



DEVELOPMENT PLAN REPORT

▶ **FILE #:** 9-A-24-DP

AGENDA ITEM #: 25

AGENDA DATE: 9/12/2024

▶ **APPLICANT:** BARNES CAPITAL MANAGEMENT, LLC

OWNER(S): R. Jason Barnes

TAX ID NUMBER: 105 L B 047

[View map on KGIS](#)

JURISDICTION: County Commission District 3

STREET ADDRESS: 8441 Old MIDDLEBROOK PIKE

▶ **LOCATION:** North side of Old Middlebrook Pike, south side of Middlebrook Pike, west of N Gallaher View Rd

▶ **APPX. SIZE OF TRACT:** 2.1 acres

GROWTH POLICY PLAN: Urban Growth Area (Outside City Limits)

ACCESSIBILITY: Access is via Old Middlebrooke Pike, a local street with a pavement width of 22 ft within a right-of-way of 55 ft.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Ten Mile Creek

▶ **ZONING:** PR (k) (Planned Residential) with conditions, up to 9 du/ac

▶ **EXISTING LAND USE:** Single Family Residential

▶ **PROPOSED USE:** 18-unit townhouse development

DENSITY PROPOSED: 8.5

HISTORY OF ZONING: This property was rezoned in April 2024 to PR up to 9 du/ac, subject to 2 conditions, installing a Type B landscape screen and sidewalks along Old Middlebrooke Pike.

SURROUNDING LAND USE AND ZONING: North: Transportation/communications/utilities - A (Agricultural)

South: Single family residential, rural residential - PR (Planned Residential) up to 12 du/ac, RB (General Residential)

East: Agriculture/forestry/vacant land - CA (General Business)

West: Single family residential - A (Agricultural)

NEIGHBORHOOD CONTEXT: The neighborhood is comprised of single family and multifamily residential housing. There is a convenience store next door to the east at the intersection of Middlebrook Pike, Old Middlebrook Pike and N Gallaher View Road.

STAFF RECOMMENDATION:

▶ **APPROVE** the development plan for a townhome development with 18 units and a 15-ft peripheral boundary reduction along the northern property line as shown on the plan, subject to 8 conditions.

1. Connection to sanitary sewer and meeting any other relevant utility provider requirements.
2. Provision for street names consistent with the Uniform Street Naming and Addressing System within Knox County (Ord 91-1-102).
3. Townhomes (multi-dwelling structures) shall not exceed 35 ft in height.
4. Provide a detailed landscape plan for review and approval by Planning staff during permitting.
5. Installing a sidewalk along the Old Middlebrook Pike frontage per Chapter 54, Article IV of the Knox County Code. Knox County Engineering and Public Works will determine the final design of the sidewalk during the design plan phase.
6. If during design plan approval or construction of the development, it is discovered that unforeseen off-site improvements within the right-of-way are necessary, the developer will either enter into an MOU with the County for these improvements or reimburse the County for their direct expenses (if competed by County crews) to make corrections deemed necessary.
7. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
8. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the PR district and the criteria for approval of a development plan.

COMMENTS:

This proposal is for 18 townhomes on approximately 2.1 acres. The property is zoned PR (k) (Planned Residential) up to 9 du/ac, subject to 2 conditions: installing a Type B landscape screen and sidewalks along Old Middlebrook Pike.

The driveway will be accessed off Old Middlebrook Pike and aligned with Roswell Road. Sidewalks are required along the frontage with Old Middlebrook Pike, which would connect with the sidewalk at Weigel's. Each unit has a one-car garage and a driveway, which together account for the required 2 parking spaces per unit. There are 5 additional guest parking spaces.

A 15-ft peripheral reduction has been requested along the southern lot line of a vacant lot to the north zoned A (Agricultural) (parcel 105LB04901). A type C landscape buffer (See exhibit A) that is 8 ft wide will be provided here. A type B landscape buffer screen 12 ft in width will be provided along Old Middlebrook Pike and the western property line shared with a single family dwelling.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE

PR (k) (Planned Residential) 9 du/ac, subject to 2 conditions installing a Type B landscape screen and sidewalks along Old Middlebrook Pike:

- A. This PR zone district is zoned for a maximum of 9 du/ac. The proposed density is 8.5 du/ac.
- B. The PR zone allows multi-dwelling developments as a permitted use. The administrative procedures for the PR zone require the Planning Commission to approve the development plan before permits can be issued (Article 5, Section 5.13.15).
- C. The Planning Commission determines the maximum height for any use other than houses and duplexes (Article 5, Section 5.13.12). Staff recommends a maximum height of 35 ft for the multi-dwelling structures, consistent with the maximum height allowed on surrounding properties. The elevations provided show the units will be 2 stories.
- D. The Planning Commission has the authority to reduce the 35-ft peripheral setback to 15 ft. The applicant is requesting a 15-ft peripheral boundary along the northern boundary line adjacent to a vacant lot shared lot line with the A-zoned property to the north.

2) KNOX COUNTY COMPREHENSIVE PLAN - FUTURE LAND USE MAP

Business Park Place Type

- A. Residential is a secondary use, and a range of housing may be considered, which includes a townhome development.

3) KNOX COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES

- A. This development is consistent with Implementation Policy 2, to ensure that development is sensitive to existing community character. - The 2-story buildings are consistent with the single family and townhomes in the area, and Type B and C landscape screens have been provided along the frontage as well as adjacent to

residential properties.

B. The development also meets Policy 4.2's goal of requiring pedestrian connections between properties. A sidewalk will be required along the frontage of Old Middlebrook Pike, which connects with Wiegel's convenience store next door and to N Gallaher View Rd, where a public bus stop is less than 0.25 miles away to the east.

4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

A. The property is within the Planned Growth Boundary. The purposes of the Planned Growth Boundary designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. This proposal is in keeping with these purposes.

ESTIMATED TRAFFIC IMPACT: 204 (average daily vehicle trips)

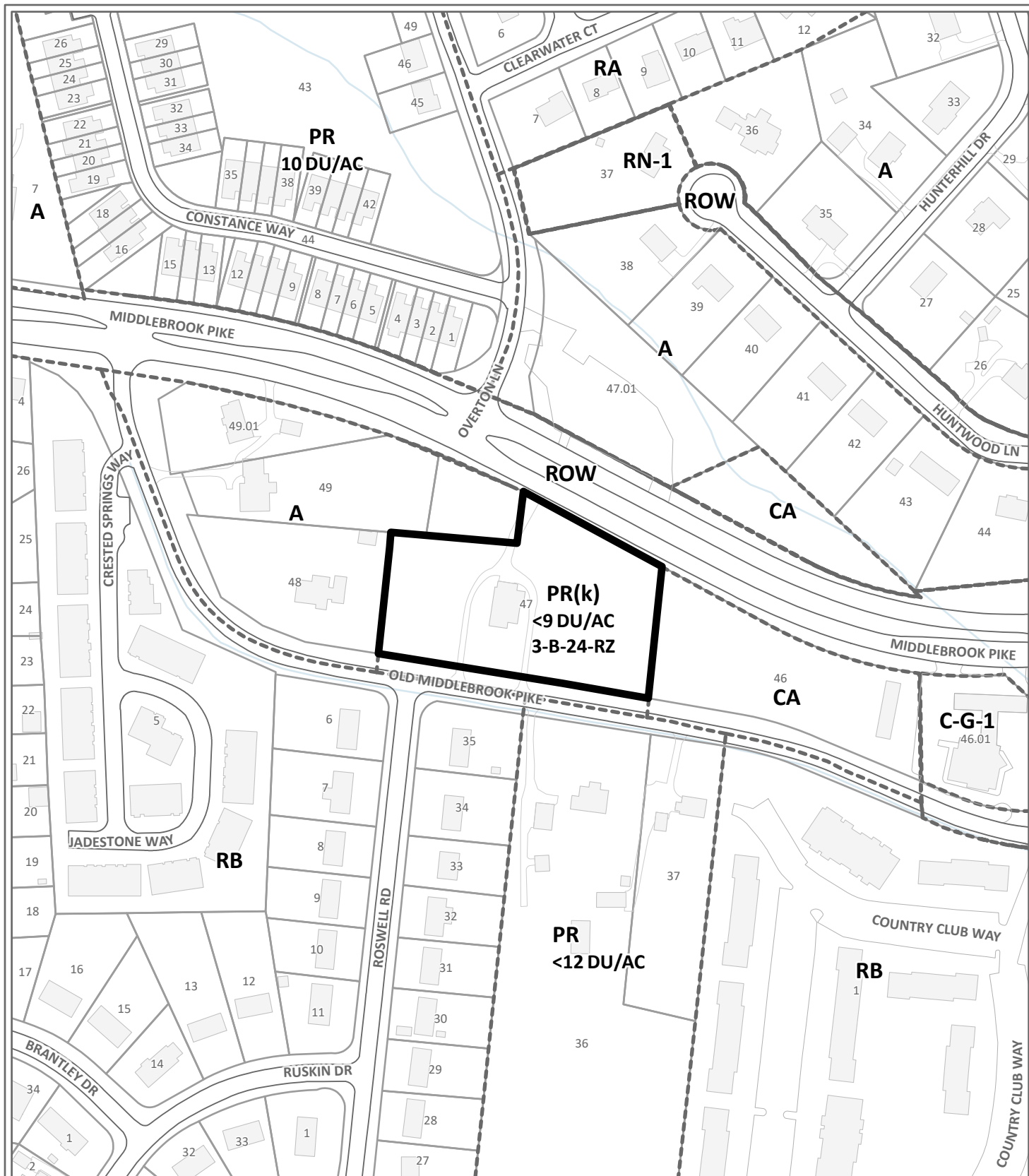
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 2 (public school children, grades K-12)

Schools affected by this proposal: Cedar Bluff Elementary, Cedar Bluff Middle, and Hardin Valley Academy.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).



DEVELOPMENT PLAN

9-A-24-DP

Petitioner: Barnes Capital Management, LLC



18-unit townhouse development in PR(k) (Planned Residential)

Map No: 105
Jurisdiction: County

Original Print Date: 8/8/2024
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

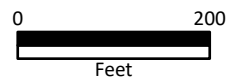
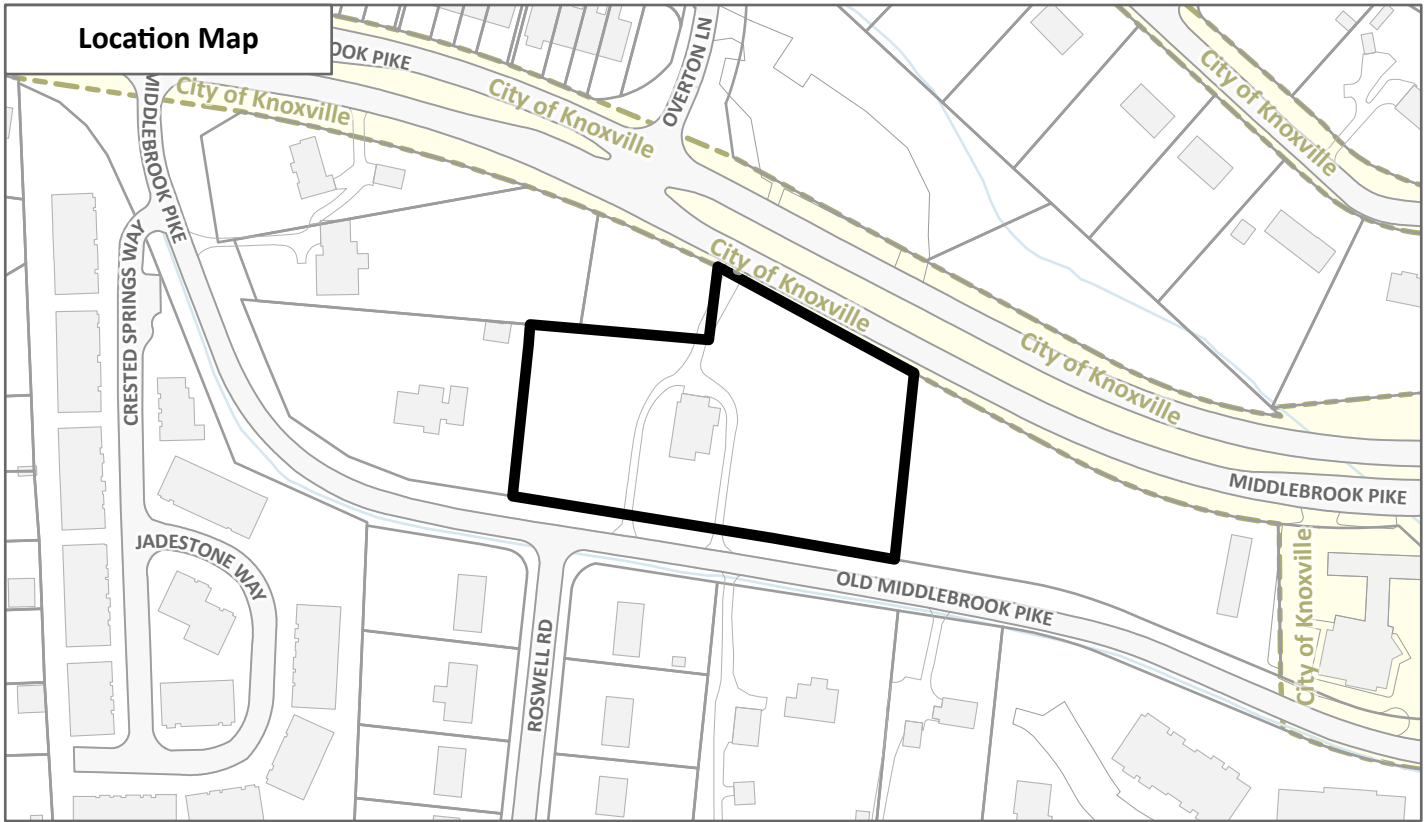


