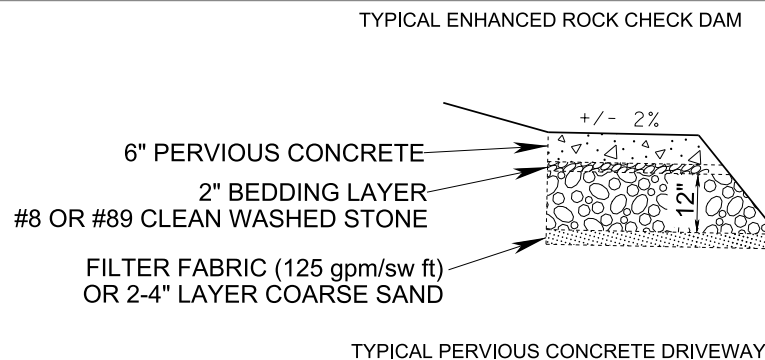
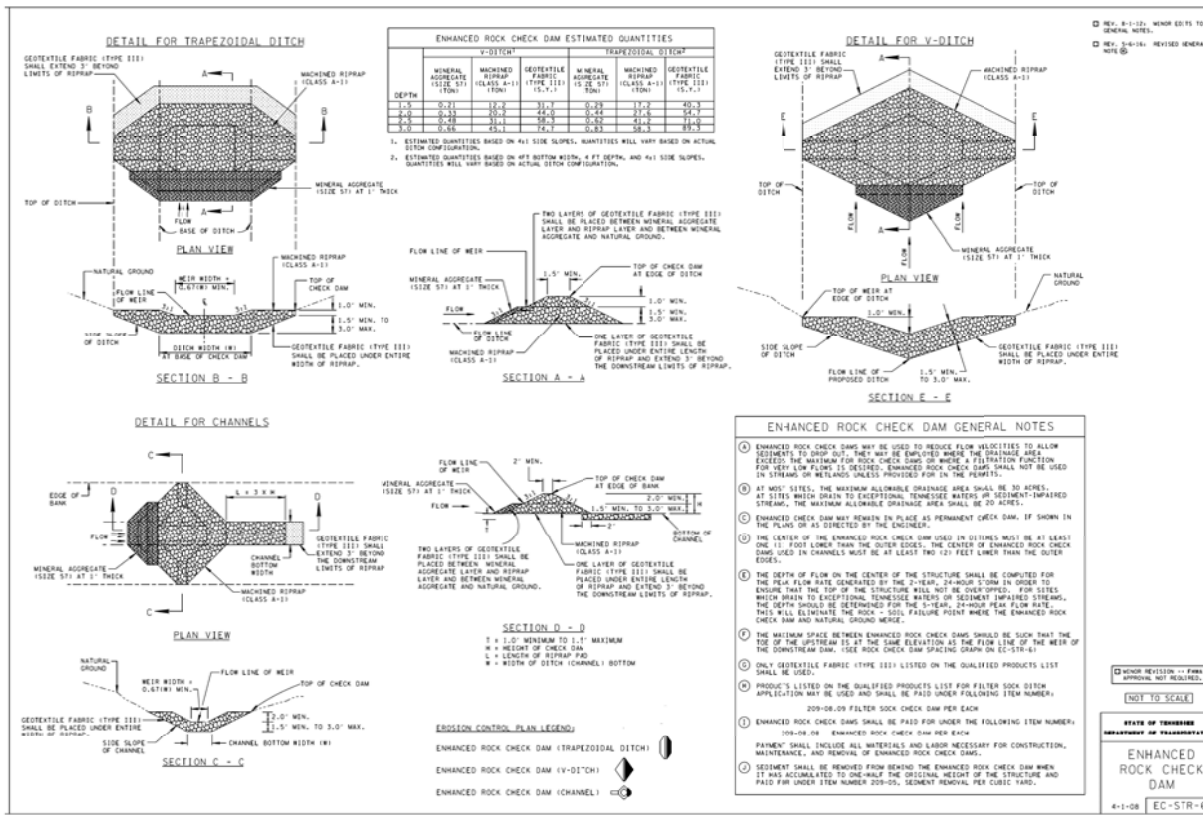
PROPOSED SITE CONDITIONS
SWPPP STAGE 2

DESIGNED BY GMT	CHECKED BY RGC	SCALE AS SHOWN	SHEET NO. 3
DRAWN BY GMT	DATE 6-26-24	FILE NO. 18097	OF 5 SHEETS



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Revised: 6/27/2024

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NO.	DATE	DESCRIPTION	BY	CHK.
		REVISIONS		



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CONSULTING ENGINEERS
KNOXVILLE, TENNESSEE

BACKROAD AT FOUNTAINHEAD
SITE DEVELOPMENT PLAN &
STORMWATER POLLUTION PREVENTION PLAN (TNR 135902)

DETAILS

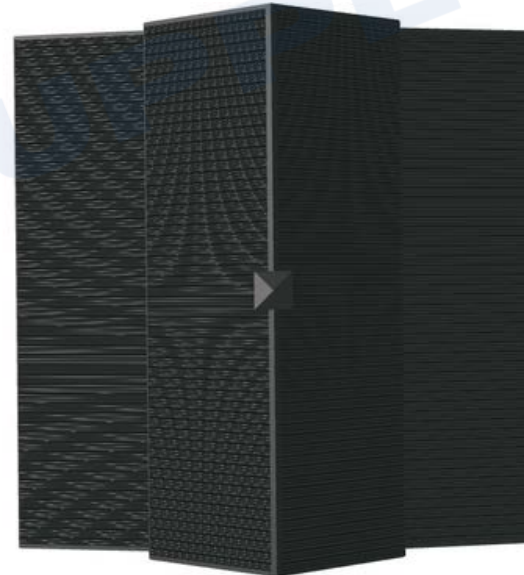
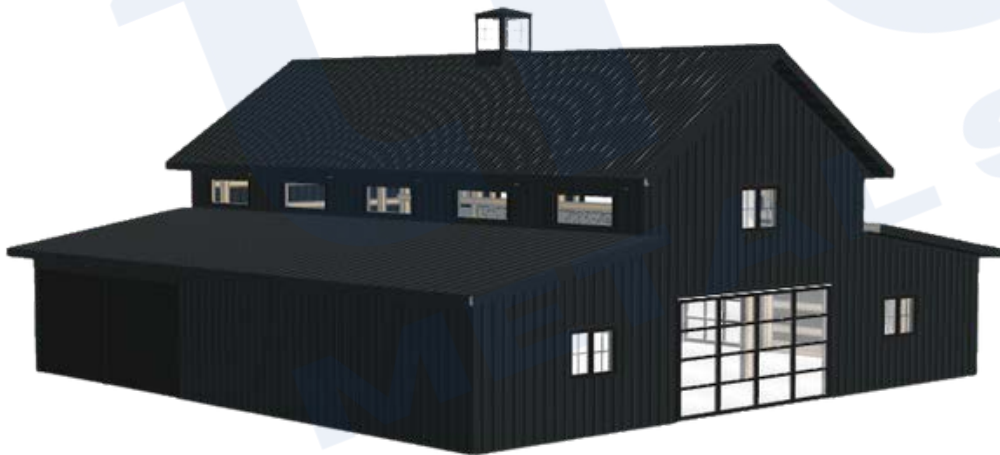
DESIGNED BY	CHECKED BY	SCALE	SHEET
CMT	RCC	NO SCALE	NO. 5
DRAWN BY	DATE	FILE NO.	OF
CMT	6-26-24	18097	5 SHEETS

