



# DEVELOPMENT PLAN REPORT

▶ **FILE #:** 9-H-24-DP

**AGENDA ITEM #:** 30

**AGENDA DATE:** 9/12/2024

▶ **APPLICANT:** LKM PROPERTIES, LP

OWNER(S): LKM Properties, LP

TAX ID NUMBER: 67 00904

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 7590 BILL BELL WAY

▶ **LOCATION:** Southwest quadrant of the intersection of Clinton Hwy & W Emory Rd

▶ **APPX. SIZE OF TRACT:** 3.14 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Bill Bell Way, a private right-of-way with a 25-ft pavement width. A secondary access is proposed through the adjacent property owned by the same owner.

UTILITIES: Water Source: Hallsdale-Powell Utility District

Sewer Source: Hallsdale-Powell Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Beaver Creek

▶ **ZONING:** CA (General Business), SC (Shopping Center)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Carwash

HISTORY OF ZONING: In 1999, part of the parcel was rezoned from A to SC, although the applicant requested CA (3-E-99-RZ). In 2005, the same portion of the subject parcel was included in a rezoning request from SC to CA but was withdrawn prior to County Commission action (8-S-05-RZ).

SURROUNDING LAND USE AND ZONING: North: Office, commercial - CA (General Business)

South: Commercial - SC (Shopping Center)

East: Commercial - CA (General Business), SC (Shopping Center)

West: Commercial - SC (Shopping Center)

NEIGHBORHOOD CONTEXT: This property is part of a commercial corridor with single family and multifamily residential uses in close proximity. Beaver Creek runs across this section of Clinton Hwy to the south.

## STAFF RECOMMENDATION:

▶ **Approve the development plan for a car wash facility in the SC (Shopping Center) zone, subject to 7 conditions.**

1) Ensuring that dryer blowers at the end of the car wash tunnel face Clinton Highway, as noted on the plan.

- 2) Obtaining an access easement for the northern access through the abutting property via the platting process, as noted on the plan.
- 3) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works, including but not limited to, ensuring that the proposed driveway meets access control standards.
- 4) During the permitting phase, obtaining approval from the Knox County Codes Administration Department that the development plan meets all landscaping requirements, including that of the SC zone (Article 5.34.05.C).
- 5) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 6) Installing all landscaping, as shown in the landscape plan and required by the zoning ordinance, within six months of issuance of an occupancy permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee installation.
- 7) If during design plan approval or construction of the development, it is discovered that unforeseen off-site improvements within the right-of-way are necessary, the developer will either enter into an MOU with the County for these improvements or reimburse the County for their direct expenses (if competed by County crews) to make corrections deemed necessary.

**COMMENTS:**

This proposal is for a car wash facility with 125' conveyor tunnel, 22 vacuum stations, and 3 queuing drive lanes with access from Bill Bell Way and adjacent gas station/convenience store (Weigel's) to the southeast. The Planning Commission has previously approved a similar request for this property last year (9-G-23-DP). The proposed carwash has a different operator and site layout; therefore, this requires a new development plan approval.

**DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)**

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

**1) ZONING ORDINANCE**

**SC (Shopping Center):**

- A. The SC zone permits gasoline service stations if they are designed as an integral part of the shopping center building group, and the Planning Commission previously determined that a car wash facility is a similar use to a gasoline service station (case # 3-B-23-OB). The proposed car wash is at a commercial node at the intersection of W Emory Road and Clinton Highway. It has access through the adjacent Weigel's gas station/convenience store to the southeast and is across the street from a commercial strip center to the northwest. This provides a continuous stretch of auto-oriented development, which contributes to the unified shopping experience intended by the SC zone.
- B. The proposed access through the adjacent business and Bill Bell Way, a private street developed for this commercial area, is consistent with the intent of the SC zone to promote safe and efficient movement of traffic within the site of the shopping center and in connection with adjacent access streets.
- C. The plans comply with the height, yard, and parking requirements. 10-ft wide planted parkways are required along the street-facing sides of the SC-zoned portion of the subject property (Article 5.34.05.C). The plan proposes a 10-ft wide strip of shrubs along Clinton Highway along with supplementary Type C landscape screening. No landscaping is provided along the SC-zoned portion of West Emory Road where the site has steep slopes in the 25-40% and over 40% ranges. However, additional landscaping is provided in other parts of the site to compensate for the missing planted parkway along West Emory Rd.
- D. The administrative procedures for the SC zone require the Planning Commission to approve the development plan before permits can be issued (Article 5, Section 5.34.10).

**2) KNOX COUNTY COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES**

- A. Ensure that development is sensitive to existing community character. (Policy 2) – The carwash is consistent with the character of the commercial corridor. The location of the building closer to W Emory Road where the site has an approximate 20-ft lower elevation than the street, orientation of the dryer blowers away from any residential developments, and the proposed lighting and landscaping are sensitive to the surrounding development.
- B. Promote connectivity with new development. (Policy 11) – The proposed connection with the adjacent business is consistent with this policy and would result in a unified development.

**3) FUTURE LAND USE MAP**

- A. The property has the TCMU (Town Center Mixed-Use) place type which recommends commercial uses as one of the primary uses. The carwash building exceeds the suggested setback (0-20 ft) and is lower than the suggested height (2-5 stories). However, it does meet the SC zone's building setback of 60 ft from the street

and is under the maximum height requirement. Although the place type is intended for large and compact walkable developments with connectivity to surrounding neighborhoods, lack of sidewalks and auto-oriented uses renders this area as less walkable. The proposed use would be consistent with the character of the area, as mentioned above.

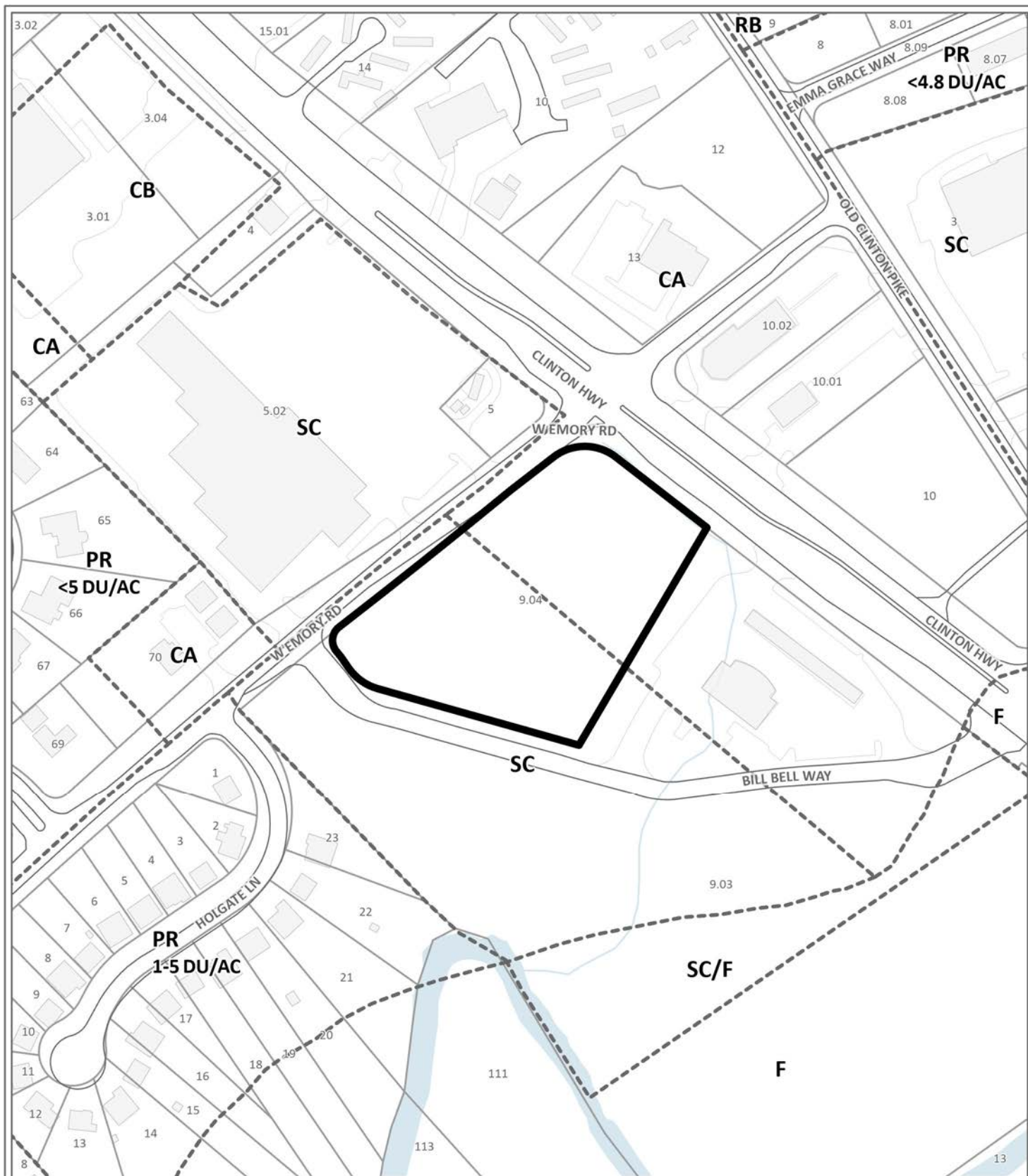
4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

A. The property is within the Planned Growth Boundary. The purposes of the Planned Growth Area designation are to encourage a reasonably compact pattern of development, promote expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the action of the public and private sectors, particularly with regard to provision of adequate roads, utilities, schools, drainage and other public facilities and services.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).