Exhibit A. Contextual Images

Location Map



Aerial Map

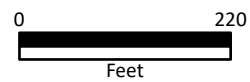


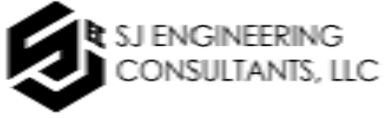
CONTEXTUAL MAPS 1

9-A-24-DP



Case boundary



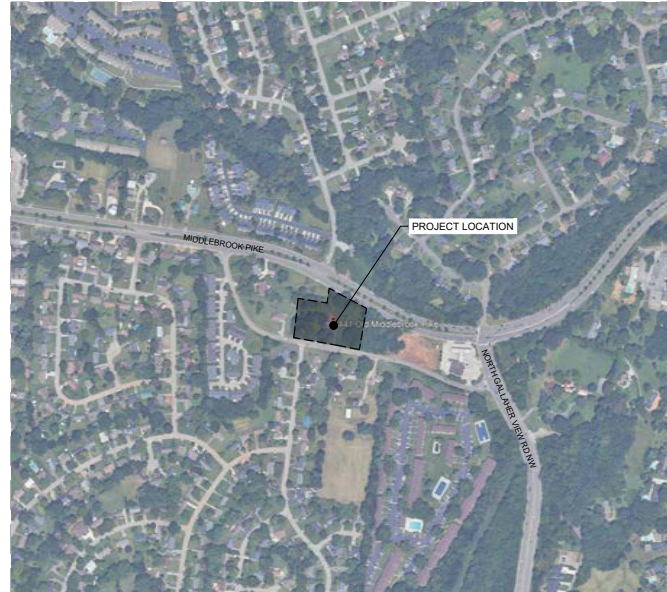
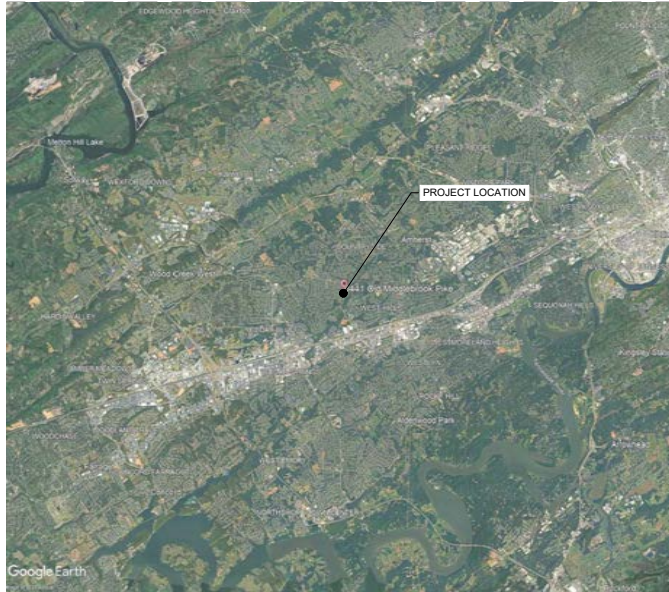


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CG401	SITE GRADING PROFILES

KNOXVILLE, TN

8441 OLD MIDDLEBROOK RESIDENTIAL TRI-PLEX DEVELOPMENT PROJECT 9-A-24-DP

JASON BARNES
(865)599-3515



PROJECT NO.: 24073
ISSUE DATE: SEPTEMBER 2024



REVISION NO.	REVISION DESCRIPTION	DATE
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B	30% DESIGN	09/01/24

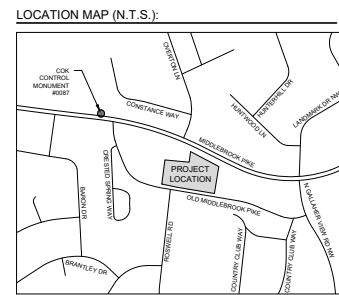
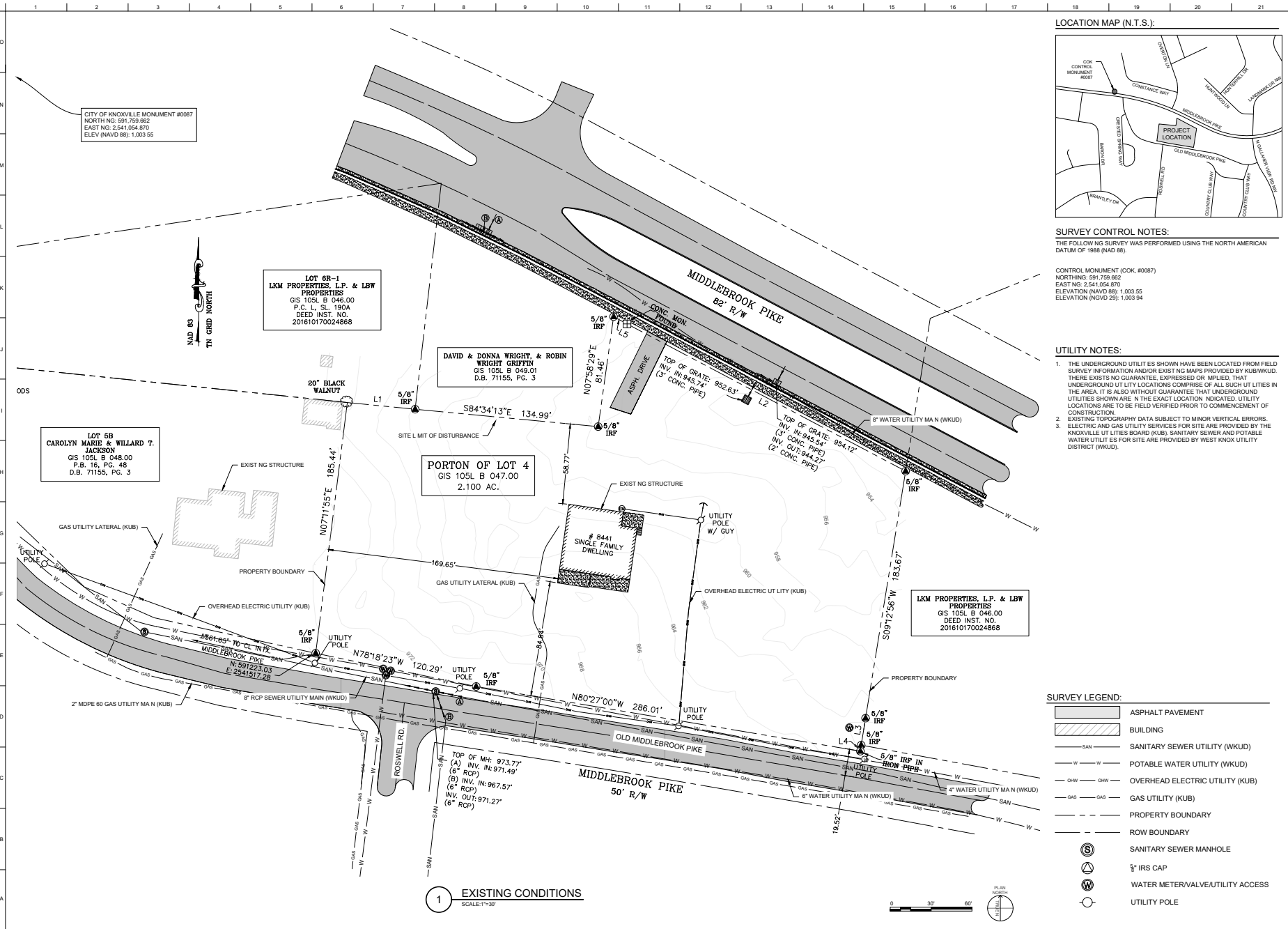
CLIENT: JASON BARNES
ISSUE DATE: SEPTEMBER, 2024
DESIGNED BY: E. MCCUTCHEON
DRAWN BY: E. MCCUTCHEON
CHECKED BY: V. EVANS
SUBMITTED BY: V. EVANS
SHEET SIZE: 27x34"

8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRI-PLEX DEVELOPMENT (PRIVATE)
KNOXVILLE, TN
JASON BARNES
(865)599-3515

PROJECT NO.
24073
SHEET
G-001

COVER SHEET

8441_OLD_MIDDLEBROOK - 35_MODEL.DWG
September 2, 2024



SURVEY CONTROL NOTES:
THE FOLLOWING SURVEY WAS PERFORMED USING THE NORTH AMERICAN DATUM OF 1988 (NAD 88).

CONTROL MONUMENT (COK, #0087)
NORTHINGS: 591,759.662
EAST NG: 2,541,054.870
ELEVATION (NAVD 88): 1,003.35
ELEVATION (NGVD 29): 1,003.94

UTILITY NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING NG MAPS PROVIDED BY KUB/WKUD. THERE EXISTS NO GUARANTEE, EXPRESSED OR IMPLIED, THAT UNDERGROUND UTILITY LOCATIONS COMPRISE OF ALL SUCH UTILITIES IN THE AREA. IT IS ALSO WITHOUT GUARANTEE THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. UTILITY LOCATIONS ARE TO BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. EXISTING TOPOGRAPHY DATA SUBJECT TO MINOR VERTICAL ERRORS.
3. ELECTRIC AND GAS UTILITY SERVICES FOR SITE ARE PROVIDED BY THE KNOXVILLE UTILITIES BOARD (KUB), SANITARY SEWER AND POTABLE WATER UTILITIES FOR SITE ARE PROVIDED BY WEST KNOX UTILITY DISTRICT (WKUD).

