FORM-BASED ZONING REPORT

▶ **FILE #:**	**1-B-25-OB**	**AGENDA ITEM #:**	**42**
POSTPONEMENT(S):	1/9/2025	**AGENDA DATE:**	**2/13/2025**
▶ **APPLICANT:**	**HEYOH DESIGN & DEVELOPMENT**		
OWNER(S):	Gordon & Stacy Savage		

TAX ID NUMBER:	109 A B 008 **View map on KGIS**
JURISDICTION:	City Council District 1
STREET ADDRESS:	515 MIMOSA AVE
▶ **LOCATION:**	**North side of Mimosa, west of Atchley St**
▶ **APPX. SIZE OF TRACT:**	**7166 square feet**
SECTOR PLAN:	South City
GROWTH POLICY PLAN:	N/A (Within City Limits)
ACCESSIBILITY:	Access is via Mimosa Avenue, a local road with 24 ft of pavement width within a 38-ft wide right-of-way
UTILITIES:	Water Source: Knoxville Utilities Board
	Sewer Source: Knoxville Utilities Board
FIRE DISTRICT:	Knoxville Fire Department
WATERSHED:	Tennessee River

▶ **ZONING:**	**SW-3 (South Waterfront, Sevier Avenue)**
▶ **EXISTING LAND USE:**	**Single Family Residential**
▶ **PROPOSED USE:**	**Single-family house**
HISTORY OF ZONING:	Part of a larger zoning to the SW-3 zoning district after annexation into the City (10-Y-06-RZ)
SURROUNDING LAND USE AND ZONING:	North: Public/quasi-public land (church) - SW-3 (South Waterfront, Sevier Avenue) Form Based District
	South: Multifamily - SW-3 (South Waterfront, Sevier Avenue) Form Based District
	East: Single family residential - SW-3 (South Waterfront, Sevier Avenue) Form Based District
	West: Single family residential - SW-3 (South Waterfront, Sevier Avenue) Form Based District
NEIGHBORHOOD CONTEXT	This property is located in a pocket of single family detached residential development surrounded by other uses. There are churches and a large church parking lot to the north and west, and to the south across the railroad tracks. there are several blocks that are largely undeveloped but zoned for industrial uses along with some commercial uses. Sevier Avenue is a commercial corridor one block to the north.

STAFF RECOMMENDATION:

- **Per Article 7.0.2.G.6.c, Planning defers to the Zoning Administrator's recommendation.**

Knoxville-Knox County Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.

Zoning Administrator Report for Level III: Alternative Compliance Review

515 Mimosa Avenue

Peter Ahrens, Director
City of Knoxville, Plans Review and Building Inspections

I. Background

The parcel at 515 Mimosa Avenue is located in the South Waterfront Form Based Code and SW-3 district (*Sevier Avenue*). The vision and intent for this district is to, *potentially fulfill the role of "Main Street" and become a viable commercial center for the local neighborhoods. New development in this area has a mix of commercial and retail uses on ground floors that promote both daytime and nighttime activities. Developments in this area could also house multiple residential units on the upper floors. The new mixed-use infill development will complement the existing buildings and preserve the historic character that exists. New buildings shall be built up to the street (rather than being setback from the street) to reinforce the continuity of the street wall. Parking for new developments will be to the rear of the site as well as on-street.*

A demolition permit was issued by the city in June of 2015, and the former residential structure located on the parcel was razed. It is currently undeveloped.

The property has since been sold, and the current property owner for 515 Mimosa Avenue has submitted a building permit application proposing to construct a single-family dwelling with a front-loaded garage.

II. Process

In the Form Based Code Districts, Article 7.0.2.G.1 states that, *"Alternative Compliance Review is intended to allow developments and nonprohibited uses that would not otherwise be allowed under a strict interpretation of the Form District regulations but nevertheless comply with the intent of the applicable Form District and Plan"*

The strict interpretation of the SW-3 form based code does not allow garages to be located at the front of the property. Additionally, a reduction from the required 70% to 12.4% transparency calculation on the front façade qualifies as a Level III review because Article 7.0.2.F.8.c.i states, "No variance can be granted to reduce transparency by more than 10% in the South Waterfront District."

III. Administrative Review Committee

The application and review drawings were provided to members of the Administrative Review Committee on November 26, 2024. The following comments were identified and provided to the applicant on December 9, 2024:

- Article 7.1.3.D.7.d – Garage Location – to rear of property or underneath building.
- Article 7.1.3.D.7.c - Surface parking / vehicular use area must be 65% permeable. Please provide permeable surface and provide calculations on the plans showing that 65% (minimum) of uncovered surface parking is permeable. Calculations and permeable surface for parking / vehicular use area only apply within the property lines.
- Article 7.1.3.D.2.b - Label the highlighted contours. It is believed that contours range from 888' to 892'. If so, there is insufficient slope for the proposed grade change from

existing contours to the FFE's to divert water around the home and keep slopes that do not exceed 2:1 (H:V). Retaining walls may be required.

- The maximum allowed driveway slope is 15%. The existing contour at the road near the driveway entrance is believed to be ~ 892'. The estimated slope to the projected elevation at the back of the sidewalk to the garage FFE of 886.96' greatly exceeds 15% and may not be functional for vehicles.
- When a driveway is proposed through an area with sidewalk, show the sidewalk to continue through the driveway and show lowered 6" detached lowered curbing at the interface of the apron and roadway.

Since the initial review, the applicant has since provided a revised plan to the Administrative Review Committee. One of the revisions was to increase the maximum front setback of the proposed dwelling. The applicant applied for and was granted zoning variances to increase the front setback to 25 feet and decreased the required frontage at setback minimum percentage to 0% at the January 21, 2025 Board of Zoning Appeals meeting.

IV. Administrator Action

In Article 7.0.2.G.6.c, "*the Administrator must prepare a report that reviews the application in light of comments provided by the Administrative Review Committee, and in light of the applicable Form District and Plan. The report recommendations, and any related application materials must be forwarded to the Knoxville-Knox County Planning Commission.*"

The applicant is continuously working with the Administrative Review Committee to address unresolved comments. The location of the garage is not in an approved location and the level of transparency reduction cannot go through the variance process. Due to topography, the applicant has suggested they cannot utilize the rear alley to locate the garage to the rear of or underneath the dwelling and that a garage located at the front of the dwelling is the best solution to provide covered and secured off-street parking. It should be noted that parking is not required in the South Waterfront District.

The Administrator recognizes that this development does not align with the vision and intent of this district's potential future, but it does align with the existing construction on the street.

Respectfully,

Peter M. Ahrens
Director of Plans Review and Inspections

(1) Download and fill out this form at your convenience.
(2) Sign the application digitally (or print, sign, and scan).

(3) Print the completed form and bring it to the Knoxville-Knox County Planning offices OR email it to applications@knoxplanning.org

Reset Form

Planning
KNOXVILLE | KNOX COUNTY

Request to
Postpone • Table • Withdraw

Heyoh Design & Development — Applicant Name (as it appears on the current Planning Commission agenda)

12/23/2025 — Date of Request

January 9, 2025 — Scheduled Meeting Date

File Number(s): 1-B-25-OB

POSTPONE

☑ **POSTPONE:** All applications are eligible for postponement if the request is received in writing and paid for by noon on Thursday the week prior to the Planning Commission meeting. All requests must be acted upon by the Planning Commission, except new applications which are eligible for one 30-day automatic postponement. If payment is not received by the deadline, the item will be tabled.

SELECT ONE: ☑ 30 days ☐ 60 days ☐ 90 days

Postpone the above application(s) until the February 13, 2025 Planning Commission Meeting.

WITHDRAW

☐ **WITHDRAW:** Applications may be withdrawn automatically if the request is received in writing no later than 3:30pm on Thursday the week prior to the Planning Commission meeting. Requests made after this deadline must be acted on by the Planning Commission. Applicants are eligible for a refund only if a written request for withdrawal is received no later than close of business 2 business days after the application submittal deadline and the request is approved by the Executive Director or Planning Services Manager.

TABLE

**The refund check will be mailed to the original payee.*

☐ **TABLE:** Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled. There is no fee to table or untable an item.

AUTHORIZATION

By signing below, I certify I am the property owner, and/or the owners authorized representative.

Logan Higgins

Applicant Signature — Please Print

Phone Number — Email

STAFF ONLY

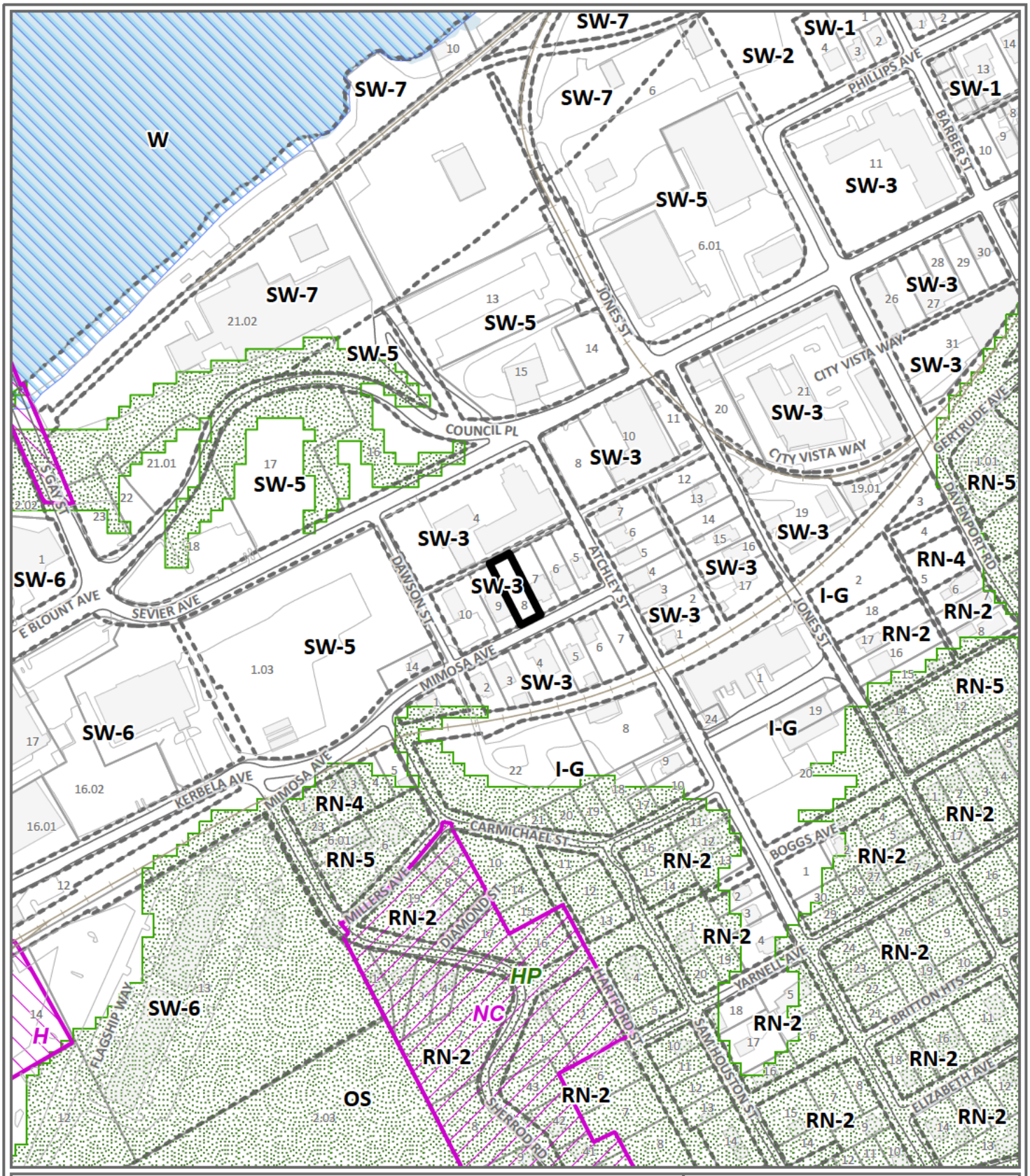
Jessie Hillman — Jessie Hillman — ☑ No Fee

Staff Signature — Please Print — Date Paid

Eligible for Fee Refund? ☐ Yes ☐ No Amount:

Approved by: — Date:

Payee Name — Payee Phone — Payee Address



OTHER BUSINESS **1-B-25-OB**

Petitioner: Heyoh Design & Development

Purpose of Request: Level III Review in the SW-3 (South Waterfront District - Sevier Avenue), for a proposed single-family dwelling with a non-compliant front-loaded garage

Map No: 109
Jurisdiction: City

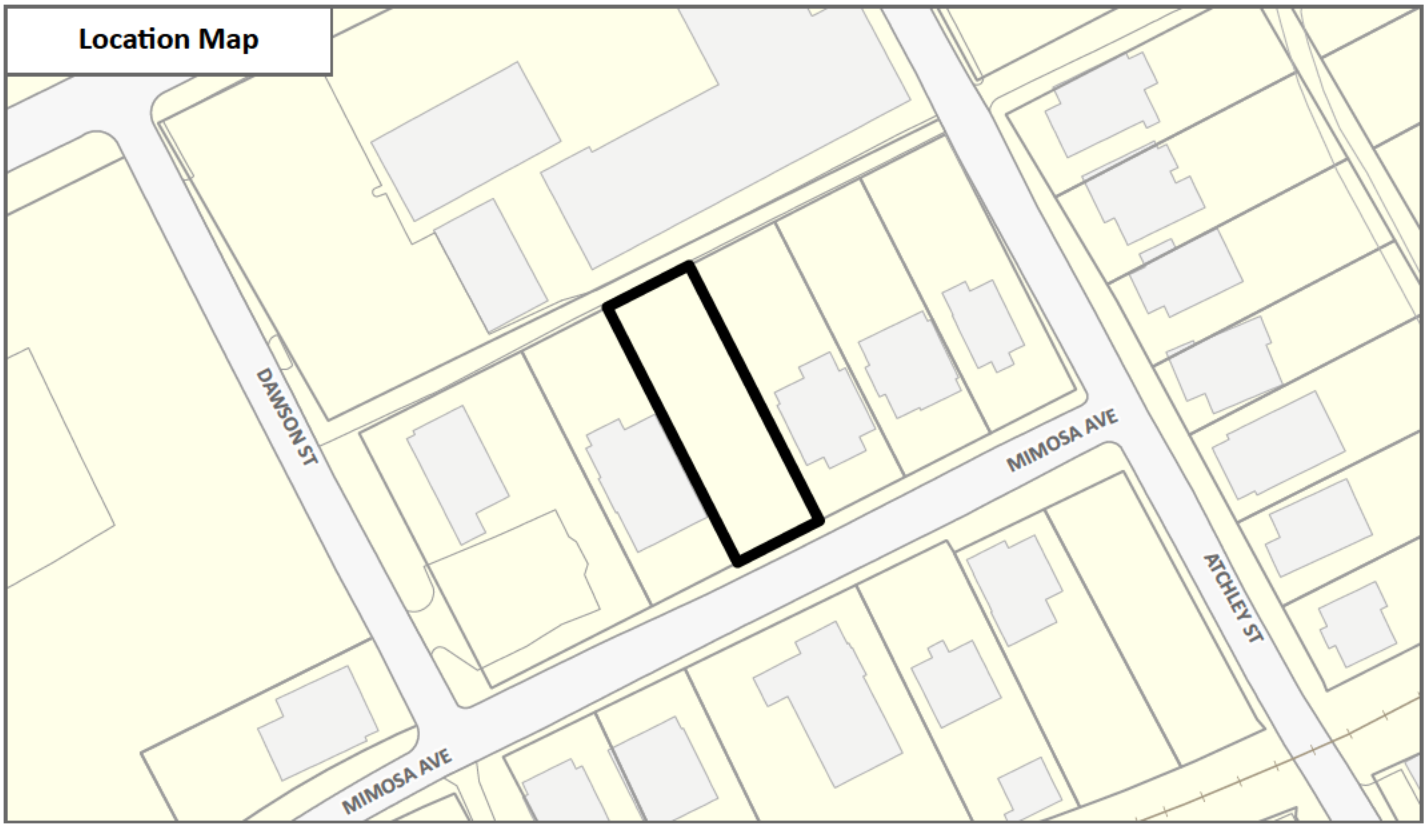
0 300
Feet

Original Print Date: 12/11/2024

*Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902*

Exhibit A. Contextual Images

Location Map



Aerial Map

CONTEXTUAL MAPS 1 **1-B-25-OB**

Case boundary

0 110

Feet

N

Exhibit A. Contextual Images

Pictometry view of block facing south

Pictometry view of block facing south

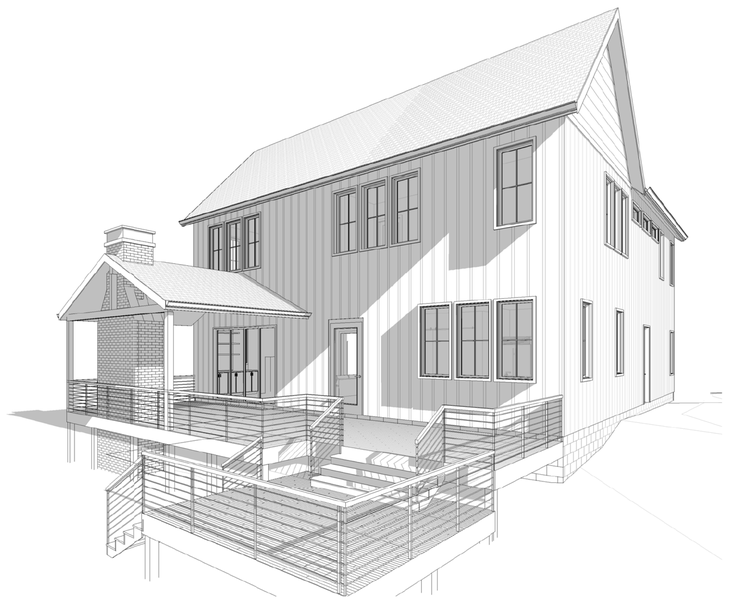
CONTEXTUAL MAPS 2 **1-B-25-OB**

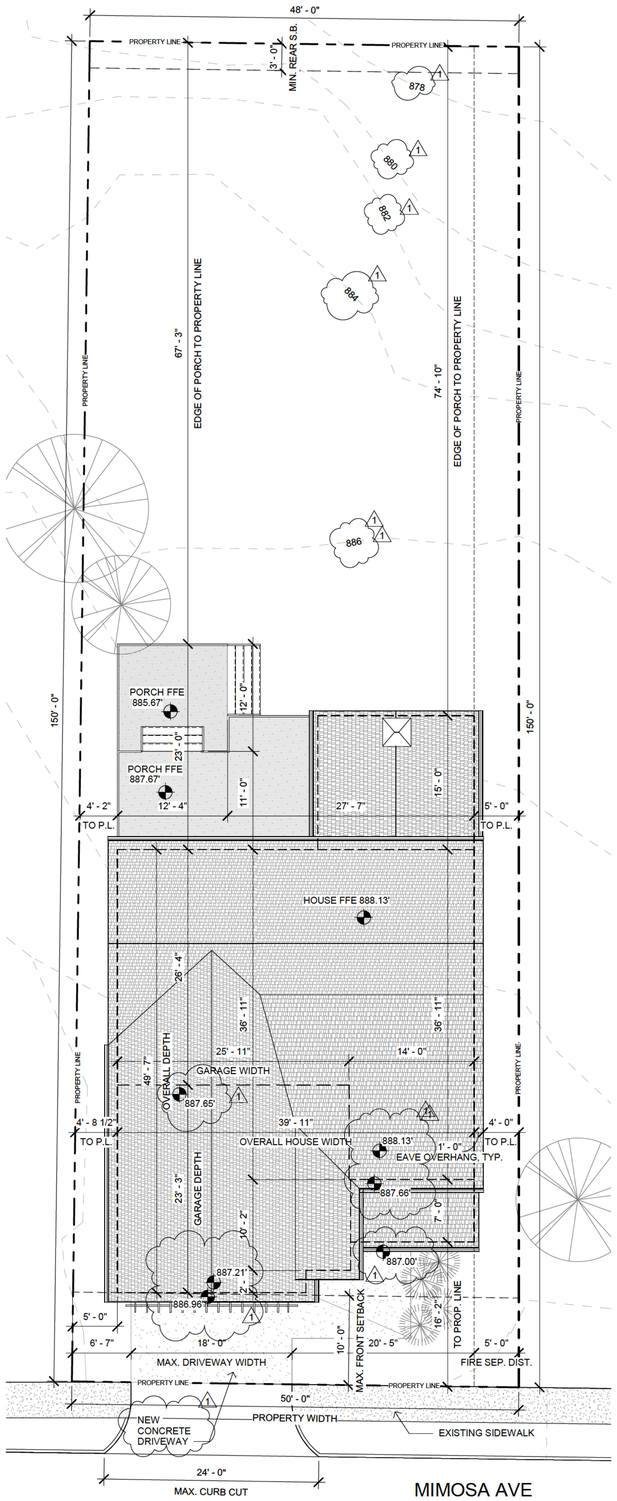
Case boundary

N

Exhibit B: Rear/Alley Access to 515 Mimosa Ave

Photos from a staff site visit on January 27, 2025. These are being added to the package in response to questions by the Planning Commission regarding alley access.