[View 3D Model](#)

trueTM
METAL SUPPLY

1745 Louisville Drive
Knoxville, TN 37921
(865) 224-3055
truemetalsupply.com

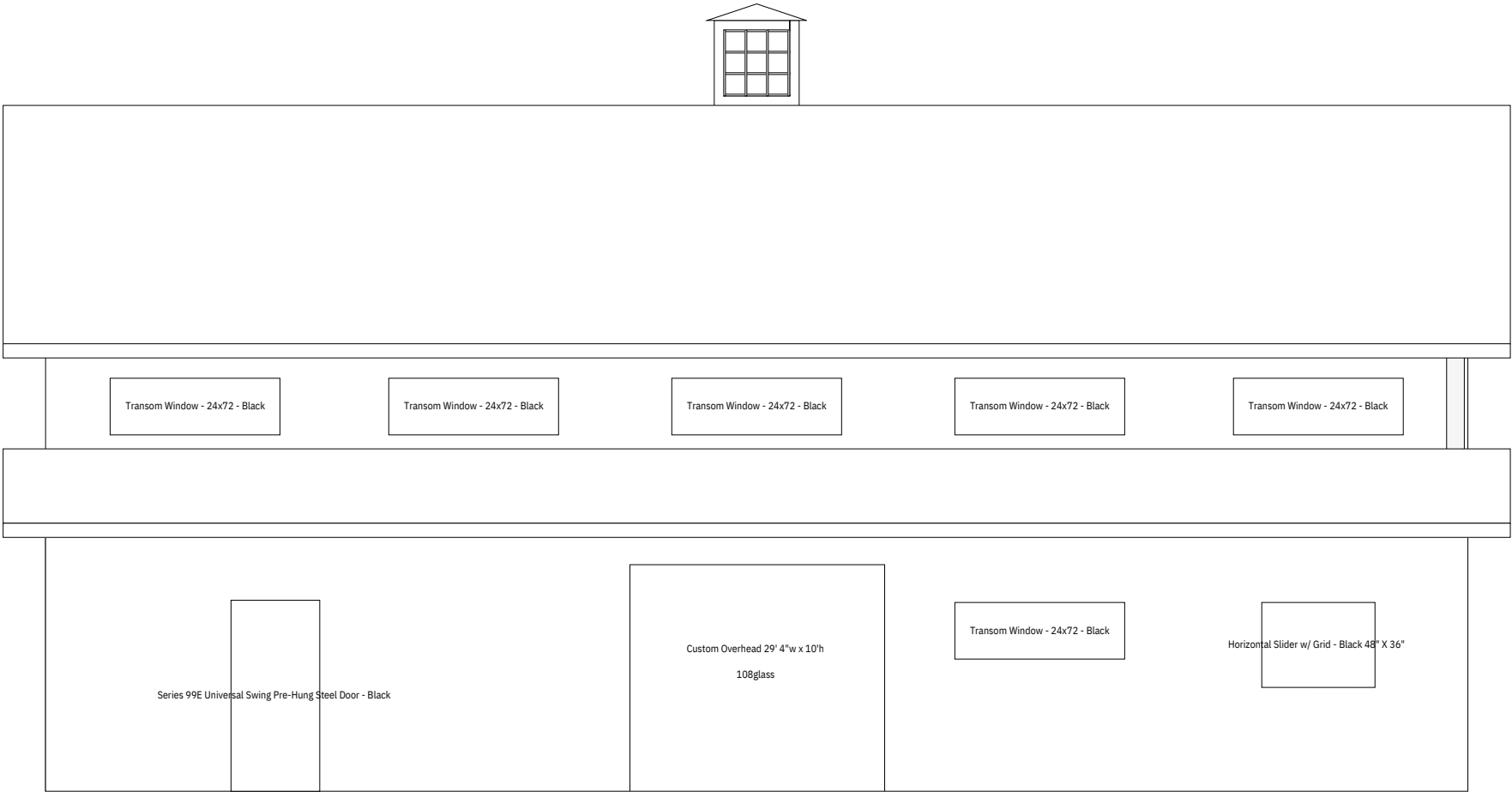
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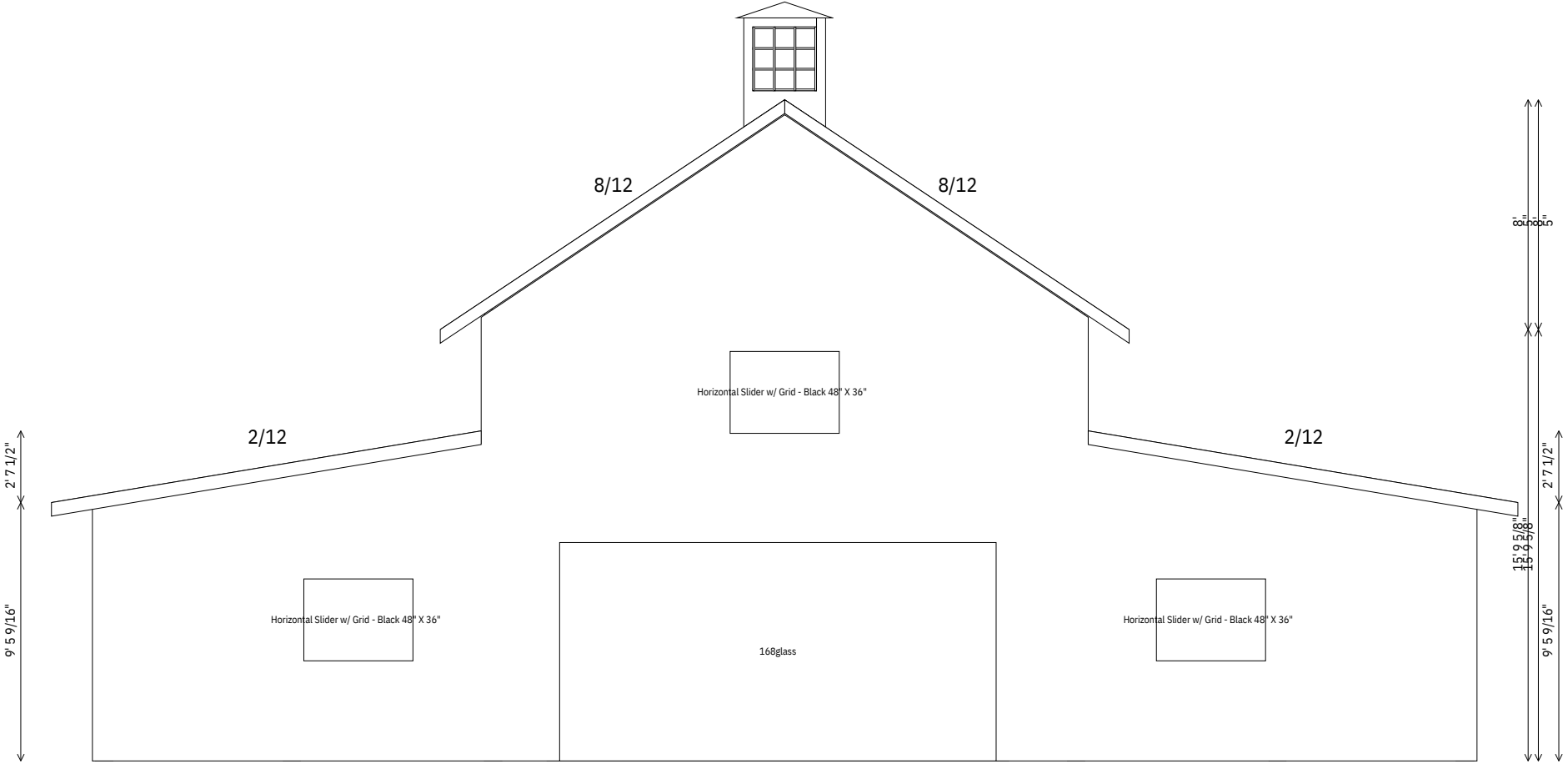
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TIM WELLS