SURVEY LEGEND:

	ASPHALT PAVEMENT
	BUILDING
	SANITARY SEWER UTILITY (WKUD)
	POTABLE WATER UTILITY (WKUD)
	OVERHEAD ELECTRIC UTILITY (KUB)
	GAS UTILITY (KUB)
	PROPERTY BOUNDARY
	ROW BOUNDARY
	SANITARY SEWER MANHOLE
	5/8" IRS CAP
	WATER METER/VALVE/UTILITY ACCESS
	UTILITY POLE

1 EXISTING CONDITIONS
SCALE: 1"=50'



SJ ENGINEERING CONSULTANTS, LLC
1055 NOD ST. KNOXVILLE TN 37892
(865)315-8608

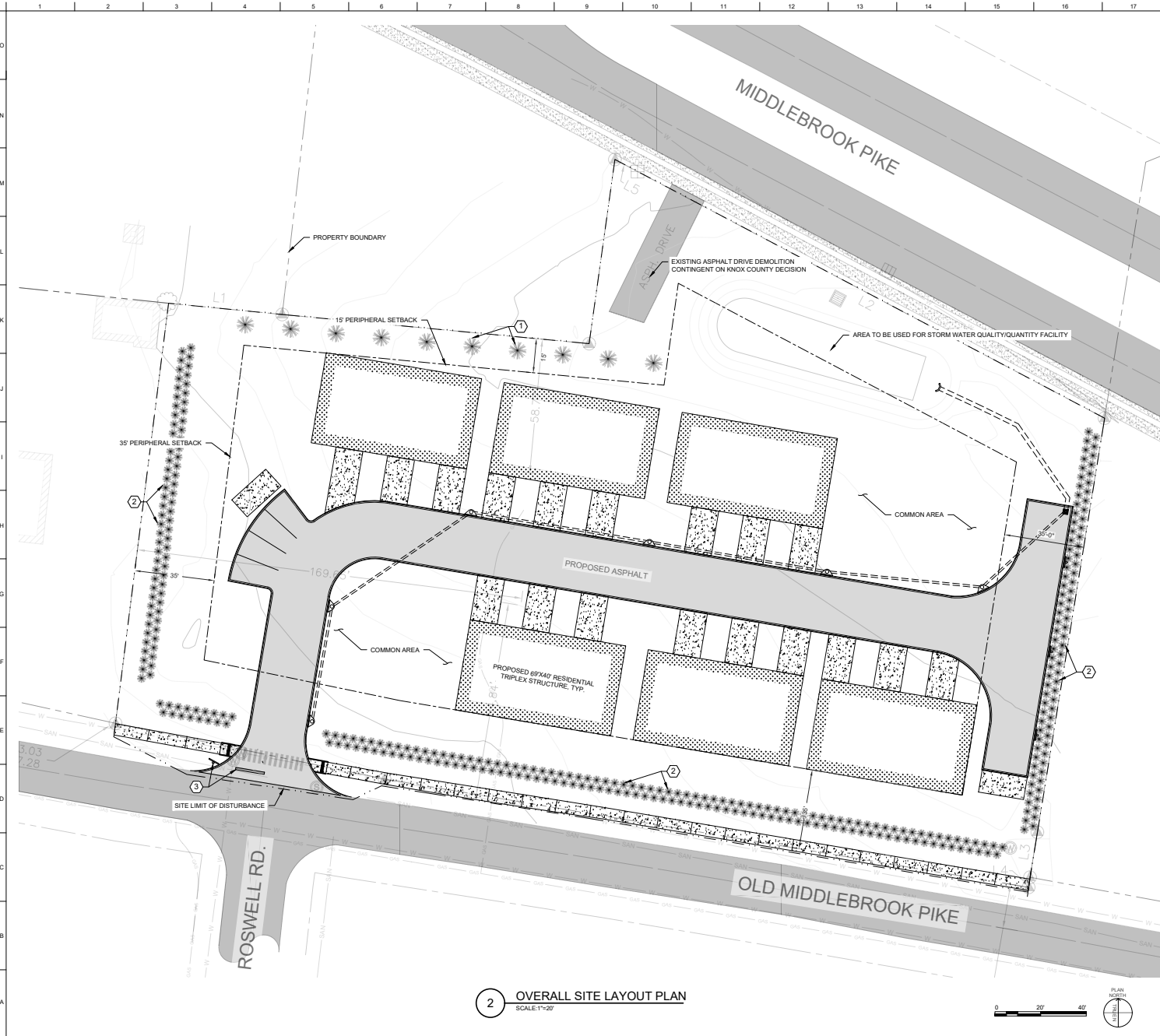
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07/05/24 <td>PRELIMINARY DESIGN</td>	PRELIMINARY DESIGN
08/01/24 <td>35% DESIGN</td>	35% DESIGN

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8441 OLD MIDDLEBROOK (9-A-24-PP)
RESIDENTIAL TRIPLEX DEVELOPMENT (PRIVATE)
JASON BARNES
KNOXVILLE, TN
865/315-8608

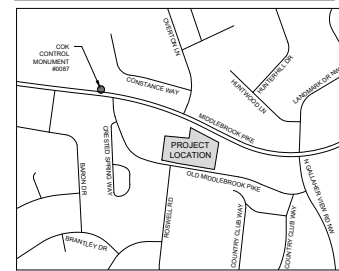
PROJECT NO. 24073
SHEET V-101

EXISTING CONDITIONS



2 OVERALL SITE LAYOUT PLAN
SCALE: 1"=20'

LOCATION MAP (N.T.S.):



GENERAL NOTES:

1. REQUIRED PARKING QUANTITY IS TO BE COMPLIANT WITH KNOX COUNTY ARTICLE 3.50.10 WHEREAS THE REQUIREMENT IS STATED THAT AVAILABLE SPOTS MUST MEET OR EXCEED 1.5X THE QUANTITY OF RESIDENTIAL UNITS.
2. ALL BITUMINOUS ASPHALT SHALL MEET OR EXCEED TDOT SPECIFICATIONS.
3. CONCRETE DRIVEWAYS SHALL BE 12 X 20, TYP. GARAGES ARE TO BE APPROXIMATELY 12 X 22, TYP.
4. 35'-0" PERIPHERAL SETBACK SHALL BE MAINTAINED FOR ALL FEASIBLE AREAS.

KEYED NOTES:

1. TYPE "C" PARTIAL LANDSCAPING SCREEN WITH 8'-0" LANDSCAPE BUFFER IN ACCORDANCE WITH KNOX COUNTY STANDARDS.
2. TYPE "B" LANDSCAPING SCREEN WITH 12'-0" LANDSCAPE BUFFER IN ACCORDANCE WITH KNOX COUNTY STANDARDS.
3. POST MOUNTED STOP SIGN AND STOP BAR TO BE MUTCD COMPLIANT.

SITE FEATURE	QUANTITY
RESIDENTIAL UNITS	18
SINGLE CAR GARAGES	18
SINGLE CAR DRIVEWAYS	18
TOTAL PARKING SPOTS AVAILABLE	41
REQD RED PARKING SPOTS	27

* QUANTITY OF REQUIRED PARKING SPOTS ARE BASED ON 1.5 SPOTS PER RESIDENTIAL UNIT PER KNOX COUNTY ARTICLE 3.50.10

SITE LAYOUT LEGEND:

- ASPHALT PAVEMENT
- BUILDING
- 6" CONCRETE CURB AND GUTTER
- LIMITS OF DEVELOPER DISTURBANCE
- PROPERTY BOUNDARY
- PERIPHERAL BOUNDARY SETBACK
- POST MOUNTED SIGN

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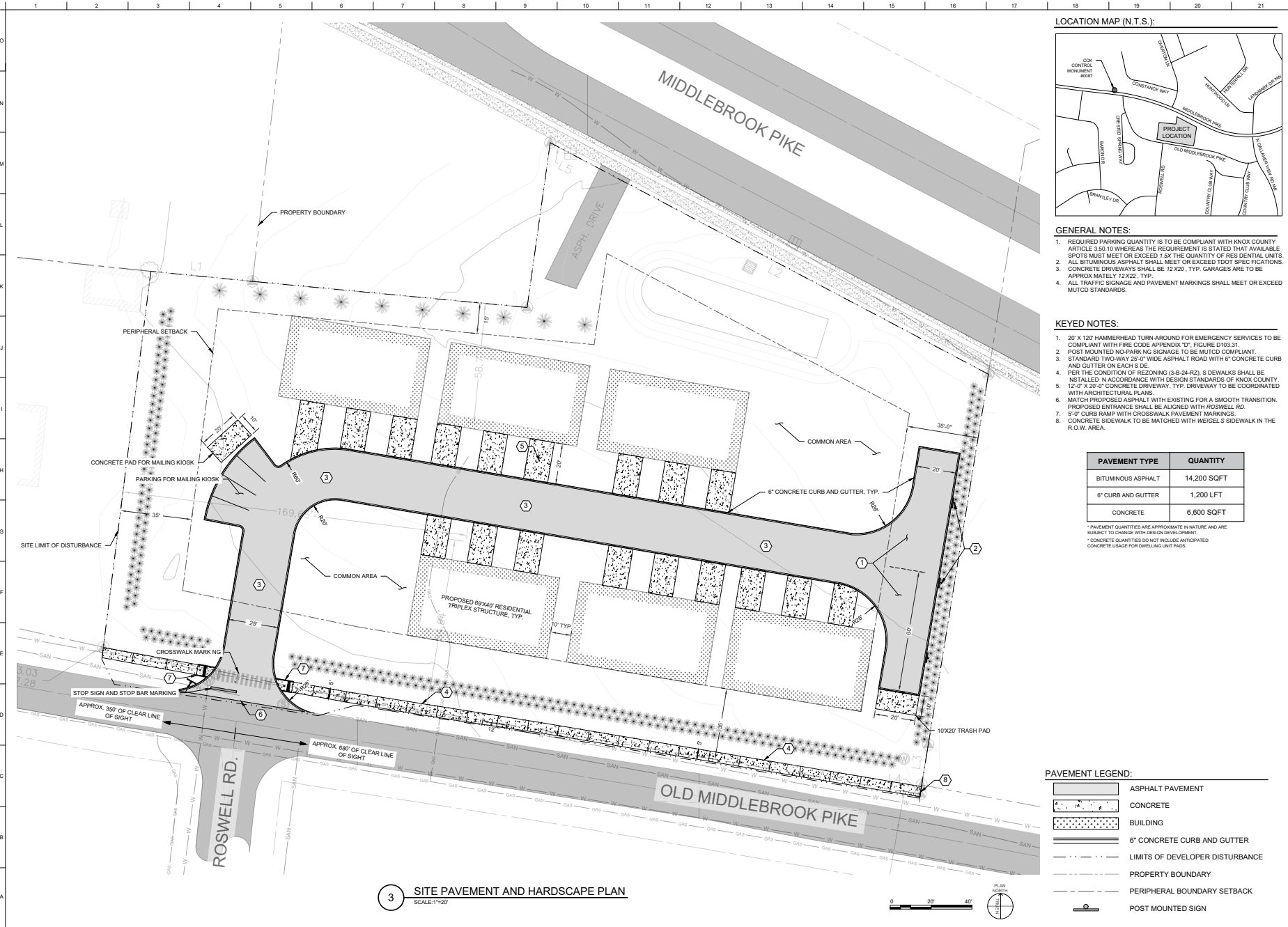
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	08/01/24	PRELIMINARY DESIGN	
		30% DESIGN	

CLIENT: JASON BARNES
 ISSUE DATE: SEPTEMBER, 2024
 DESIGNED BY: E. MCCLUTCHERON
 DRAWN BY: E. MCCLUTCHERON
 CHECKED BY: V. EVANS
 SUBMITTED BY: V. EVANS
 SHEET SIZE: 22"X34"

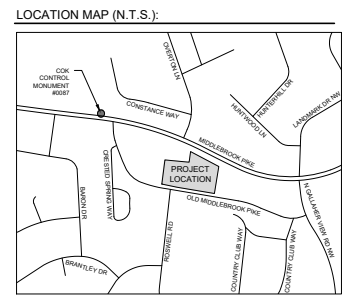
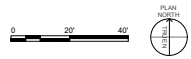
**8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRIPLEX DEVELOPMENT (PRIVATE)**
 KNOXVILLE, TN
 JASON BARNES
 (865)315-8608

PROJECT NO. 24073
 SHEET **CS101**

OVERALL SITE LAYOUT PLAN



3 SITE PAVEMENT AND HARDSCAPE PLAN
SCALE: 1"=20'



- GENERAL NOTES:**
1. REQUIRED PARKING QUANTITY IS TO BE COMPLIANT WITH KNOX COUNTY ARTICLE 3.50 TO WHEREAS THE REQUIREMENT IS STATED THAT AVAILABLE SPOTS MUST MEET OR EXCEED 1.5X THE QUANTITY OF RESIDENTIAL UNITS.
 2. ALL BITUMINOUS ASPHALT SHALL MEET OR EXCEED TDOT SPECIFICATIONS.
 3. CONCRETE DRIVEWAYS SHALL BE 12 X20' TYP. GARAGES ARE TO BE APPROXIMATELY 12 X22' TYP.
 4. ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL MEET OR EXCEED MUTCD STANDARDS.