**DEVELOPMENT PLAN**

**9-H-24-DP**

**Petitioner:** LKM Properties, LP



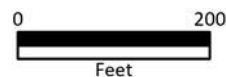
Carwash in CA (General Business), SC (Shopping Center)

**Map No:** 67

**Jurisdiction:** County

**Original Print Date:** 8/9/2024

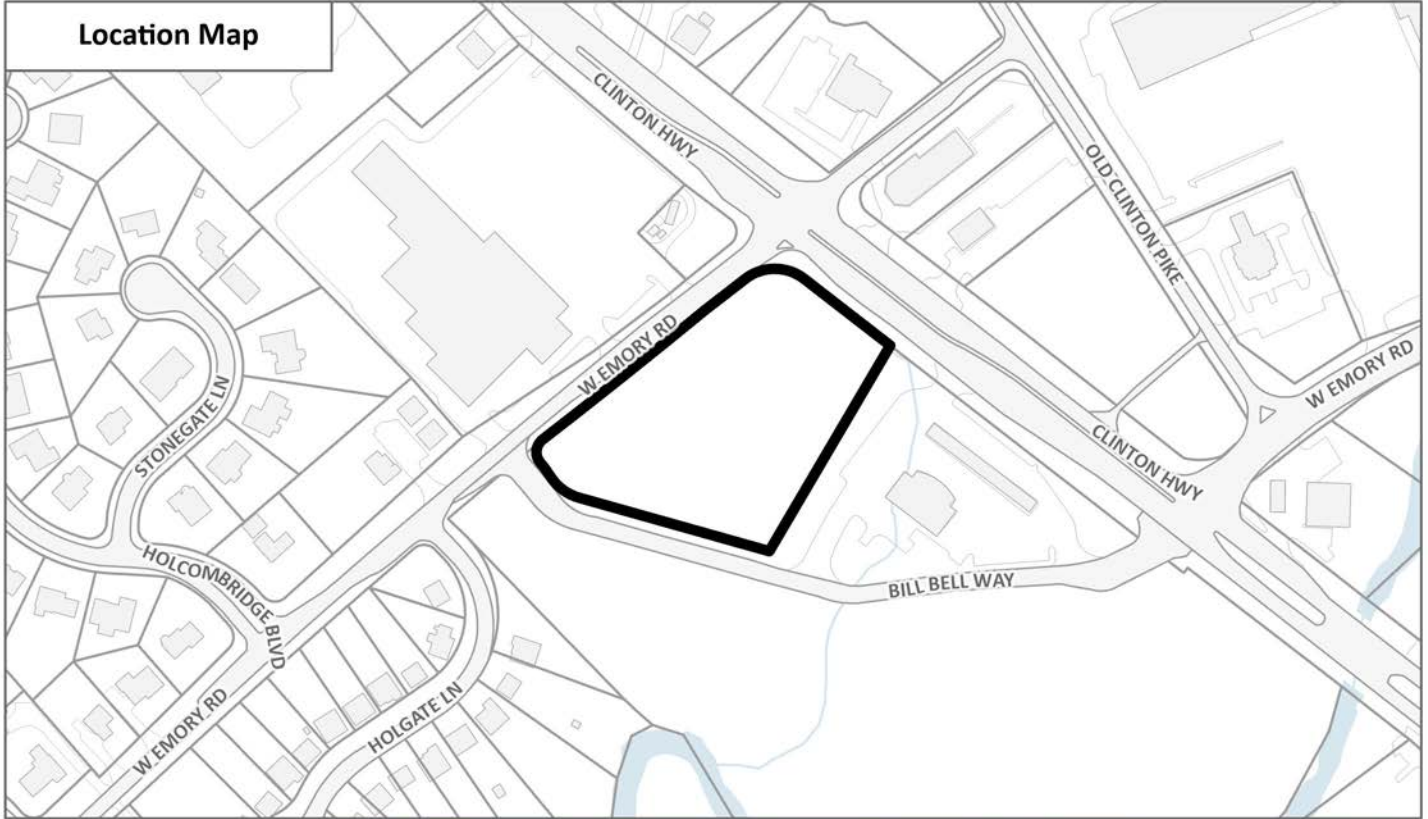
Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902





# Exhibit A. Contextual Images

Location Map



Aerial Map

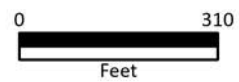


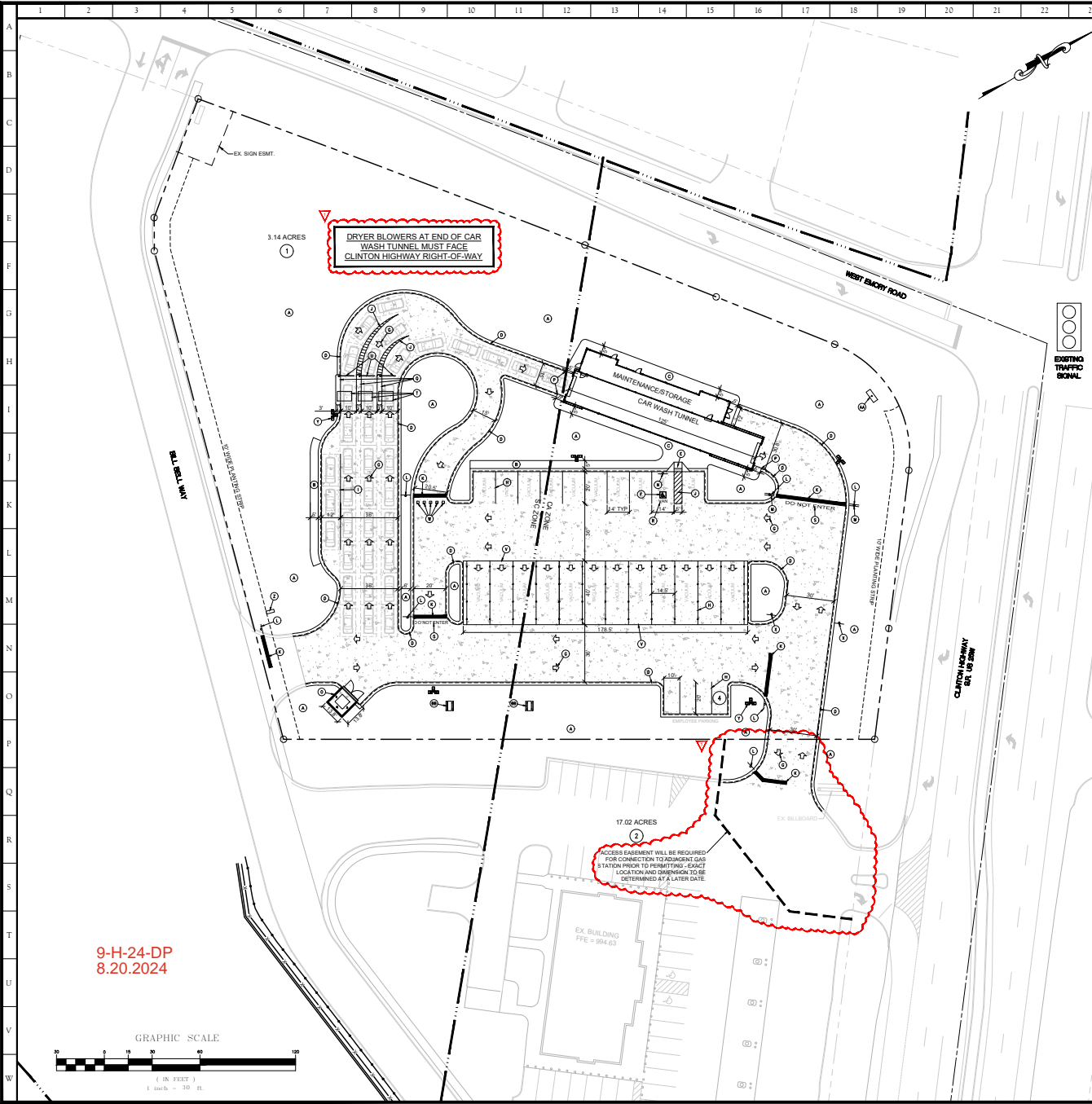
CONTEXTUAL MAPS 1

9-H-24-DP



Case boundary





**SITE PLAN NOTES:**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3. ALL ISLANDS WITH CURBS AND GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 2" MOUNTABLE CURBS AND GUTTER.
4. ALL CURBS AND STRIPES RADIUS ARE TO BE 3' UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS AND RADII ARE TO FACE OF GUTTER UNLESS OTHERWISE NOTED.
6. BUILDING DIMENSIONS SHOWN ON SITE LAYOUT PLAN ARE NOMINAL DIMENSIONS ONLY INTENDED FOR USE IN DETERMINING APPROXIMATE SQUARE FOOTAGES. SEE ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS OF BUILDING CONSTRUCTION.
7. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY EACH. ALL COST SHALL BE INCLUDED IN BASE BID.
9. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY BY BATSON, HINES, NORVELL & POE, DATED 11/22/2019.
10. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE WORK SPECIFICATIONS" ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
11. IN ORDER TO PREVENT PONING THE CONTRACTOR SHALL INSTALL REVERSE-PITCH GUTTER AT ALL LOCATIONS WHERE ASPHALT SLOPES AWAY FROM GUTTER.
12. ELECTRIC FILE WILL BE PROVIDED TO THE GENERAL CONTRACTOR AT HIS REQUEST FOR LAYOUT PURPOSES AFTER THE BID IS AWARDED.
13. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLAN.

**SITE PAVING NOTES:**

**PAVING ELEVATION TOLERANCE:**  
FINAL SURFACE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/4" DEVIATION IN ANY 10' INCREMENT.

**TESTING DURING PLACEMENT:**  
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA. CONTRACTOR SHALL REPLACE ALL NON-COMPLYING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENCY APPROVED BY SITE, INC.

**ASPHALTIC PAVING MATERIALS:**  
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

**CONCRETE:**  
CONCRETE CURING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINMENT. INSTALL WITH 90-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3500 LBS. OF CURBING OR 1-DAY POOL WITH BREAKS - 1 @ 7-DAYS 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 LBS. OF CURBING OR 1-DAY POOL.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

**PAVEMENT MARKING:**  
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, JANUARY 1, 2015 (SECTION 915).

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-4-1 THROUGH T-4-4.