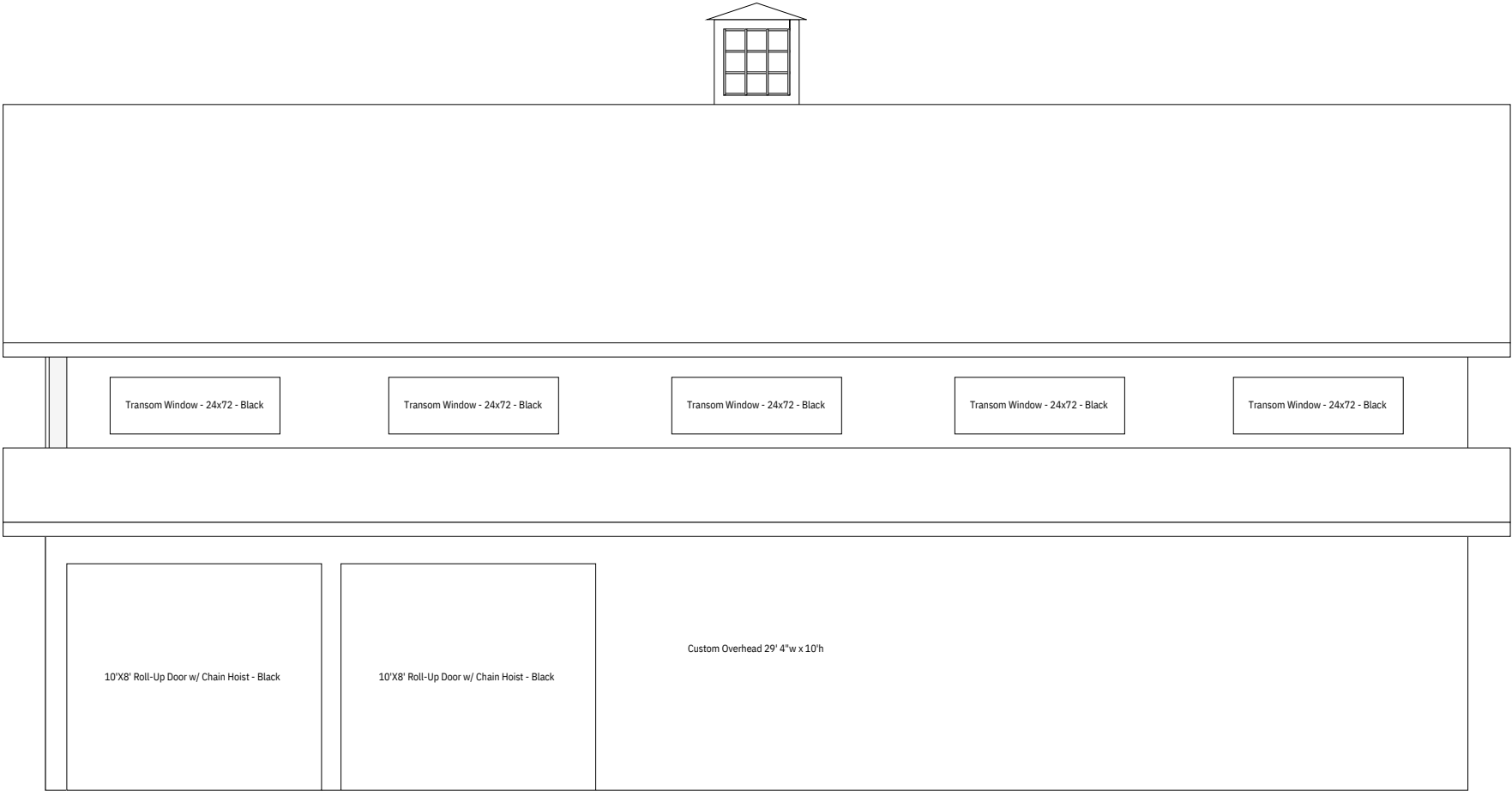
Left Elevation



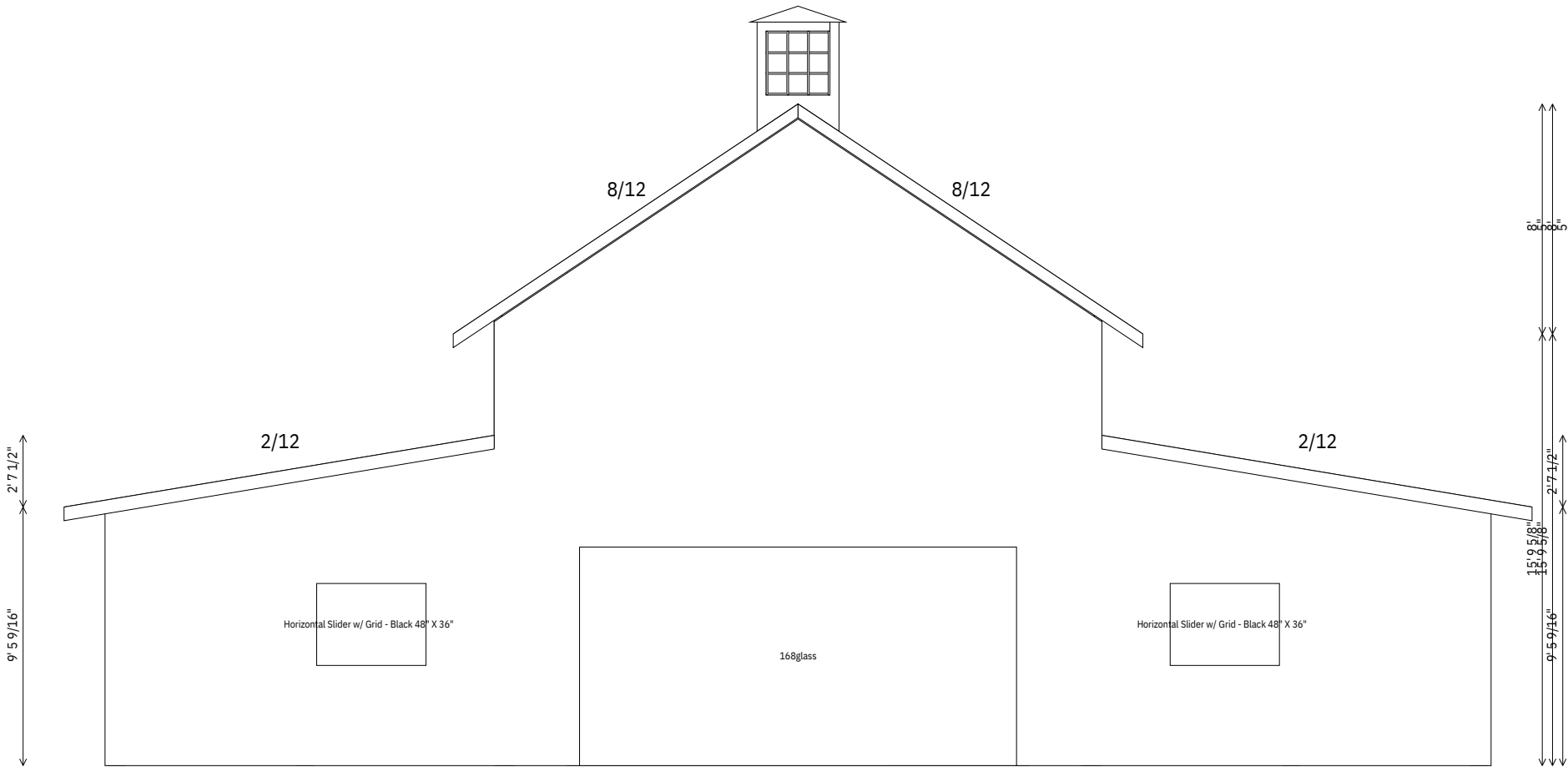
Front Elevation

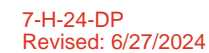


Right Elevation

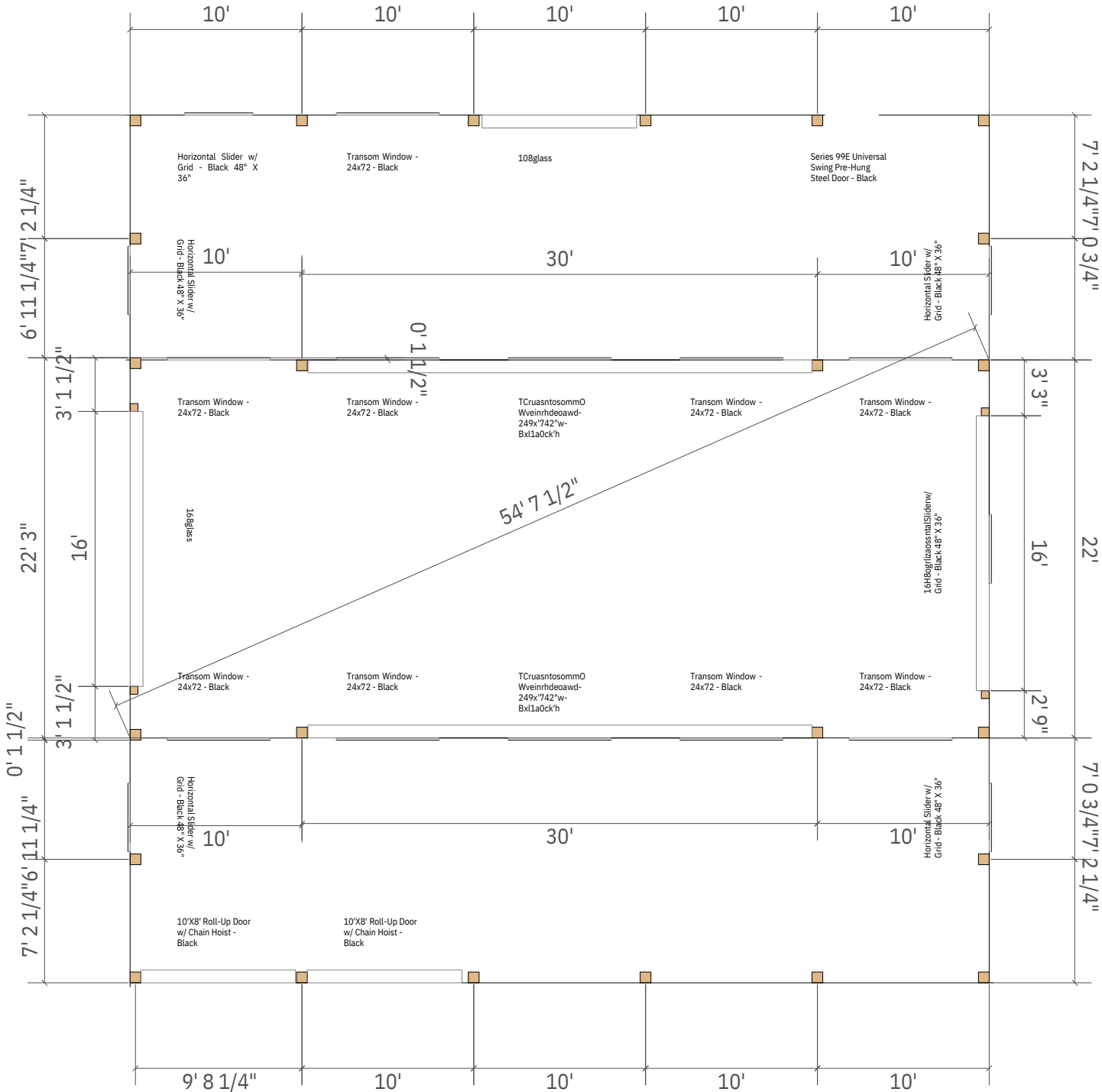


Back Elevation





Post Layout



7-H-24-DP
Revised: 6/27/2024

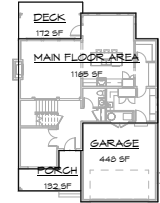
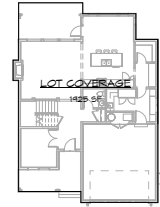
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FRONT VIEW



REAR-LEFT VIEW



GENERAL NOTES

- CONTRACTOR TO ASSURE ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL BUILDING CODE. BEAM SIZES, SPANS AND BEARING POINTS TO BE VERIFIED AND REVIEWED
- ANY DISCREPANCIES ON PLANS TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCING WORK
- ALL WINDOWS TO BE VINYL FRAME, DOUBLE GLAZED
- PROVIDE RAINGREEN BEHIND ALL EXTERIOR GLAZING AS REQUIRED ACCORDING TO BE LOCAL BUILDING CODE
- ALL EXTERIOR FOUNDATION WALLS MUST BE DAMPROOFED
- ALL FOUNDATION WALLS & FOOTINGS TO BE IN COMPLIANCE WITH THE LOCAL BUILDING CODE
- ASSURE ALL PAD FOOTING SIZES ARE OF ADEQUATE SIZE ACCORDING TO THE LOCAL BUILDING CODE