1 G101 SITE 1/8" = 1'-0"

GENERAL SITE NOTES:

- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET
- ALL SITE WORK TO BE DESIGNED AND COMPLETED BY OTHERS
- ALL FOOTERS AND FOUNDATION SUPPORTS TO BE POURED IN UNDISTURBED SOIL; IF REQUIRED TO BE PLACED ON DISTURBED SOIL, A STRUCTURAL ENGINEER SHOULD BE CONSULTED
- APROX. TOPOGRAPHY LINES FROM KGIS. GEN. CONTRACTOR TO MANAGE GRADING, SOIL CHANGES, AND ANY OTHER SITE WORK
- SLOPE SOIL AWAY FROM HOUSE
- ALL SPOT ELEVATIONS ARE APPROXIMATIONS TO BE FIELD VERIFIED BY CONTRACTOR. FINISHED GRADE ON SITE TO SLOPE AWAY FROM HOUSE FOUNDATION.
- D MENSIONS DEPICTED ON SITE PLAN ARE MEASURED FROM OUTSIDE FACE OF STRUCTURE.

515 MIMOSA AVENUE

PROJECT SUMMARY

NEW CONSTRUCTION SINGLE FAMILY RESIDENCE AT 515 MIMOSA AVENUE. THE PROGRAM INCLUDES A TWO-STORY CONDITIONED AREA OF 2 727 SF 2-CAR GARAGE WITH ACCESS OFF EXISTING MIMOSA AVENUE AND A CRAWLSPACE.

SITE INFO:
A. LOT SIZE: ≈ 0.17 ACRES (≈ 7 350 SF)
B. PARCEL ID: 109AB008
C. ZONING DISTRICT: SW-3
D. CITY BLOCK: 26222
E. OWNER: GORDON AND STACY SAVAGE

CONSTRUCTION TYPE: SLAB ON GRADE + CRAWLSPACE TYPE V-B CONSTRUCTION

BUILDING DESCRIPTION:
- SLAB ON GRADE @ GARAGE & FRONT OF HOUSE + CRAWL SPACE @ BACK OF HOUSE
- OPEN WEB FLOOR TRUSSES (FINAL SIZE & DESIGN TBD BY TRUSS MANUF.)
- PREFAB. ROOF TRUSSES (FINAL SIZE & DESIGN TBD BY TRUSS MANUF.)
- ASPHALT ROOFING THROUGHOUT
- BOARD AND BATTEN & BRICK VENEER FINISH
- CLAPBOARD & VERTICAL WOOD-LIKE SIDING
- ALUMINUM WINDOWS & EXTERIOR DOORS

UTILITIES: WATER ELECTRICITY SEWAGE GAS COORDINATE UTILITIES W/ KUB

MECHANICAL: MECHANICAL SYSTEM TBD BY MECH. SUB OR ENGINEER AND APPROVED IN FIELD BY KNOXVILLE CODES INSPECTIONS

STRUCTURAL: ALL FRAMING MEMBERS ROOF TRUSSES FLOOR TRUSSES AND BEAMS - SPAN DIRECTION SIZING CONNECTIONS AND SUPPORTS - TO BE DESIGNED DRAWN AND SPECIFIED BY MANUFACTURER IN FRAMING PACKAGE

CODES & ZONING

DIMENSIONAL STANDARDS FOR SW-3 ZONING

	REQ'D	PROVIDED
FRONT SETBACK (S.B.):	10' MAX	10'
FRONTAGE @ S.B.:	40% MIN	79.8%
SIDE SETBACK:	25' MAX	5' + 4'-8"
REAR SETBACK:	3' MIN	3'
LOT SIZE:	3 ACRES MAX	0.17 ACRES
BLDG COVERAGE:	80% MAX	41.6% (3 060 SF)
OPEN SPACE COV.:	20% MIN	58.4%
BUILDING HEIGHT:	25' & 2 STORIES	2 STORIES & ATTIC 26'-8"
F.A.R.	4 MAX	0 6 (4 407.72 GFA / 7350 SF)

PARKING
MINIMUM REQUIRED: 2 PER DU
MAXIMUM ALLOWED: 2 PARKING SPACES PER RESIDENTIAL UNIT

TOTAL PROVIDED: 2 PARKING SPACES

OCCUPANCY: SINGLE FAMILY RESIDENTIAL

APPLICABLE CODES
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
CITY OF KNOXVILLE ZONING CODE

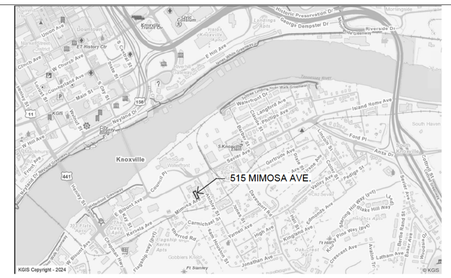
DRAWING INDEX

CONTACTS

- **OWNER:**
GORDON AND STACY SAVAGE
blknl92@gmail.com / stacysavage2@icloud.com

- **PROJECT ARCHITECT**
HEYOH DESIGN & DEVELOPMENT LLC.
LOGAN HIGGINS
LICENSE #: 106363
133c S Gay Street Knoxville TN 37902
OFFICE PHONE: 865-236-0430
EMAIL: admin@heyohdesign.com

VICINITY MAP



REVISION	
No.	REVISION
1	REVIEW CYCLE 1

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION SINGLE FAMILY RESIDENCE

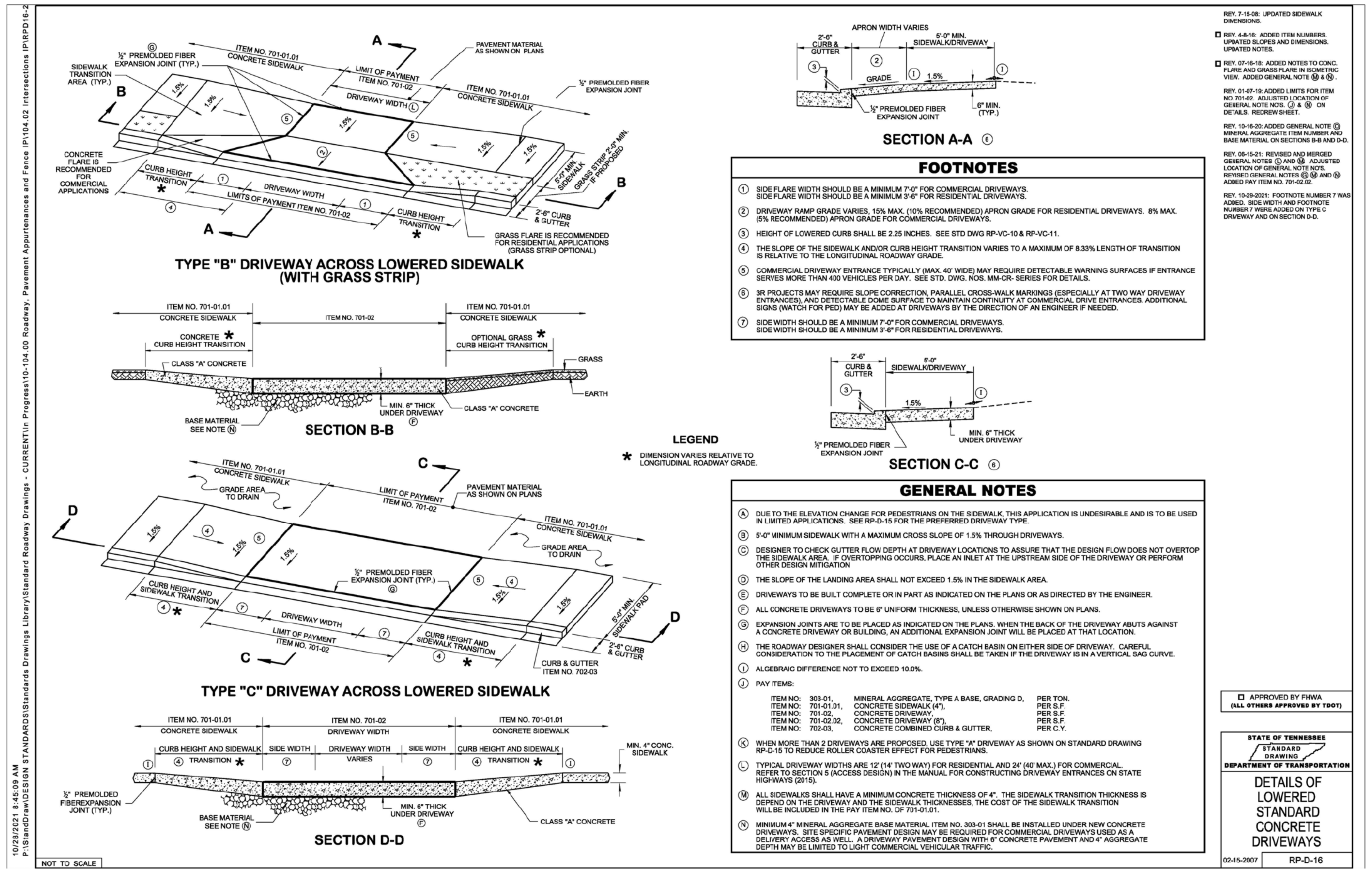
Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

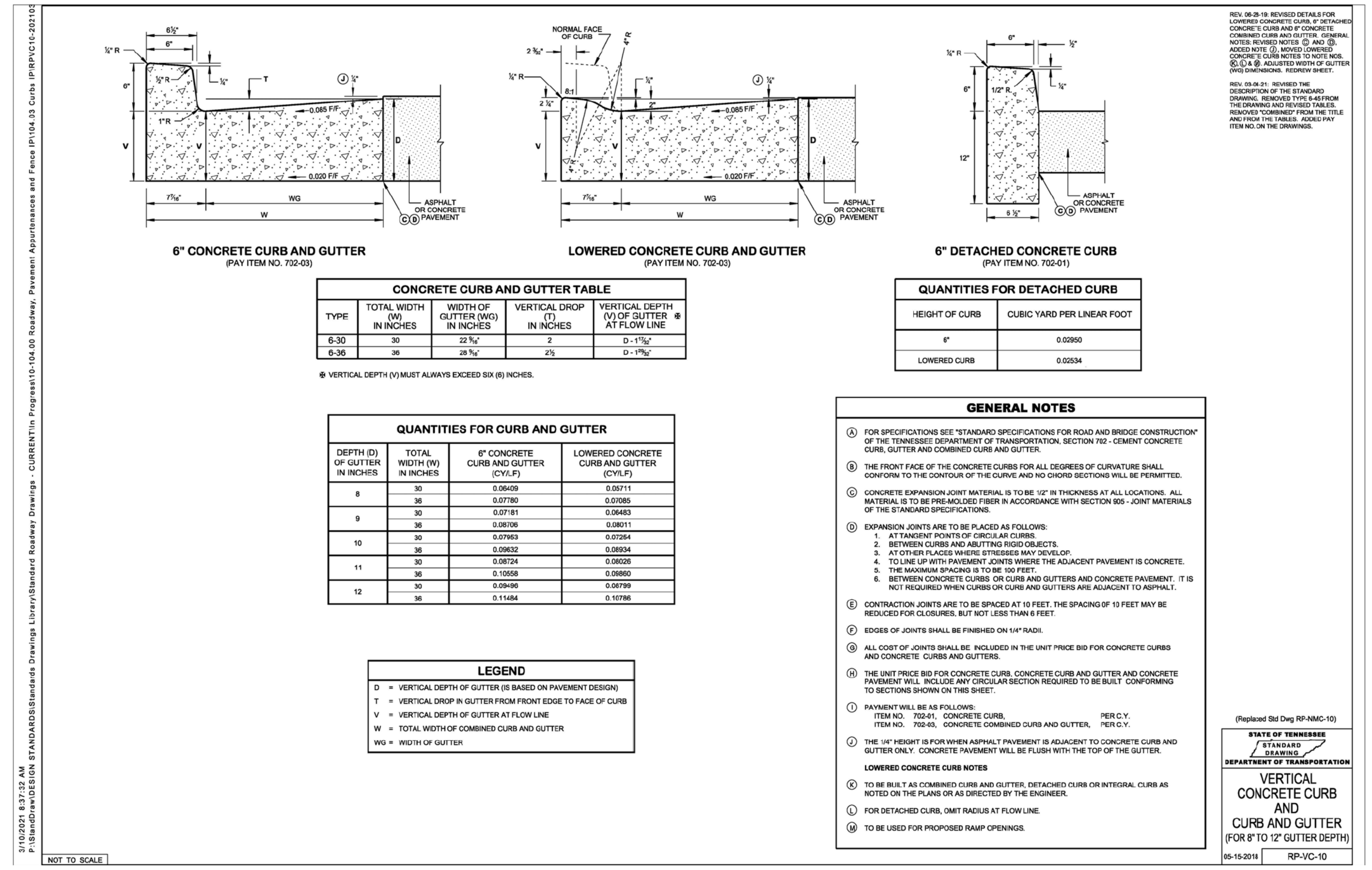
heyoh DESIGN + DEVELOPMENT

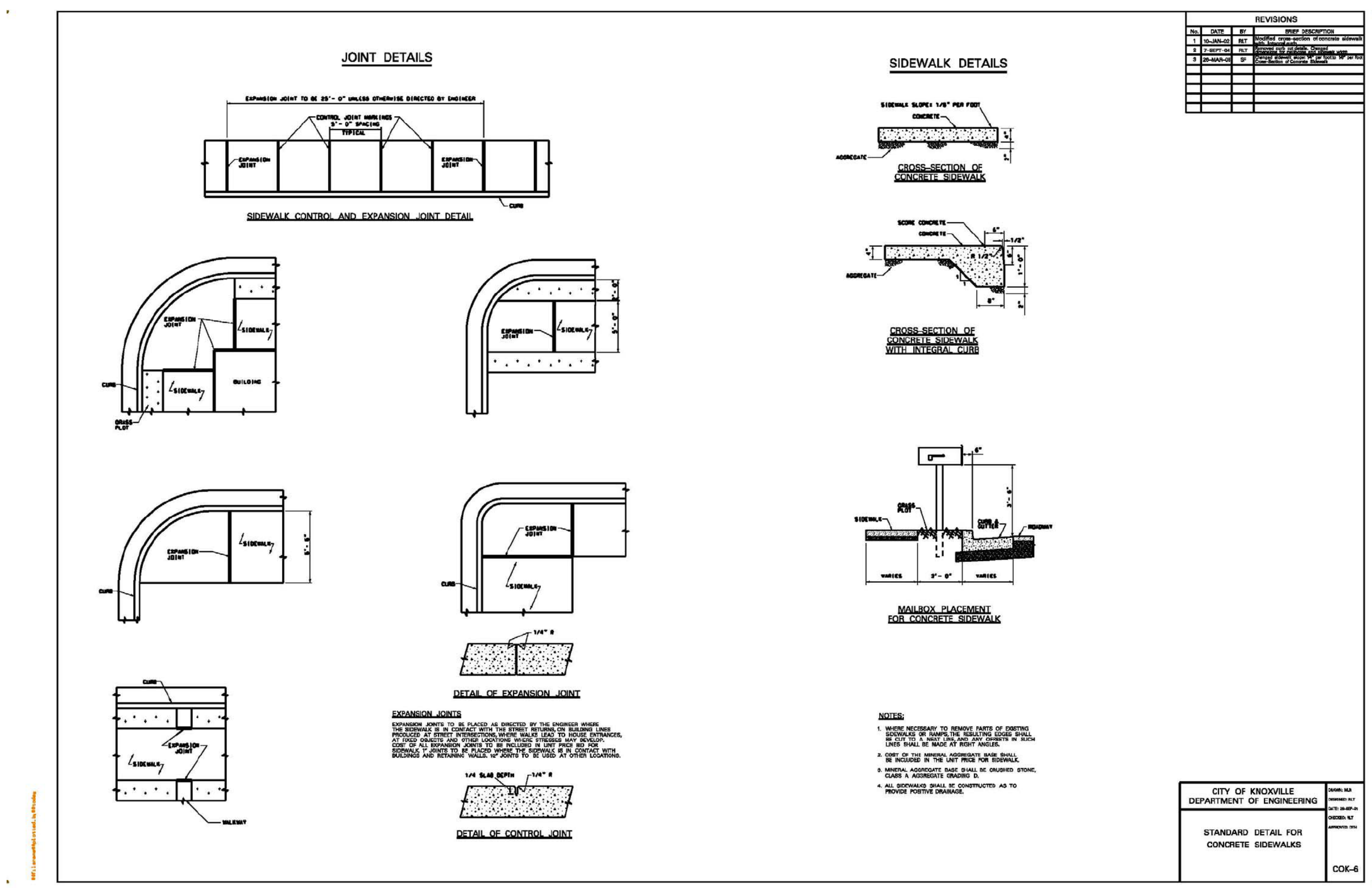
LOGAN HIGGINS REGISTERED ARCHITECT TENNESSEE LICENSE No. 106363 STATE OF TENNESSEE

CHECKED BY:	SRD/LH
DRAWN BY:	AL/SRD
11.19.2024	
1/8" = 1'-0"	

SHEET
G101
1 OF 12
COVER







FOR REFERENCE ONLY
NOT TO SCALE

REVISION	
No.	REVISION

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION SINGLE FAMILY RESIDENCE

Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

heyoh DESIGN + DEVELOPMENT

CHECKED BY: SRD/LH
DRAWN BY: AL/SRD
10.30.2024

SHEET
G102
2 OF 12
TDOT STANDARDS

GENERAL NOTES

CONTRACTOR NOTES

A. EXAMINE THE PROJECT & BECOME FAMILIAR WITH THE EXISTING CONDITIONS & SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON A THOROUGH KNOWLEDGE OF ALL WORK & MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ARCHITECT.
B. THE CONTRACTOR & SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK, & ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
C. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES.
D. THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS, OR INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER OR INTERIOR DESIGNER/DECORATOR.
E. UNLESS SHOWN ON THESE DRAWINGS, ALL MECHANICAL WORK SUCH AS, BUT NOT LIMITED TO, ELECTRICAL, PLUMBING, HEATING, AIR CONDITIONING, VENTILATION, ETC., ARE TO BE ESTABLISHED BY OTHERS THAN THE ARCHITECT.
F. THE ARCHITECT TAKES NO RESPONSIBILITY FOR MODIFICATIONS TO THESE DRAWINGS THAT ARE NOT REVIEWED & APPROVED BY THE ARCHITECT.
G. THE OWNER OR CONTRACTOR SHALL PAY FOR & OBTAIN ALL REQUIRED PERMITS, TAP FEES, & CERTIFICATES OF OCCUPANCY.
H. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING & INSTALLING ANY EQUIPMENT OR MATERIALS. DIGITAL COPIES IN PDF FORMAT MAY BE EMAILED TO PROJECT MANAGER IN THE ARCHITECT'S OFFICE. CONTRACTOR MUST CHECK ALL SHOP DRAWINGS, NOTING ANY DISCREPANCIES PRIOR TO SUBMISSION.
I. DUCT TESTING. PER 2018 IRC N1 103.3.4 THE OWNER AND /OR CONTRACTOR ARE RESPONSIBLE FOR COORDINATING DUCT TESTING. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE AND A WRITTEN REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO FINAL INSPECTION.