PAVING SCHEDULE		PAVING MATERIALS SCHEDULE	
LINEAR FEET OF CONVIOR TUNNEL:	125	CONCRETE PAVING	
NUMBER OF EMPLOYEES:	6	PROPERTY DATA:	
REQUIRED NUMBER OF PARKING SPACES (2 SPACE PER 3 EMPLOYEES):	4	DISTRICT:	E8
REQUIRED NUMBER OF STACK-UP SPACES (1 SPACE PER 5 FEET OF TUNNEL):	25	LOT NUMBER:	87
NUMBER OF STACK-UP SPACES PROVIDED:	38	PARCEL:	9.04
NUMBER OF EMPLOYEE PARKING SPACES PROVIDED:	4	LOT AREA:	3.14 ACRES
		ZONING:	C-30 (KNOX COUNTY)
		PROPOSED USE:	CAR WASH
		EX - GENERAL BUSINESS ZONE:	
		FRONT SETBACK:	20'
		SIDE SETBACK:	5'
		REAR SETBACK:	15'
		EX - SHOPPING CENTER ZONE:	
		FRONT SETBACK:	60'
		BUILDING AREA:	4,650 SQ. FT.
		IMPERVIOUS AREA:	1.55 ACRES
		GROUND AREA COVERAGE:	3.0%
		FLOOR AREA RATIO:	3.0%
		IMPERVIOUS AREA RATIO:	49.4%

- LEGEND:**
- ① LANDSCAPE AREA ISLAND (SEE DETAIL SHEET) (TYP)
  - ② CONCRETE SIDEWALK (SEE DETAIL SHEET)
  - ③ CONCRETE SIDEWALK (REFER TO ARCH PLANS)
  - ④ 3" ROLLED CONCRETE CURB & GUTTER (SEE DETAIL SHEET) (TYP)
  - ⑤ ACCESSIBLE RAMP (MATCH TYPE AS SHOWN IN PLAN) (SEE DETAIL SHEET) (TYP)
  - ⑥ ADA SPACE W/ PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET) (TYP)
  - ⑦ YELLOW DIRECTIONAL ARROW (SEE DETAIL SHEET) (TYP)
  - ⑧ 4" WIDE YELLOW PARKING STRIPES (TYP)
  - ⑨ 4" WIDE SOLID YELLOW STRIPE
  - ⑩ 4" WIDE DIAGONAL YELLOW LINES @ 4'-0" O.C.
  - ⑪ 34" WIDE WHITE STOP LINE W/ 4" BLACK BORDER (SEE DETAIL SHEET) (TYP)
  - ⑫ 8" x 14" STOP SIGN (SEE DETAIL SHEET)
  - ⑬ 8" x 14" DO NOT ENTER SIGN (SEE DETAIL SHEET)
  - ⑭ 8" x 14" ACCESSIBLE PARKING SIGN W/ VAN PARKING PLACQUE (SEE DETAIL SHEET)
  - ⑮ JUMPSTER ENCLOSURE (SEE ARCH PLANS)
  - ⑯ CURB END TREATMENT (SEE DETAIL SHEET)
  - ⑰ RAISED CONCRETE ISLAND W/ 6" EXTRUDED CURB (SEE DETAIL SHEET)
  - ⑱ VAN PAVEMENT MARKING (SEE DETAIL SHEET)
  - ⑲ DO NOT ENTER PAVEMENT MARKING (SEE DETAIL SHEET)
  - ⑳ PAY CANOPY (SEE ARCH PLANS)
  - ㉑ HEADACHE BAR (SEE ARCH PLANS)
  - ㉒ VACUUM CANOPY (SEE ARCH PLANS)
  - ㉓ 18" TRAFFIC CONES SPACES @ 4'-0" O.C.
  - ㉔ DIRECTIONAL SIGNAGE (SEE ARCH PLANS)
  - ㉕ LIGHT POLE ASSEMBLY (TYP)
  - ㉖ MONUMENT SIGN
  - ㉗ Pylon SIGN
  - ㉘ POND TABLE

**9-H-24-DP**  
**8.20.2024**

GRAPHIC SCALE  
1 inch = 30 feet

**Tennessee**  
www.tn.gov

NO.	DATE	COMMENTS
1	08/20/2024	SEE COMMENTS

REVISIONS

ORIGINAL ISSUE: 07/29/2024  
SITE PROJECT #: 2104  
FILE: \_\_\_\_\_ Layer: \_\_\_\_\_

# C4.0

**SITE, INCORPORATED**  
CIVIL ENGINEERS & SURVEYORS

EST. 1977

10215 Technology Drive, Suite 304  
Knoxville, TN 37932  
(865) 777-4160  
www.site-incorporated.com

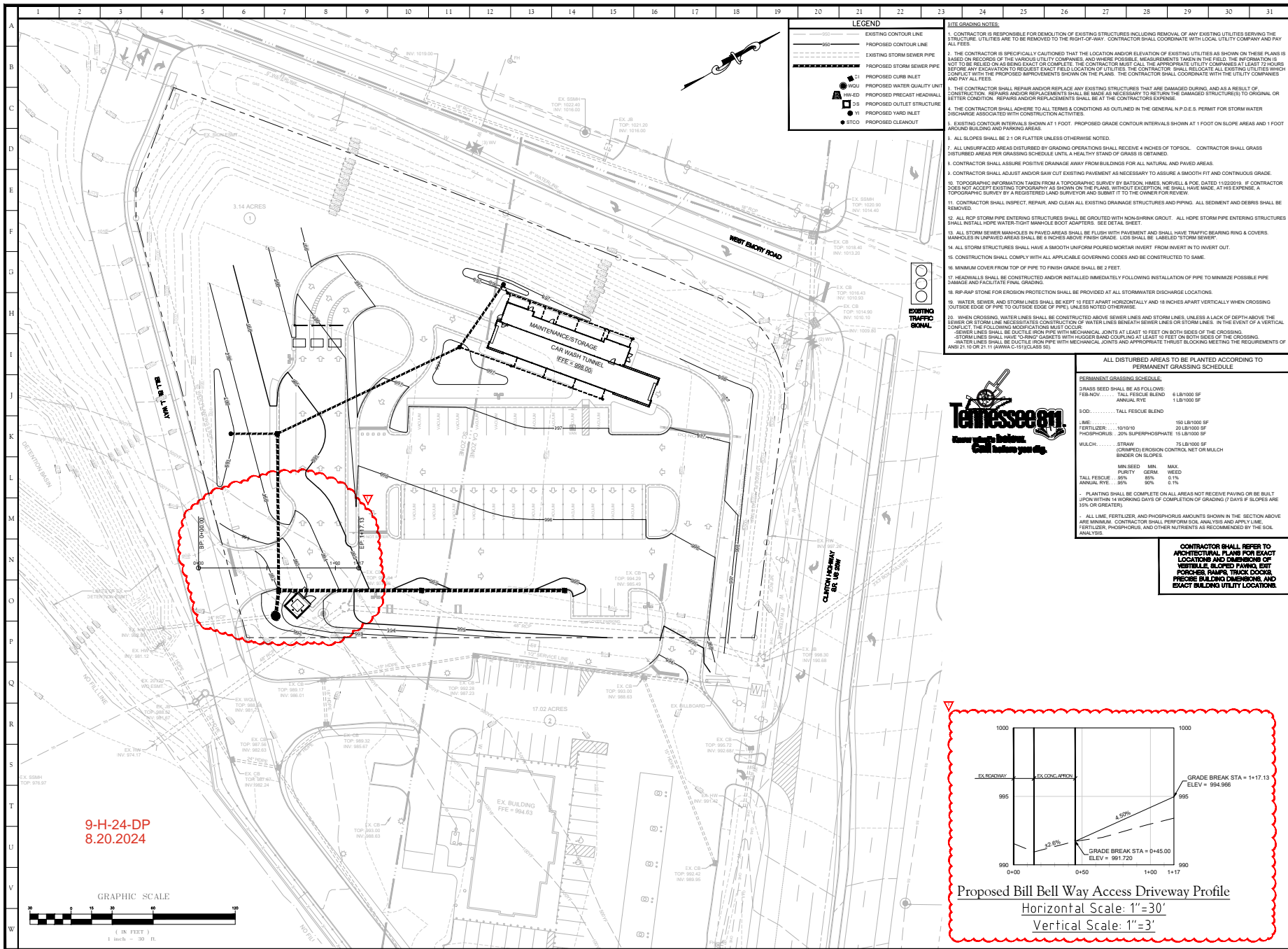


Development Plan Review (9-H-24-DP) - Site Layout Plan

## Weigel's Wash

7500 Bell Bell Way  
Powell, Tennessee 37849  
LKM Properties, LP





10215 Technology Drive, Suite 304  
Knoxville, TN 37932  
(865) 777-4140  
www.site-incorporated.com



Development Plan Review (9-H-24-DP) - Site Grading and Drainage Plan

**Weigel's Wash**  
7500 Bill Bell Way  
Powell, Tennessee 37849  
LKM Properties, LP

NO.	DATE	DESCRIPTION
1	08/20/2024	SEE COMMENTS

ORIGINAL ISSUE: 07/28/2024  
SITE PROJECT #: 2104

FILE: Drawings

**C3.0**

- LEGEND**
- 5.00' EXISTING CONTOUR LINE
  - 2.00' PROPOSED CONTOUR LINE
  - - - - EXISTING STORM SEWER PIPE
  - - - - PROPOSED STORM SEWER PIPE
  - 1/2" PROPOSED CURB INLET
  - 1/4" PROPOSED WATER QUALITY UNIT
  - 1/4" PROPOSED PRECAST HEADWALL
  - 1/4" PROPOSED DUTCH MAN INLET
  - 1/4" PROPOSED YARD INLET
  - 1/4" PROPOSED CLEANOUT
- SITE GRADING NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.
  2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A WARRANTY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
  3. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING AND AS A RESULT OF CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURES TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTORS EXPENSE.
  4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  5. EXISTING CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT ON SLOPE AREAS AND 1 FOOT ON LEVEL AND PARKING AREAS.
  6. ALL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.
  7. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  9. CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  10. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY BATSON HIMES, NORVELL & POC, DATED 11/20/2019. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
  11. CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
  12. ALL RCP STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED WITH NON-SHRINK GROUT. ALL HOPE STORM PIPE ENTERING STRUCTURES SHALL INSTALL HOPE WATER-TIGHT MANHOLE BOOT ADAPTERS. SEE DETAIL SHEET.
  13. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 8 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
  14. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT TO INVERT IN OUT.
  15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  16. MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 2 FEET.
  17. HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.
  18. RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
  19. WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE, UNLESS NOTED OTHERWISE.
  20. WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES, UNLESS LACK OF DEPTH ABOVE THE CROSSING OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:  
SEWER LINES SHALL BE LOCATED WITH MECHANICAL JOINTS AT LEAST 18 FEET ON BOTH SIDES OF THE CROSSING.  
STORM LINES SHALL HAVE "CLEAN" GASKETS WITH HUGGER BAND O-RING AT LEAST 1 FEET ON BOTH SIDES OF THE CROSSING.  
WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THROTTLE BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-15) (CLASS 50).