- ALL BEARING POINTS IN BEARING WALLS TO BE SOLID STUDGING
- PROVIDE BEAM POCKETS IN FOUNDATION WHERE REQUIRED
- ALL OPENINGS IN STRUCTURAL WALLS (OVER WINDOWS/DOORS) TO HAVE STRUCTURAL HEADER ABOVE
- ALL WOOD USED IS TO BE S.P.F. KD. NO. 12 OR BETTER
- ALL FLOOR JOISTS TO BE NAILED AND GULLED TO SUBFLOOR PV BRIDGING WHERE NECESSARY ACCORDING TO THE LOCAL BUILDING CODE
- ALL EXTERIOR DOORS - METAL INSULATED, PAINTED (U.N.O.)

GEODETIC HEIGHTS

ROOF PEAK	34.21 m
ROOF MEAN	31.58 m
T.O. UPPER FLR.	33.44 m
T.O. MAIN FLR.	30.45 m
T.O. GARAGE SLAB @ ENTRY	30.02 m

PROJECT SYNOPSIS

T.O. MAIN FLR.	
MAIN FLOOR AREA	1185 SF
GARAGE	440 SF
	1625 SF

T.O. UPPER FLR.	
UPPER FLOOR AREA	1050 SF
TOTAL FLOOR AREA	2675 SF

PROPOSED HEIGHT: 30' - 1 5/8"

DRAWING INDEX	
SHEET	DRAWING TITLE
A1.0	TITLE SHEET
A2.0	FND/MAIN FLOOR PLAN
A2.2	UPPER FLOOR/ROOF PLAN
A3.0	ELEVATIONS
A3.1	ELEVATIONS/SECTIONS
A4.0	SECTIONS/DETAILS

REVISIONS

WOODLAND

SU CASA
DESIGN

EMAIL: INFO@SUCASADesign.ca

TEL: (604) 854-4203

ADDRESS: 2540 MONTROSE AVE. ABBOTSFORD, B.C.