FOUNDATION NOTES

A. GENERAL CONTRACTOR TO REVIEW PLANS, ELEVATIONS, & DETAILS FOR DIMENSION OF FINISHED FLOOR ABOVE TYPICAL GRADE. GENERAL CONTRACTOR TO COMMUNICATE TO THE ARCHITECT ANY SITE CONDITIONS THAT REQUIRE MODIFICATIONS TO DIMENSIONS INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS.
B. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF BLOCK OR CONCRETE WALL TO OUTSIDE FACE OF BLOCK OR CONCRETE WALL, & TO CENTERLINE OF BLOCK PIERS, UNLESS OTHERWISE NOTED.
C. ALL CONCRETE TO BE PLACED IN THE DRY. NO CONCRETE SHALL BE PLACED LATER THAN NINETY (90) MINUTES AFTER MIXING HAS BEGUN. DEPOSIT CONCRETE IN ITS FINAL POSITION WITHOUT SEGREGATION & REHANDLING.
D. PROVIDE PERFORATED DRAINS IN GEO-SOCK FROM FOUNDATION TO GRADE.
E. GENERAL CONTRACTOR TO REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS TO BE INSTALLED ARE TO BE FLUSH WITH ADJACENT FLOORS OF SIMILAR OR DISSIMILAR MATERIALS. GENERAL CONTRACTOR TO ADJUST THE FOUNDATION AS REQUIRED TO ENSURE THAT ALL FLOORS ARE FLUSH.

FOUNDATION STEEL NOTES

F. REINFORCING STEEL SHALL BE OF NEW BILLET HIGH-STRENGTH STEEL OF DOMESTIC MANUFACTURING CONFORMING TO THE LATEST ASTM A-615 GRADE 60 FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF THE C.R.S.I. UNLESS NOTED OTHERWISE, AND PLACING OF REINFORCING SHALL BE IN ACCORDANCE WITH A.C.I. BUILDING CODE, MANUAL OF STANDARD PRACTICE, & THE CURRENT INTERNATIONAL RESIDENTIAL CODE
G. REINFORCING SHALL HAVE 3" COVER IN FOOTINGS, & 2" COVER ON MAIN REINFORCEMENT IN STEM WALLS.
H. REINFORCING BARS ARE CONTINUOUS UNLESS NOTED OTHERWISE. LAP MESH 12" AT SPLICES. LAP STEM WALL BARS (32 BAR DIAMETERS) AT SPLICES, MINIMUM.
I. AT OUTSIDE CORNERS OF CONCRETE FOOTINGS & STEM WALLS, PROVIDE #4 x 4'-0" CORNER BARS IN EACH FACE AT SAME SPACING AS HORIZONTAL REINFORCEMENT.

CONCRETE FOOTING NOTES

J. ALL FOOTINGS TO REST ON UNDISTURBED OR COMPACTED SOIL OR GRAVEL WITH A MINIMUM BEARING CAPACITY OF 2000 LBS. PER SQ. FT. EXCAVATE SOFT SOILS WHERE NECESSARY & FILL WITH 3,000 PSI CONCRETE. FORM SIDES OF FOOTINGS WITH WOOD WHERE REQUIRED.
K. GENERAL CONTRACTOR TO VERIFY FOOTING DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS, WHICHEVER IS MORE RESTRICTIVE.
L. CONCRETE IN FOOTINGS SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF NOT LESS THAN 3,000 PSI AT 28 DAYS. CONCRETE FOOTINGS SHALL NOT BE POURED THROUGH WATER, & SHALL BE PROTECTED FROM FREEZING DURING DEPOSITION & FOR A PERIOD NOT LESS THAN 5 DAYS THEREAFTER.
M. ALL FOOTINGS SHALL BE CENTERED UNDER WALL OR COLUMN, UNLESS OTHERWISE NOTED ON PLANS.
N. FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES & CONTINENT COMPACTION, WHICHEVER IS MORE RESTRICTIVE.

FOUNDATION CMU NOTES

O. FROST PROTECTION: ALL MASONRY SHALL BE PROTECTED AGAINST FREEZING FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION, & SHALL NOT BE CONSTRUCTED BELOW 28 DEGREES F ON RISING TEMPERATURES, OR BELOW 36 DEGREES F.
P. BONDING: MASONRY WALLS & PARTITIONS SHALL BE SECURELY ANCHORED OR BONDED AT POINTS WHERE THEY INTERSECT BY ONE OF THE FOLLOWING METHODS:
Q. ANY CMU BASEMENT AND/OR FOUNDATION WALL WITH MORE THAN 3'-0" OF EARTH AGAINST IT, TO BE REINFORCED WITH #4 REBAR VERTICAL IN GROUT-FILLED CMU CELLS AT 48" O.C.
R. ALL CMU WALLS MORE THAN SIX COURSES IN HEIGHT, TO BE REINFORCED WITH TRUSS-TYPE WIRE REINFORCING IN HORIZONTAL MORTAR JOINTS AT 16" O.C., & #4 REBAR VERTICAL IN GROUT-FILLED CMU CELLS AT 48" O.C.
S. TIE ALL CMU WALLS TO CONCRETE FOOTINGS AT EACH VERTICAL REBAR, OR AT 48" O.C., & AT EACH CORNER, & ON BOTH SIDES OF OPENINGS.
T. REINFORCE OPENINGS IN CMU WALLS WITH ONE #4 REBAR IN ONE GROUT-FILLED CELL-COLUMN ON EACH SIDE OF OPENING, CONTINUOUS FROM CONCRETE FOOTING, THROUGH LINTEL, TO BOND BEAM AT TOP OF WALL.
U. REINFORCE CORNERS OF CMU STRUCTURES WITH ONE #4 REBAR IN EACH OF THREE ADJACENT, GROUT-FILLED CELL-COLUMNS AT CORNERS, CONTINUOUS FROM CONCRETE FOOTING TO BOND BEAM AT TOP OF WALL.
V. OVERLAP ALL REBAR SPLICES 24" MINIMUM. COVERAGE OF ALL REBAR TO BE 3" MINIMUM.
W. ALL MASONRY AND/OR CONCRETE WALLS BELOW GRADE SHALL BE DAMP-PROOFED & WATERPROOFED AS REQUIRED BY I.R.C., SECTION R406.

(FOUNDATION NOTES CONT.)

CONCRETE SLAB NOTES

A. UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE TO BE 3500 P.S.I. CONCRETE (28 DAY COMPRESSIVE STRENGTH) ON 4" SAND OR GRAVEL FILL MIN. INTERIOR SLABS TO BE PLACED ON 6mil STABILIZED POLYETHYLENE VAPOR BARRIER.
B. (A) CONCRETE SLAB ON GRADE SHALL HAVE MINIMUM THICKNESS OF 4", THICKENED TO 9" AT LOAD-BEARING WALLS; (B) SLAB SPAN: 10'-0" TO 12'-0"; (C) TYPE OF REINFORCEMENT: 6x6-10/10 WWM; (D) PROVIDE PRE-MOLDED JOINT FILLER EXPANSION JOINTS AT PERIMETER OF EACH SLAB.
C. PATIOS & PORCHES TO BE 3,500 PSI, AIR-ENTRAINED, & SLOPED 1/4" PER 1'-0" IN DIRECTION INDICATED ON THE FOUNDATION PLAN.
D. GARAGE SLABS TO BE 3,500 PSI, AIR-ENTRAINED, & SLOPED 1/4" PER 1'-0" TOWARD EXTERIOR GARAGE DOOR OPENINGS.
E. PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.

FOUNDATION ANCHORAGE

F. WALL SILL PLATES (MIN. 2x4 MEMBER, PRESSURE TREATED) SHALL BE SIZED & ANCHORED TO FOUNDATION WALLS OR PIERS & AT INTERMEDIATE INTERVALS AS REQUIRED TO RESIST WIND UPLIFT.
G. WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON SLABS SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2-INCH DIAMETER ANCHOR BOLTS SPACED NOT GREATER THAN 6 FEET ON CENTER OR APPROVED ANCHORS OR ANCHOR STRAPS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH-DIAMETER ANCHOR BOLTS. ALL ANCHOR BOLTS TO BE ASTM GRADE 36., MIN. 1/2" DIAMETER WITH 3"x3"x1/4" WASHER PLATE. THESE BOLTS SHALL BE EMBEDDED IN FOUNDATIONS TO A DEPTH OF NOT LESS THAN 7" IN CONCRTE MASONRY UNITS, & 8" IN POURED CONCRETE. THERE SHALL BE NOT FEWER THAN TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. (R403.1.6)
H. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. (R403.1.6)
I. ANCHOR BOLTS, WASHER PLATES, & NUTS TO BE HOT-DIPPED GALVANIZED.
J. PROVIDE ANCHOR BOLTS ON EACH SIDE OF GARAGE DOORS TO MEET WIND BRACING R403.1.6.

FRAMING NOTES

A. ALL STUD WALLS ARE DIMENSIONED AT 3-1/2" & 5-1/2" UNLESS NOTED OTHERWISE.
B. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY, TO BE PRESSURE-TREATED. ALL WOOD FRAMING IN CONTACT WITH, OR WITHIN 8" OF GRADE, SHALL BE BORATE-PRESSURE-TREATED.
C. ALL STUD WALLS TO BE FRAMED AT 16" O.C. MAXIMUM.
D. ALL BEAMS, JOISTS, & HEADERS TO BE MOUNTED IN METAL HANGERS, SIMPSON STRONG-TIE OR EQUIVALENT, GALVANIZED WITH FASTENERS FOR INTERIOR APPLICATIONS, AND Z-MAX FASTENERS FOR EXTERIOR APPLICATIONS OR WHERE IN CONTACT WITH PRESSURE-TREATED LUMBER.
E. PROVIDE FULL SOLID BEARING OR TRIPLE-STUD BEARING UNDER ALL BEAM BEARING POINTS.
F. ALL EXTERIOR PLUMBING WALLS SHALL BE FRAMED WITH 2X6 STUDS. REMAINING INTERIOR STUD WALLS SHALL BE FRAMED WITH 2X4 STUDS UNLESS NOTED OTHERWISE.
G. FLOOR FRAMING LAYOUT TO BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR HVAC DUCTWORK.
H. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
I. ALL HEADERS TO BE FREE OF SPLITS AND CHECKS.
J. MINIMUM HEADER SIZE AT OPENINGS IN NON-LOAD-BEARING WALLS TO BE TWO 2X6'S WITH 1/2" PLYWOOD GLUED & NAILED BETWEEN.
K. MINIMUM HEADER SIZE AT OPENINGS IN LOAD-BEARING WALLS TO BE TWO 2X12'S WITH 1/2" PLYWOOD GLUED & NAILED BETWEEN.
PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.

FLOOR SHEATHING:

A. APA STURD-I-FLOOR 3/4" TONGUE & GROOVE, INTERIOR GRADES; PROVIDE ADDITIONAL 3/8" PLYWOOD AT CERAMIC TILE LOCATIONS; EXTERIOR GRADE SHALL BE USED WHEN EXPOSED TO WEATHER;
B. MAXIMUM FLOOR TRUSS SPACING @ 19.2" O.C.;
C. EDGES SHALL BE BLOCKED WITH LUMBER OR OTHER APPROVED TYPE OF EDGE SUPPORT; FACE GRAIN PARALLEL TO SUPPORTS.
D. GLUE & SCREW PLYWOOD DECKING TO FLOOR JOISTS TO ENSURE A "NON-SQUEAK" FLOOR SYSTEM.
E. EXTERIOR WALL SHEATHING: TYPICAL EXTERIOR 2X4 & 2X6 STUD WALLS TO BE SHEATHED WITH 1/2" EXTERIOR GRADE SHEATHING; SHEATHING TO SPAN OVER ALL PLATES & HEADERS.

TRUSSES:

F. MANUFACTURED TRUSSES, BEAMS, & OTHER ENGINEERED BUILDING SYSTEMS MUST BE DESIGNED BY THE MANUFACTURER'S ENGINEER, WHO SHALL BE REGISTERED IN THE STATE OF TENNESSEE; STAMPED, APPROVED SHOP DRAWINGS SHALL BE ONSITE BEFORE ERECTION BEGINS.

SITE NOTES

A. GENERAL CONTRACTOR TO VERIFY THE EXISTING TOPOGRAPHIC LEVELS, LOCATIONS OF TREES, & THE PROPOSED HOUSE LOCATION. GENERAL CONTRACTOR TO COMMUNICATE TO OWNER & ARCHITECT ANY RECOMMENDED CHANGES BEFORE THE START OF ANY WORK.
B. GENERAL CONTRACTOR TO HAVE A LICENSED ENGINEER OR LICENSED SURVEYOR STAKE OUT OR VERIFY THE HOUSE LOCATION TO ENSURE THAT THE HOUSE DOES NOT ENCROACH ON ANY SETBACKS OR EASEMENTS, UNLESS THE ENCROACHMENT IS ALLOWED BY ZONING & BUILDING CODES. GENERAL CONTRACTOR TO COMMUNICATE TO OWNER & ARCHITECT ANY ENCROACHMENT ISSUES.
C. GENERAL CONTRACTOR TO COORDINATE FINISH TOPOGRAPHIC GRADING & PAVING OF WALKS, DRIVEWAYS, PATIOS, ETC., AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE.
D. GENERAL CONTRACTOR TO COORDINATE ALL LANDSCAPING WITH THE OWNER, & DETERMINE WHETHER THE LANDSCAPING PACKAGE IS TO BE PROVIDED BY THE GENERAL CONTRACTOR OR BY OTHERS.
E. BOUNDARY INFORMATION, TOPOGRAPHIC INFORMATION, & OTHER SITE INFORMATION IS TAKEN FROM KNOX COUNTY G.I.S. MAPS, BOUNDARY SURVEY BY _____, & OTHER DOCUMENTS PROVIDED BY THE OWNER.
F. ALL GROUND DISTURBED BY CONSTRUCTION SHALL BE REPAIRED/REPLACED WITH TOPSOIL; THIS SHALL BE GRADED, RAKED, SEEDED, MULCHED, & WATERED PER SPECIFICATIONS, UNLESS OTHER LANDSCAPING IS INDICATED.
G. IN ALL AREAS, PROVIDE POSITIVE DRAINAGE; SLOPE GRADE AWAY FROM BUILDINGS; MAINTAIN & EXTEND EXISTING SWALES; PROVIDE FRENCH DRAIN TO GRADE WHERE SURFACE SLOPE DOES NOT PROVIDE ADEQUATE DRAINAGE.

CONSTRUCTION NOTES

A. THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE, LOCAL ORDINANCES & REGULATIONS, ETC.; THESE ARE TO BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING. CONTRACTOR SHALL VERIFY REQUIREMENTS WITH THE LOCAL CODES ENFORCEMENT OFFICER & TO AMEND THE PROPOSED CONSTRUCTION AS REQUIRED.
B. CONTRACTOR SHALL USE STANDARD CONSTRUCTION DETAILS & PROCEDURES TO ENSURE A STRUCTURALLY SOUND & WEATHERPROOFED FINISHED PRODUCT. CONTRACTOR TO NOTIFY THE OWNER & THE ARCHITECT OF ANY ITEMS WHICH ARE PERCEIVED AS POTENTIAL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
C. CONTRACTOR SHALL VERIFY WITH CODES ENFORCEMENT THAT ALL WORK & CONSTRUCTION MEETS OR EXCEEDS ALL SEISMIC CODES AND/OR SNOW LOADS (IF APPLICABLE) AS PER THE LOCAL JURISDICTION.
D. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL UNLESS NOTED OTHERWISE. STUD WALLS NOT DIMENSIONED ARE TYPICALLY OF 2X4 (31/2") CONSTRUCTION.
E. WINDOW SIZES INDICATED ON THE PLAN ARE NOTED BY GENERIC SASH SIZES. CONTRACTOR TO COORDINATE ROUGH OPENING REQUIREMENTS WITH THE WINDOWS SPECIFIED.
F. REFER TO FLOOR PLAN & EXTERIOR ELEVATIONS FOR THE TYPES OF WINDOWS.
G. PROVIDE FLASHING ABOVE ALL WINDOWS, DOORS & OTHER OPENINGS TO THE EXTERIOR. PROVIDE WEEPS AT MASONRY CAVITY FLASHING, SPACED @16" O.C.
H. PROVIDE TYVEK "HOUSE WRAP" MOISTURE BARRIER OVER ALL EXTERIOR WALLS. FLASH ALL WINDOW & OTHER OPENINGS IN EXTERIOR WALLS WITH TYVEK FLEXIBLE FLASHINGS.
I. PROVIDE TRANSITION TRIM AT CHANGE OF FLOOR FINISHES.

MEP NOTES

PLUMBING:

A. PLUMBING SUBCONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES & SAFETY REQUIREMENTS.
B. IF WALL PLATES OR JOISTS ARE CUT DURING THE INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT, PROVIDE BRACING TO TIE FRAMING BACK TOGETHER.
C. LOCATE WATER HEATERS IN WATER-RETAINING PANS. PROVIDE AUXILIARY DRAIN TO OUTSIDE FOR POSSIBLE OVERFLOW.
D. ALL PLUMBING & MECHANICAL VENT STACKS TO BE LOCATED CLOSE TOGETHER IN THE ATTIC. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE, AWAY FROM PROMINENT VIEW. ALL VENT STACKS TO BE PRIMED & PAINTED TO CLOSELY MATCH ROOF COLOR.
E. PROVIDE HOSE BIBS AS PER FOUNDATION & FIRST FLOOR PLAN LOCATIONS. GENERAL CONTRACTOR TO COORDINATE THESE LOCATIONS WITH OWNER.
F. PROVIDE AN INSIDE MAIN WATER CUTOFF & PRESSURE REDUCING VALVE AT AN EASILY ACCESSED LOCATION.