ALL DISTURBED AREAS TO BE PLANTED ACCORDING TO PERMANENT GRASSING SCHEDULE

**PERMANENT GRASSING SCHEDULE**

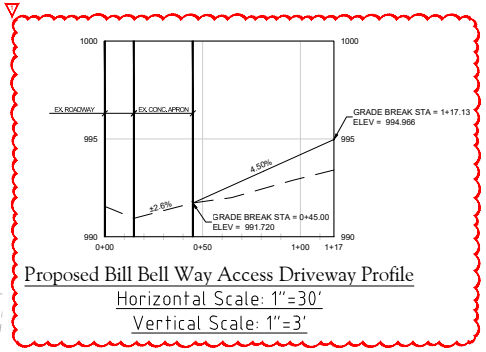
PLANTING DATE	TALL FESCUE BLEND	ANNUAL RYE	1 LB/1000 SF	1 LB/1000 SF
FEB-NOV	100%	0%	10 LB/1000 SF	20 LB/1000 SF
DEC-NOV	100%	0%	10 LB/1000 SF	15 LB/1000 SF
ANNUAL RYE	0%	100%	1 LB/1000 SF	1 LB/1000 SF

**EROSION CONTROL**

MIN SEED	MIN PURITY	MIN GERM	MAX WEED
100%	95%	80%	0.1%

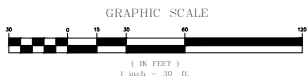
PLANTING SHALL BE COMPLETE ON ALL AREAS NOT TO RECEIVE PAVING OR BE BUILT UPON WITHIN 14 HOURS OF COMPLETION OF GRADING (7 DAYS IF SLOPES ARE 3% OR GREATER).

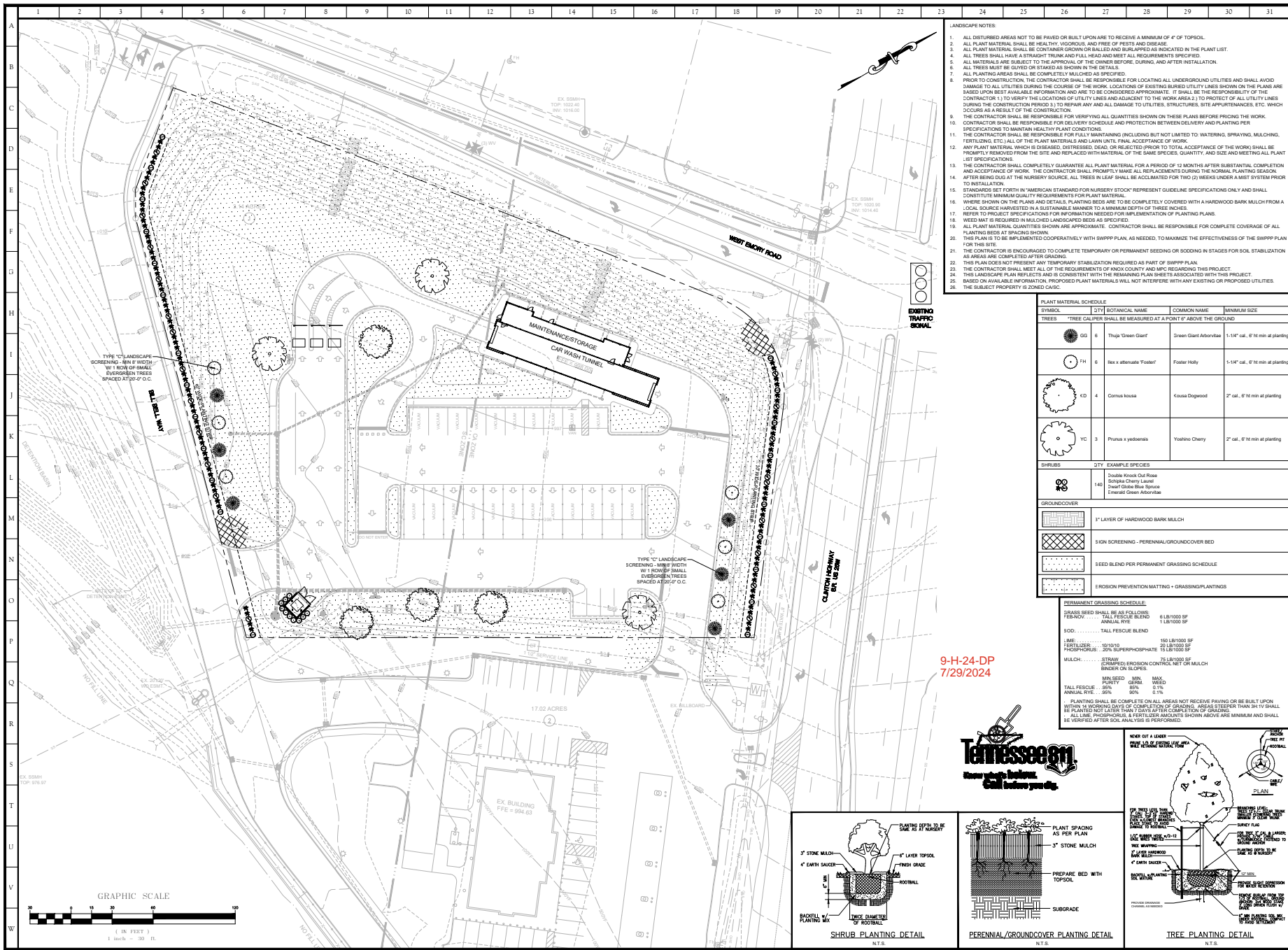
ALL LIME, FERTILIZER, AND PHOSPHORUS AMOUNTS SHOWN IN THE SECTION ABOVE ARE MINIMUM. CONTRACTOR SHALL PERFORM SOIL ANALYSIS AND APPLY LIME, FERTILIZER, PHOSPHORUS AND OTHER NUTRIENTS AS RECOMMENDED BY THE SOIL ANALYSIS.



CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VISIBLE SLOPED PAVING, POST PORCHES, RAMPS, TRACK DOORS, PRESSURE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

9-H-24-DP  
8.20.2024



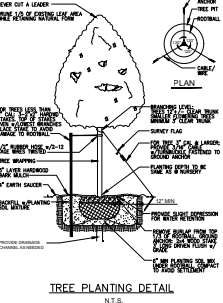
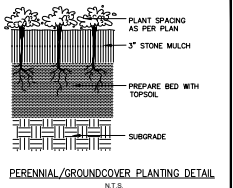
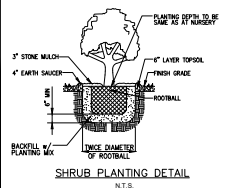


- LANDSCAPE NOTES:**
- ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
  - ALL PLANT MATERIAL SHALL BE HEALTHY, WIGOROUS, AND FREE OF PESTS AND DISEASE.
  - ALL PLANT MATERIALS SHALL BE CONTAINER GROWN OR BALLED AND BE APPLIED AS INDICATED IN THE PLANT LIST.
  - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
  - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE DURING AND AFTER INSTALLATION.
  - ALL TREES MUST BE GUDED OR STAKED AS SHOWN IN THE DETAILS.
  - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BARRERD UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPEARANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO) WATERING, SPRAYING, MULCHING, FERTILIZING, ETC. ALL OF THE PLANT MATERIALS AND LABOR UNTIL FINAL ACCEPTANCE OF WORK.
  - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
  - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
  - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
  - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
  - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
  - REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
  - NEED MAT IS REQUIRED IN MULCHED LANDSCAPED BEDS AS SPECIFIED.
  - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
  - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
  - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SOODING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
  - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
  - THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF KNOX COUNTY AND MPC REGARDING THIS PROJECT.
  - THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
  - BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES.
  - THE SUBJECT PROPERTY IS ZONED C-6.

PLANT MATERIAL SCHEDULE			
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME
TREES - *TREE QUANTITIES SHALL BE MEASURED AT A POINT 2" ABOVE THE GROUND			
08	8	Thuja 'Green Giant'	Green Giant Arborvitae
09	6	Ilex 'Ambarella Foliata'	Foster Holly
10	4	Cornus kousa	Kousa Dogwood
11	3	Prunus x yedoensis	Yoshino Cherry
SHRUBS - *QTY EXAMPLE SPECIES			
140		Douglas Knock Out Rose	Knock Out Rose
		Shingle Cherry Laurel	Shingle Cherry Laurel
		David's Goliath Blue Spruce	David's Goliath Blue Spruce
		Emerald Green Arborvitae	Emerald Green Arborvitae
GROUND COVER			
		3" LAYER OF HARDWOOD BARK MULCH	
		3" ON SCREENING - PERENNIAL/GROUND COVER BED	
		SEED BLEND PER PERMANENT GRASSING SCHEDULE	
		EROSION PREVENTION MATTING + GRASSING/PLANTINGS	

PERMANENT GRASSING SCHEDULE	
PERENNIAL SEED BLEND	6 LB/1000 SF
FESCUE/RYE	1 LB/1000 SF
SOIL:	
TALL FESCUE BLEND	150 LB/1000 SF
LIME	25 LB/1000 SF
FERTILIZER	25 LB/1000 SF
PHOSPHORUS	25 LB/1000 SF
MULCH:	
STRAW (COMPOST)	25 LB/1000 SF
EROSION CONTROL NET OR MULCH BARRIER ON SLOPES:	
MAX. SEED PURITY	MIN. WEED
95%	0.1%
TALL FESCUE ANNUAL RYE	90%