- KEYED NOTES:**
1. 20' X 120' HAMMERHEAD TURN-AROUND FOR EMERGENCY SERVICES TO BE COMPLIANT WITH FIRE CODE APPENDIX 'D', FIGURE D103.31.
 2. POST MOUNTED NO-PARKING SIGNAGE TO BE MUTCD COMPLIANT.
 3. STANDARD TWO-WAY 25'-0" WIDE ASPHALT ROAD WITH 6" CONCRETE CURB AND GUTTER ON EACH SIDE.
 4. PER THE CONDITION OF REZONING (3-B-24-R2), SIDEWALKS SHALL BE INSTALLED IN ACCORDANCE WITH DESIGN STANDARDS OF KNOX COUNTY.
 5. 12'-0" X 20'-0" CONCRETE DRIVEWAY, TYP. DRIVEWAY TO BE COORDINATED WITH ARCHITECTURAL PLANS.
 6. MATCH PROPOSED ASPHALT WITH EXISTING FOR A SMOOTH TRANSITION. PROPOSED ENTRANCE SHALL BE ALIGNED WITH ROSWELL RD.
 7. 5'-0" CURB RAMP WITH CROSSWALK PAVEMENT MARKINGS.
 8. CONCRETE SIDEWALK TO BE MATCHED WITH WEIGEL'S SIDEWALK IN THE R.O.W. AREA.

PAVEMENT TYPE	QUANTITY
BITUMINOUS ASPHALT	14,200 SQFT
6" CURB AND GUTTER	1,200 LFT
CONCRETE	6,600 SQFT

* PAVEMENT QUANTITIES ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE WITH DESIGN DEVELOPMENT.
* CONCRETE QUANTITIES DO NOT INCLUDE ANTICIPATED CONCRETE USAGE FOR DWELLING UNIT PADS.

PAVEMENT LEGEND:

	ASPHALT PAVEMENT
	CONCRETE
	BUILDING
	6" CONCRETE CURB AND GUTTER
	LIMITS OF DEVELOPER DISTURBANCE
	PROPERTY BOUNDARY
	PERIPHERAL BOUNDARY SETBACK
	POST MOUNTED SIGN

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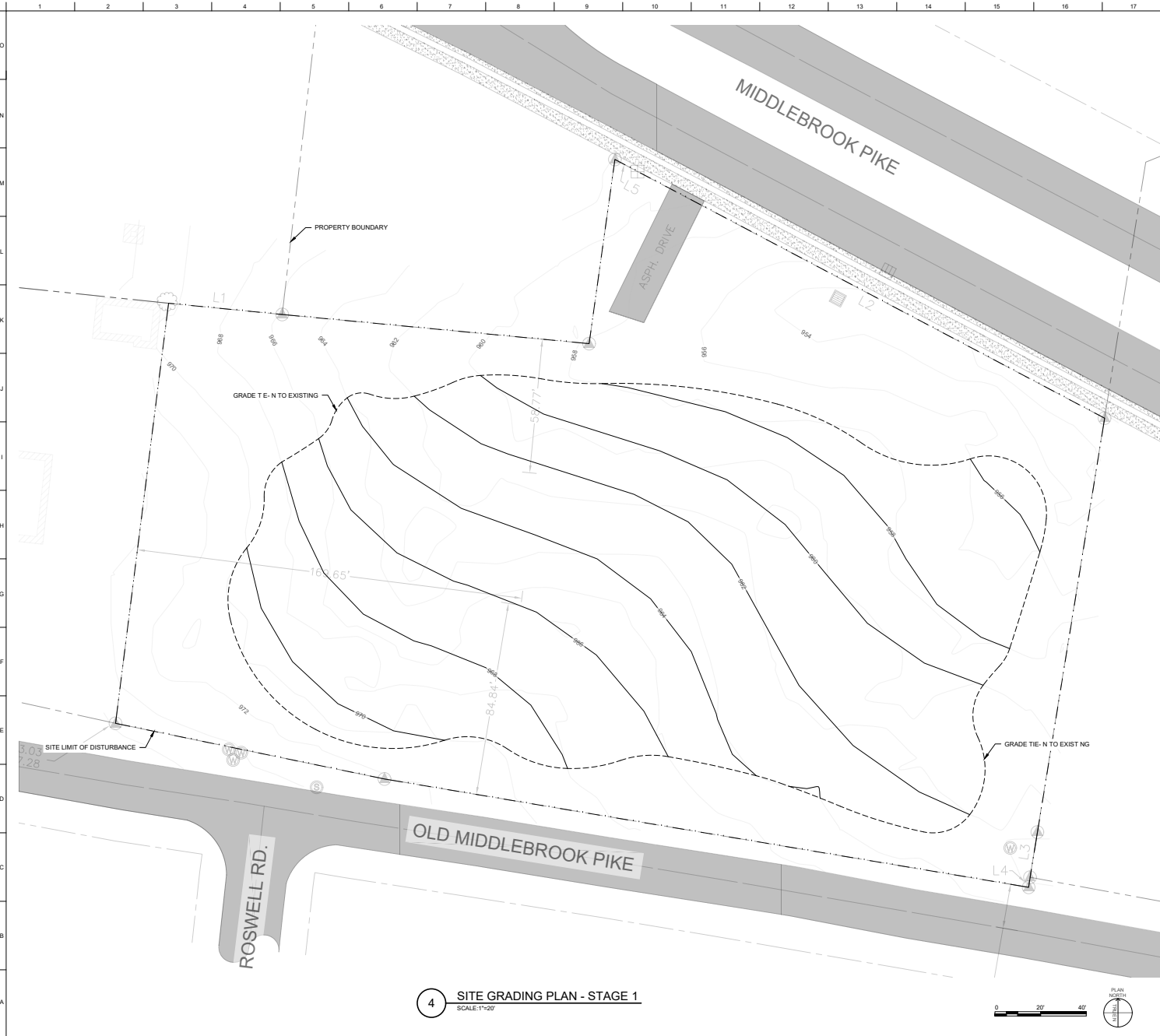
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A	
B	

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KNOXVILLE, TN
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SITE PAVEMENT AND HARDSCAPE PLAN

PROJECT NO. 24073
SHEET **CH101**



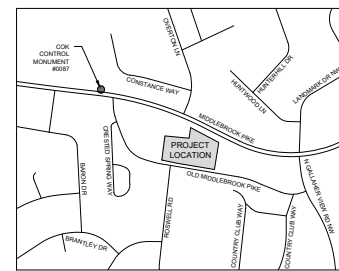
4 SITE GRADING PLAN - STAGE 1
SCALE: 1"=20'



GRADING LEGEND:

- - - - - LIMITS OF DEVELOPER DISTURBANCE
- _____ EXISTING CONTOUR
- _____ PROPOSED CONTOUR
- - - - - GRADING TIE-IN TO EXISTING

LOCATION MAP (N.T.S.):



GENERAL NOTES:

- PROPOSED GRADING IS APPROXIMATE AND WILL BE ADJUSTED ACCORDINGLY AS PLANS ARE DEVELOPED.

EARTHWORK OPERATION	QUANTITY (CY)
CUT	435
FILL	905
NET	470 (FILL)

*EARTHWORK QUANTITIES ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE WITH DESIGN PROGRESSION.



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08/01/24	35% DESIGN

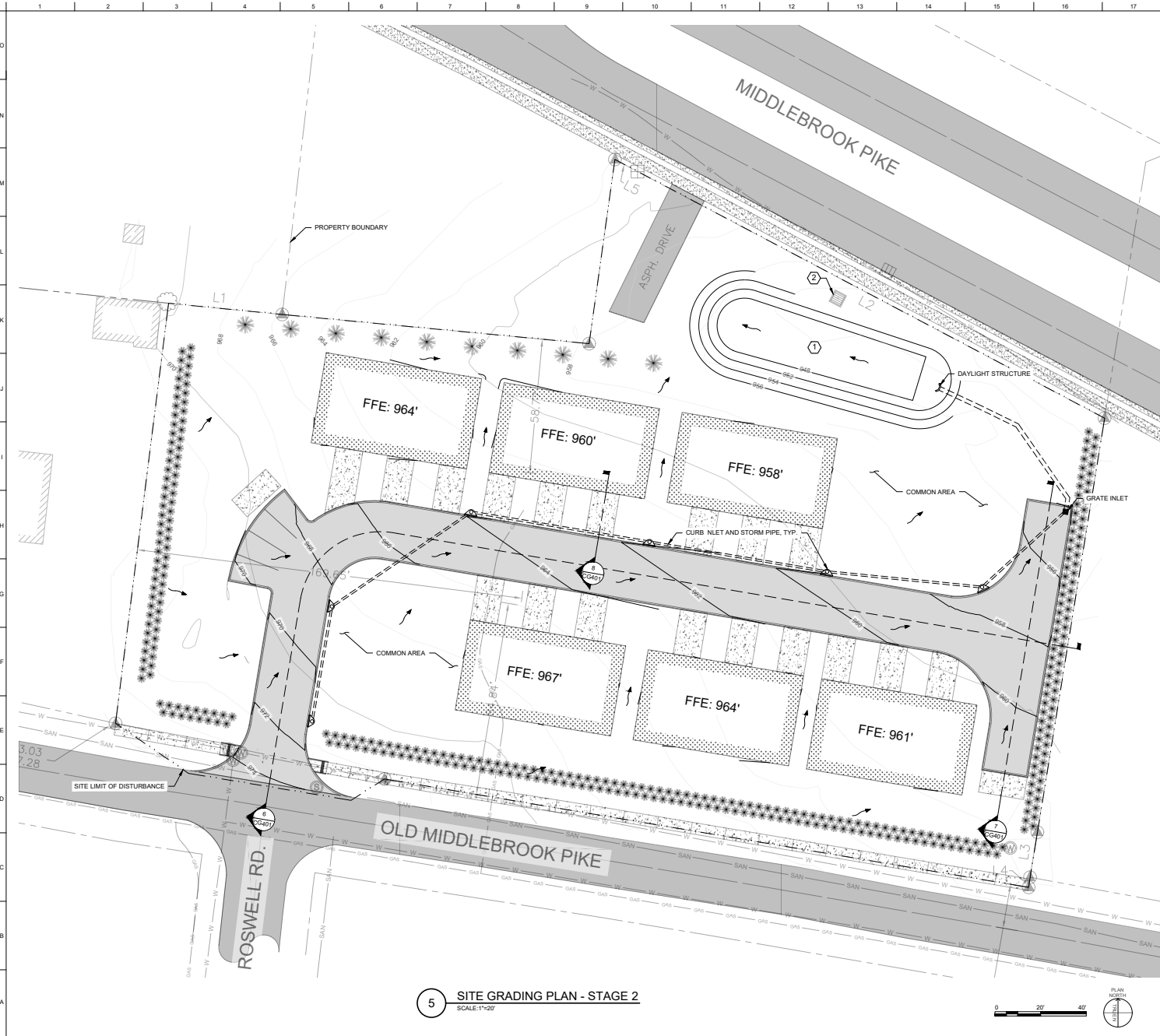
REVISIONS	CLIENT:
A	JASON BARNES
B	ISSUE DATE: SEPTEMBER, 2024
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SITE GRADING PLAN - STAGE 1

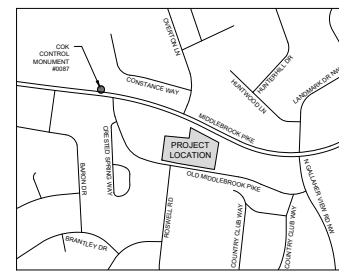
PROJECT NO.
24073

SHEET
CG101



5 SITE GRADING PLAN - STAGE 2
SCALE: 1"=20'

LOCATION MAP (N.T.S.):



GENERAL NOTES:

1. PROPOSED GRADING IS APPROXIMATE AND WILL BE ADJUSTED ACCORDINGLY AS PLANS ARE DEVELOPED.
2. STORM WATER DRAINAGE STRUCTURES AND PIPE NETWORKS WILL BE ADJUSTED ACCORDINGLY AS SWPPP IS DEVELOPED.
3. GRADING OPERATIONS SHALL HAVE A MAXIMUM SLOPE OF 2:1, TYP.