HVAC:

A. MECHANICAL SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES & SAFETY REQUIREMENTS.
B. HVAC SUBCONTRACTOR TO FULLY COORDINATE ALL SYSTEM DATA & REQUIREMENTS WITH THE EQUIPMENT SUPPLIER. HVAC SUBCONTRACTOR TO PROVIDE FINAL SYSTEM LAYOUT DRAWING & SUBMIT IT TO THE GENERAL CONTRACTOR, OWNER, & EQUIPMENT SUPPLIER FOR FINAL REVIEW & APPROVAL.
C. VENTILATION:
   a. ALL LAVATORIES & BATHS SHALL BE MECHANICALLY VENTILATED THROUGH NON-COMBUSTIBLE DUCTS TO PROVIDE & CHANGE AIR AT THE RATE OF 90 CFM; UNDERCUT BATHROOM DOOR.
   b. ALL KITCHEN RANGE HOODS SHALL BE MECHANICALLY VENTILATED THROUGH NON-COMBUSTIBLE DUCTS TO EXTRACT AIR AT THE RATE OF 100 CFM. SEE IRC SECTION M1507, TABLE M1507.4.
   c. PROVIDE SOLID METAL DUCTING TO EXTERIOR FOR ALL EXHAUST FANS, KITCHEN COOKTOP HOOD VENT, & DRYER VENT.
D. ALL THERMOSTATS TO BE LOCATED ADJACENT TO LIGHT SWITCHES.
E. DO NOT LOCATE UNIT(S) OVER AREAS WITH A SPAN MORE THAN 10'-0".
F. ALL MECHANICAL & PLUMBING VENT STACKS, INCLUDING GAS FLUES, TO BE LOCATED TOGETHER IN THE ATTIC TO MINIMIZE ROOF PENETRATIONS. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE, AWAY FROM PROMINENT VIEW. ALL VENT STACKS & FLUES TO BE PRIMED & PAINTED TO CLOSELY MATCH THE ROOF COLOR.

ELECTRICAL:

G. ELECTRICAL PLAN(S) ILLUSTRATE BASIC DESIGN INTENT ONLY. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES & SAFETY REQUIREMENTS. VERIFY FIXTURE SELECTION & LOCATION WITH OWNER. UTILIZE LED FIXTURES WHEREVER POSSIBLE.
H. LIGHT FIXTURE TO BE INSTALLED AS CLOSELY AS POSSIBLE TO THE LOCATION SHOWN ON THE ELECTRICAL PLAN(S). FIELD VERIFY LIGHT FIXTURES LOCATIONS/ALIGNMENT, COORDINATE WITH OTHER FIXTURES, AND/OR WITH HVAC SAR's & RAG's.
I. GENERAL CONTRACTOR & ELECTRICAL SUBCONTRACTOR TO REVIEW THE PLANS & WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED. GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT IF ANY ITEMS ARE DIFFERENT FROM THE ELECTRICAL PLAN(S) BEFORE THE INSTALLATION OF FIXTURES, SWITCHES, ETC.
J. GAS OR ELECTRICAL SERVICE TO BE PROVIDED AS REQUIRED FOR ALL APPLIANCES & EQUIPMENT, SUCH AS REFRIGERATOR, FREEZER, DISH WASHER, DISPOSAL, COOKTOP, OVENS, WASHER, DRYER, HVAC EQUIPMENT, ALARM PANEL, ETC. PROVIDE OUTLET ABOVE RANGE FOR MICROWAVE OR HOOD VENT IF FINAL KITCHEN LAYOUT REQUIRES.
K. ALL OUTLETS LOCATED NEAR ANY WATER CONDITION TO BE G.F.I. TYPE.
L. SWITCHES & OUTLETS TO BE COORDINATED WITH THE OWNER, & COLOR-MATCHED WITH INTERIOR TRIM. LOCATE WITH OWNER OCCUPANCY SENSOR SWITCHES.
M. PROVIDE WATERPROOF OUTLETS AS PER PLANS.
N. GENERAL CONTRACTOR TO VERIFY WITH THE OWNER, THE LOCATIONS OF CABLE TV OUTLETS.
O. DIMMERS TO BE SIZED FOR THE APPROPRIATE LOAD OF THE FIXTURES & LAMPS SELECTED. SLIDE-TYPE DIMMERS ARE PREFERRED.
P. BLOCK & PRE-WIRE SEPARATE SWITCHES TO EACH LIGHT & CEILING FAN.
Q. GENERAL CONTRACTOR TO COORDINATE ALL THE REQUIREMENTS OF AN ALARM SYSTEM, IF ONE IS DESIRED.
R. PROVIDE HARDWIRED SMOKE DETECTORS, WITH BATTERY BACKUP, ON ALL FLOORS & IN EACH BEDROOM. VERIFY WITH LOCAL CODE REQUIREMENTS.
S. PROVIDE FOR ___ HVAC UNIT(S). NUMBER OF UNITS TO BE DETERMINED BY THE LOCAL MECHANICAL CONTRACTOR.
T. HVAC UNITS ARE NOT TO BE WIRED/LOCATED NEXT TO MASTER BEDROOM OR PATIO/DECK AREAS.
U. EXISTING PANEL BOX MAY REQUIRE `RELOCATION; PANEL BOX TO BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS, & PROVIDE FOR A MINIMUM OF EIGHT SPARES.
V. DECORATIVE LIGHT FIXTURES TO BE SELECTED BY THE OWNER, & COORDINATED WITH THE GENERAL CONTRACTOR. THE OWNER TO APPROVE ALL SUBSTITUTIONS.
W. GENERAL CONTRACTOR TO COORDINATE THE LAMP SELECTION (RECESSED CAN SIZE & TRIM) WITH THE OWNER.
X. ELECTRIC & GAS METERS TO BE LOCATED AWAY FROM ANY PROMINENT VIEW. (VERIFY WITH LOCAL UTILITY.)
Y. GROUNDING ELECTRODE SYSTEM:
A. ALL ELECTRODES SPECIFIED IN SECTIONS E3608.1.1, E3608.1.2, E3608.1.3, E3608.1.4 E3608.1.5 AND E3608.1.6 THAT ARE PRESENT AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. WHERE NONE OF THESE ELECTRODES ARE PRESENT, ONE OR MORE OF THE ELECTRODES SPECIFIED IN SECTIONS E3608.1.3, E3608.1.4, E3608.1.5 AND E3608.1.6 SHALL BE INSTALLED AND USED. (250.50) (IRC 2018 E3608.1)
B. CONCRETE-ENCASED: A CONCRETE ENCASED ELECTRODE CONSISTING OF NOT LESS THAN 20 FEET (6096 MM) OF EITHER OF THE FOLLOWING SHALL BE CONSIDERED AS A GROUNDING ELECTRODE: 1. ONE OR MORE BARE OR ZINCGALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS NOT LESS THAN 1/2 INCH (13 MM) IN DIAMETER, INSTALLED IN ONE CONTINUOUS 20-FOOT (6096 MM) LENGTH, OR IF IN MULTIPLE PIECES CONNECTED TOGETHER BY THE USUAL STEEL TIE WIRES, EXOTHERMIC WELDING, WELDING, OR OTHER EFFECTIVE MEANS TO CREATE A 20-FOOT (6096 MM) OR GREATER LENGTH. (IRC 2018 E3608.1.2)
C. REBAR TYPE ENCASED: WHERE A GROUNDING ELECTRODE CONDUCTOR OR BONDING JUMPER IS CONNECTED TO A REBAR EXTENDED FROM THE LOCATION OF A REBAR-TYPE CONCRETE-ENCASED ELECTRODE INSTALLED IN ACCORDANCE WITH SECTION E3608.1.2, THE POINT OF CONNECTION TO THE REBAR EXTENSION SHALL BE IN AN ACCESSIBLE LOCATION THAT IS NOT SUBJECT TO CORROSION OF THE REBAR. THE REBAR EXTENSION SHALL NOT BE EXPOSED TO CONTACT WITH THE EARTH WITHOUT CORROSION PROTECTION. [250.68 (C) (3)] (IRC 2018 E3611.5).

ABBREVIATIONS LEGEND:

B.O.	BOTTOM OF	LH	LEFT HAND	PERP.	PERPENDICULAR
CONT.	CONTINUOUS	LVL	LAMINATED VENEER LUMBER	RH	RIGHT HAND
D	DEEP	MAN.	MANUFACTURER	SPEC'D	SPECIFIED
DIA.	DIAMETER	MAX.	MAXIMUM	SPECS	SPECIFICATIONS
E/W	EAST/WEST	MECH.	MECHANICAL	TBD	TO BE DETERMINED
EXT.	EXTERIOR	MIN.	MINIMUM	T.O.	TOP OF
FFE	FINISH FLOOR ELEVATION	MM/MIL	MILLIMETER	TPO	THERMOPLASTIC POLYOLEFIN
GYP.	GYPSUM	N/S	NORTH/SOUTH	TYP.	TYPICAL
IECC	INTERNATIONAL ENERGY CONSERVATION CODE	O.C.	ON CENTER	W	WIDE
		OPT.	OPTIONAL	W/	WITH
INFO	INFORMATION	OSB	ORIENTED STRAND BOARD		
INT.	INTERIOR	O.W.T.	OPEN WEB TRUSSES		

REVISION

No.	REVISION

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE

Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

heyoh DESIGN + DEVELOPMENT

LOGAN HIGGINS REGISTERED ARCHITECT No. 106993 STATE OF TENNESSEE Approved

CHECKED BY: SRD/LH
DRAWN BY: AL/SRD
10.30.2024

SHEET
G103
3 OF 12
GENERAL NOTES

FOUNDATION / SITE NOTES:

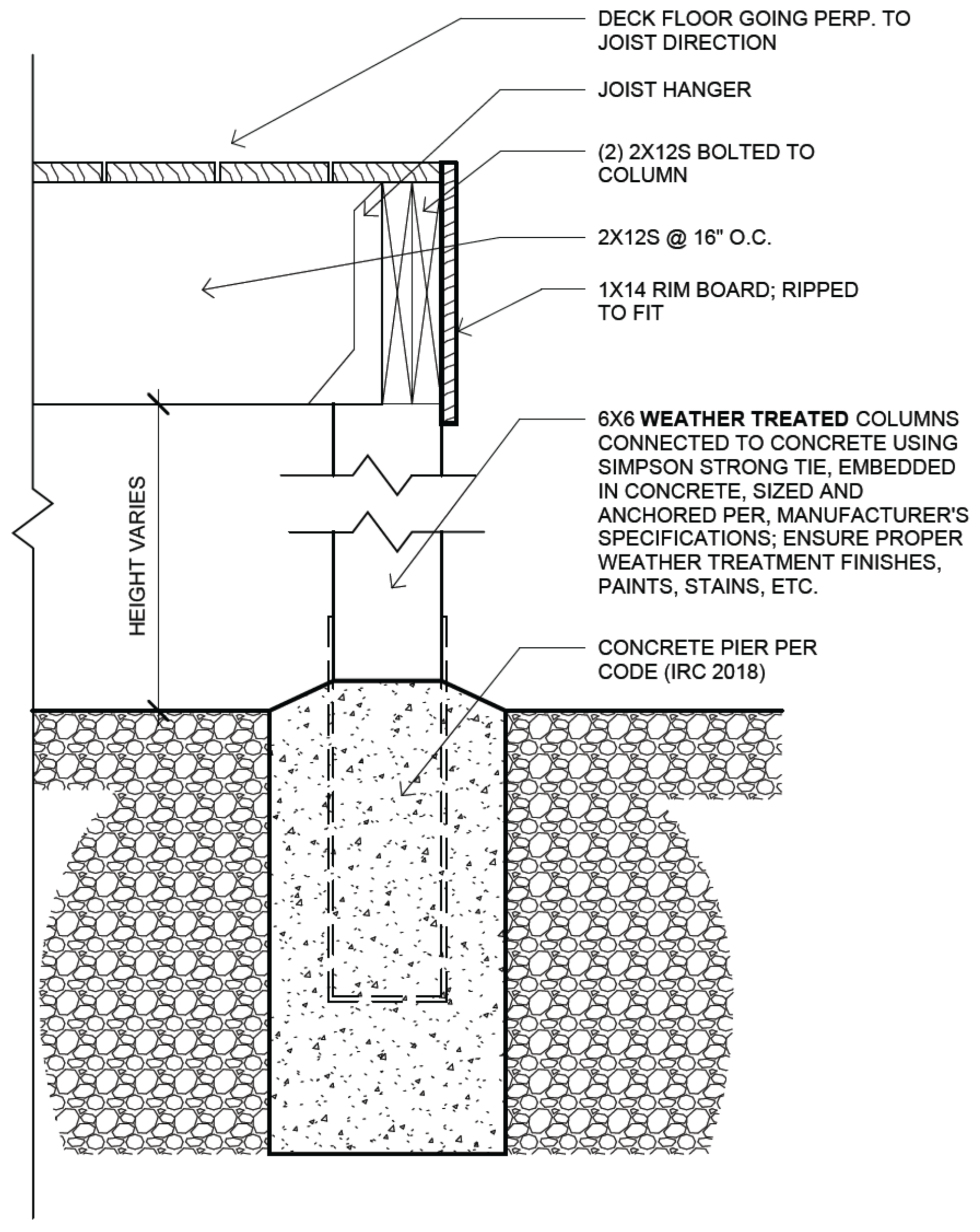
- ALL SITE WORK TO BE DESIGNED AND COMPLETED BY OTHERS
- ALL FOOTERS AND FOUNDATION SUPPORTS TO BE POURED IN UNDISTURBED SOIL; IF REQUIRED TO BE PLACED ON DISTURBED SOIL, A STRUCTURAL ENGINEER SHOULD BE CONSULTED
- ANY SOIL-RETAINING WALL OVER 2'-0" SHOULD BE DESIGNED BY STRUCTURAL ENGINEER
- ALL FOUNDATION DRAWINGS ARE BASED ON A SLAB ON GRADE DESIGN WITH CRAWLSPACES IN REAR; CONSULT THE ARCHITECT IF CHANGES ARE NECESSARY
- **ALL ELEVATION MARKERS ARE APPROXIMATIONS. VERIFY IN FIELD.**
- **ALL FOOTING AND REBAR SPECIFICATIONS ARE RECOMMENDATIONS; ADHERE TO CODE.**

UNDERFLOOR SPACE NOTES:

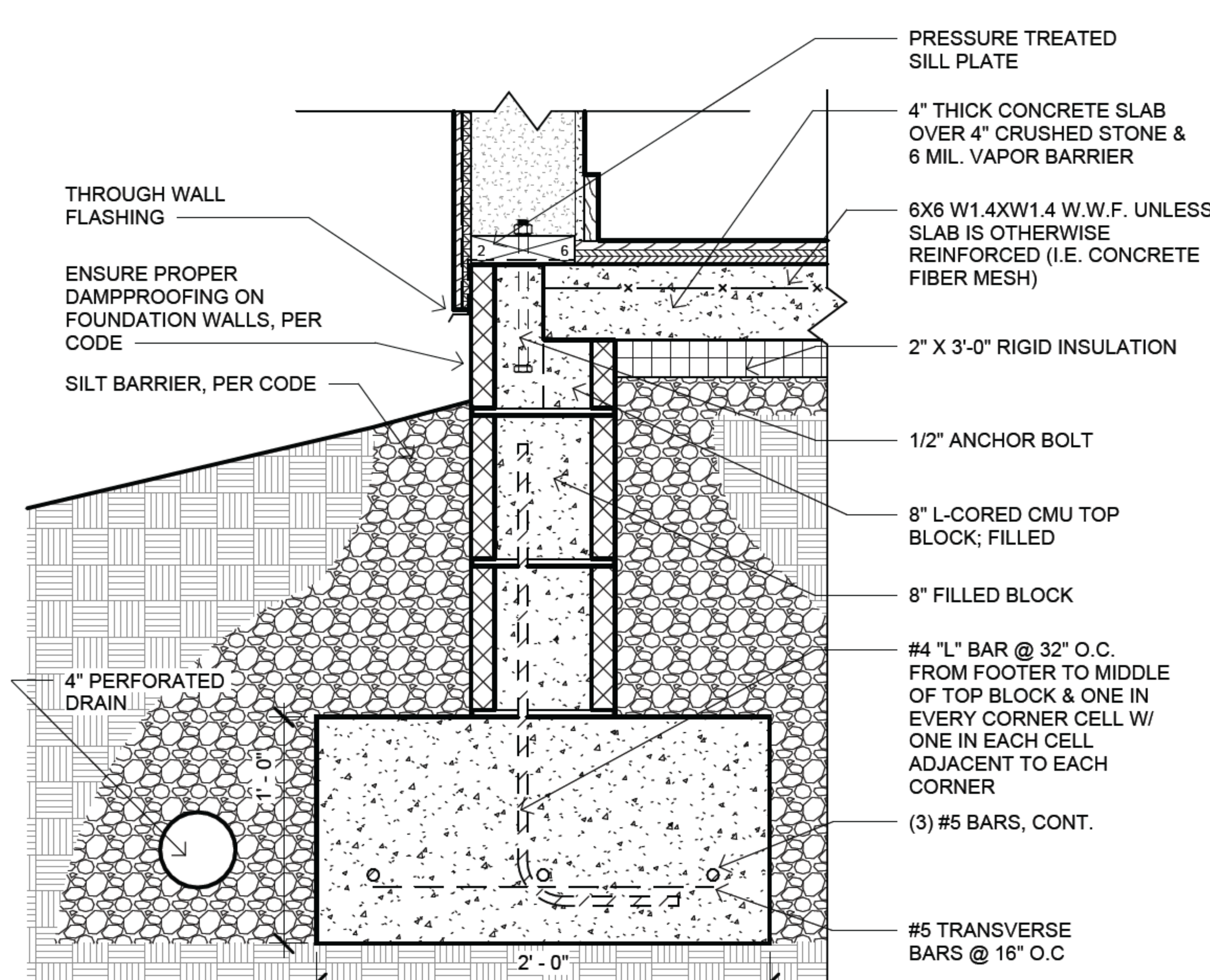
- R408.3 UNVENTED CRAWL SPACE:
  1. VENTILATION OPENINGS IN UNDER-FLOOR SPACES SPECIFIED IN SECTIONS R408.1 AND R408.2 SHALL NOT BE REQUIRED WHERE THE FOLLOWING ITEMS ARE PROVIDED:
     A. EXPOSED EARTH IS COVERED WITH A CONTINUOUS CLASS I VAPOR RETARDER. JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6 INCHES (152 MM) AND SHALL BE SEALED OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND NOT LESS THAN 6 INCHES (152 MM) UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL OR INSULATION.
     B. ONE OF THE FOLLOWING IS PROVIDED FOR THE UNDER-FLOOR SPACE:
        A. CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M2) OF CRAWL SPACE FLOOR AREA, INCLUDING AN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION N1102.2.11 OF THIS CODE.
        B. CONDITIONED AIR SUPPLY SIZED TO DELIVER AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M2) OF UNDER-FLOOR AREA, INCLUDING A RETURN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION N1102.2.11 OF THIS CODE.
        c. PLENUM IN EXISTING STRUCTURES COMPLYING WITH SECTION M1601.5, IF UNDER-FLOOR SPACE IS USED AS A PLENUM.
        d. DEHUMIDIFICATION SIZED TO PROVIDE 70 PINTS (33 LITERS) OF MOISTURE REMOVAL PER DAY FOR EVERY 1,000 SQUARE FEET (93 M2) OF CRAWL SPACE FLOOR AREA.
- R408.4 ACCESS: ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE NOT SMALLER THAN 18 INCHES BY 24 INCHES (457 MM BY 610 MM). OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16 INCHES BY 24 INCHES (407 MM BY 610 MM). WHERE ANY PORTION OF THE THROUGH-WALL ACCESS IS BELOW GRADE, AN AREAWAY NOT LESS THAN 16 INCHES BY 24 INCHES (407 MM BY 610 MM) SHALL BE PROVIDED. THE BOTTOM OF THE AREAWAY SHALL BE BELOW THE THRESHOLD OF THE ACCESS OPENING. THROUGH WALL ACCESS OPENINGS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE. SEE SECTION M1305.1.4 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED UNDER FLOORS.