9-H-24-DP  
7/29/2024



10215 Technology Drive, Suite 304  
Knoxville, TN 37932  
(865) 777-4160  
www.site-incorporated.com

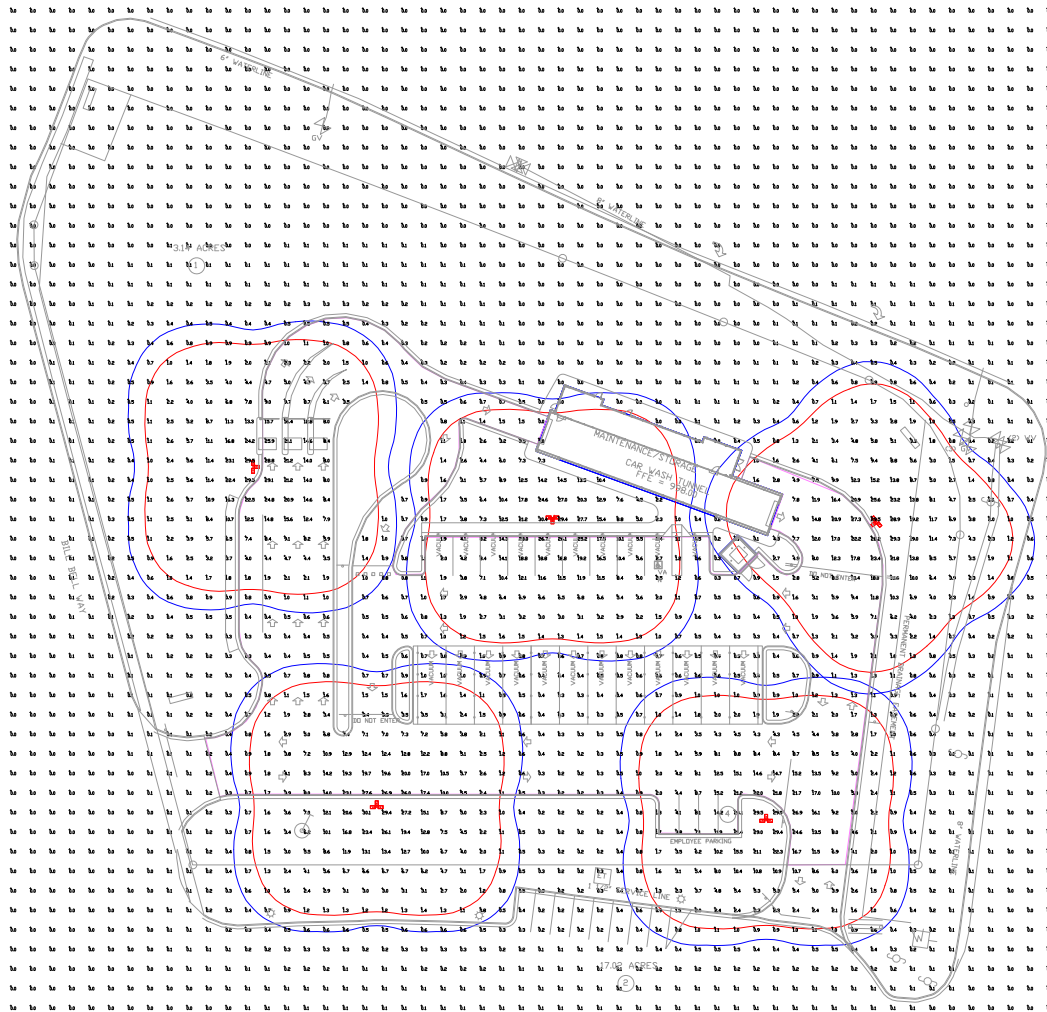


Use on Review - Landscape Plan  
**Weigel's Wash**  
7500 Bill Bell Way  
Powell, Tennessee 37849  
LKM Properties, LP

NO.	DATE	REVISIONS COMMENTS

ORIGINAL ISSUE: 07/29/2024  
SITE PROJECT #: 2104  
FILE: Landscape  
**C7.0**





9-H-24-DP  
7/29/2024

**PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recessed positions. The engineer and/or contractor must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lenses/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Future nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering products.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	193	30.4	0.0	N.A.	N.A.
PARKING AND DRIVES	Illuminance	Fc	495	291	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
⬇	5	A	3 @ 90 Degrees	SLM-LED-36L-SIL-FT-50-70CRI-T90	20' + 2' BASE	1000	1000	110175	765

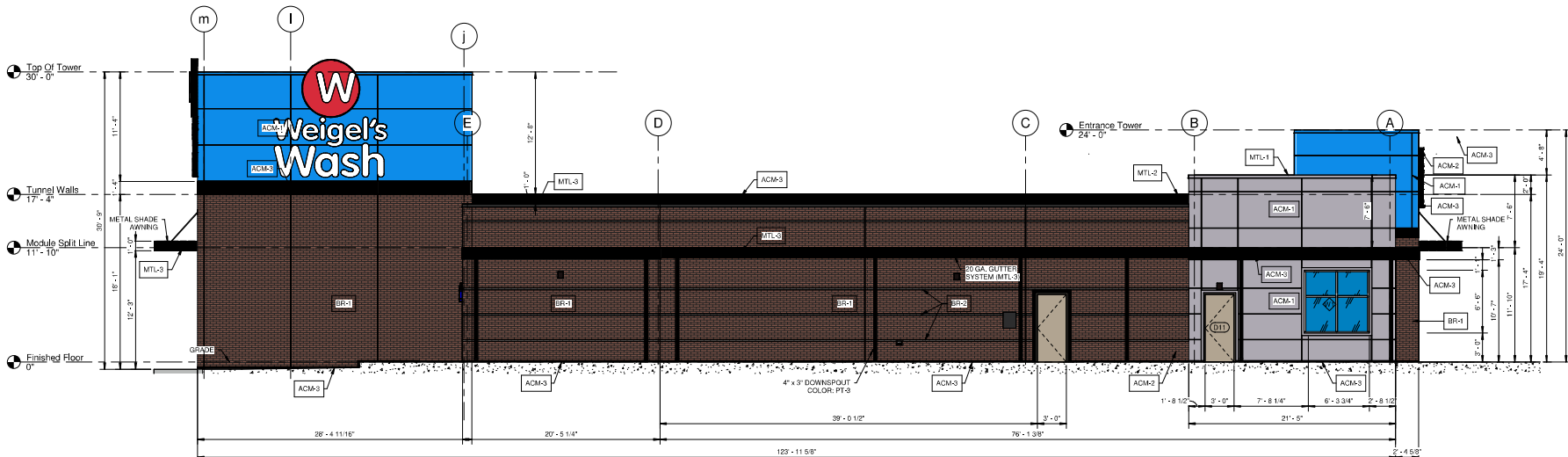
Total Project Watts  
Total Watts = 3825

**LIGHTING PROPOSAL**  
LD-160636

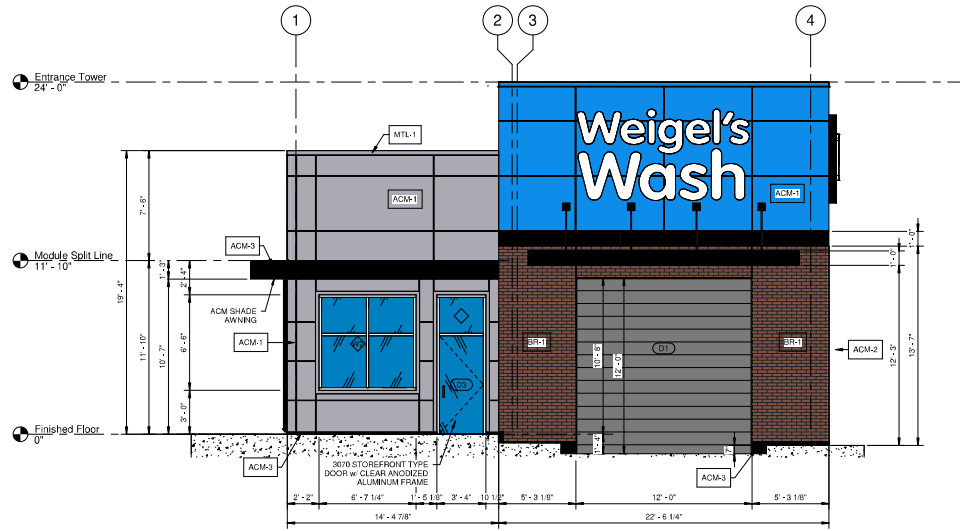
RES: E. WASH  
1209 BELL BELL WAY  
POWELL, TN

DATE: 7/29/2024  
SCALE: 1"=30'

SHEET 1  
OF 1



1 Equipment Room Elevation  
3/16" = 1'-0"



2 Entrance Elevation  
1/4" = 1'-0"

**EXTERIOR FINISH LEGEND**

EIFS SYSTEM	EIF-1	EIFS SYSTEM FINISH: SMOOTH, COLOR: PORPOISE, DE6073, SATIN FINISH
	EIF-2	EIFS SYSTEM FINISH: SMOOTH, COLOR: BEAUTIFUL BLUE, DE4136, SATIN FINISH
	EIF-3	EIFS SYSTEM FINISH: SMOOTH, COLOR: SHERWIN WILLIAMS ELECTRIC LINE SW6921, SATIN FINISH
THIN BRICK	BR-1	GLEN-GERY SICUX CITY BRICK, MODULAR THIN BRICK, COLOR: EBONITE VELOUR
	BR-2	GLEN-GERY BRICK, BURLESQUE GLAZED SERIES, MODULAR THIN BRICK, COLOR: BERMUDA BLUE
SPRING	SD-1	FAUX WOOD - RESYSTA 9" SIDING #RCL-C77, COLOR: CONCRETE GREY
	SD-2	BERRIDGE DEEP DECK PANEL (VERTICAL) COLOR: MATTE BLACK
METAL	MTL-1	3" x 16" x 29 GA. ROLLED DECK ROOF PANEL, COLOR: WHITE ACRYLIC
	MTL-2	PAC-CLAD METAL: 20 GA. BERKSHIRE BLUE
	MTL-3	PAC-CLAD METAL: 20 GA. MATTIE BLACK
	MTL-4	PAINTED METAL: 20 GA. - MATCH EIFS
EXTERIOR PAINT	PT-1	PAINT - DUNN EDWARDS, COLOR: GRAY WOLF DEE954 - SATIN FINISH
	PT-2	PAINT - SW 6258 TRICORN BLACK - SATIN FINISH

9-H-24-DP  
7/29/2024

PROFESSIONAL SEAL

**MODULAR CONSTRUCTION**

CLIENT

Weigel's

PROJECT NAME

Express Car Wash

SHEET TITLE

Exterior Elevations

PROJECT NUMBER

ADDRESS

7505 Clinton Hwy  
Powell, TN 37849

OWNER NO.