PROJECT

TITLE SHEET

SCALE: As indicated
DATE: 2024-04-01 10:41:42 AM

SHEET NUMBER
A1.0

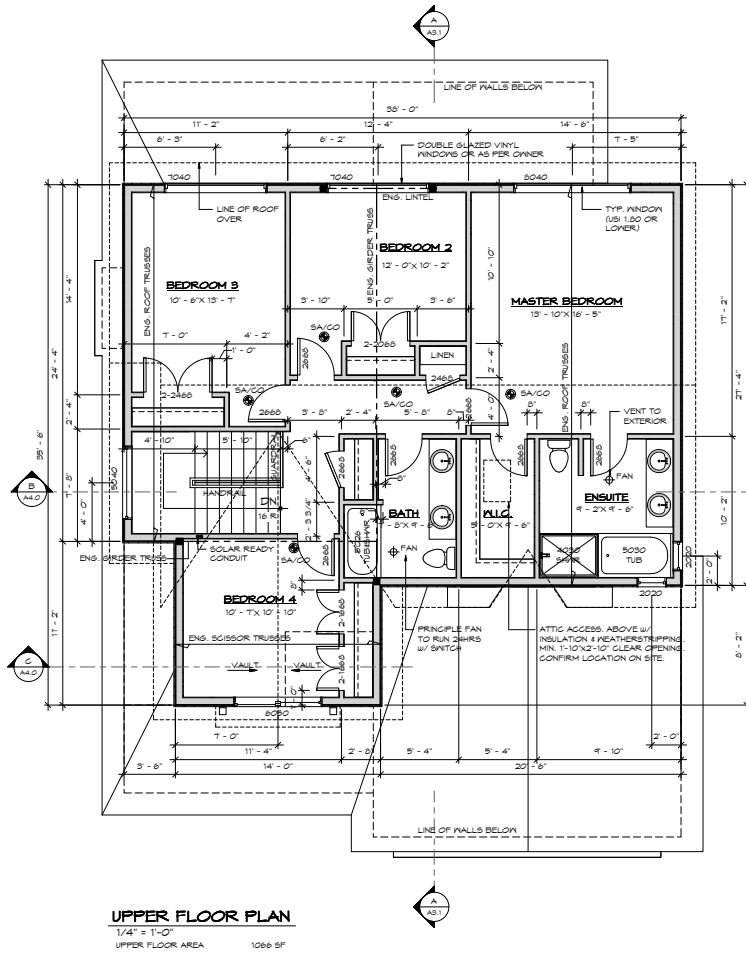
7-H-24-DP
Revised: 6/27/2024

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH EACH OTHER. ANY DISCREPANCIES ON DRAWINGS ARE TO BE REPORTED TO THE DESIGNER BEFORE INITIATING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL WORK IS FULFILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE LOCAL BUILDING CODE.

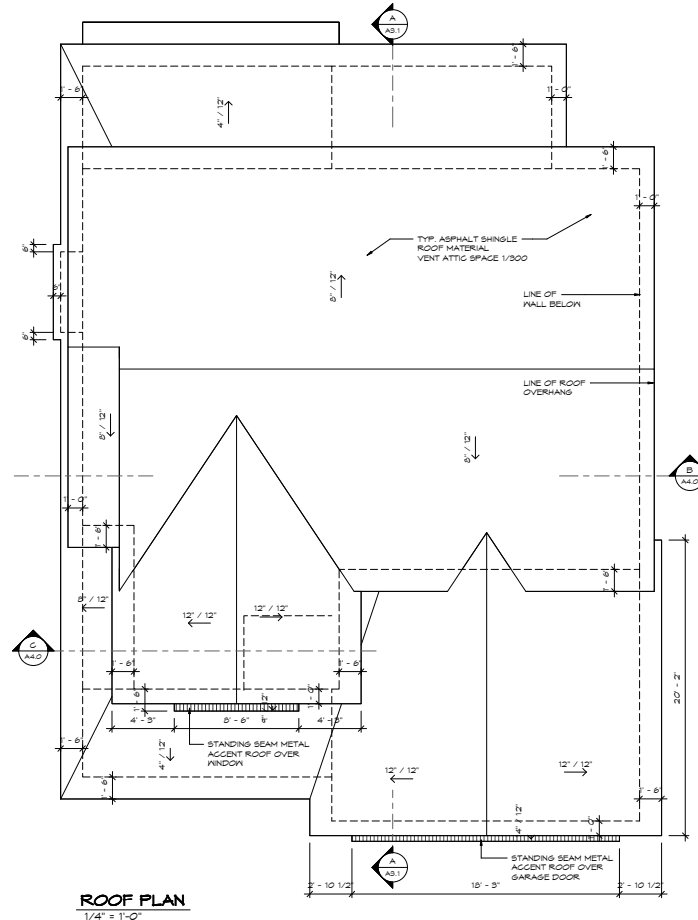


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1:2024-03-28 10:41:46 AM



UPPER FLOOR PLAN
1/4" = 1'-0"
UPPER FLOOR AREA 1066 SF



ROOF PLAN
1/4" = 1'-0"

- TYPICAL FLOOR PLAN NOTES**
- ALL INTERIOR DOOR ARE 4" FROM WALL (UNO)
 - PROPOSED STRUCTURE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR BEAM LOCATION, SIZE & JOIST DIRECTION
 - PROPOSED TRUSSES SHOWN FOR REFERENCE ONLY. REFER TO TRUSS MANUFACTURER DRAWINGS FOR TRUSS LOCATIONS
 - POINT LOAD FROM ABOVE
 - POINT LOAD CARRIED TO FLOOR BELOW

REVISIONS

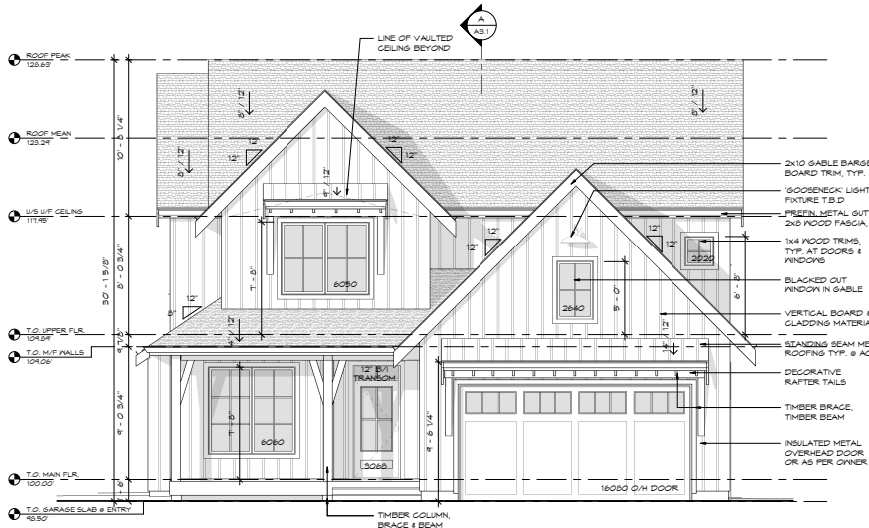
WOODLAND

SU CASA
DESIGN

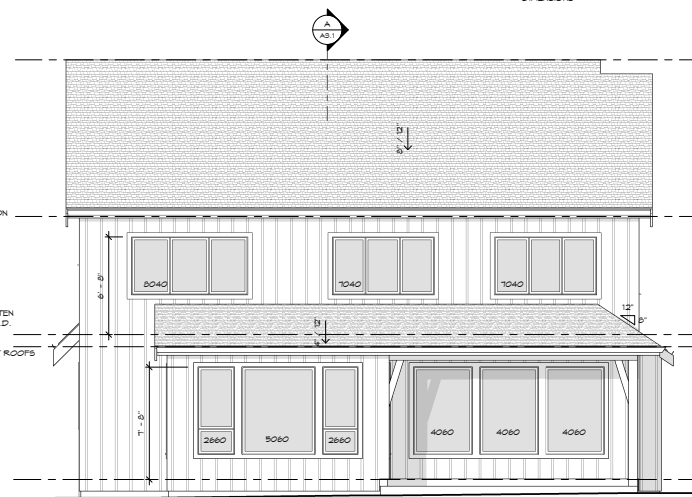
ADDRESS: 2540 MONTROSE AVE. ABBOTSFORD, BC TEL: (604) 854-4383 EMAIL: INFO@SUCASADesign.ca