RADON CONTROL METHODS (IRC 2018 APPENDIX F):

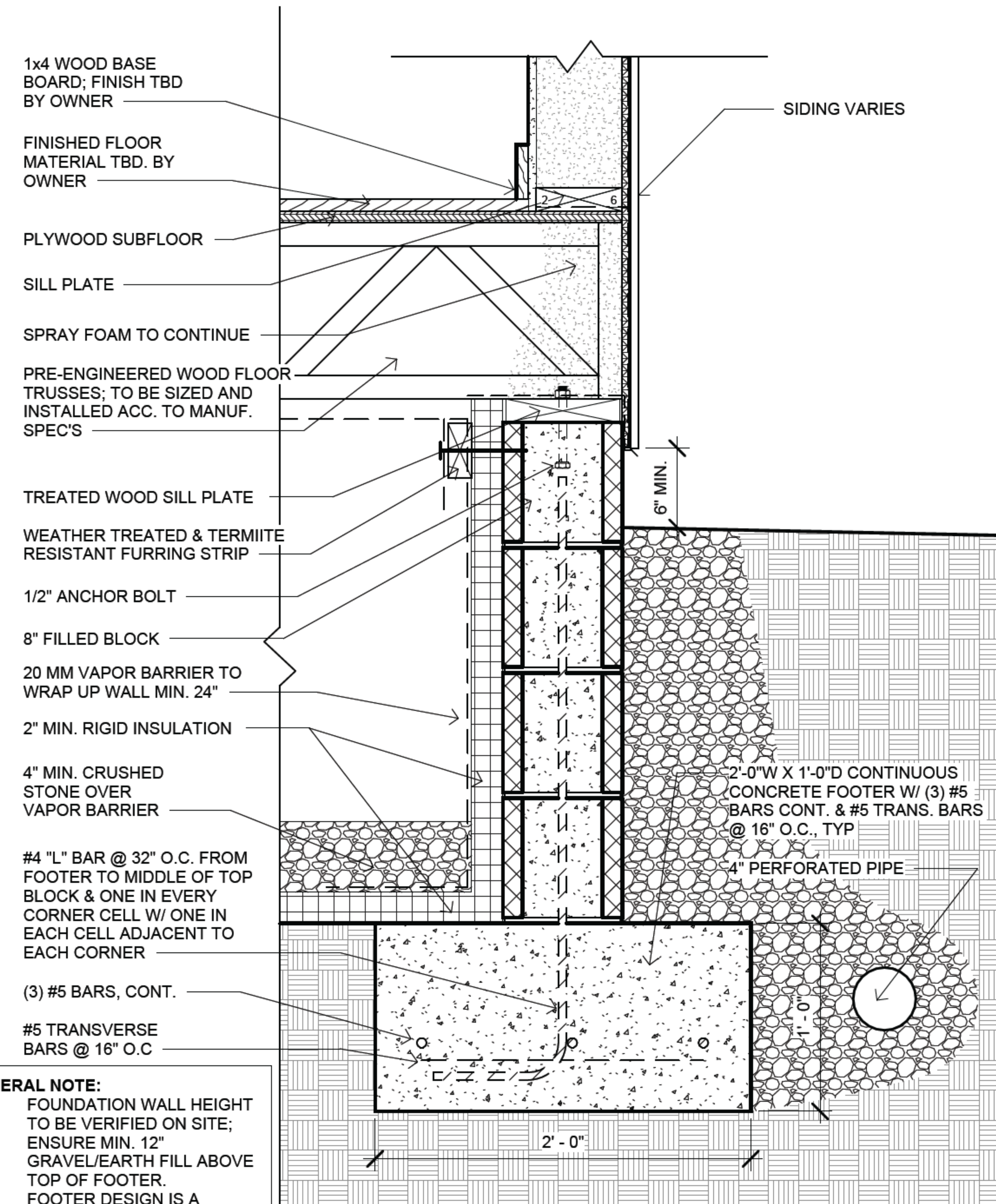
A. NEW DWELLING UNITS SHALL BE PROVIDED WITH A RADON MITIGATION SYSTEM IN ACCORDANCE WITH 2018 IRC APPENDIX F-RADON CONTROL METHODS.
B. A LAYER OF GAS-PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND AND ARE WITHIN THE WALLS OF THE LIVING SPACES OF THE BUILDING, TO FACILITATE FUTURE INSTALLATION OF A SUBSLAB DEPRESSURIZATION SYSTEM, IF NEEDED. THE GAS-PERMEABLE LAYER SHALL CONSIST OF ONE OF THE FOLLOWING:
   - A UNIFORM LAYER OF CLEAN AGGREGATE, NOT LESS THAN 4 INCHES (102 MM) THICK. THE AGGREGATE SHALL CONSIST OF MATERIAL THAT WILL PASS THROUGH A 2-INCH (51 MM) SIEVE AND BE RETAINED BY A 1/4-INCH (6.4 MM) SIEVE.
   - A UNIFORM LAYER OF SAND (NATIVE OR FILL), NOT LESS THAN 4 INCHES (102 MM) THICK, OVERLAIN BY A LAYER OR STRIPS OF GEOTEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
   - OTHER MATERIALS, SYSTEMS OR FLOOR DESIGNS WITH DEMONSTRATED CAPABILITY TO PERMIT DEPRESSURIZATION ACROSS THE ENTIRE SUBFLOOR AREA.
C. A MINIMUM 3" ABS, PVC, OR EQUIVALENT GAS-TIGHT PIPE SHALL BE EMBEDDED VERTICALLY INTO THE SUBSLAB AGGREGATE OR OTHER PERMEABLE MATERIAL BEFORE THE SLAB IS CAST.
D. THE PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, AND TERMINATE NOT LESS THAN 12 INCHES (305 MM) ABOVE THE SURFACE OF THE ROOF IN A LOCATION NOT LESS THAN 10 FEET (3048 MM) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE *CONDITIONED SPACES* OF THE BUILDING THAT IS LESS THAN 2 FEET (610 MM) BELOW THE EXHAUST POINT, AND 10 FEET (3048 MM) FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.
E. COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER.
F. RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN *ATTIC* OR OTHER AREA OUTSIDE THE *HABITABLE SPACE*.
G. OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPES, WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS, OR OTHER FLOOR ASSEMBLIES, SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER 'S RECOMMENDATIONS.
H. CONTROL JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS, AND ANY OTHER JOINTS IN CONCRETE SLABS OR BETWEEN SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT. GAPS AND JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED WITH POLYURETHANE CAULK OR OTHER ELASTOMERIC SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER 'S RECOMMENDATIONS.
I. CONTRACTOR TO ENSURE LOCATION OF VENT PIPE IN THE FIELD.



2 A001 | TYPICAL COLUMN FOOTER DETAIL
1 1/2" = 1'-0"

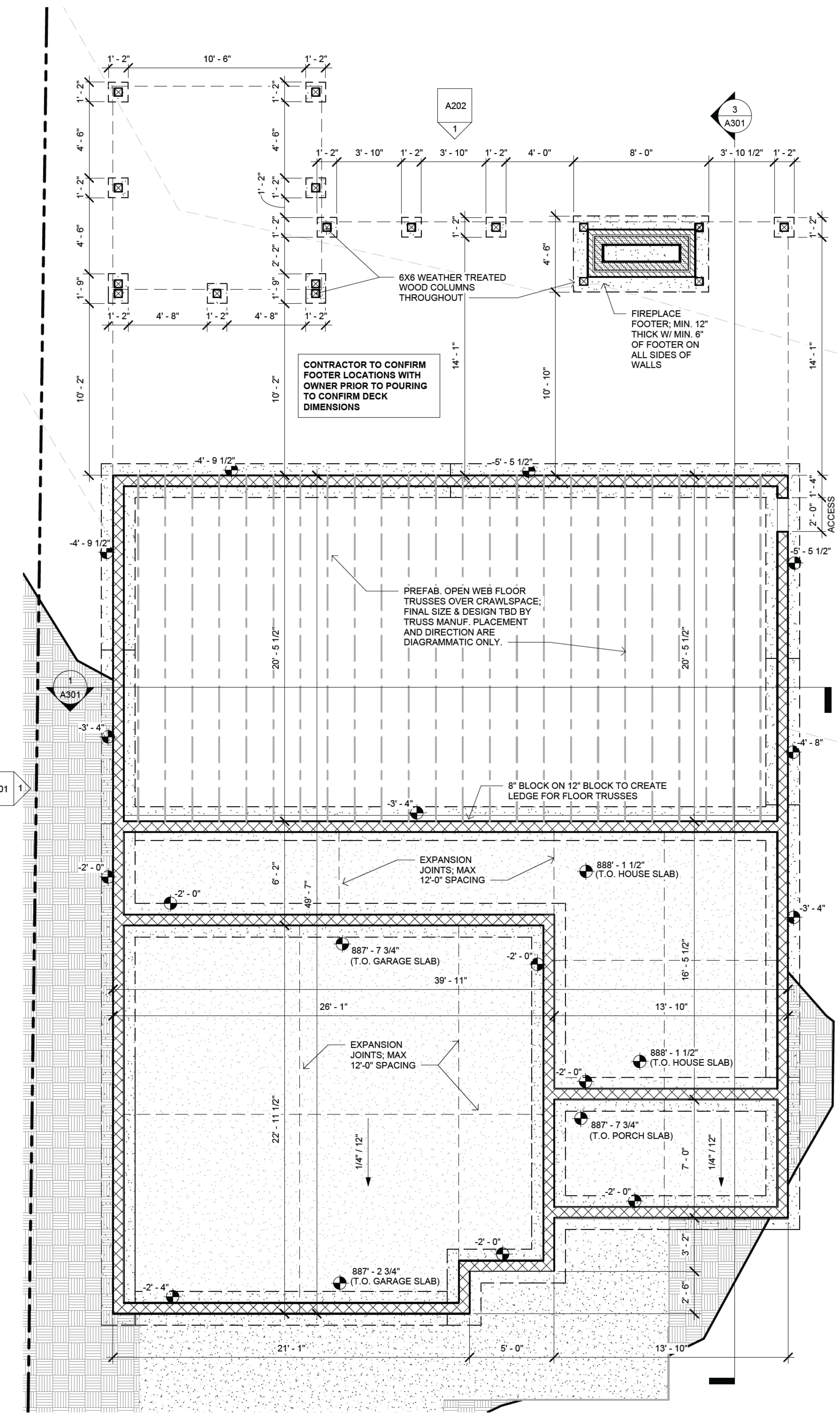


3 A001 | TYPICAL FOOTER DETAIL
1 1/2" = 1'-0"



GENERAL NOTE:
- FOUNDATION WALL HEIGHT TO BE VERIFIED ON SITE; ENSURE MIN. 12" GRAVEL/EARTH FILL ABOVE TOP OF FOOTER.
- FOOTER DESIGN IS A RECOMMENDATION; CONTRACTOR TO ADHERE TO IRC 2018 CODE FOR FINAL FOOTING DESIGN.

6 A001 | TYPICAL FOUNDATION CRAWLSPACE DETAIL
1 1/2" = 1'-0"



1 A001 | FOUNDATION PLAN
1/4" = 1'-0"

REVISION	
No.	REVISION

Project: SAVAGE RESIDENCE

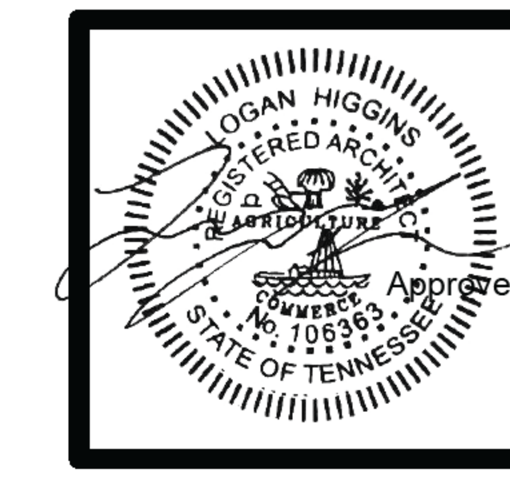
Number: 224010

Client: GORDON + STACY SAVAGE

Info: NEW CONSTRUCTION SINGLE FAMILY RESIDENCE

Location: 515 MIMOSA AVENUE KNOXVILLE, TN 37920

heyoh DESIGN + DEVELOPMENT



CHECKED BY:	SRD/LH
DRAWN BY:	AL/SRD
10.30.2024	
As indicated	

SHEET
A001
4 OF 12
FOUNDATION PLANS

GENERAL NOTES:

A. EXTERIOR WINDOWS, DOORS, AND ADDITIONAL FENESTRATION IECC 2018 COMPLIANT FOLLOWING SECTION R402.1.5
B. ALL SLEEPING ROOM REQUIRED TO HAVE MIN. ONE EMERGENCY ESCAPE & RESCUE OPENING WITH MIN. 5.7 SF
C. ALL EXTERIOR WINDOW AND DOOR OPENINGS TO BE VERIFIED IN THE FIELD
D. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
E. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
F. DO NOT SCALE DRAWINGS. WRITTEN D MENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
F. ALL ELEVATION POINTS REFERENCE TOP OF STRUCTURE.
G. ELEVATION POINTS ON EACH FLOOR ARE CONSISTENT IN ALL UNITS.
H. ALL TOILETS NO CLOSER THAN 15" FROM CENTERLINE OF FIXTURE TO ANY WALL OR OTHER FIXTURE.

RADON CONTROL METHODS (IRC 2018 APPENDIX F):

A. NEW DWELLING UNITS SHALL BE PROVIDED WITH A RADON MITIGATION SYSTEM IN ACCORDANCE WITH 2018 IRC APPENDIX F-RADON CONTROL METHODS.
B. A LAYER OF GAS-PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND AND ARE WITHIN THE WALLS OF THE LIVING SPACES OF THE BUILDING, TO FACILITATE FUTURE INSTALLATION OF A SUBSLAB DEPRESSURIZATION SYSTEM, IF NEEDED. THE GAS-PERMEABLE LAYER SHALL CONSIST OF ONE OF THE FOLLOWING:
   - A UNIFORM LAYER OF CLEAN AGGREGATE, NOT LESS THAN 4 INCHES (102 MM) THICK. THE AGGREGATE SHALL CONSIST OF MATERIAL THAT WILL PASS THROUGH A 2-INCH (51 MM) SIEVE AND BE RETAINED BY A 1/4-INCH (6.4 MM) SIEVE.
   - A UNIFORM LAYER OF SAND (NATIVE OR FILL), NOT LESS THAN 4 INCHES (102 MM) THICK, OVERLAIN BY A LAYER OR STRIPS OF GEOTEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
   - OTHER MATERIALS, SYSTEMS OR FLOOR DESIGNS WITH DEMONSTRATED CAPABILITY TO PERMIT DEPRESSURIZATION ACROSS THE ENTIRE SUBFLOOR AREA.
C. A MIN MUM 3" ABS, PVC, OR EQUIVALENT GAS-TIGHT PIPE SHALL BE EMBEDDED VERTICALLY INTO THE SUBSLAB AGGREGATE OR OTHER PERMEABLE MATERIAL BEFORE THE SLAB IS CAST.
D. THE PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, AND TERMINATE NOT LESS THAN 12 INCHES (305 MM) ABOVE THE SURFACE OF THE ROOF IN A LOCATION NOT LESS THAN 10 FEET (3048 MM) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE *CONDITIONED SPACES* OF THE BUILDING THAT IS LESS THAN 2 FEET (610 MM) BELOW THE EXHAUST POINT, AND 10 FEET (3048 MM) FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.
E. COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER.
F. RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN *ATTIC* OR OTHER AREA OUTSIDE THE *HABITABLE SPACE*.
G. OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPES, WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS, OR OTHER FLOOR ASSEMBLIES, SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
H. CONTROL JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS, AND ANY OTHER JOINTS IN CONCRETE SLABS OR BETWEEN SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT. GAPS AND JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED WITH POLYURETHANE CAULK OR OTHER ELASTOMERIC SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
I. CONTRACTOR TO ENSURE LOCATION OF VENT PIPE IN THE FIELD.

AIR BARRIER TESTING: THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING (3) THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380(STANDARD FOR TESTING AIRTIGHTNESS OF BUILDING ENCLOSURES, DWELLING UNIT, AND SLEEPING UNIT ENCLOSURES, AIRTIGHTNESS OF HEATING AND COOLING AIR DISTRIBUTION SYSTEMS; AND AIRFLOW OF MECHANICAL VENTILATION SYSTEMS), ASTM E779(STANDARD TEST METHOD FOR DETERMINING AIR LEAKAGE RATE BY FAN PRESSURIZATION)OR ASTM E1827(STANDARD TEST METHODS FOR DETERMINING AIRTIGHTNESS OF BUILDINGS USING AN ORIFICE BLOWER DOOR) AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). WHERE REQUIRED BY THE BUILDING OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING OFFICIAL. TESTING SHALL BE PERFORMED AT ANY T ME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. (N1102.4.1.2)

WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM: WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4. (2018 IRC M1505.4)

DUCT TESTING: DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS: 1. ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE T ME OF THE TEST OR 2. POST CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. (N1103.3.3)

WINDOW GROUND LEVEL SCHEDULE

No.	NOMINAL DIMENSIONS Width	Height	Description	Count	Head Height	Sill Height	Comments
01	2' - 0"	4' - 0"	LEFT TILT / TURN	1	8' - 0"	4' - 0"	IECC 2018 COMPLIANT
02	2' - 0"	5' - 0"	LEFT TILT / TURN	1	9' - 0"	4' - 0"	IECC 2018 COMPLIANT; EERO COMPLIANT
02	2' - 0"	5' - 0"	RIGHT TILT / TURN	1	9' - 0"	4' - 0"	IECC 2018 COMPLIANT; EERO COMPLIANT
03	2' - 6"	5' - 6"	FIXED	2	13' - 6"	8' - 0"	IECC 2018 COMPLIANT
04	2' - 6"	5' - 6"	RIGHT TILT / TURN	4	<varies>	<varies>	IECC 2018 COMPLIANT; EERO COMPLIANT
04	2' - 6"	5' - 6"	LEFT TILT / TURN	1	9' - 0"	3' - 6"	IECC 2018 COMPLIANT; EERO COMPLIANT
05	2' - 6"	5' - 6"	LEFT TILT / TURN WINDOW @ KITCHEN	2	9' - 0"	3' - 6"	IECC 2018 COMPLIANT; EERO COMPLIANT
05	2' - 6"	5' - 6"	RIGHT TILT / TURN WINDOW @ KITCHEN	3	9' - 0"	3' - 6"	IECC 2018 COMPLIANT; EERO COMPLIANT
06	2' - 6"	9' - 0"	INTERIOR FIXED WINDOW @ OFFICE	2	9' - 3"	0' - 3"	---

DOOR GROUND LEVEL SCHEDULE

No.	NOMINAL DIMENSIONS Width	Height	Type	Swing Direction	Count	FINISH Panel Material	FINISH Frame Material	Safety Glass	Comments
001	2' - 6"	6' - 8"	INTERIOR POCKET DOOR UNDER STAIR	---	1	WOOD	WOOD	No	
005	3' - 0"	8' - 0"	EXTERIOR FULL GLASS DOOR	LH	1	TBD BY OWNER	TBD	Yes	IECC 2018 COMPLIANT
006	3' - 0"	8' - 0"	EXTERIOR HALF-LITE DOOR	RH	1	TBD BY OWNER	TBD		
06G	3' - 0"	8' - 0"	DOOR FROM GARAGE TO ENTRY	LH	1	SOLID WOOD OR SOLID/HONEYCOMB STEEL	WOOD	No	IECC 2018 COMPLIANT; Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 13/8 inches (35 mm) in thickness, solid or honeycomb-core steel doors not less than 13/8 inches (35 mm) thick, or 20-minute fire-rated doors, equipped with a self-closing or automatic-closing device.
007	3' - 6"	8' - 0"	EXTERIOR BACK DOOR	RH	1	TBD BY OWNER	TBD	Yes	IECC 2018 COMPLIANT
008	5' - 0"	8' - 0"	FULL GLASS, INTERIOR BARN DOUBLE DOOR	---	1	TBD BY OWNER	---		
009	10' - 0"	8' - 0"	EXTERIOR SLIDING DOOR	---	1	ALUMINUM	ALUMINUM	Yes	IECC 2018 COMPLIANT
010	16' - 0"	8' - 0"	GARAGE DOOR	---	1	TBD BY OWNER	TBD	No	

ALARM SYSTEMS:

PER IRC R314 - FIRE ALARMS MUST BE INSTALLED WITH THE FOLLOWING CONDITIONS:

A. MUST BE INSTALLED INSIDE OF EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM, ON EACH STORY INCLUDING BASEMENTS.
B. MUST ALSO BE INSTALLED NOT LESS THAN 3'-0" HORIZONTALLY FROM A DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB/SHOWER UNLESS THIS WOULD PREVENT THE REQUIRED PLACEMENT OF A SMOKE ALARM.
C. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED IN A DWELLING UNIT, ALL OF THE ALARMS MUST BE INTERCONNECTED WITH WIRES OR WIRELESSLY.
D. ALL SMOKE ALARMS MUST RECEIVE THEIR POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.
E. THIS APPLIES TO BOTH NEW CONSTRUCTION AND INTERIOR ALTERATIONS.