MODEL NO.

DATE PROJECT NO.

DATE

03/08/2024

PROFESSIONAL IN CHARGE

PROJECT MANAGER

DRAWN BY

QUALITY CONTROL

TD

01-A1

Page

3

of

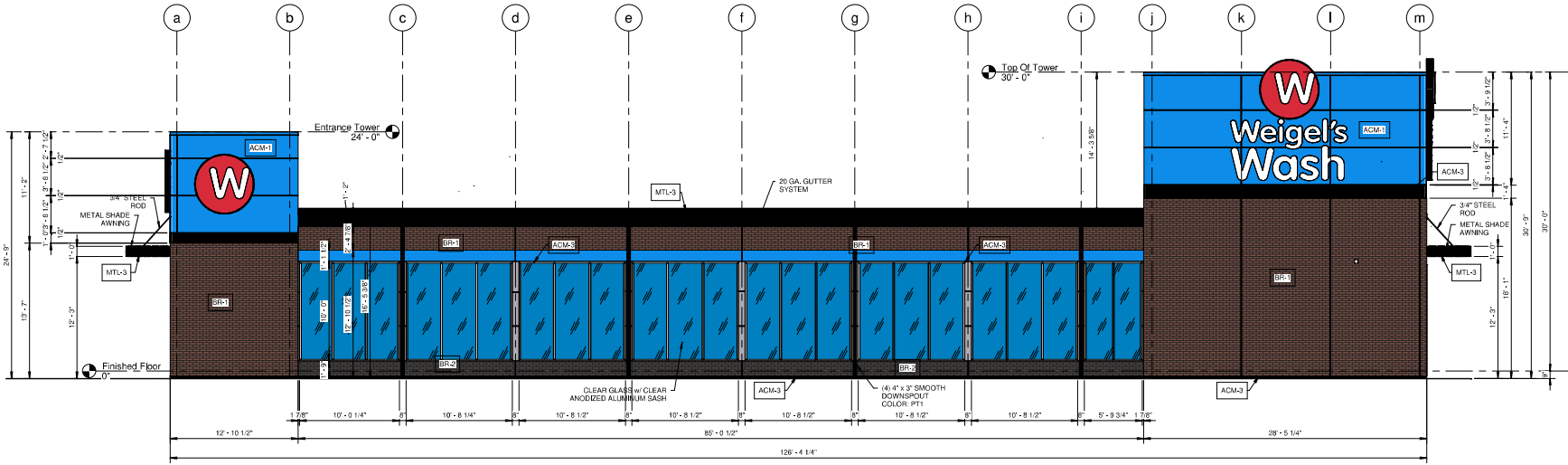
80

Scale

As Indicated



1265 Oakbrook Dr. STE C  
Norcross, GA 30093  
1.855.GENWASH  
www.genwash.com



**EXTERIOR FINISH LEGEND**

EIFS SYSTEM	EF-1	EIFS SYSTEM, FINISH: SMOOTH, COLOR: PORPOISE, DE6373, SATIN FINISH
	EF-2	EIFS SYSTEM, FINISH: SMOOTH, COLOR: BEAUTIFUL BLUE, DE4136, SATIN FINISH
	EF-3	EIFS SYSTEM, FINISH: SMOOTH, COLOR: SHERWIN WILLIAMS ELECTRIC LIME SW621, SATIN FINISH
THIN BRICK SYSTEM	BR-1	GLEN-GERY SIOUX CITY BRICK, MODULAR THIN BRICK, COLOR: EBONITE VELOUR
	BR-2	GLEN-GERY BRICK, BURLSQUE GLAZED SERIES, MODULAR THIN BRICK, COLOR: BERMUDA BLUE
SPRING	SD-1	FAUX WOOD - BESYSTA 6' SIDING #RCL-G77, COLOR: CONCRETE GREY
	SD-2	BERRIDGE DEEP DECK PANEL (VERTICAL) COLOR: MATTE BLACK
METAL	MTL-1	3' x 16' x 20 GA. ROLLED DECK ROOF PANEL, COLOR: WHITE ACRYLIC
	MTL-2	PAC-CLAD METAL: 20 GA. BERKSHIRE BLUE
	MTL-3	PAC-CLAD METAL: 20 GA. MATTE BLACK
	MTL-4	PAINTED METAL: 20 GA. - MATCH EIFS
EXTERIOR PAINT	PT-1	PAINT - DUNN EDWARDS, COLOR: GRAY WOLF DE6354 - SATIN FINISH
	PT-2	PAINT - SW 6258 TRICORN BLACK - SATIN FINISH

9-H-24-DP  
7/29/2024

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No.	Description	Date

PROFESSIONAL SEAL

**MODULAR CONSTRUCTION**  
CLIENT: **Weigel's**  
PROJECT NAME: **Express Car Wash**  
SHEET TITLE: **Exterior Elevations**  
PROJECT NUMBER: -

ADDRESS: 7505 Clinton Hwy  
Powell, TN 37849

OWNER: NA  
MODEL: N/A  
DWP/PROJECT NO.:  
DATE: 03/08/2024  
PROFESSIONAL IN CHARGE  
PROJECT MANAGER  
DRAFTER: TD  
QUALITY CONTROL: TD

**01-A2**  
Page 4 of 80  
Scale: As indicated

5/21/2025 8:21:44 AM





9-H-24-DP  
7/29/2024



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www.genwash.com

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No.	Description	Date

PROFESSIONAL SEAL

**MODULAR CONSTRUCTION**

CLIENT  
Weigel's

PROJECT NAME  
Express Car Wash

SHEET TITLE  
Perspective Views

PROJECT NUMBER  
-

ADDRESS  
7505 Clinton Hwy  
Powell, TN 37849

OWNER NO.  
MODEL NO.  
SERIES/PROJECT NO.

DATE 03/08/2024

PROFESSIONAL IN CHARGE

PROJECT MANAGER

DRAWN BY TD

QUALITY CONTROL

01-A3

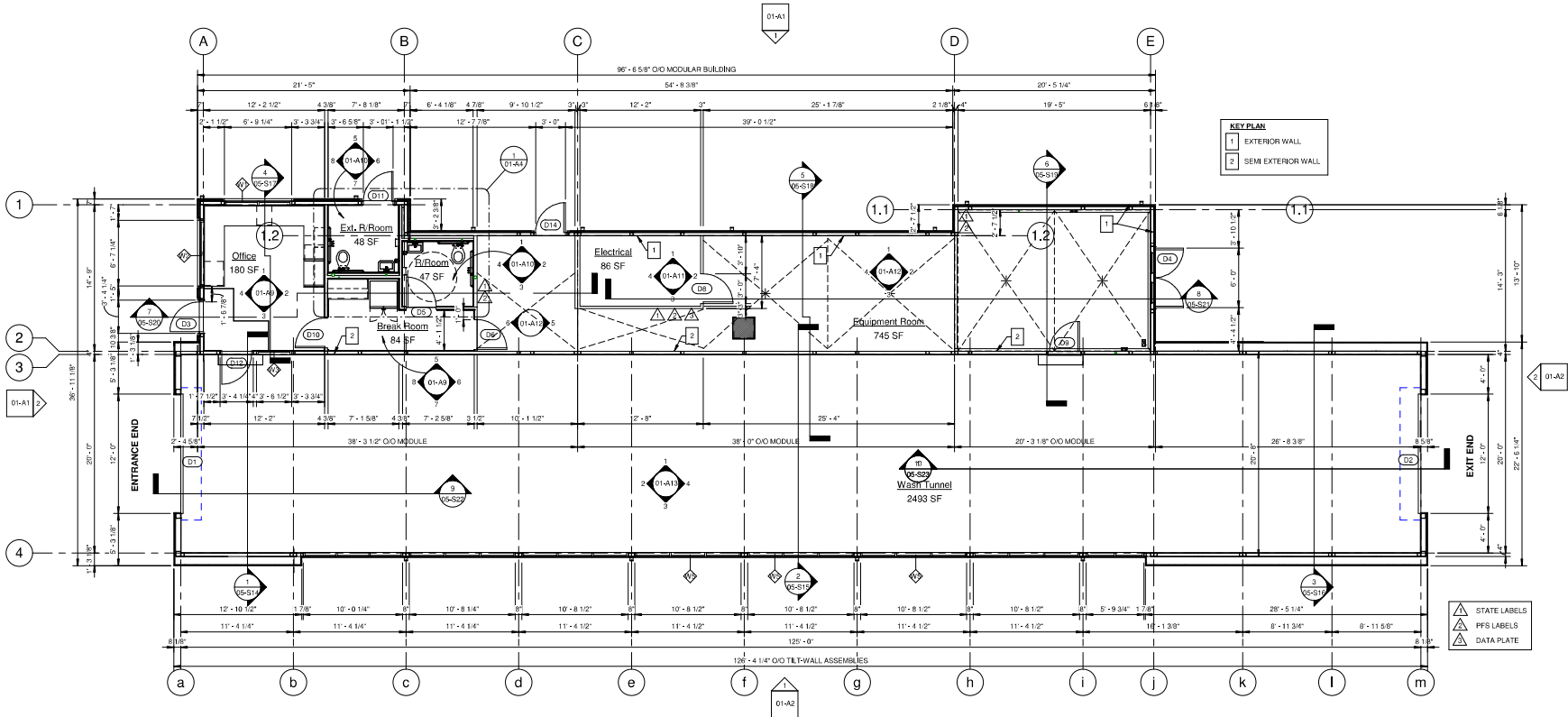
Page 5 of 80

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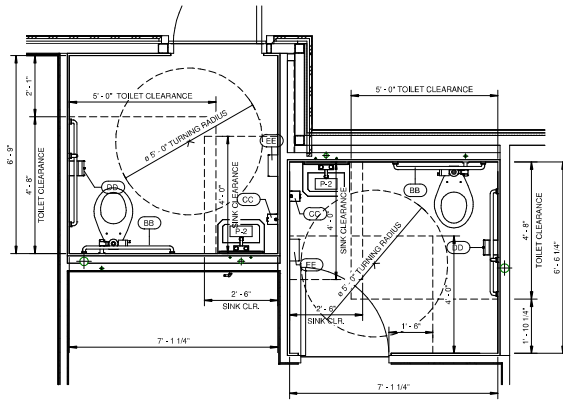
1/21/2024 8:32:28 AM