PROJECT	
TITLE UPPER FLOOR/ROOF PLAN	
SCALE 1/4" = 1'-0"	SHEET NUMBER A2.2
DATE 2024-04-01 10:41:46 AM	

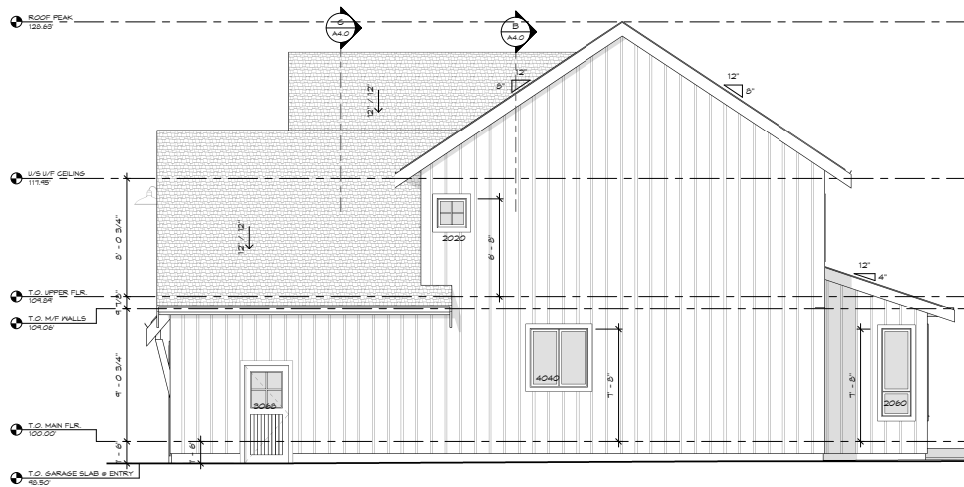
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FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

EXTERIOR NOTES

- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
- CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
- REFER TO ROOF PLAN FOR OVERHANG DIMENSIONS

REVISIONS

WOODLAND

SU CASA
DESIGN

EMAIL: INFO@SUCASADesign.ca

TEL: (804) 854-4303

ADDRESS: 2540 MONTROSE AVE. ABBOTSFORD, BC

PROJECT

TITLE
ELEVATIONS

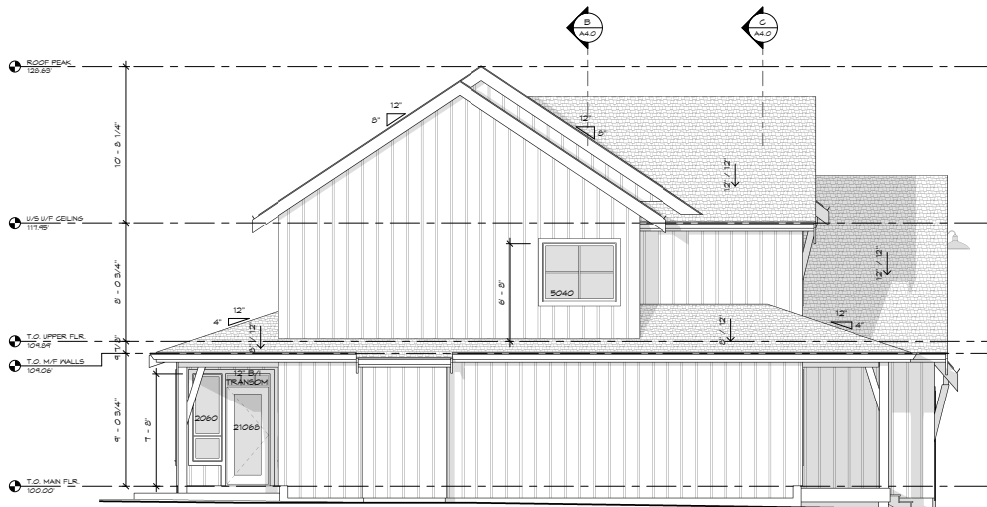
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As indicated

DATE
2024-04-01 10:41:51 AM

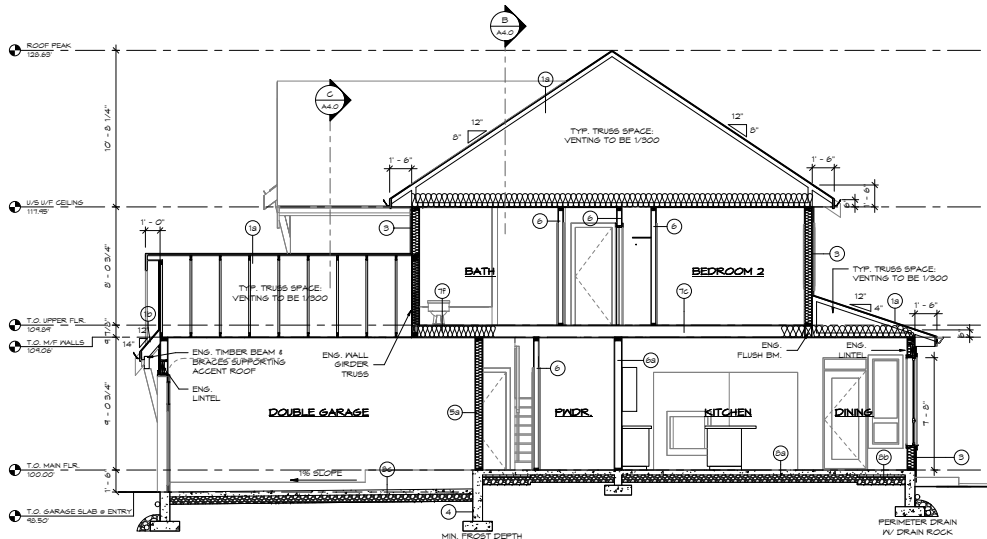
SHEET NUMBER
A3.0

7-H-24-DP
Revised: 6/27/2024

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LEFT ELEVATION
1/4" = 1'-0"



SECTION A
1/4" = 1'-0"

EXTERIOR NOTES

- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
- CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
- REFER TO ROOF PLAN FOR OVERHANG DIMENSIONS

BUILDING SPECIFICATIONS

MINIMUM RSI VALUES LISTED IN ASSEMBLIES ARE AS PER LOCAL BUILDING CODE
SEE DETAILS FOR REQUIRED BATT INSULATION VALUES.

1a
TYPICAL TRUSS ROOF
MIN RSI 6.91 FOR ASSEMBLY
ASPHALT SHINGLE ROOF
15# BREATHER TYPE ROOFING FELT
1/2" PLYWOOD ROOF SHEATHING
PROVIDE EAVE PROTECTION TO CODE
ENG. TRUSSES
BATT INSULATION
6 MIL POLY V.B.
GYPSUM CEILING BOARD

1b
ACCENT ROOF
MIN RSI 6.91 FOR ASSEMBLY
STANDING SEAM METAL ROOFING
15# BREATHER TYPE ROOFING FELT
1/2" PLYWOOD ROOF SHEATHING
2X6 WOOD RAFTERS
SOFFIT AS PER OWNER

3
TYPICAL EXTERIOR WALLS
MIN RSI 2.78 FOR ASSEMBLY
EXTERIOR FINISH
REQUIRED RAINSCREEN
BUILDING PAPER
1/2" PLYWOOD SHEATHING
2X6 STUDS @ 16" O.C.
BATT INSULATION
6 MIL POLY V.B.
GYPSUM WALL BOARD

4
TYPICAL FOUNDATION WALLS
MIN RSI 1.91 FOR ASSEMBLY INCL. FURRING
ASPHALT EMULSION (DAMP-PROOFING)
ENG. CONCRETE FOUNDATION WALL
ENG. CONCRETE STRIP FOOTING IV/
REBAR
(SEE STRUCTURAL FOR SPECS.)
6" MIN. DRAIN ROCK
4" PERIMETER DRAIN

5a
TYPICAL GARAGE WALL
MIN RSI 2.62 FOR ASSEMBLY
1/2" GYPSUM WALL BOARD
2X6 STUDS @ 16" O.C.
6 MIL UV POLY VAPOUR BARRIER
BATT INSULATION
1/2" GYPSUM WALL BOARD

6
TYPICAL INTERIOR WALLS
1/2" GYPSUM WALL BOARD
2X4 STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD

6a
TYPICAL INTERIOR WALLS
1/2" GYPSUM WALL BOARD
2X6 STUDS @ 16" O.C.
1/2" GYPSUM WALL BOARD

7c
TYPICAL FLOOR
FINISH FLOORING
5/8" T&G PLYWOOD SHEATHING
(NAILED & SLEUED)
2X10 FLOOR JOISTS
TO ENGR'S SPECS
GYPSUM CEILING BOARD