GENERAL ELECTRICAL NOTES

PER IRC M1503.2 - WHERE DOMESTIC COOKING EXHAUST EQUIPMENT IS PROVIDED, IT SHALL COMPLY WITH ONE OF THE FOLLOWING:

A. THE FAN FOR OVERHEAD RANGE HOODS AND DOWNDRAFT EXHAUST EQUIPMENT NOT INTEGRAL WITH THE COOKING APPLIANCE SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 507.
B. OVERHEAD RANGE HOODS AND DOWNDRAFT EXHAUST EQUIPMENT WITH INTEGRAL FANS SHALL COMPLY WITH UL 507.
C. DOMESTIC COOKING APPLIANCES WITH INTEGRAL DOWNDRAFT EXHAUST EQUIPMENT SHALL BE LISTED AND LABELED IN ACCORDANCE WITH ANSI Z21.1 OR UL 858.
D. MICROWAVE OVENS WITH INTEGRAL EXHAUST FOR INSTALLATION OVER THE COOKING SURFACE SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 923.

PER IRC M1503.3 - DOMESTIC COOKING EXHAUST EQUIPMENT SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. DUCTS SERVING DOMESTIC COOKING EXHAUST EQUIPMENT SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING.

A. **EXCEPTION:** WHERE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, AND HERE MECHANICAL OR NATURAL VENTILATION IS OTHERWISE PROVIDED, *LISTED* AND *LABELED* DUCTLESS RANGE HOODS SHALL NOT BE REQUIRED TO DISCHARGE TO THE OUTDOORS.

PER IRC M1503.4 - DUCTS SERVING DOMESTIC COOKING EXHAUST EQUIPMENT SHALL BE CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL OR COPPER.

ALL RECEPTACLE AND LIGHTING OUTLETS TO BE INSTALLED IN ACCORDANCE WITH CHAPTER 39 IRC -POWER AND LIGHTING DISTRIBUTION-, SPECIFIED IN SECTIONS E3901 THROUGH E3903.

COORDINATE ALL UTILITIES W/ KUB.

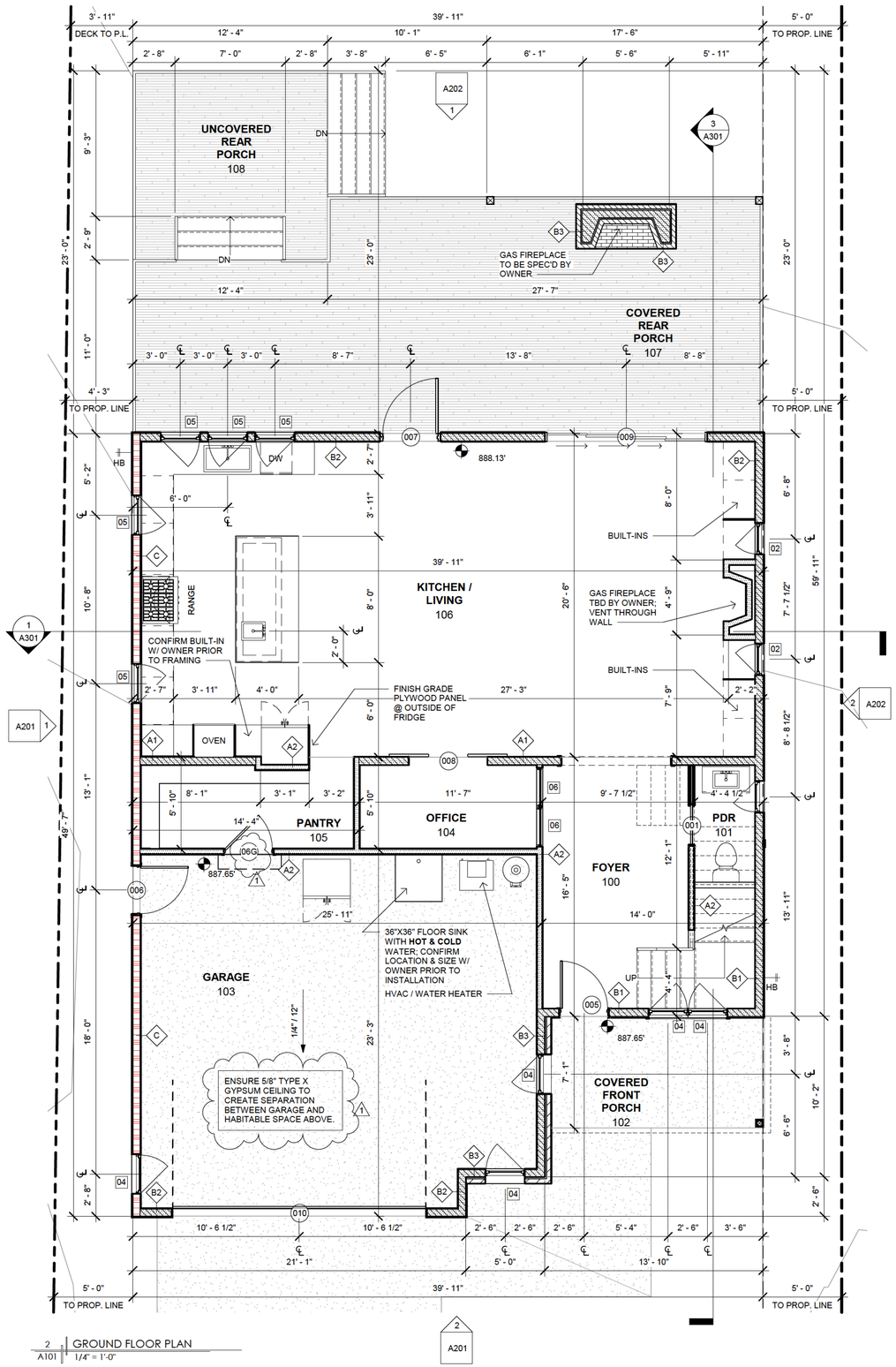
CONDITIONED AREA GROUND LEVEL		
Comments	Area	Level
CONDITIONED	1098 SF	T.O. SLAB
UNCONDITIONED	1349 SF	T.O. SLAB
	2447 SF	

WALL TYPE LEGEND:

- TYPICAL INT. WALL
- TYPICAL EXT. WALL
- FOUNDATION WALL
- 1HR FIRE RESISTANT WALL

1ST FLOOR AREA SCHEDULE

No.	Name	Area
100	FOYER	173 SF
101	PDR	28 SF
102	COVERED FRONT PORCH	97 SF
103	GARAGE	550 SF
104	OFFICE	59 SF
105	PANTRY	71 SF
106	KITCHEN / LIVING	766 SF
107	COVERED REAR PORCH	245 SF
108	UNCOVERED REAR PORCH	457 SF
		2447 SF



2 A101 GROUND FLOOR PLAN 1/4" = 1'-0"

REVISION	
No.	REVISION
1	REVIEW CYCLE 1

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE

Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

heyoh DESIGN + DEVELOPMENT

OGAN HIGGINS REGISTERED ARCHITECT ... STATE OF TENNESSEE 10.31.24

CHECKED BY:	SRD/LH
DRAWN BY:	AL/SRD
11.19.2024	
1/4" = 1'-0"	

SHEET
A101
5 OF 12
GROUND FLOOR PLANS

GENERAL NOTES:

- A. EXTERIOR WINDOWS, DOORS, AND ADDITIONAL FENESTRATION IECC 2018 COMPLIANT FOLLOWING SECTION R402.1.5
- B. ALL SLEEPING ROOM REQUIRED TO HAVE MIN. ONE EMERGENCY ESCAPE & RESCUE OPENING WITH MIN. 5.7 SF
- C. ALL EXTERIOR WINDOW AND DOOR OPENINGS TO BE VERIFIED IN THE FIELD
- D. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- E. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- F. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- F. ALL ELEVATION POINTS REFERENCE TOP OF STRUCTURE.
- G. ELEVATION POINTS ON EACH FLOOR ARE CONSISTENT IN ALL UNITS.
- H. ALL TOILETS NO CLOSER THAN 15" FROM CENTERLINE OF FIXTURE TO ANY WALL OR OTHER FIXTURE.

RADON CONTROL METHODS (IRC 2018 APPENDIX F):

- A. NEW DWELLING UNITS SHALL BE PROVIDED WITH A RADON MITIGATION SYSTEM IN ACCORDANCE WITH 2018 IRC APPENDIX F-RADON CONTROL METHODS.
- B. A LAYER OF GAS-PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND AND ARE WITHIN THE WALLS OF THE LIVING SPACES OF THE BUILDING, TO FACILITATE FUTURE INSTALLATION OF A SUBSLAB DEPRESSURIZATION SYSTEM, IF NEEDED. THE GAS-PERMEABLE LAYER SHALL CONSIST OF ONE OF THE FOLLOWING:
  - A UNIFORM LAYER OF CLEAN AGGREGATE, NOT LESS THAN 4 INCHES (102 MM) THICK. THE AGGREGATE SHALL CONSIST OF MATERIAL THAT WILL PASS THROUGH A 2-INCH (51 MM) SIEVE AND BE RETAINED BY A 1/4-INCH (6.4 MM) SIEVE.
  - A UNIFORM LAYER OF SAND (NATIVE OR FILL), NOT LESS THAN 4 INCHES (102 MM) THICK, OVERLAIN BY A LAYER OR STRIPS OF GEOTEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
  - OTHER MATERIALS, SYSTEMS OR FLOOR DESIGNS WITH DEMONSTRATED CAPABILITY TO PERMIT DEPRESSURIZATION ACROSS THE ENTIRE SUBFLOOR AREA.
- C. A MINIMUM 3" ABS, PVC, OR EQUIVALENT GAS-TIGHT PIPE SHALL BE EMBEDDED VERTICALLY INTO THE SUBSLAB AGGREGATE OR OTHER PERMEABLE MATERIAL BEFORE THE SLAB IS CAST.
- D. THE PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, AND TERMINATE NOT LESS THAN 12 INCHES (305 MM) ABOVE THE SURFACE OF THE ROOF IN A LOCATION NOT LESS THAN 10 FEET (3048 MM) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE *CONDITIONED SPACES* OF THE BUILDING THAT IS LESS THAN 2 FEET (610 MM) BELOW THE EXHAUST POINT, AND 10 FEET (3048 MM) FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.
- E. COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER.
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- H. CONTROL JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS, AND ANY OTHER JOINTS IN CONCRETE SLABS OR BETWEEN SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT. GAPS AND JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED WITH POLYURETHANE CAULK OR OTHER ELASTOMERIC SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- I. CONTRACTOR TO ENSURE LOCATION OF VENT PIPE IN THE FIELD.

AIR BARRIER TESTING: THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING (3) THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380(STANDARD FOR TESTING AIRTIGHTNESS OF BUILDING ENCLOSURES, DWELLING UNIT, AND SLEEPING UNIT ENCLOSURES, AIRTIGHTNESS OF HEATING AND COOLING AIR DISTRIBUTION SYSTEMS; AND AIRFLOW OF MECHANICAL VENTILATION SYSTEMS), ASTM E779(STANDARD TEST METHOD FOR DETERMINING AIR LEAKAGE RATE BY FAN PRESSURIZATION)OR ASTM E1827(STANDARD TEST METHODS FOR DETERMINING AIRTIGHTNESS OF BUILDINGS USING AN ORIFICE BLOWER DOOR) AND REPORTED AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS). WHERE REQUIRED BY THE BUILDING OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. (N1102.4.1.2)

WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM: WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4. (2018 IRC M1505.4)

DUCT TESTING: DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS: 1. ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST OR 2. POST CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. (N1103.3.3)

CONDITIONED AREA LEVEL 2

Comments	Area	Level
CONDITIONED	1616 SF	T.O. 2ND STRUCT.
	1616 SF	

WALL TYPE LEGEND:

- TYPICAL INT. WALL
- TYPICAL EXT. WALL
- FOUNDATION WALL
- 1HR FIRE RESISTANT WALL

2ND FLOOR AREA SCHEDULE

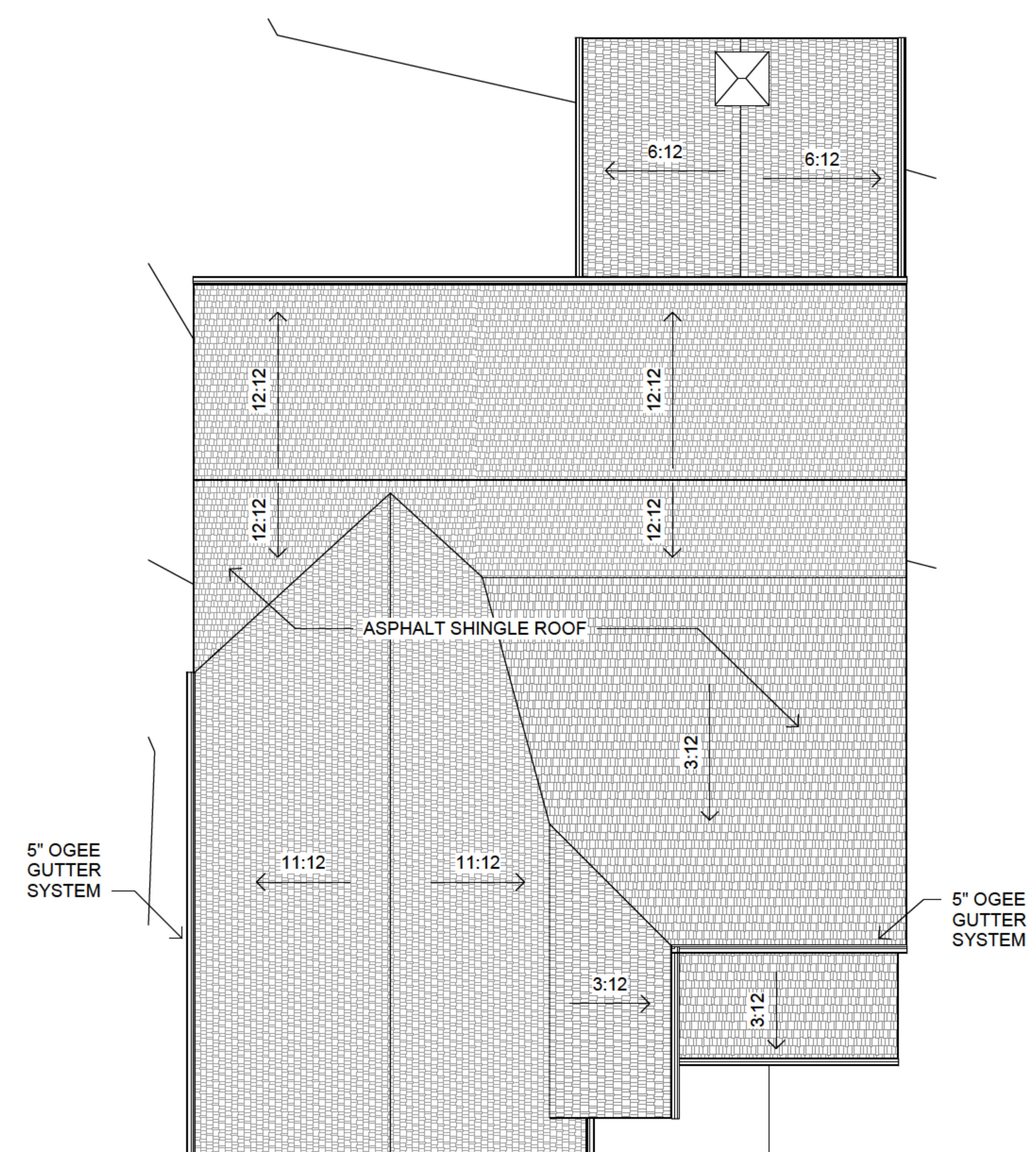
No.	Name	Area
200	BONUS ROOM	509 SF
201	LAUNDRY	81 SF
202	W.I.C.	36 SF
203	BED 1	155 SF
204	BATH 1	42 SF
205	SHARED BATH	45 SF
206	BATH 2	42 SF
207	BED 2	152 SF
208	W.I.C.	35 SF
209	MASTER BATH	175 SF
210	W.I.C.	80 SF
211	MASTER BED	265 SF
		1616 SF