KEYED NOTES:

1. APPROXIMATE SIZE AND PLACEMENT OF RUNOFF DETENTION POND, SIZE AND PLACEMENT SUBJECT TO CHANGE WITH DESIGN DEVELOPMENT.
2. EXISTING GRATE INLET TO BE USED AS TIE-IN POINT FOR DETENTION POND OUTLET STRUCTURE.

EARTHWORK OPERATION	QUANTITY (CY)
CUT	450
FILL	220
NET	230 (CUT)

*EARTHWORK QUANTITIES ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE WITH DESIGN PROGRESSION.

GRADING AND DRAINAGE LEGEND:

- LIMITS OF DEVELOPER DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STORM SEWER PIPE
- CURB INLET
- GRATE INLET
- DAYLIGHT STRUCTURE
- RUNOFF DIRECTION

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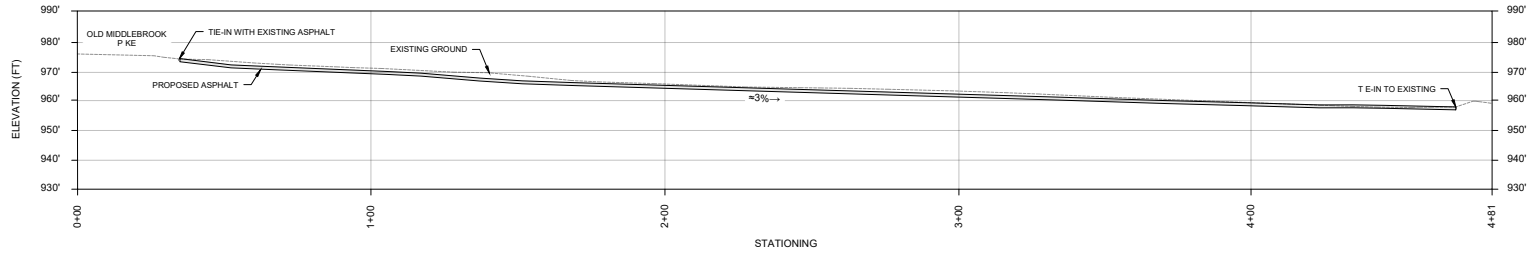
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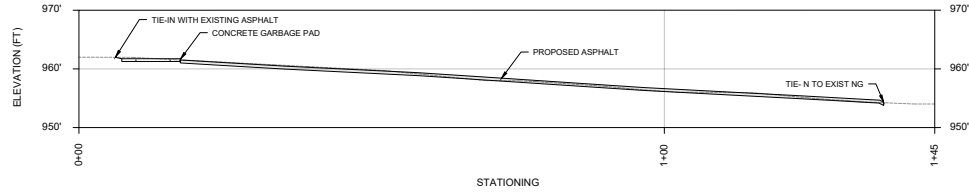
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SHEET
CG102

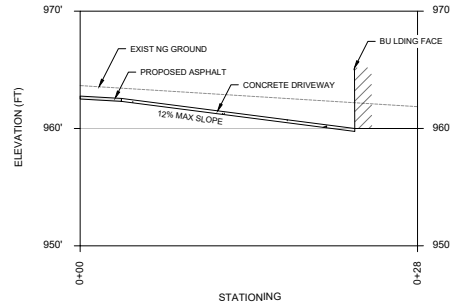
SITE GRADING PLANE - STAGE 2



6 ROAD PROFILE
SCALE: 1"=20'



7 TURN-AROUND PROFILE
SCALE: 1"=10'



8 TYP. DRIVEWAY PROFILE
SCALE: 1"=5'

DRIVEWAY NOTES:

1. DRIVEWAY PROFILE SHOWN IS A TYPICAL PROFILE THAT WILL HOLD TRUE FOR MOST DRIVEWAYS. INDIVIDUAL DRIVEWAYS WILL VARY SLIGHTLY IN ELEVATION AND SLOPE.
2. DRIVEWAYS THAT HAVE NEGATIVE SLOPE TOWARDS THE BUILDING WILL BE INSTALLED WITH TRENCH DRAINS AT THE BUILDING FACE.



DATE	07/05/24
REVISION	08/01/24
REVISION DESCRIPTION	PRELIMINARY DESIGN
REVISION	08/01/24
REVISION DESCRIPTION	35% DESIGN

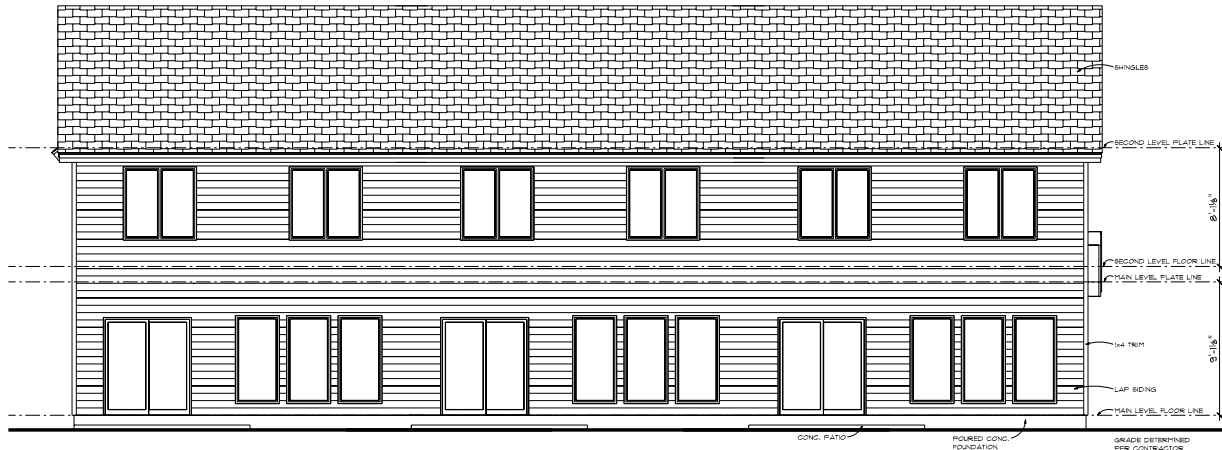
CLIENT:	JASON BARNES
ISSUE DATE:	SEPTEMBER, 2024
DESIGNED BY:	E. MCCLUTCHERON
DRAWN BY:	E. MCCLUTCHERON
CHECKED BY:	V. EVANS
SUBMITTED BY:	V. EVANS
SHEET SIZE:	27X34"

8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRIPLEX DEVELOPMENT (PRIVATE)
KNOXVILLE, TN
JASON BARNES
865.315.8608

SITE GRADING PROFILES

PROJECT NO.
24073

SHEET
CG401



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

9-A-24-DP
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Water-Tight Slab



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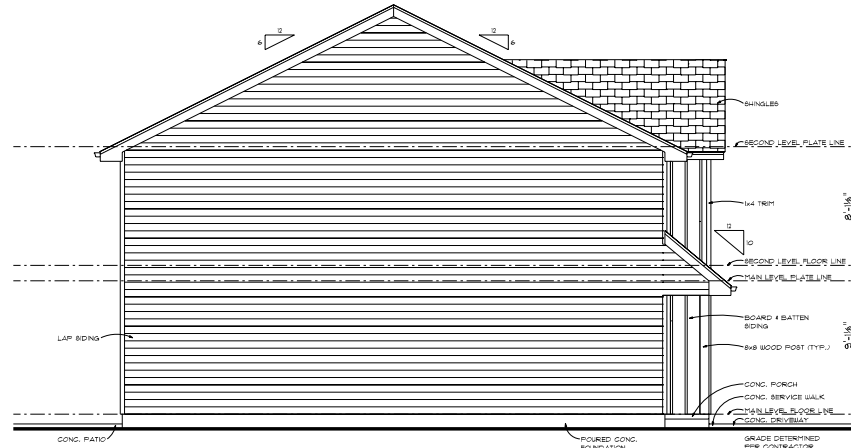
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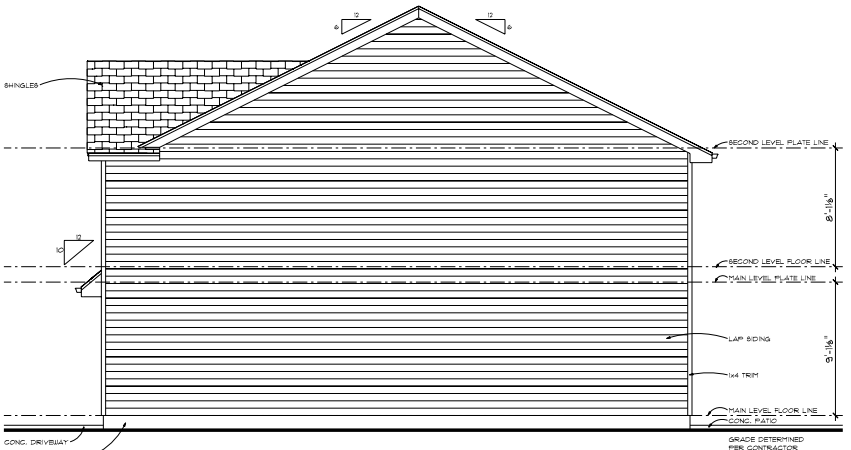
SHEET
2

1/8" SCALE = 11'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"

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3
OF 3

DATE SCALE 11-1-2023



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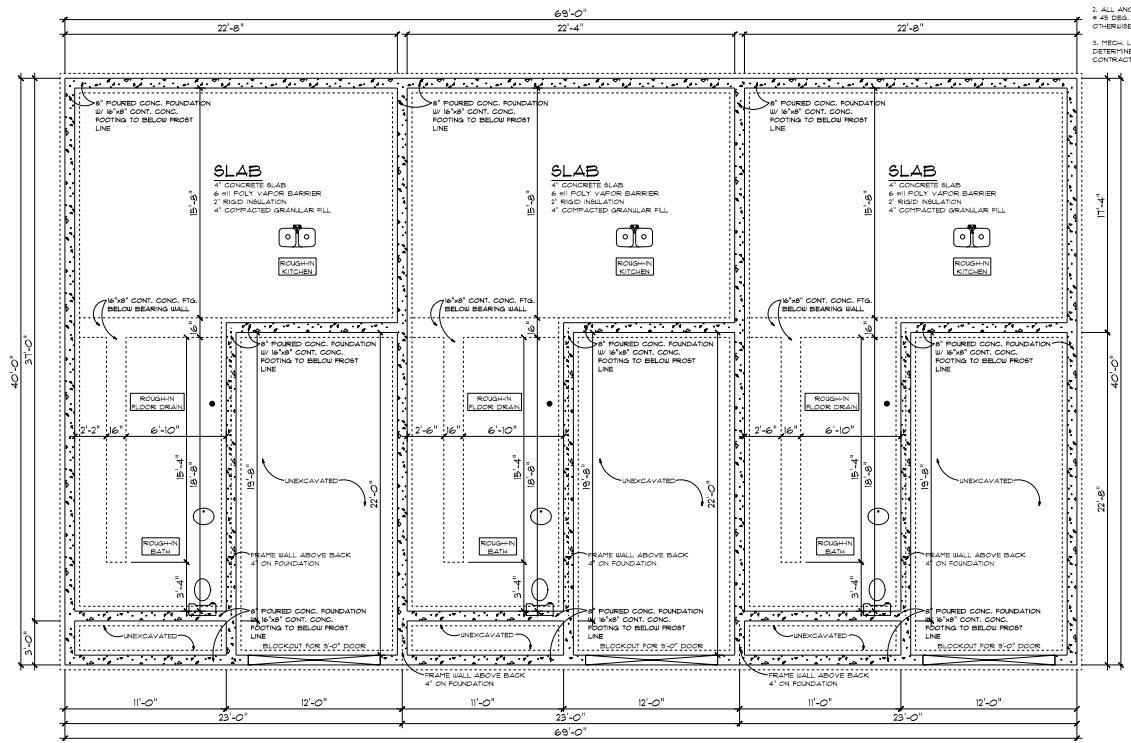
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SHEET
4

SCALE: 1/4" = 1'-0"

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GENERAL NOTES:
1. FOUNDATION WALLS ARE 8" TO BELOW FROST LINE UNLESS NOTED OTHERWISE.
2. ALL ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE.
3. MECH. LOCATION DETERMINED PER CONTRACTOR.