7f
FLOOR OVER UNCONDITIONED SPACE
(2X10)
OVER UNCONDITIONED SPACE
MIN RSI 4.67 FOR ASSEMBLY
FINISH FLOORING
5/8" T&G PLYWOOD SHEATHING
(NAILED & SLEUED)
6 MIL UV POLY VAPOUR BARRIER
2X10 ENG. FLOOR JOISTS
TO ENGR'S SPECS
BATT INSULATION
GYPSUM CEILING BOARD

8a
TYPICAL BASEMENT FLOOR
(UNHEATED, UNINSULATED)
4" CONC. SLAB
6 MIL POLY V.B.
6" MIN. COMPACT GRANULAR FILL

8b
BASEMENT FLOOR
(PERIMETER ABOVE FROST)
MIN RSI 1.96 FOR ASSEMBLY
4" CONC. SLAB
MIN. 2" XPS RIGID INSULATION
MIN. 1.2m WIDTH INSIDE OF FDN.
6 MIL POLY V.B.
6" MIN. COMPACT GRANULAR FILL

8c
TYPICAL GARAGE SLAB
4" CONCRETE SLAB
(SEE STRUCTURAL FOR SPECS.)
6" MIN. COMPACT GRANULAR FILL
1% MIN. SLOPE TO ENTRY

8d
TYPICAL EXTERIOR SLAB
FINISH AS PER OWNER
4" CONCRETE SLAB
6" MIN. COMPACT GRANULAR FILL
1% MIN. SLOPE AWAY FROM HOUSE

4b
TYPICAL DECK (2X10 UNCONDITIONED)
P.T. WOOD DECK SURFACE
P.T. 2X10 DECK JOISTS @ 16" O.C.
OR AS PER ENGR'S SPECS.
VENTED SOFFIT

10a
TYP. INTERIOR STAIR
(11" TREAD
10" RUN
3-2X12 STRINGER
32"-36" HANDRAIL @ STAIRS W/
3 OR MORE RISERS
PROVIDE 6'-0" MIN. FINISHED HEADROOM

REVISIONS

WOODLAND

SU CASA
DESIGN

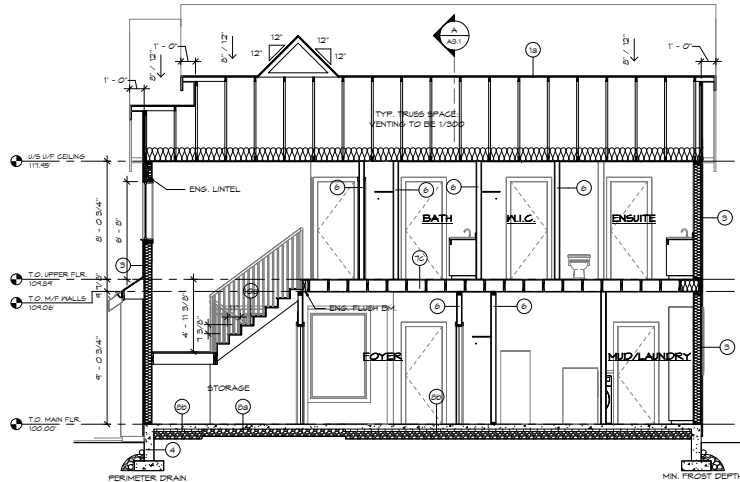
EMAIL: INFO@SUCASADesign.CA

ADDRESS: 2540 MONTRIEUX AVE. ABBOTSFORD, BC TEL: (604) 854-4303

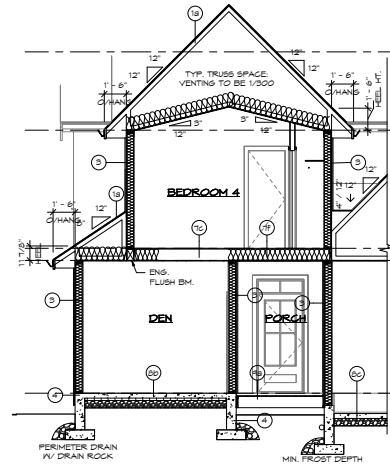
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TITLE	ELEVATIONS/SECTIONS
SCALE	As indicated
DATE	2024-04-01 10:41:56 AM
SHEET NUMBER	A3.1

7-H-24-DP
Revised: 6/27/2024

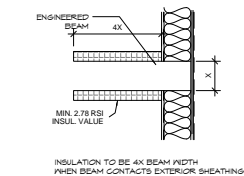
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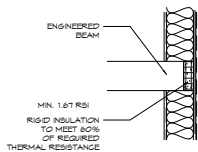
SECTION B
1/4" = 1'-0"



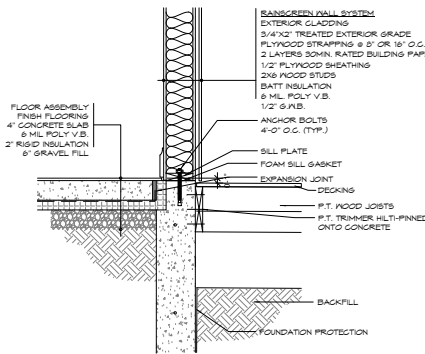
SECTION C
1/4" = 1'-0"



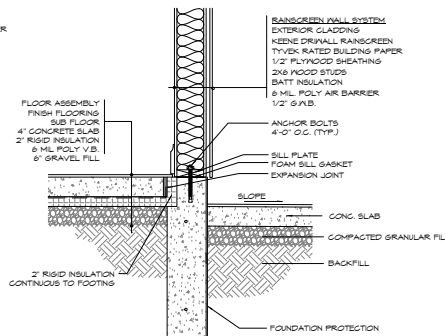
BEAM / WALL - PLAN DETAIL 1
1" = 1'-0"



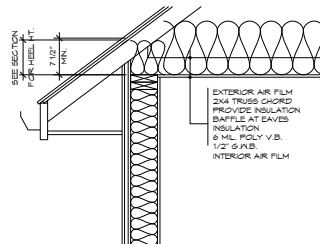
BEAM / WALL - PLAN DETAIL 2
1" = 1'-0"



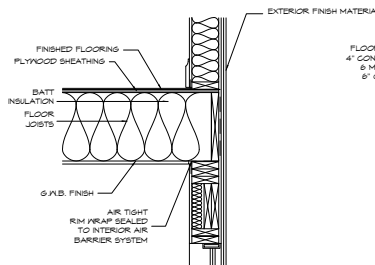
TYP. ENTRY DECK @ SLAB
1" = 1'-0"



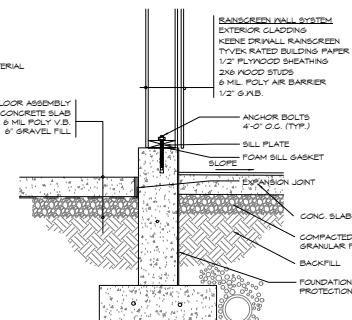
TYP. SLAB ON GRADE/BASEMENT ENTRY
1" = 1'-0"



TYP. CEILING/ROOF EAVE
1" = 1'-0"



TYP. FLOOR @ EXTERIOR WALL
1" = 1'-0"



TYP. GARAGE SLAB @ EXTERIOR WALL
1" = 1'-0"

EXTERIOR NOTES

- FLASH ALL UNPROTECTED EXTERIOR OPENINGS
- CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
- REFER TO ROOF PLAN FOR OVERHANG DIMENSIONS

NOTES PERTAINING TO LEAKAGE PATHS IN PROBLEMATIC AREAS

- FOUNDATION TO SILL PLATE AND RM JOISTS

ALL JOISTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIR-TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.

- INTERIOR ALL INTERFAC

INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WITH AN INTERIOR PLANE OF AIR TIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL.