WINDOW LEVEL 2 SCHEDULE

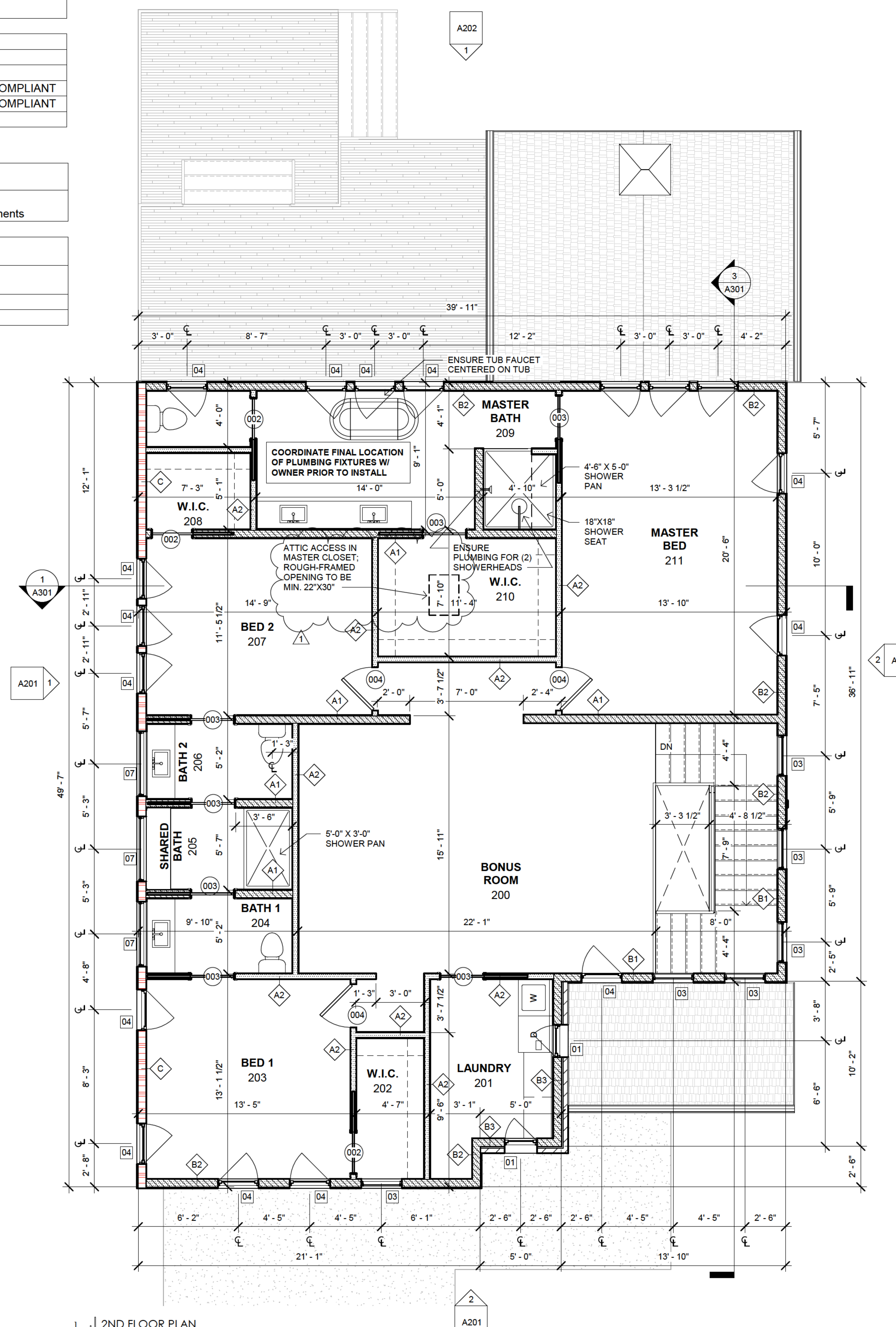
No.	Dimensions Width	Dimensions Height	Description	Count	Head Height	Sill Height	Comments
01	2' - 0"	4' - 0"	LEFT TILT / TURN	1	7' - 8"	3' - 8"	IECC 2018 COMPLIANT
01	2' - 0"	4' - 0"	RIGHT TILT / TURN	1	7' - 8"	3' - 8"	IECC 2018 COMPLIANT
03	2' - 6"	5' - 6"	FIXED	6	7' - 8"	2' - 2"	IECC 2018 COMPLIANT
04	2' - 6"	5' - 6"	LEFT TILT / TURN	8	7' - 8"	2' - 2"	IECC 2018 COMPLIANT; EERO COMPLIANT
04	2' - 6"	5' - 6"	RIGHT TILT / TURN	9	7' - 8"	2' - 2"	IECC 2018 COMPLIANT; EERO COMPLIANT
07	4' - 0"	1' - 6"	FIXED	3	7' - 8"	6' - 2"	IECC 2018 COMPLIANT

DOOR LEVEL 2 SCHEDULE

No.	Width	Height	Type	Swing Direction	Count	FINISH Panel Material	FINISH Frame Material	Safety Glass	Comments
002	2' - 6"	7' - 0"	INTERIOR POCKET DOOR	---	3	WOOD	WOOD	No	
003	2' - 8"	7' - 0"	INTERIOR POCKET DOOR	---	7	WOOD	WOOD	No	
004	2' - 8"	7' - 0"	INTERIOR DOOR	LH	1	WOOD	WOOD	No	
004	2' - 8"	7' - 0"	INTERIOR DOOR	RH	2	WOOD	WOOD	No	



2 A102 | ROOF PLAN 1/8" = 1'-0"



1 A102 | 2ND FLOOR PLAN 1/4" = 1'-0"

REVISION	
No.	REVISION
1	REVIEW CYCLE 1

Project: SAVAGE RESIDENCE

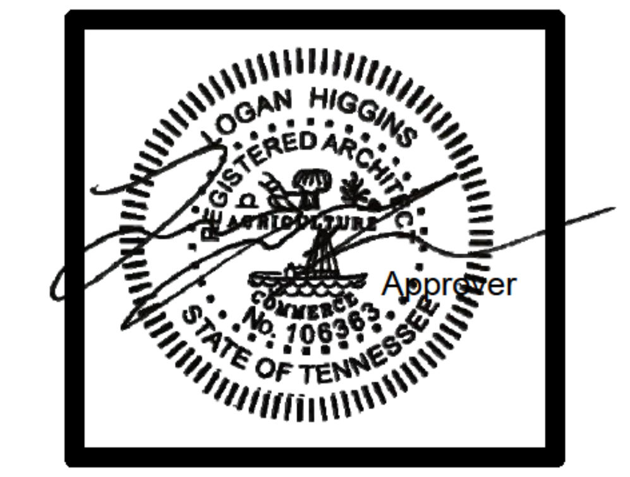
Number: 224010

Client: GORDON + STACY SAVAGE

Info: NEW CONSTRUCTION SINGLE FAMILY RESIDENCE

Location: 515 MIMOSA AVENUE KNOXVILLE, TN 37920

heyoh DESIGN + DEVELOPMENT



CHECKED BY: SRD/LH

DRAWN BY: AL/SRD

11.19.2024

As indicated

SHEET A102

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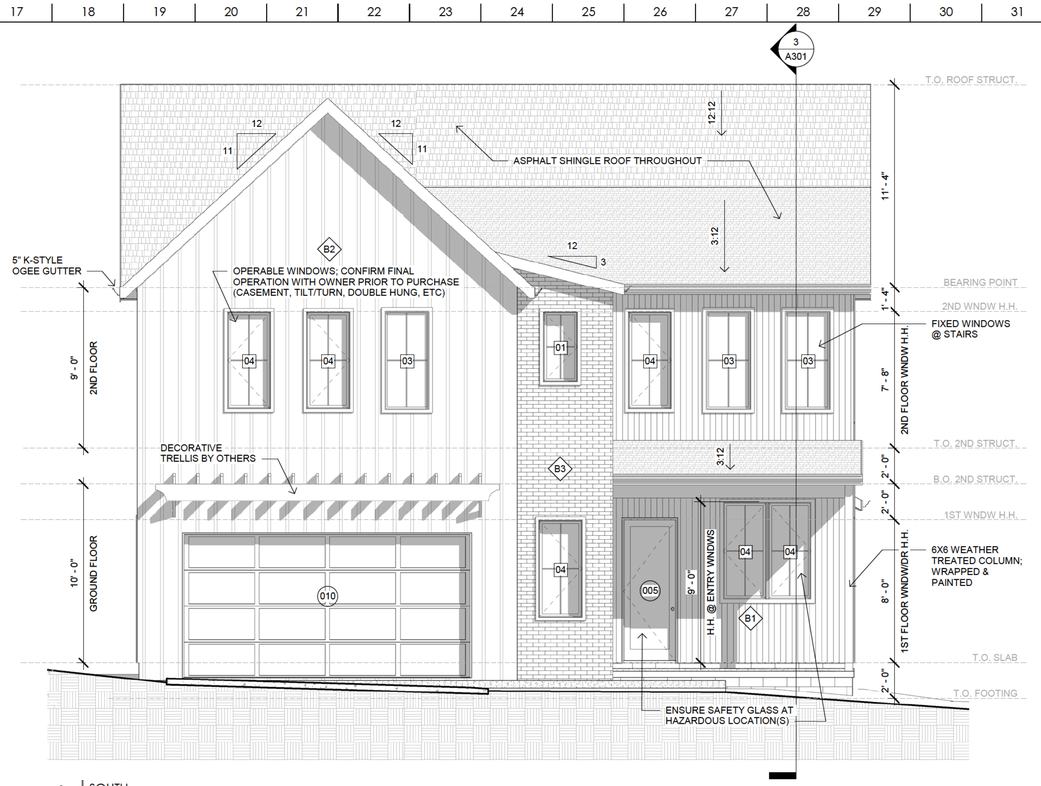
SECOND FLOOR PLANS

GENERAL ELEVATION NOTES:
A. ENSURE PROPER FLASHING AT ALL INTERSECTIONS - MATERIALS, ROOF TO WALL, WALL TO WALL, WALL TO WINDOW, ETC.
B. ENSURE PROPER SLOPE, DRAINAGE, FLASHING, DRIP EDGES, AND UNDERLAYMENTS FOR ANY ROOFS WITH SLOPES UNDER 3:12.
C. ALL FINISHES TO BE CONFIRMED WITH OWNER
D. ALL CONFLICTING DIMENSIONS TO BE CONFIRMED WITH ARCHITECT

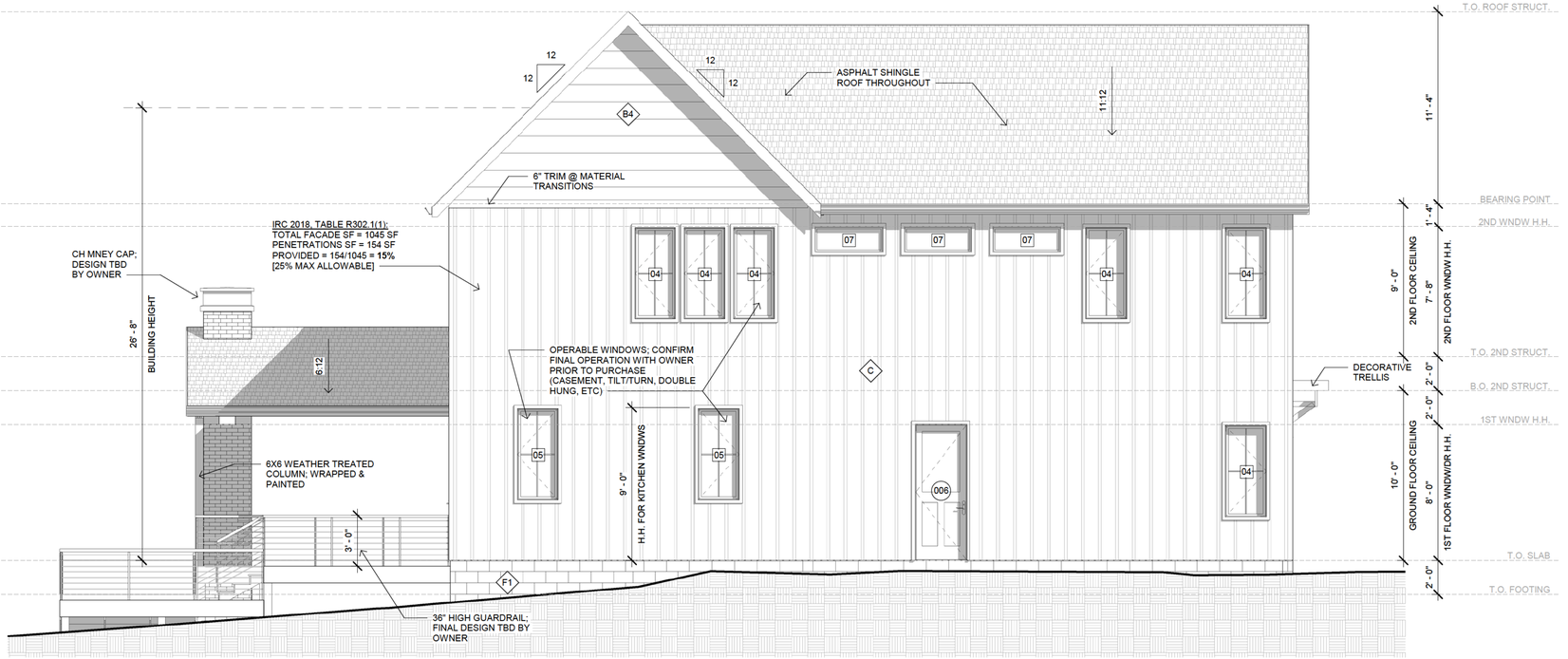
FOUNDATION / SITE NOTES:
A. ALL SITE WORK TO BE DESIGNED AND COMPLETED BY OTHERS
B. ALL FOOTERS AND FOUNDATION SUPPORTS TO BE POURED IN UNDISTURBED SOIL; IF REQUIRED TO BE PLACED ON DISTURBED SOIL, A STRUCTURAL ENGINEER SHOULD BE CONSULTED
C. ANY SOIL-RETAINING WALL OVER 2'-0" SHOULD BE DESIGNED BY STRUCTURAL ENGINEER
D. ALL FOUNDATION DRAWINGS ARE BASED ON A SLAB ON GRADE DESIGN WITH CRAWLSPACES IN FRONT; CONSULT THE ARCHITECT IF CHANGES ARE NECESSARY
E. SOIL TESTING SHOULD BE PERFORMED BEFORE CONSTRUCTING FOUNDATIONS AND AN ENGINEER SHOULD BE CONSULTED TO ASSESS THE SITE COND TIONS WITH CURRENT FOUNDATION DESIGNS.
F. ALL ELEVATION MARKERS ARE APPROXIMATIONS. VERIFY IN FIELD.

UNDERFLOOR SPACE NOTES:
- R408.3 UNVENTED CRAWL SPACE:
  1. VENTILATION OPENINGS IN UNDER-FLOOR SPACES SPECIFIED IN SECTIONS R408.1 AND R408.2 SHALL NOT BE REQUIRED WHERE THE FOLLOWING ITEMS ARE PROVIDED:
     A. EXPOSED EARTH IS COVERED WITH A CONTINUOUS CLASS I VAPOR RETARDER. JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6 INCHES (152 MM) AND SHALL BE SEALED OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND NOT LESS THAN 6 INCHES (152 MM) UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL OR INSULATION.
     B. ONE OF THE FOLLOWING IS PROVIDED FOR THE UNDER-FLOOR SPACE:
        a. CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M2) OF CRAWL SPACE FLOOR AREA, INCLUDING AN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PER METER WALLS INSULATED IN ACCORDANCE WITH SECTION N1102.2.11 OF THIS CODE.
        b. CONDITIONED AIR SUPPLY SIZED TO DELIVER AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M2) OF UNDER-FLOOR AREA, INCLUDING A RETURN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION N1102.2.11 OF THIS CODE.
        c. PLENUM IN EXISTING STRUCTURES COMPLYING WITH SECTION M1601.5, IF UNDER-FLOOR SPACE IS USED AS A PLENUM.
        d. DEHUMIDIFICATION SIZED TO PROVIDE 70 PINTS (33 LITERS) OF MOISTURE REMOVAL PER DAY FOR EVERY 1,000 SQUARE FEET (93 M2) OF CRAWL SPACE FLOOR AREA.
- R408.4 ACCESS: ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE NOT SMALLER THAN 18 INCHES BY 24 INCHES (457 MM BY 610 MM). OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16 INCHES BY 24 INCHES (407 MM BY 610 MM). WHERE ANY PORTION OF THE THROUGH-WALL ACCESS IS BELOW GRADE, AN AREAWAY NOT LESS THAN 16 INCHES BY 24 INCHES (407 MM BY 610 MM) SHALL BE PROVIDED. THE BOTTOM OF THE AREAWAY SHALL BE BELOW THE THRESHOLD OF THE ACCESS OPENING. THROUGH WALL ACCESS OPENINGS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE. SEE SECTION M1305.1.4 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED UNDER FLOORS.

ROOF NOTES:
A. FLOOR & ROOF STRUCTURE TO BE SIZED AND DESIGNED BY ROOF TRUSS MANUFACTURER.
B. MANUFACTURER'S DRAWINGS AND SPECIFICATIONS MUST BE KEPT ON SITE FOR FIELD INSPECTIONS.
C. MANUFACTURER MUST NOTIFY ARCHITECT & CONTRACTOR IF ADDITIONAL REINFORCEMENT IS REQUIRED.
D. UNVENTED ROOF & ATTIC ENCLOSURE, MIN. R-49 AIR IMPERMEABLE SPRAY FOAM INSULATIONS APPLIED DIRECTLY TO UNDERSIDE OF ROOF SHEATHING
E. ENSURE PROPER FLASHING AT ALL CONVERGING SLOPES, PENETRATIONS, AND ROOF/WALL CONNECTIONS



2 A201 SOUTH 1/4" = 1'-0"



1 A201 WEST 1/4" = 1'-0"

REVISION	
No.	REVISION

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION
SINGLE FAMILY
RESIDENCE

Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

heyoh
DESIGN + DEVELOPMENT

LOGAN HIGGINS
REGISTERED ARCHITECT
CHATTANOOGA, TN
No. 106993
STATE OF TENNESSEE
Approved

CHECKED BY:	SRD/LH
DRAWN BY:	AL/SRD
10.30.2024	
1/4" = 1'-0"	

SHEET
A201
7 OF 12
ELEVATIONS

GENERAL ELEVATION NOTES:
A. ENSURE PROPER FLASHING AT ALL INTERSECTIONS - MATERIALS, ROOF TO WALL, WALL TO WALL, WALL TO WINDOW, ETC.
B. ENSURE PROPER SLOPE, DRAINAGE, FLASHING, DRIP EDGES, AND UNDERLAYMENTS FOR ANY ROOFS WITH SLOPES UNDER 3:12.
C. ALL FINISHES TO BE CONFIRMED WITH OWNER
D. ALL CONFLICTING DIMENSIONS TO BE CONFIRMED WITH ARCHITECT

FOUNDATION / SITE NOTES:
A. ALL SITE WORK TO BE DESIGNED AND COMPLETED BY OTHERS
B. ALL FOOTERS AND FOUNDATION SUPPORTS TO BE POURED IN UNDISTURBED SOIL; IF REQUIRED TO BE PLACED ON DISTURBED SOIL, A STRUCTURAL ENGINEER SHOULD BE CONSULTED
C. ANY SOIL-RETAINING WALL OVER 2'-0" SHOULD BE DESIGNED BY STRUCTURAL ENGINEER
D. ALL FOUNDATION DRAWINGS ARE BASED ON A SLAB ON GRADE DESIGN WITH CRAWLSPACES IN FRONT; CONSULT THE ARCHITECT IF CHANGES ARE NECESSARY
E. SOIL TESTING SHOULD BE PERFORMED BEFORE CONSTRUCTING FOUNDATIONS AND AN ENGINEER SHOULD BE CONSULTED TO ASSESS THE SITE COND TIONS WITH CURRENT FOUNDATION DESIGNS.
F. ALL ELEVATION MARKERS ARE APPROXIMATIONS. VERIFY IN FIELD.