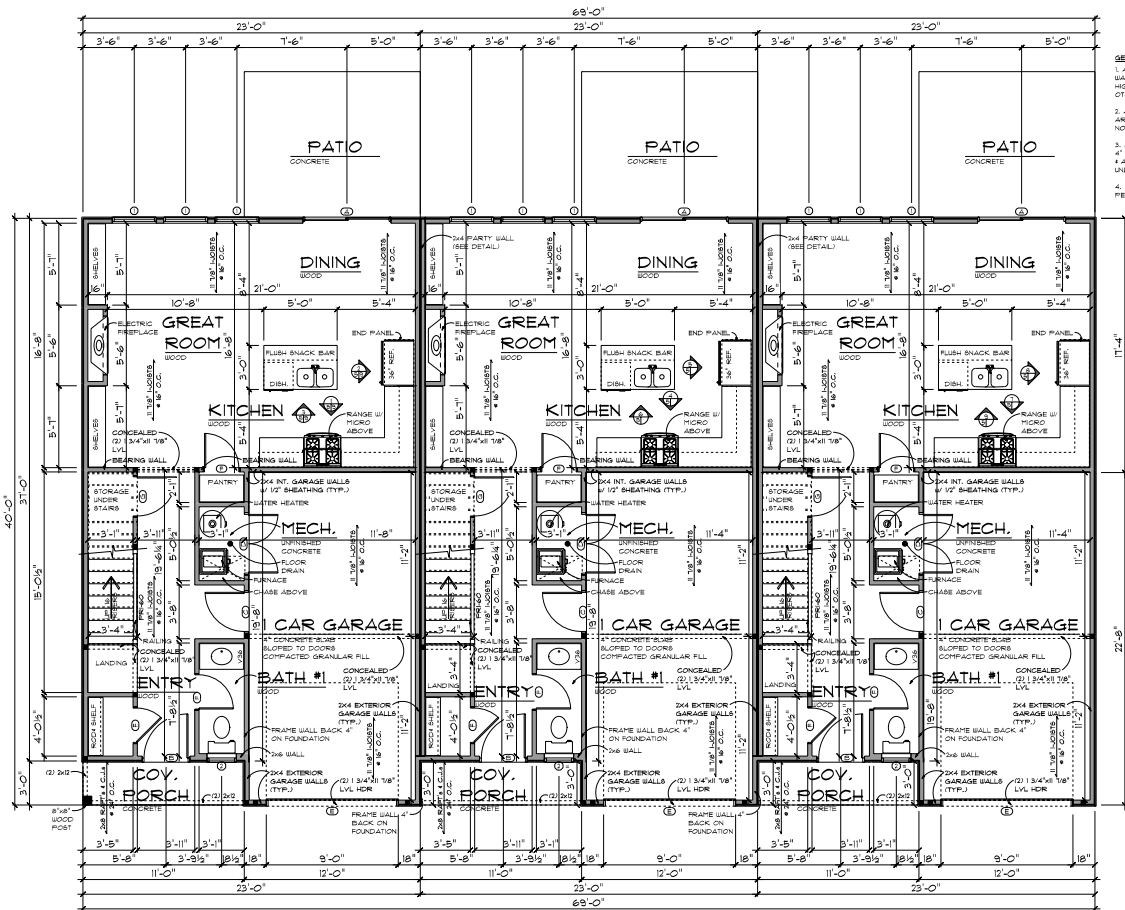
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

9-A-24-DP
7/15/2024

OPENING SCHEDULE - UNIT A				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
I	WINDOW	36X72 CASHEMINT 1	3'-0" x 6'-0"	3
J	WINDOW	24X48 CASHEMINT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	25X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X60 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR 1	4'-0" x 6'-8"	1
E	GARAGE	CONTRM - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	32X60 1	2'-4" x 6'-8"	3
G	DOOR	32X60 1	2'-8" x 6'-8"	1

OPENING SCHEDULE - UNIT B				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
I	WINDOW	36X72 CASHEMINT 1	3'-0" x 6'-0"	3
J	WINDOW	24X48 CASHEMINT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	25X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X60 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR 1	4'-0" x 6'-8"	1
E	GARAGE	CONTRM - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	32X60 1	2'-4" x 6'-8"	3
G	DOOR	32X60 1	2'-8" x 6'-8"	1

OPENING SCHEDULE - UNIT C				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
I	WINDOW	36X72 CASHEMINT 1	3'-0" x 6'-0"	3
J	WINDOW	24X48 CASHEMINT 1	2'-0" x 4'-0"	1
A	SLIDING DOOR	25X80 SLIDING GLASS 2	6'-0" x 6'-8"	1
B	DOOR	36X80 GLASS 1	3'-0" x 6'-8"	1
C	DOOR	32X60 EXTERIOR 1	2'-8" x 6'-8"	1
D	DOOR	48X80 EXTERIOR 1	4'-0" x 6'-8"	1
E	GARAGE	CONTRM - 2 PANEL	9'-0" x 8'-0"	1
F	DOOR	32X60 1	2'-4" x 6'-8"	3
G	DOOR	32X60 1	2'-8" x 6'-8"	1



- GENERAL NOTES:**
1. ALL MAIN LEVEL WALLS ARE 5 1/2" HIGH UNLESS NOTED OTHERWISE
 2. ALL ANGLED WALLS ARE # 45 DEG. UNLESS NOTED OTHERWISE
 3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUDY) SHEATHING
 4. ALL INTERIOR WALLS ARE 5 1/2" UNLESS NOTED OTHERWISE
 5. MECH. LOCATION DETERMINED PER CONTRACTOR

UNIT A	
MAIN LEVEL	622 sq ft.
SECOND LEVEL	842 sq ft.
TOTAL FINISHED	1464 sq ft.
GARAGE	284 sq ft.
COVERED PORCH	33 sq ft.

UNIT B	
MAIN LEVEL	622 sq ft.
SECOND LEVEL	842 sq ft.
TOTAL FINISHED	1464 sq ft.
GARAGE	284 sq ft.
COVERED PORCH	33 sq ft.

UNIT C	
MAIN LEVEL	622 sq ft.
SECOND LEVEL	842 sq ft.
TOTAL FINISHED	1464 sq ft.
GARAGE	284 sq ft.
COVERED PORCH	33 sq ft.

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

9-A-24-DP
7/15/2024



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REVISION

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Slab



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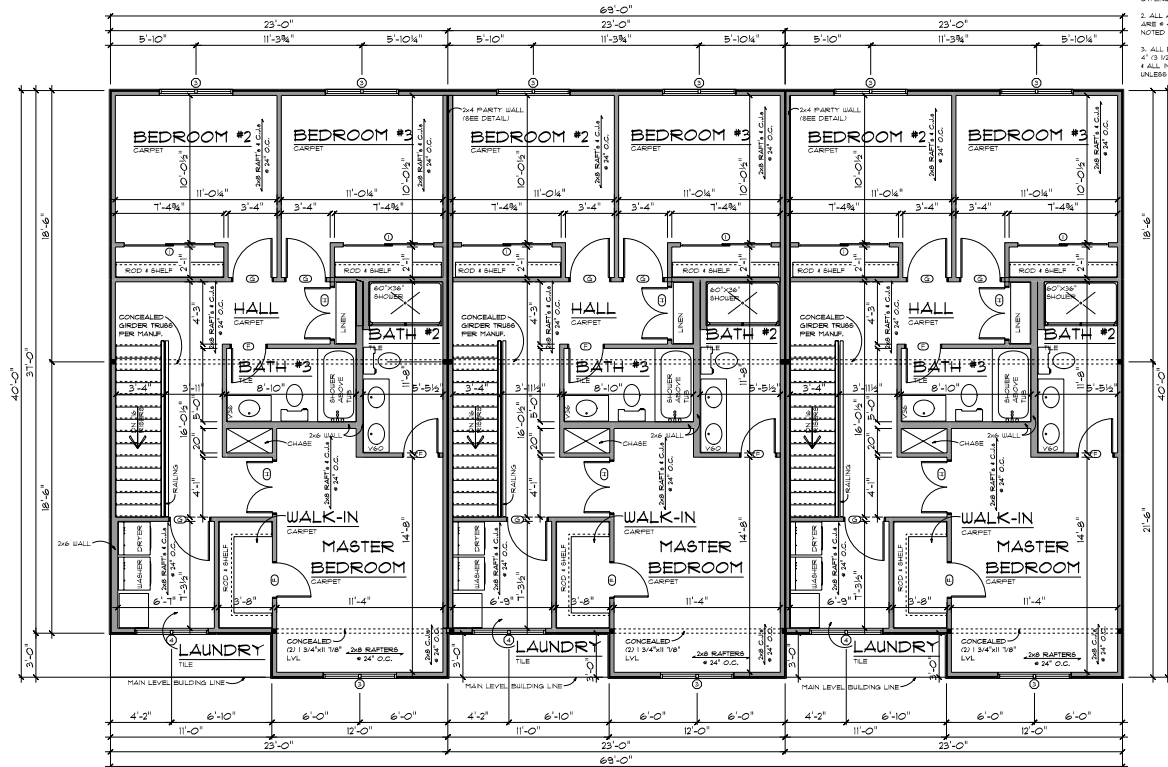
DATE PLOTTED: 6/20/2024

OPENING SCHEDULE - UNIT A				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
2	WINDOW	60X40 CASERMENT 2	3'-0" x 3'-0"	2
4	WINDOW	60X40 CASERMENT 2	3'-0" x 3'-6"	1
G	DOOR	30X80 1	2'-8" x 6'-8"	3
H	DOOR	30X80 1	2'-4" x 6'-8"	3
I	SLIDING DOOR	40X80 2	3'-6" x 6'-8"	2
J	SLIDING DOOR	10X80 SLIDING 2	6'-0" x 6'-8"	2

OPENING SCHEDULE - UNIT B				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
2	WINDOW	60X40 CASERMENT 2	3'-0" x 3'-0"	3
4	WINDOW	60X40 CASERMENT 2	3'-0" x 3'-6"	1
G	DOOR	30X80 1	2'-8" x 6'-8"	3
H	DOOR	30X80 1	2'-4" x 6'-8"	3
I	SLIDING DOOR	40X80 2	3'-6" x 6'-8"	2
J	SLIDING DOOR	10X80 SLIDING 2	6'-0" x 6'-8"	2

OPENING SCHEDULE - UNIT C				
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
2	WINDOW	60X40 CASERMENT 2	3'-0" x 3'-0"	3
4	WINDOW	60X40 CASERMENT 2	3'-0" x 3'-6"	1
G	DOOR	30X80 1	2'-8" x 6'-8"	3
H	DOOR	30X80 1	2'-4" x 6'-8"	3
I	SLIDING DOOR	40X80 2	3'-6" x 6'-8"	2
J	SLIDING DOOR	10X80 SLIDING 2	6'-0" x 6'-8"	2

- GENERAL NOTES:**
1. ALL SECOND LEVEL WALLS ARE 8" 1/2" HIGH UNLESS NOTED OTHERWISE.
 2. ALL ANGLED WALLS ARE 48 DEG. UNLESS NOTED OTHERWISE.
 3. ALL EXTERIOR WALLS ARE 4" 3/4" STUD/2" SHEATHING.
 4. ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE.



UNIT A
SECOND LEVEL [842 sq. ft.]

UNIT B
SECOND LEVEL [842 sq. ft.]

UNIT C
SECOND LEVEL [842 sq. ft.]

SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

9-A-24-DP
7/15/2024



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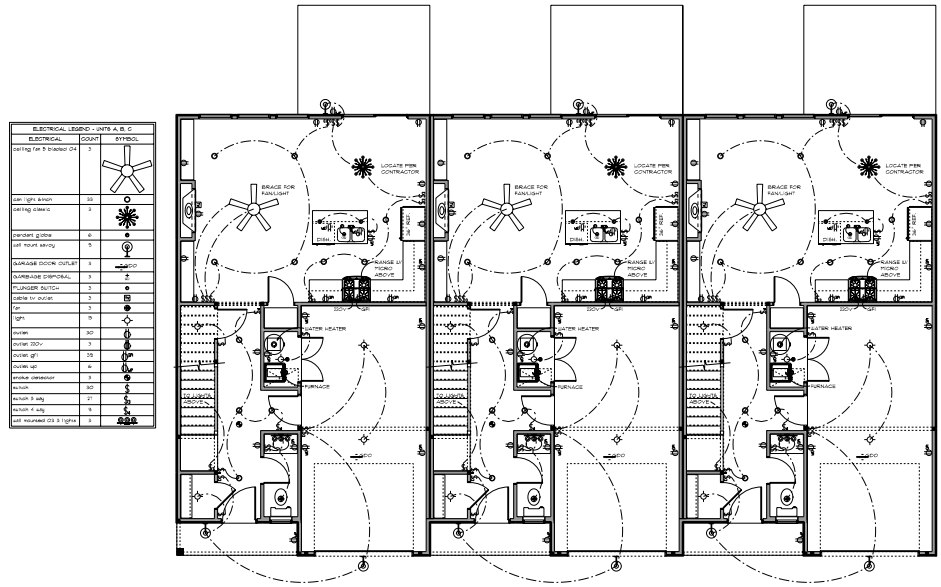
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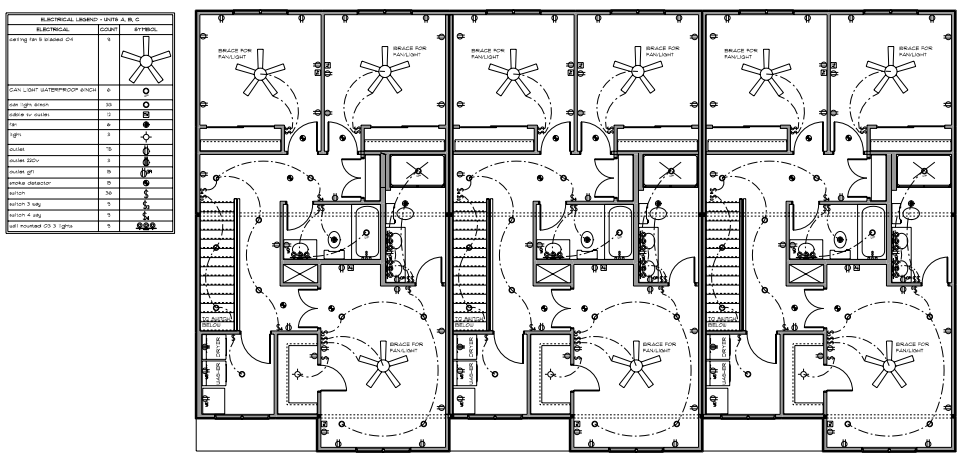
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ELECTRICAL LEGEND - UNITS A, B, C			
ELECTRICAL	COUNT	SYMBOL	
Wiring for 9' recessed ch	3		
can light finish	33		
interference	1		
cardset globe	6		
cell phone whip	1		
SWITCHES			
SWITCHES CONTROL	3		
PLUGS OUTLET	2		
PHONE IN OUTLET	3		
TR	1		
HT	5		
WATER	33		
WATER BODY	3		
WATER GF	30		
WATER GF	4		
WATER OUTLET	3		
WATER	30		
WATER 3 way	2		
WATER 4 way	1		
NET INCREASED DS 3 lights	1		

MAIN LEVEL ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"



ELECTRICAL LEGEND - UNITS A, B, C			
ELECTRICAL	COUNT	SYMBOL	
Wiring for 9' recessed ch	10		
can light waterproof finish	6		
can light finish	33		
interference	1		
cardset globe	6		
cell phone whip	1		
WATER			
WATER	33		
WATER GF	1		
WATER GF	4		
WATER OUTLET	3		
WATER	30		
WATER 3 way	2		
WATER 4 way	1		
NET INCREASED DS 3 lights	1		

SECOND LEVEL ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

9-A-24-DP
7/15/2024

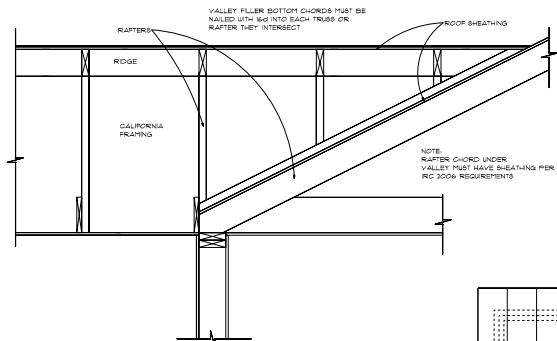
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Water/Low
Slab

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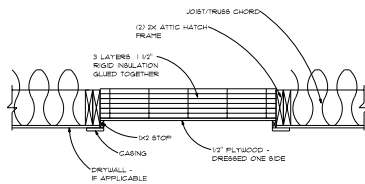
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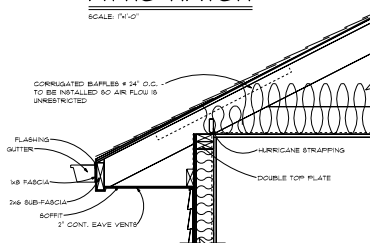
ROOF OVERFRAMING

SCALE: 1/4"=1'-0"



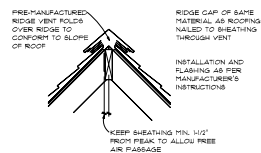
ATTIC HATCH

SCALE: 1/4"=1'-0"



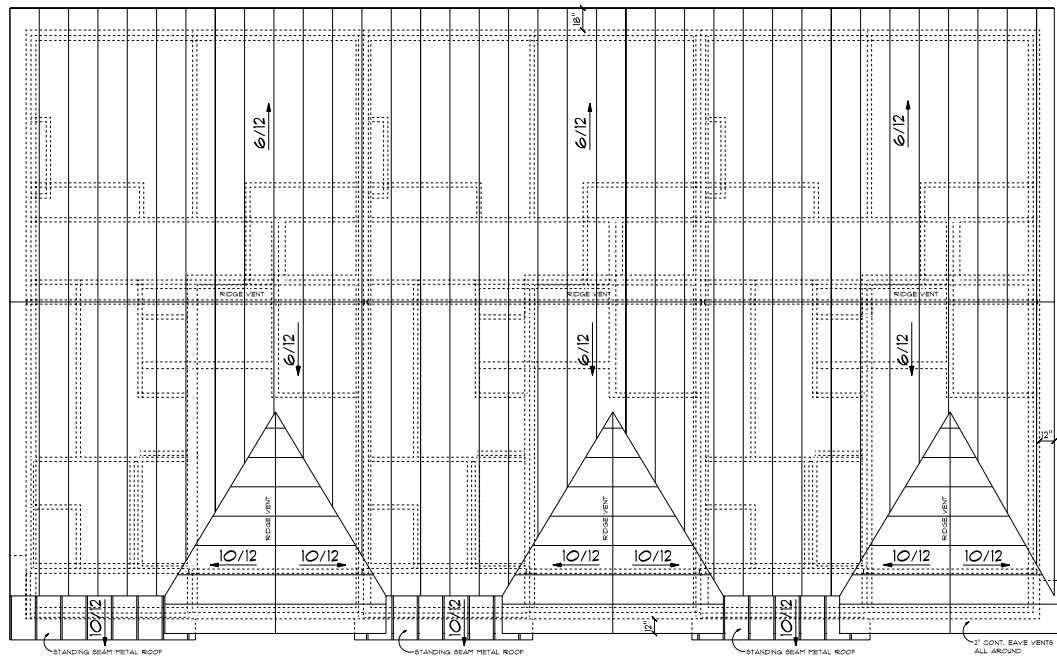
EAVE VENT

SCALE: 1/4"=1'-0"



RIDGE VENT

SCALE: 1/4"=1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

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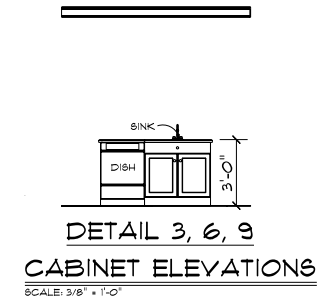
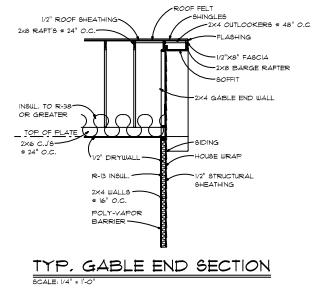
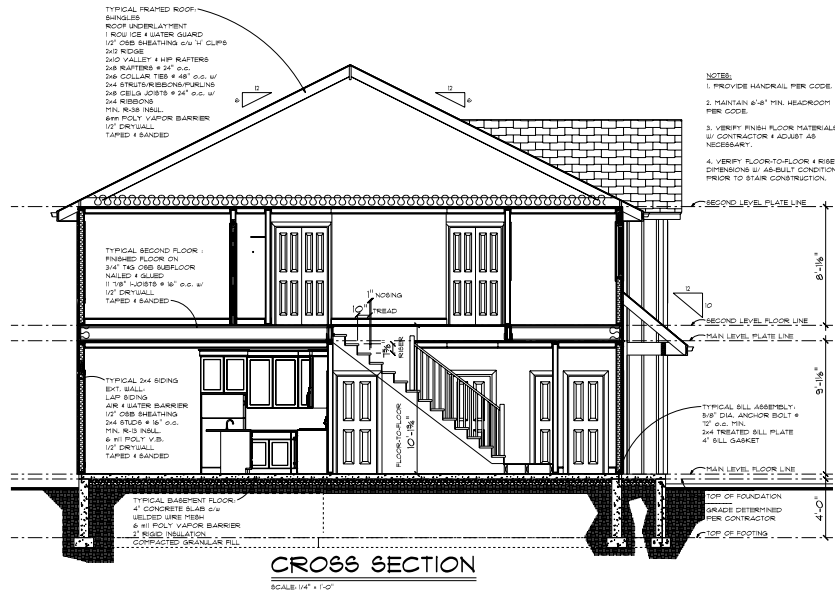
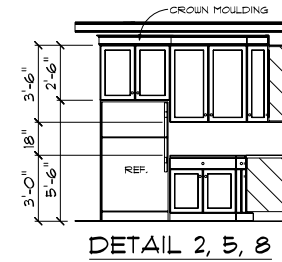
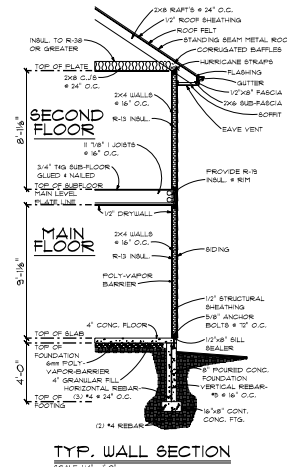
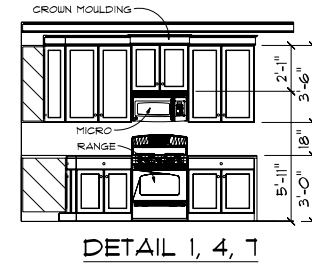
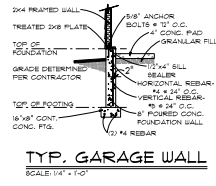
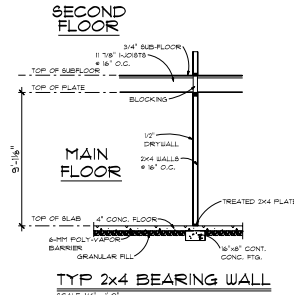
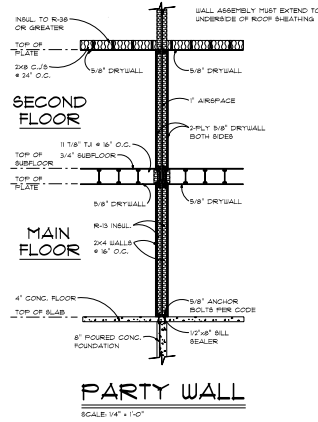
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13

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SHEET
18 OF 18

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Type "A" Screen: Dense

APPROPRIATE LOCATION: Boundaries of commercial and industrial developments adjoining residential areas

NOTE: Landscape buffer strips should be a minimum of 15 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

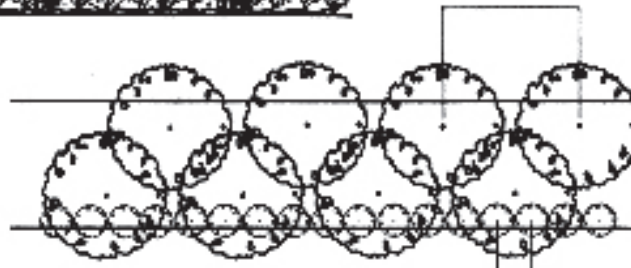
- Two offset rows of deciduous or evergreen canopy trees with a 6 ft. high continuous dense evergreen hedge, fence, wall or earth berm

TREE HEIGHT
Installed: 8 ft.
Mature: 40 ft.