1285 Oakbrook Dr, STE C  
Norcross, GA 30093  
1.866.GENWASH  
www.genwash.com



2 Floor Plan  
3/16" = 1'-0"



1 Floor Plan - Rest Rooms  
1/2" = 1'-0"

- KEY PLAN**
- 1 EXTERIOR WALL
  - 2 SEMI EXTERIOR WALL

- △ STATE LABELS
- △ PFS LABELS
- △ DATA PLATE

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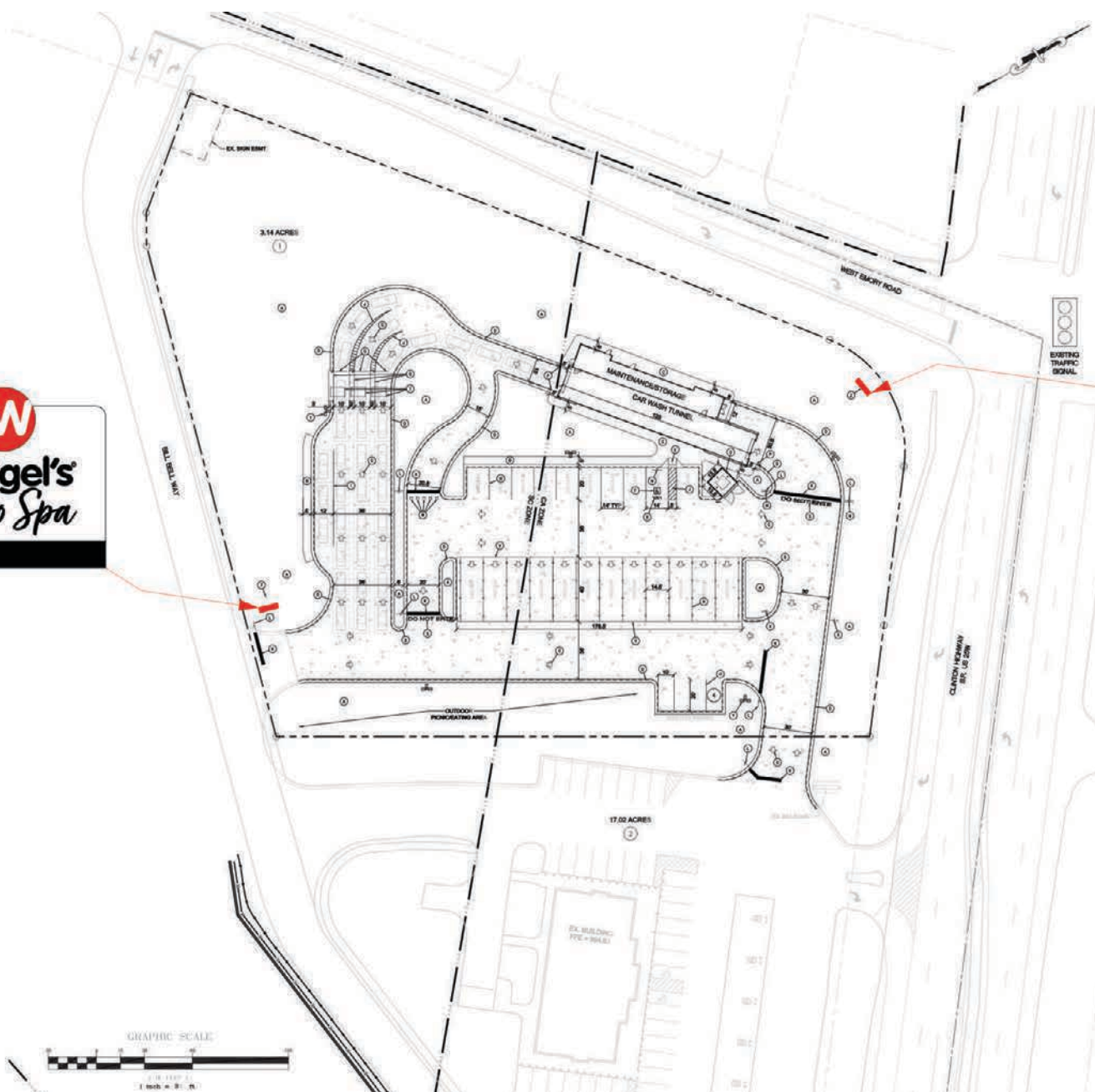
No.	Description	Date

PROFESSIONAL SEAL

<b>MODULAR CONSTRUCTION</b>	
CLIENT	Weigel's
PROJECT NAME	Express Car Wash
SHEET TITLE	Floor Plan
PROJECT NUMBER	-
ADDRESS	7505 Clinton Hwy Powell, TN 37849
DRAWN BY	-
MODEL NO.	-
SEP PROJECT NO.	-
DATE	03/08/2024
PROFESSIONAL IN CHARGE	-
PROJECT MANAGER	-
DRAWN BY	TD
QUALITY CONTROL	-
<b>01-A4</b>	
Page	6 of 80
Scale	As indicated

9-H-24-DP  
7/29/2024

9/21/2024 8:32:29 AM

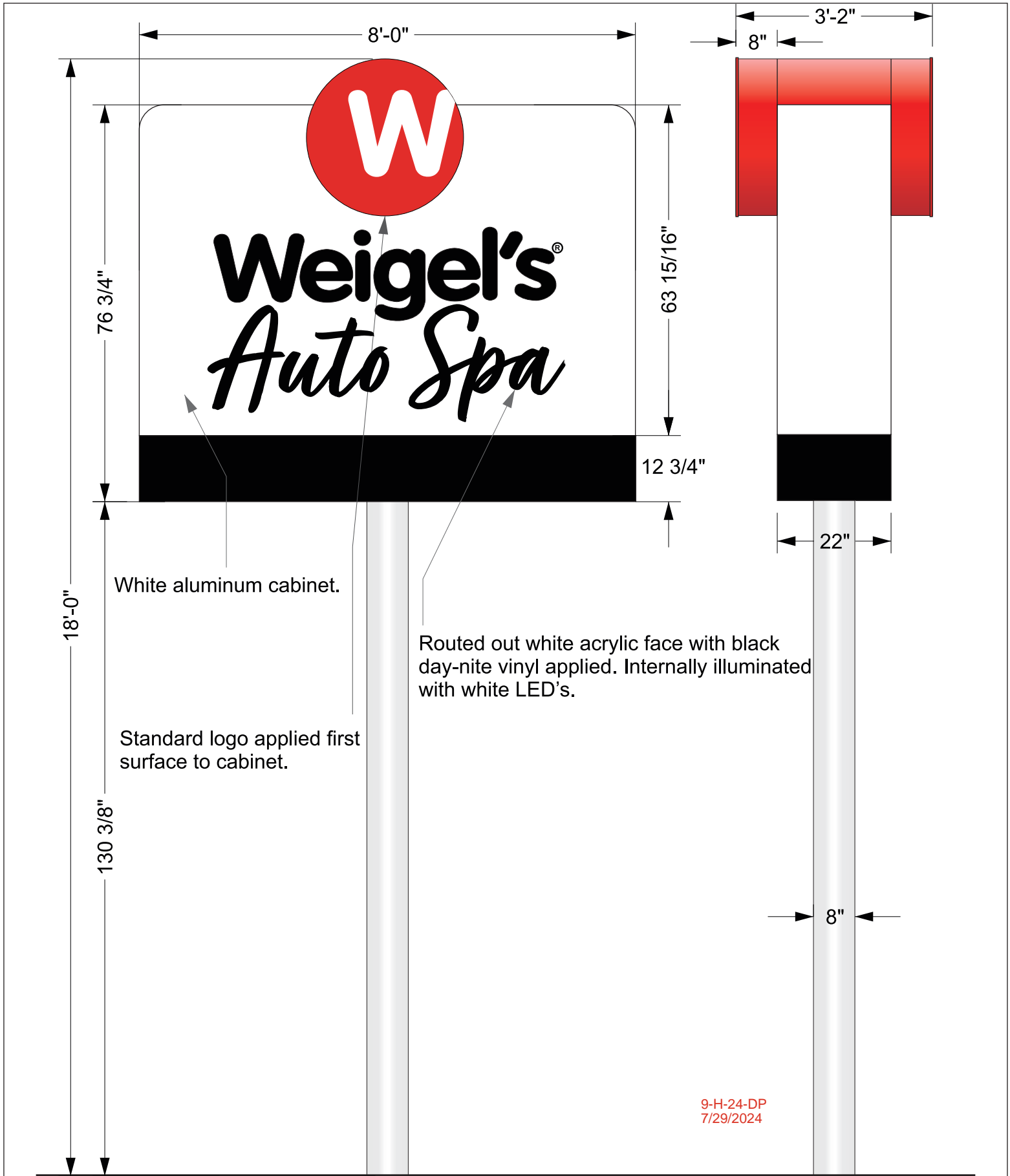


9-H-24-DP  
7/29/2024

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<i>Neon Service Co.</i>		
SCALE: N/A	APPROVED BY:	DRAWN BY:
DATE: 7-26-24		R.H.
NAME: Weigel's Auto Spa		
DRAWING NUMBER		9-26-241194