- RM JOIST

ALL JOINTS AT THE RM JOIST ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.

- CANTILEVERED FLOOR

CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.

- WINDOW HEAD

THE INTERFACE BETWEEN THE HEAD/JAMS AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS.

- WINDOW SILL

THE INTERFACE BETWEEN WINDOW SILL AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS.

- MECHANICAL FLUES AND CHIMNEYS

STEEL-LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL SEALING CAPABLE OF WITHSTANDING HIGH TEMPERATURES.

- PLUMBING STACKS

PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY EITHER SEALING THE AIR BARRIER MATERIAL TO THE VENT PIPE WITH A COMPATIBLE MATERIAL OR SHEATHING TAPE OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION OF THE PLANE OF AIR TIGHTNESS AND SEALING IT TO THE TOP PLATE.

- SKYLIGHTS

THE INTERFACE BETWEEN THE SKYLIGHT AND THE WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE SKYLIGHT.

- WALL TO CEILING

ALL JOINTS AT THE TRANSITION BETWEEN THE ABOVE GRADE WALL AND CEILING MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.

- WALL VENTED DUCTS

DUCT PENETRATIONS THROUGH THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL.

- ELECTRICAL PENETRATION IN WALL

ELECTRICAL PENETRATIONS IN WALLS, INCLUDING ELECTRICAL OUTLETS, PAGING, SWITCHES, AND RECESSED FIXTURES THROUGH THE PLANE OF AIR TIGHTNESS MUST BE AIRTIGHT. OPTIONS INCLUDE USING A COMPONENT THAT IS DESIGNED TO BE AIRTIGHT AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL OR BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.

REVISIONS

7-H-24-DP
Revised: 6/27/2024

WOODLAND

SU CASA
DESIGN

PROJECT	
TITLE	
SECTIONS/DETAILS	
SCALE	As indicated
DATE	2024-04-01 10:42:01 AM
SHEET NUMBER	A4.0

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH EACH OTHER. ANY DISCREPANCIES ON DRAWINGS ARE TO BE REPORTED TO THE DESIGNER BEFORE INITIATING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL WORK IS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE LOCAL BUILDING CODE.

EMAIL: INFO@SU.CASADESIGN.COM

ADDRESS: 2540 MONTROSE AVE. ABBOTSFORD, B.C. TEL: (604) 854-4303



Development Request

DEVELOPMENT

- ☒ Development Plan
☐ Planned Development
☐ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Rezoning
☐ Plan Amendment
☐ Sector Plan
☐ City OYP / County Comp Plan

Tim Wells

Applicant Name

Affiliation

5/29/2024

Date Filed

7/11/2024

Meeting Date (if applicable)

7-H-24-DP

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Garrett Tucker Robert Campbell & Associates

Name / Company

7523 Taggart Ln Knoxville TN 37938

Address

865-947-5996 / gtucker@rgc-a.com

Phone / Email

CURRENT PROPERTY INFO

Tim Wells

Owner Name (if different)

6800 E Emory Rd Powell TN 37938

Owner Address

865-406-7584 / tim@timsfencin

Owner Phone / Email

5283 FOUNTAINHEAD LN

Property Address

49 J D 004

Parcel ID

5.84 acres

Tract Size

Knoxville Utilities Board

Sewer Provider

Knoxville Utilities Board

Water Provider

Septic (Y/N)

STAFF USE ONLY

North of Fountainhead Ln, northwest of Lindsey Blair Ln

General Location

☐ City Commission District 8 PR (Planned Residential) up to 5 du/ac

☒ County District Zoning District

Agriculture/Forestry/Vacant Land

Existing Land Use

North City

Planning Sector

SR (Suburban Residential), HP (Hillside Ridgetop Protection)

Land Use (City)/Place Type (County)

Urban Growth Area (Outside City Limits)

Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input checked="" type="checkbox"/> Development Plan	<input type="checkbox"/> Planned Development	<input type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Non-residential	
Home Occupation (specify) _____			
Other (specify) 4 detached residential lots			

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment	Proposed Plan Designation(s)	
Proposed Density (units/acre) Previous Rezoning Requests		
Additional Information		

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request
☐ Amendment Request (Comprehensive Plan)

ADDITIONAL REQUIREMENTS

☐ Use on Review / Special Use (Concept Plan)
☐ Traffic Impact Study
☐ COA Checklist (Hillside Protection)

Fee 1	Total
\$1,000.00	
Fee 2	
Fee 3	

AUTHORIZATION

☐ I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	Tim Wells	5/29/2024
	Please Print	Date

Phone / Email

Property Owner Signature	Tim Wells	5/29/2024
	Please Print	Date



Development Request

DEVELOPMENT

- ☒ Development Plan
☐ Planned Development
☐ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ SP ☐ OYP
☐ Rezoning

Tim Wells

OWNER/DEVELOPER

Applicant Name

Affiliation

5/29/2024

7/11/2024

File Number(s)

Date Filed

Meeting Date (if applicable)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☒ Engineer ☐ Architect/Landscape Architect

Garrett Tucker

Robert Campbell & Associates

Name

Company

7523 Taggart Lane

Knoxville

TN

37938

Address

City

State

ZIP

(865) 947-5996

gtucker@rgc-a.com

Phone

Email

CURRENT PROPERTY INFO

Tim Wells

6800 East Emory Road, Powell, TN 37849 (865) 406-7584

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

5283 Fountainhead Lane, Knoxville, TN 37918

CLT 049JD Parcel 004

Property Address

Parcel ID

KUB

KUB

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

☐ City ☐ County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

August 29, 2022

DEVELOPMENT REQUEST

<input checked="" type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Use on Review / Special Use <input type="checkbox"/> Hillside Protection COA <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential Home Occupation (specify) _____ Other (specify) <u>Detached residential lots</u>	Related City Permit Number(s)
--	---

SUBDIVISION REQUEST

Fountainhead Village Proposed Subdivision Name Unit / Phase Number <input type="checkbox"/> Combine Parcels <input checked="" type="checkbox"/> Divide Parcel <u>4</u> Total Number of Lots Created <input type="checkbox"/> Other (specify) _____ <input type="checkbox"/> Attachments / Additional Requirements	Related Rezoning File Number
---	--

ZONING REQUEST

<input type="checkbox"/> Zoning Change Proposed Zoning _____ <input type="checkbox"/> Plan Amendment Change Proposed Plan Designation(s) _____ Proposed Density (units/acre) _____ Previous Rezoning Requests _____ <input type="checkbox"/> Other (specify) _____	Pending Plat File Number
---	--------------------------------------

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

- ☐ Design Plan Certification (*Final Plat*)
☐ Use on Review / Special Use (*Concept Plan*)
☐ Traffic Impact Study
☐ COA Checklist (*Hillside Protection*)

Fee 1	Total
Fee 2	
Fee 3	

AUTHORIZATION


Applicant Signature

Tim Wells

Please Print

Date

(865) 406-7584

Phone Number

tim@timsfencing.com

Email

Tim Wells

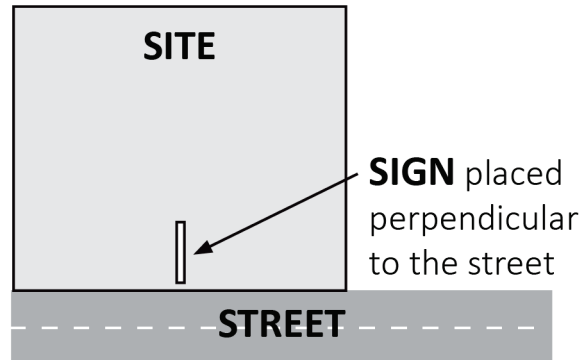
Property Owner Signature

Please Print

Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ June 28, 2024 _____ and _____ July 12, 2024 _____
(applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Tim Wells

Date: 5/29/2024

File Number: 7-H-24-DP



Sign posted by Staff



Sign posted by Applicant