SHRUB HEIGHT
Installed: 4 ft.
Mature: 6 ft.



Maximum 16' Centers



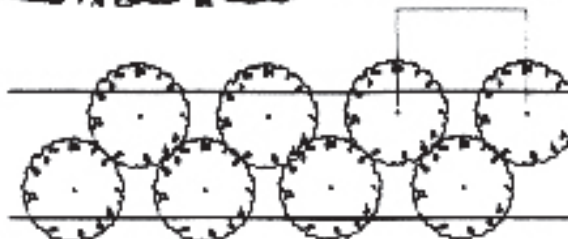
Maximum 4' Centers

- Two offset rows of evergreen trees with branches touching the ground

TREE HEIGHT
Installed: 8 ft.
Mature: 30 ft.



Maximum 12' Centers



INTRODUCTION

Landscape screening reduces the impact of intense development upon adjacent land uses by providing visual separation, reducing the transmission of glare and air pollution, and limiting access. Screening also promotes the aesthetic appeal of a neighborhood and promotes higher property values.

This series of design guidelines defines several types of landscape screen. Each type is applicable to a certain intensity of conflict between adjacent land uses. Each screen type is illustrated by several planting schemes with an equivalent height, density and opacity of landscaping.

Planning uses these guidelines to illustrate desirable levels of screening appropriate to various site planning situations. Creative alternatives which achieve a comparable effect are encouraged.

The contents of these guidelines are advisory and are intended to supplement, but not replace, the requirements of the Knoxville Zoning Ordinance and the Knox County Zoning Ordinance.

Type “B” Screen: Continuous

APPROPRIATE LOCATION: Screening parking and loading areas from adjoining residential and office districts

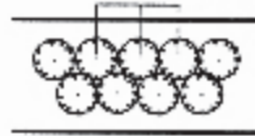
NOTE: Landscape buffer strips should be a minimum of 12 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

SHRUB HEIGHT
Installed: 4 ft.
Mature: 6 ft.

- Two offset rows of evergreen shrubs

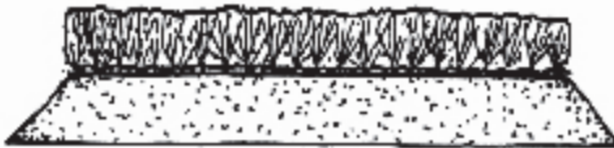


Maximum 4' Centers

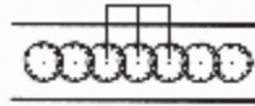


SHRUB HEIGHT
Installed: 2 ft.
Mature: 3 ft.

- A continuous row of evergreen shrubs on a 3 ft. high earth berm



Maximum 3' Centers



TREE HEIGHT
Installed: 8 ft.
Mature: 15 ft.

- A 5 ft. high masonry wall or timber fence with evergreen trees and low shrubs or climbing vines



Maximum 50' Centers

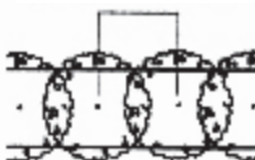


TREE HEIGHT
Installed: 8 ft.
Mature: 20 ft.

- One row of evergreen trees with branches touching the ground



Maximum 10' Centers



INTRODUCTION

Landscape screening reduces the impact of intense development upon adjacent land uses by providing visual separation, reducing the transmission of glare and air pollution, and limiting access. Screening also promotes the aesthetic appeal of a neighborhood and promotes higher property values.

This series of design guidelines defines several types of landscape screen. Each type is applicable to a certain intensity of conflict between adjacent land uses. Each screen type is illustrated by several planting schemes with an equivalent height, density and opacity of landscaping.

Planning uses these guidelines to illustrate desirable levels of screening appropriate to various site planning situations. Creative alternatives which achieve a comparable effect are encouraged.

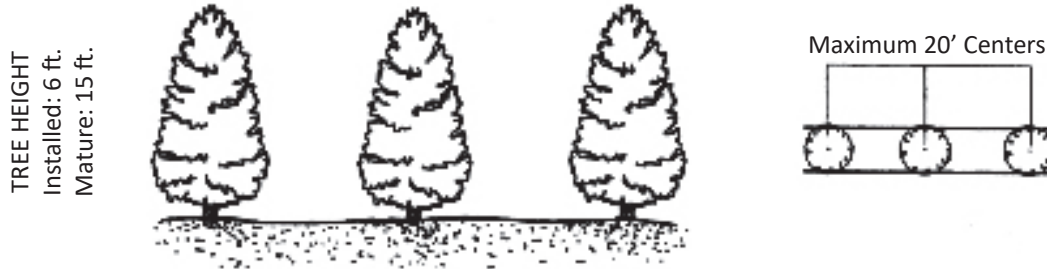
The contents of these guidelines are advisory and are intended to supplement, but not replace, the requirements of the Knoxville Zoning Ordinance and the Knox County Zoning Ordinance.

Type “C” Screen: Partial

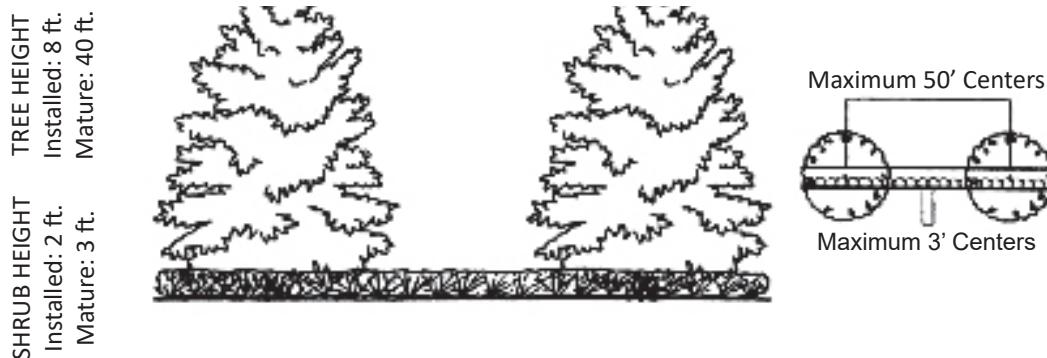
APPROPRIATE LOCATION: Between parking lots and public streets; boundaries of industrial and office development

NOTE: Landscape buffer strips should be a minimum of 8 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

- A row of small evergreen trees



- A row of large broad leaf evergreen trees with a 3 ft. high wall or hedge (deciduous species of similar size & form could be used for every second tree)



- A row of evergreen conifers with a 3 ft. high earth berm or solid fence or wall



INTRODUCTION

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Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Rezoning
- Plan Amendment
- Sector Plan
- City OYP / County Comp Plan

Barnes Capital Management, LLC

Applicant Name

Affiliation

7/16/2024

Date Filed

9/12/2024

Meeting Date (if applicable)

9-A-24-DP

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

R. Jason Barnes

Name / Company

802 Lovell Road Rd. Knoxville TN 37932

Address

865-599-3515 / barnes4315@yahoo.com

Phone / Email

CURRENT PROPERTY INFO

R. Jason Barnes

Owner Name (if different)

802 Lovell Road Rd. Knoxville TN 37932

Owner Address

865-599-3515 / barnes4315@ya

Owner Phone / Email

8441 Old MIDDLEBROOK PIKE

Property Address

105 L B 047

Parcel ID

1.95 acres

Tract Size

Part of Parcel (Y/N)?

West Knox Utility District

Sewer Provider

West Knox Utility District

Water Provider

Septic (Y/N)

COMMUNITY ENGAGEMENT

*Sign and return the **Public Notice and Community Engagement** form with this application.*

*Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). **We require applicants to acknowledge their role in this process.***

DEVELOPMENT REQUEST

<input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) 18-unit townhouse development	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information _____	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment	Proposed Plan Designation(s)	
Proposed Density (units/acre)	Previous Rezoning Requests	
Additional Information _____		

STAFF USE ONLY

PLAT TYPE <input type="checkbox"/> Staff Review <input type="checkbox"/> Planning Commission	Fee 1	Total
ATTACHMENTS <input type="checkbox"/> Property Owners / Option Holders <input type="checkbox"/> Variance Request <input type="checkbox"/> Amendment Request (Comprehensive Plan)	\$500.00	
ADDITIONAL REQUIREMENTS <input type="checkbox"/> Use on Review / Special Use (Concept Plan) <input type="checkbox"/> Traffic Impact Study <input type="checkbox"/> COA Checklist (Hillside Protection)	Fee 2	
	Fee 3	

AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	Barnes Capital Management, LLC Please Print	7/16/2024 Date
Phone / Email		
Property Owner Signature	R. Jason Barnes Please Print	7/16/2024 Date



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - PA
- Rezoning

Barnes Capital Management LLC

Applicant Name

Affiliation

07/15/2024

Date Filed

September 12, 2024

Meeting Date (if applicable)

File Number(s)

9-A-24-DP

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

R. Jason Barnes

Name

Barnes Capital Management LLC

Company

802 Lovell Rd

Address

Knoxville

City

TN

State

37932

ZIP

865-599-3515

Phone

Barnes4315@yahoo.com

Email

CURRENT PROPERTY INFO

Barnes Capital Management LLC

Property Owner Name (if different)

Property Owner Address

865-599-3515

Property Owner Phone

8441 Old Middlebrook Pike

Property Address

105LB047

Parcel ID

WKUD

Sewer Provider

WKUD

Water Provider

N

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

City County

District

Zoning District

Existing Land Use

Planning Sector

Land Use / Place Type
CITY COUNTY

Growth Policy Plan Designation

DEVELOPMENT REQUEST

- Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential

Related City Permit Number(s)

Home Occupation (specify) _____

Other (specify) _____

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name

- Combine Parcels
 Divide Parcel

Total Number of Lots Created

Other (specify) 18-Unit Townhouse Development in the PR Zone

Attachments / Additional Requirements Civil Engineer Drawings w/ Landscape + Architectural Plan

ZONING REQUEST

Pending Plat File Number

Zoning Change _____
 Proposed Zoning

Plan Amendment Change _____
 Proposed Plan Designation(s)

Proposed Density (units/acre)

Previous Rezoning Requests

Other (specify) _____

STAFF USE ONLY

PLAT TYPE

- Staff Review
 Planning Commission

ATTACHMENTS

- Property Owners / Option Holders
 Variance Request
 Amendment Request (*Comprehensive Plan*)

ADDITIONAL REQUIREMENTS

- Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1	Total
0402 \$500.00	\$500.00
Fee 2	
Fee 3	

AUTHORIZATION

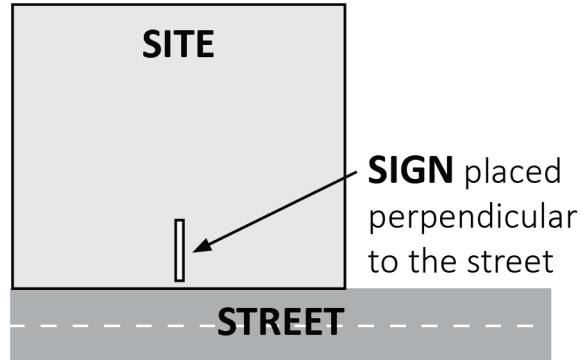
- I declare under penalty of perjury the foregoing is true and correct:
 1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent

Applicant Signature [Signature] Please Print R. Jason Barnes Date 7/15/24

Phone Number 865-599-3515 Email barnes4315@yahoo.com

Property Owner Signature [Signature] Please Print R. Jason Barnes Date Paid 07/16/2024, SG

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ 08/30/2024 _____ and _____ 09/13/2024 _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Barnes Capital Management, LLC

Date: 07/16/2024

File Number: 9-A-24-DP

- Sign posted by Staff
- Sign posted by Applicant