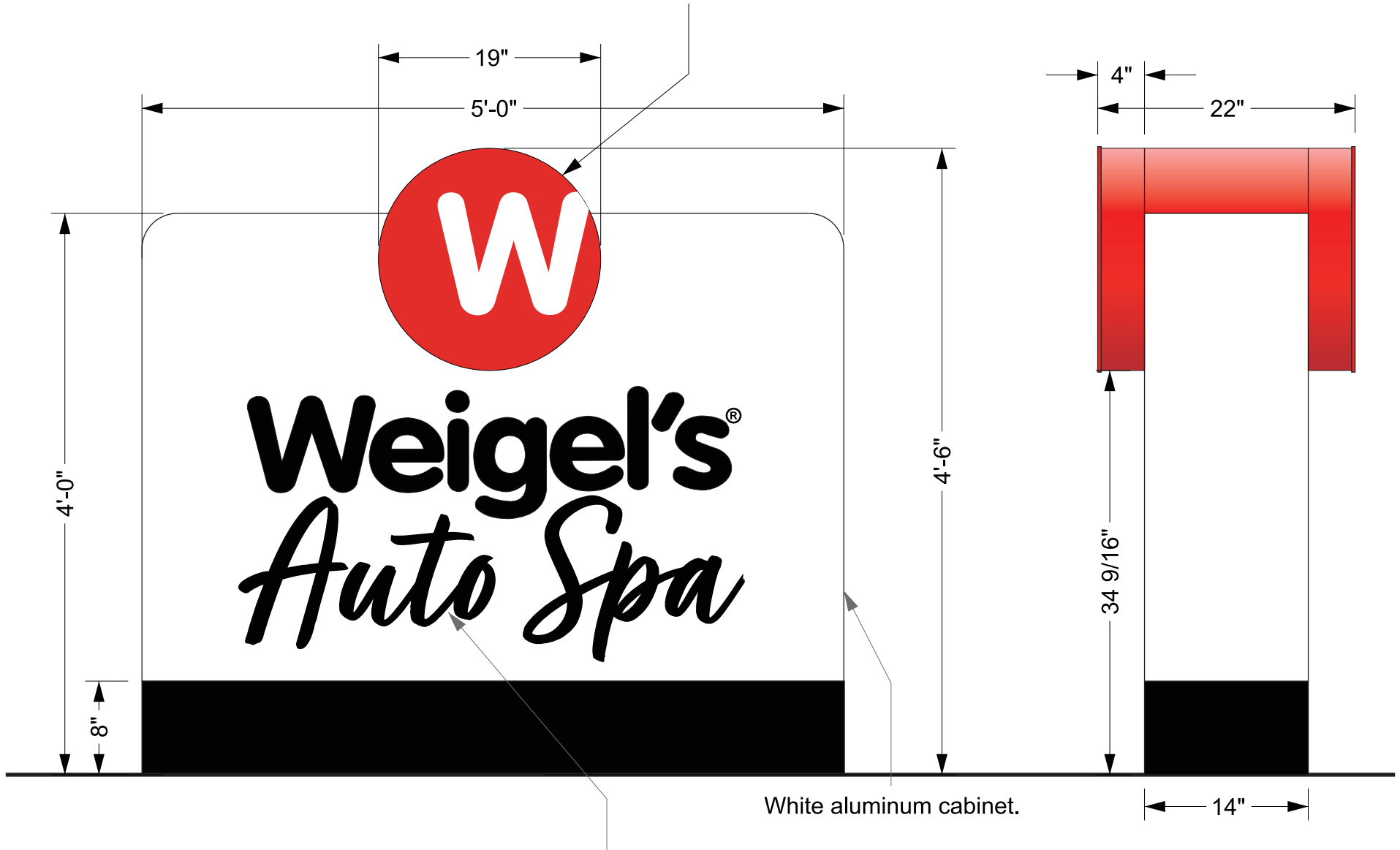




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<i>Neon Service Co.</i>		
SCALE: 1/2":1'	APPROVED BY:	DRAWN BY:
DATE: 7-26-24		R.H.
NAME: Weigel's Auto Spa		
DRAWING NUMBER		7-26-241194

Standard logo applied first surface to cabinet.



White aluminum cabinet.

Routed out white acrylic face with black day-nite vinyl applied. Internally illuminated with white LED's.

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7/29/2024

*Neon Service Co.*

SCALE: 1":1'	APPROVED BY:	DRAWN BY:
DATE: 7-26-24		R.H.
NAME: Weigel's Auto Spa		
DRAWING NUMBER		7-26-241194



# Development Request

### DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

### SUBDIVISION

- Concept Plan
- Final Plat

### ZONING

- Rezoning
- Plan Amendment
- Sector Plan
- City OYP / County Comp Plan

#### LKM Properties, LP

Applicant Name

Affiliation

**7/29/2024**

Date Filed

**9/12/2024**

Meeting Date (if applicable)

**9-H-24-DP**

File Number(s)

### CORRESPONDENCE

*All correspondence related to this application should be directed to the approved contact listed below.*

**Dylan G. Bullock, P. E. Site Inc.**

Name / Company

**10215 Technology Dr Ste 304 Knoxville TN 37932**

Address

**865-777-4173 / dbullock@site-incorporated.com**

Phone / Email

### CURRENT PROPERTY INFO

**LKM Properties, LP**

Owner Name (if different)

**PO Box 350 Powell TN 37849**

Owner Address

**865-938-2042 / mclark@weigel**

Owner Phone / Email

**7590 BILL BELL WAY**

Property Address

**67 00904**

Parcel ID

**3.14 acres**

Tract Size

Part of Parcel (Y/N)?

**Hallsdale-Powell Utility District**

Sewer Provider

**Hallsdale-Powell Utility District**

Water Provider

Septic (Y/N)

### COMMUNITY ENGAGEMENT

*Sign and return the **Public Notice and Community Engagement** form with this application.*

*Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). **We require applicants to acknowledge their role in this process.***



## DEVELOPMENT REQUEST

<input checked="" type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) <b>Carwash</b>	

## SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information	
<input type="checkbox"/> Attachments / Additional Requirements	

## ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment	Proposed Plan Designation(s)	

Proposed Density (units/acre)    Previous Rezoning Requests

Additional Information

## STAFF USE ONLY

### PLAT TYPE

Staff Review     Planning Commission

### ATTACHMENTS

Property Owners / Option Holders     Variance Request  
 Amendment Request (Comprehensive Plan)

### ADDITIONAL REQUIREMENTS

Use on Review / Special Use (Concept Plan)  
 Traffic Impact Study  
 COA Checklist (Hillside Protection)

Fee 1	Total
<b>\$1,600.00</b>	
Fee 2	
Fee 3	

## AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	<b>LKM Properties, LP</b> Please Print	<b>7/29/2024</b> Date
---------------------	---	--------------------------

Phone / Email

Property Owner Signature	<b>LKM Properties, LP</b> Please Print	<b>7/29/2024</b> Date
--------------------------	---	--------------------------



# Development Request

### DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

### SUBDIVISION

- Concept Plan
- Final Plat

### ZONING

- Plan Amendment
  - SP  PA
- Rezoning

LKM Properties, LP

Owner

Applicant Name

Affiliation

07/29/2024

09/12/2024

Date Filed

Meeting Date (if applicable)

File Number(s)

9-H-24-DP

### CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Dylan G. Bullock, P.E.

SITE, Inc.

Name

Company

10215 Technology Dr., Ste. 304

Knoxville

TN

37932

Address

City

State

ZIP

865-777-4173

dbullock@site-incorporated.com

Phone

Email

### CURRENT PROPERTY INFO

LKM Properties, LP

PO Box 350 Powell, TN 37849

865-938-2042

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

7590 Bill Bell Way Powell, TN 37849

067 00904

Property Address

Parcel ID

Hallsdale-Powell UD

Hallsdale-Powell UD

N

Sewer Provider

Water Provider

Septic (Y/N)

### STAFF USE ONLY

General Location

Tract Size

City  County

District

Zoning District

Existing Land Use

Planning Sector

Land Use / Place Type  
CITY COUNTY

Growth Policy Plan Designation

**DEVELOPMENT REQUEST**

Development Plan  
  Use on Review / Special Use  
  Hillside Protection COA  
 Residential  
  Non-Residential  
 Home Occupation (specify) \_\_\_\_\_

Related City Permit Number(s)

Other (specify) **Carwash in the SC zone**

**SUBDIVISION REQUEST**

Proposed Subdivision Name \_\_\_\_\_  
 Combine Parcels  
  Divide Parcel  
 Total Number of Lots Created \_\_\_\_\_  
 Other (specify) \_\_\_\_\_  
 Attachments / Additional Requirements \_\_\_\_\_

Related Rezoning File Number

**ZONING REQUEST**

Zoning Change  
 Proposed Zoning \_\_\_\_\_  
 Plan Amendment Change  
 Proposed Plan Designation(s) \_\_\_\_\_  
 Proposed Density (units/acre) \_\_\_\_\_  
 Previous Rezoning Requests \_\_\_\_\_  
 Other (specify) \_\_\_\_\_

Pending Plat File Number

**STAFF USE ONLY**

**PLAT TYPE**

Staff Review  
  Planning Commission

**ATTACHMENTS**

Property Owners / Option Holders  
  Variance Request  
 Amendment Request (*Comprehensive Plan*)

**ADDITIONAL REQUIREMENTS**

Use on Review / Special Use (*Concept Plan*)  
 Traffic Impact Study  
 COA Checklist (*Hillside Protection*)

Fee 1		Total  <b>\$1,600.00</b>
Fee 2		
Fee 3		

**AUTHORIZATION**

**I declare under penalty of perjury the foregoing is true and correct:**  
**1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent**

\* *W B Weigel*  
 Applicant Signature

LKM Properties, LP  
 Please Print

*7/23/24*  
 Date

*865-617-4052*  
 Phone Number

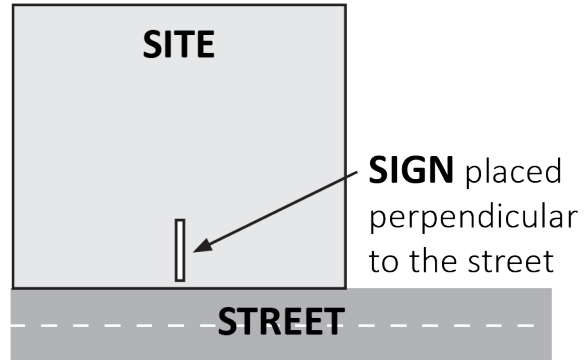
*mclark@weisels.com*  
 Email

\* *W B Weigel*  
 Property Owner Signature

William B. Weigel  
 Please Print

7.29.24 OI, SH  
 Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

## LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

## TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

***The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:***

\_\_\_\_\_ and \_\_\_\_\_  
(applicant or staff to post sign) (applicant to remove sign)

**Applicant Name:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**File Number:** \_\_\_\_\_

- Sign posted by Staff
- Sign posted by Applicant