UNDERFLOOR SPACE NOTES:
- R408.3 UNVENTED CRAWL SPACE:
  1. VENTILATION OPENINGS IN UNDER-FLOOR SPACES SPECIFIED IN SECTIONS R408.1 AND R408.2 SHALL NOT BE REQUIRED WHERE THE FOLLOWING ITEMS ARE PROVIDED:
     A. EXPOSED EARTH IS COVERED WITH A CONTINUOUS CLASS I VAPOR RETARDER. JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6 INCHES (152 MM) AND SHALL BE SEALED OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND NOT LESS THAN 6 INCHES (152 MM) UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL OR INSULATION.
     B. ONE OF THE FOLLOWING IS PROVIDED FOR THE UNDER-FLOOR SPACE:
        a. CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M2) OF CRAWL SPACE FLOOR AREA, INCLUDING AN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION N1102.2.11 OF THIS CODE.
        b. CONDITIONED AIR SUPPLY SIZED TO DELIVER AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M2) OF UNDER-FLOOR AREA, INCLUDING A RETURN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION N1102.2.11 OF THIS CODE.
        c. PLENUM IN EXISTING STRUCTURES COMPLYING WITH SECTION M1601.5, IF UNDER-FLOOR SPACE IS USED AS A PLENUM.
        d. DEHUMIDIFICATION SIZED TO PROVIDE 70 PINTS (33 LITERS) OF MOISTURE REMOVAL PER DAY FOR EVERY 1,000 SQUARE FEET (93 M2) OF CRAWL SPACE FLOOR AREA.
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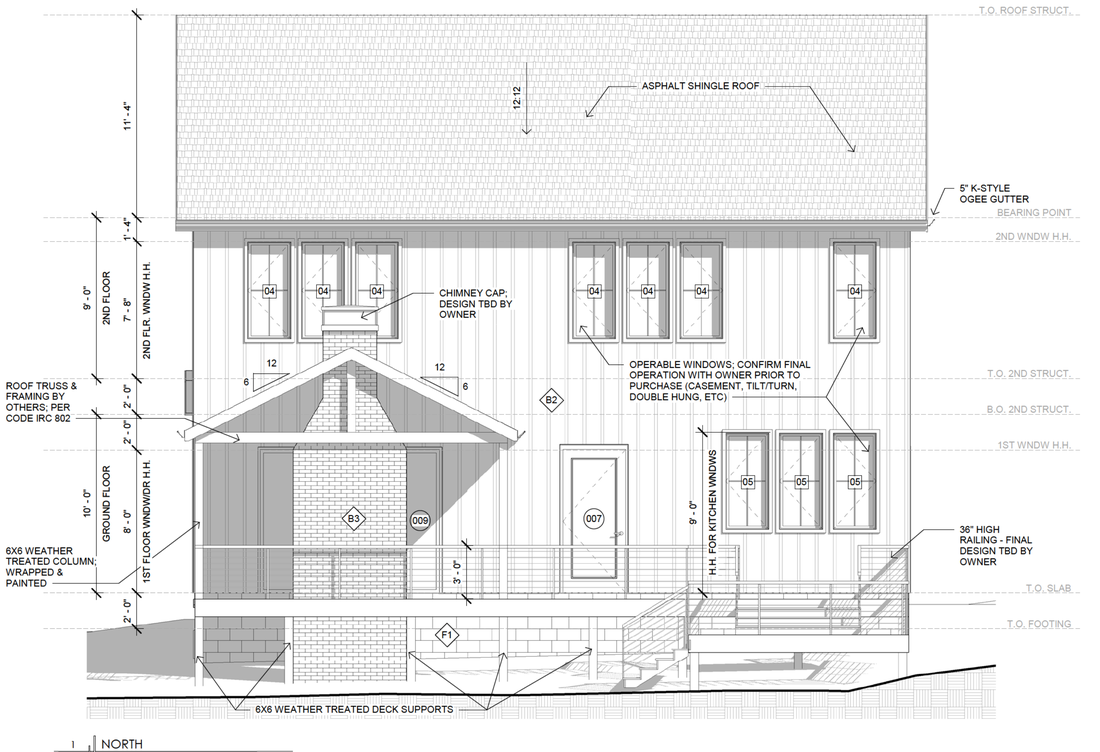
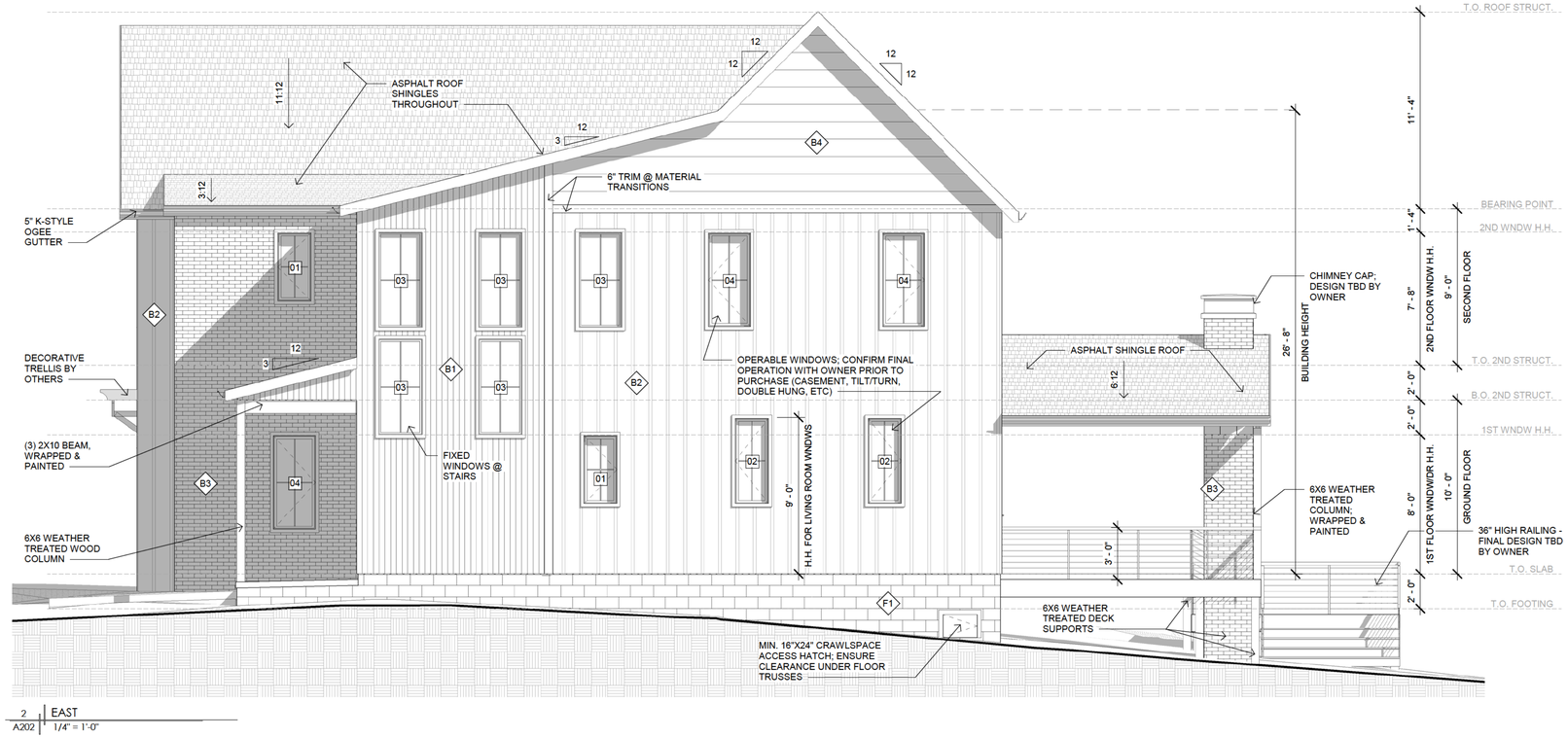
ROOF NOTES:
A. FLOOR & ROOF STRUCTURE TO BE SIZED AND DESIGNED BY ROOF TRUSS MANUFACTURER.
B. MANUFACTURER'S DRAWINGS AND SPECIFICATIONS MUST BE KEPT ON SITE FOR FIELD INSPECTIONS.
C. MANUFACTURER MUST NOTIFY ARCHITECT & CONTRACTOR IF ADDITIONAL REINFORCEMENT IS REQUIRED.
D. UNVENTED ROOF & ATTIC ENCLOSURE, MIN. R-49 AIR IMPERMEABLE SPRAY FOAM INSULATIONS APPLIED DIRECTLY TO UNDERSIDE OF ROOF SHEATHING
E. ENSURE PROPER FLASHING AT ALL CONVERGING SLOPES, PENETRATIONS, AND ROOF/WALL CONNECTIONS



1 A202 NORTH 1/4" = 1'-0"



2 A202 EAST 1/4" = 1'-0"

REVISION	
No.	REVISION

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION SINGLE FAMILY RESIDENCE

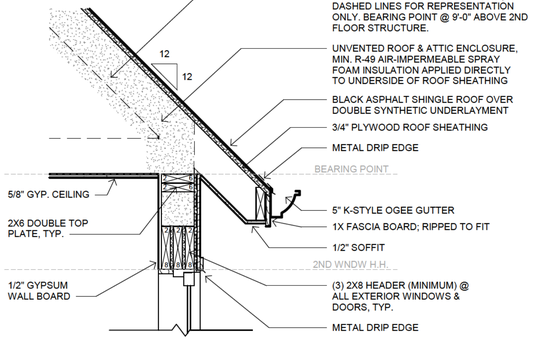
Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

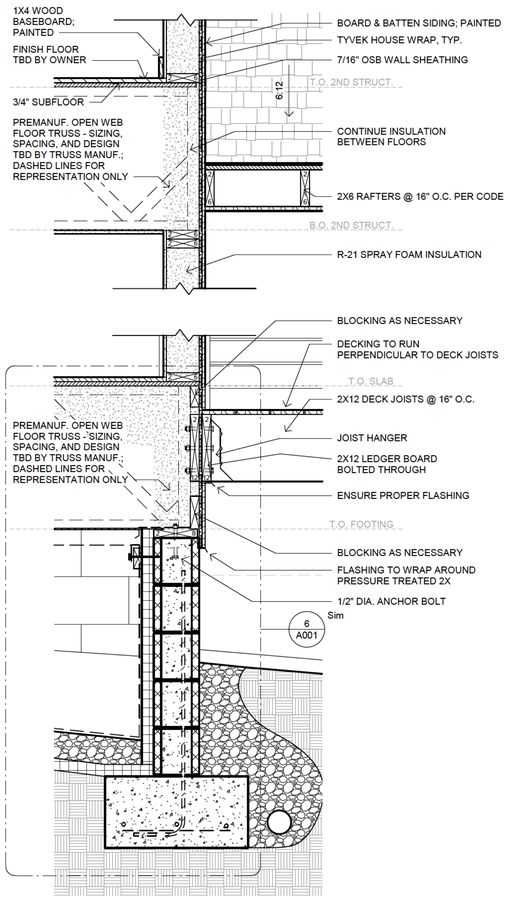
heyoh
DESIGN + DEVELOPMENT

OGAN HIGGINS REGISTERED ARCHITECT TENNESSEE No. 109393 STATE OF TENNESSEE
Architect

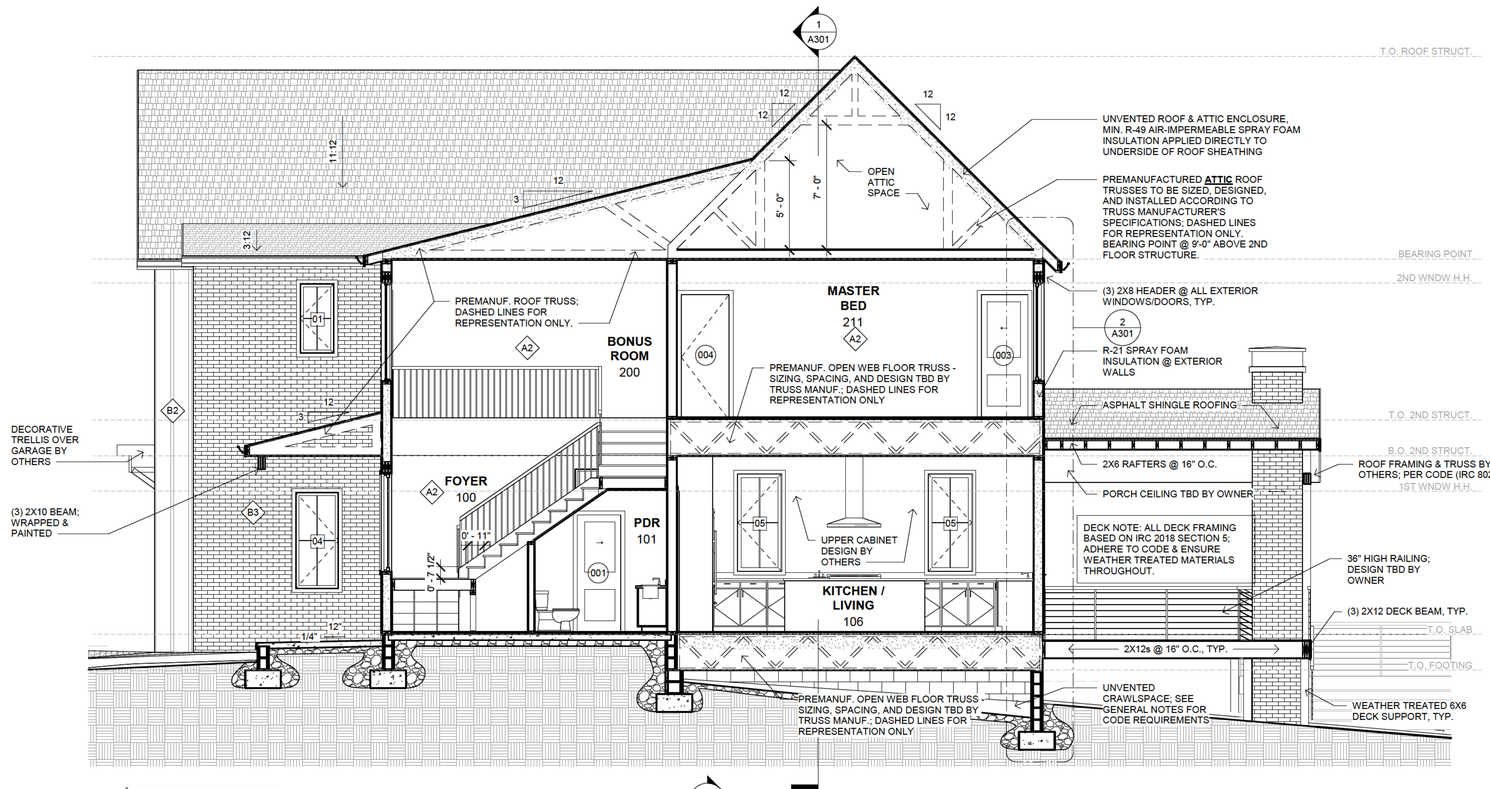
CHECKED BY:	SRD/LH
DRAWN BY:	AL/SRD
10.30.2024	
1/4" = 1'-0"	

SHEET
A202
8 OF 12
ELEVATIONS





2 A301 | LONGITUDINAL SECTION - Callout 1
1" = 1'-0"



3 A301 | LONGITUDINAL SECTION
1/4" = 1'-0"

UNDERFLOOR SPACE NOTES:

- R408.3 UNVENTED CRAWL SPACE:
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     - A. EXPOSED EARTH IS COVERED WITH A CONTINUOUS CLASS I VAPOR RETARDER. JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6 INCHES (152 MM) AND SHALL BE SEALED OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND NOT LESS THAN 6 INCHES (152 MM) UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL OR INSULATION.
     - B. ONE OF THE FOLLOWING IS PROVIDED FOR THE UNDER-FLOOR SPACE:
       - a. CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M2) OF CRAWL SPACE FLOOR AREA, INCLUDING AN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION N1102.2.11 OF THIS CODE.
       - b. CONDITIONED AIR SUPPLY SIZED TO DELIVER AT A RATE EQUAL TO 1 CUBIC FOOT PER MINUTE (0.47 L/S) FOR EACH 50 SQUARE FEET (4.7 M2) OF UNDER-FLOOR AREA, INCLUDING A RETURN AIR PATHWAY TO THE COMMON AREA (SUCH AS A DUCT OR TRANSFER GRILLE), AND PERIMETER WALLS INSULATED IN ACCORDANCE WITH SECTION N1102.2.11 OF THIS CODE.
       - c. PLENUM IN EXISTING STRUCTURES COMPLYING WITH SECTION M1601.5, IF UNDER-FLOOR SPACE IS USED AS A PLENUM.
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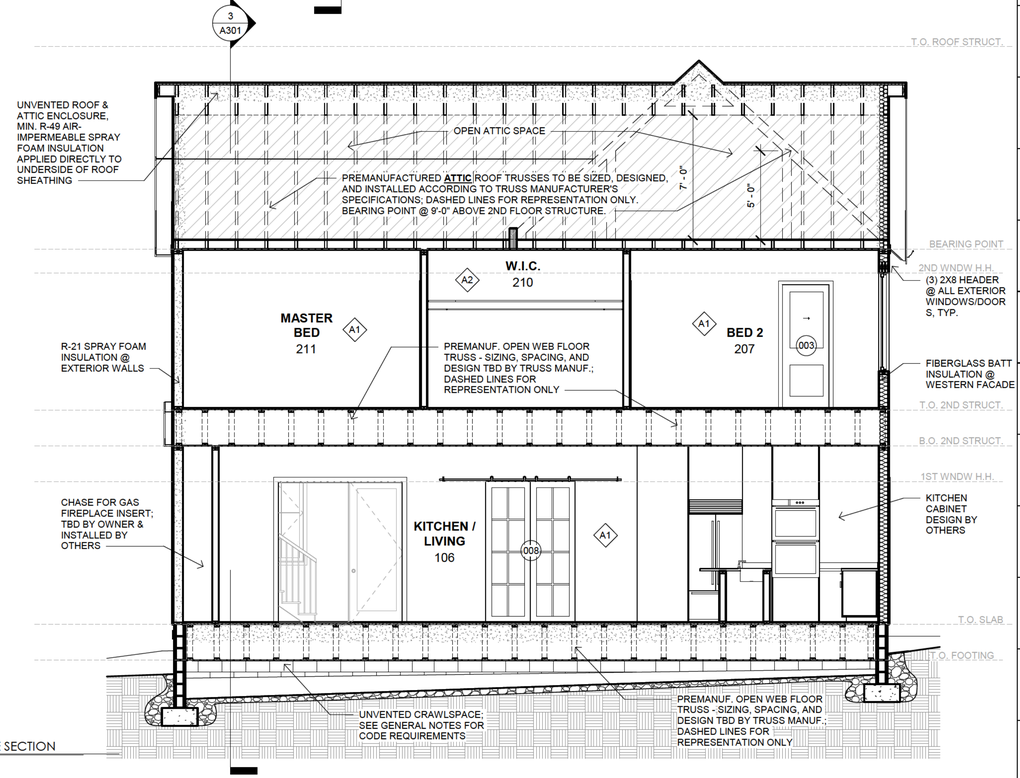
GENERAL IRC STAIR NOTES:

- A. STAIRWAYS
  - a. WIDTH SHALL BE NOT LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL PO NTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 31 1/2 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES. (R311.7.1)
  - b. HEADROOM SHALL BE NOT LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. (R311.7.2)
- B. RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4 INCHES (R311.7.5.1)
- C. TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (R311.7.5.2)
- D. LANDINGS
  - a. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. EXCEPTION: STAIRS FROM ENCLOSED GARAGE (R311.7.6)
  - b. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. LANDINGS SHALL HAVE A D MENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LAND NGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT) (R311.3)
- E. HANDRAILS / GUARDRAILS
  - a. HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS. (R311.7.8)
  - b. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. (R311.7.8.1)
  - c. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2 INCHES ON EITHER SIDE OF THE STAIRWAY. (R311.7.8.2)
  - d. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAILS. (R311.7.8.3)



1 A301 | TRANSVERSE SECTION
1/4" = 1'-0"

REVISION	
No.	REVISION

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION SINGLE FAMILY RESIDENCE

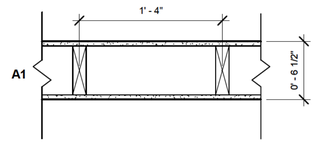
Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

heyon
DESIGN + DEVELOPMENT

LOGAN HIGGINS SAVAGE REGISTERED ARCHITECT No. 109393 STATE OF TENNESSEE

CHECKED BY:	SRD/LH
DRAWN BY:	AL/SRD
10.30.2024	
As indicated	

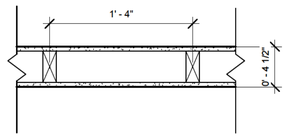
SHEET
A301
9 OF 12
SECTIONS + DETAILS



PLAN HATCH

- 1/2" GYPSUM WALLBOARD
- 2X6 FRAMING @ 16" O.C.

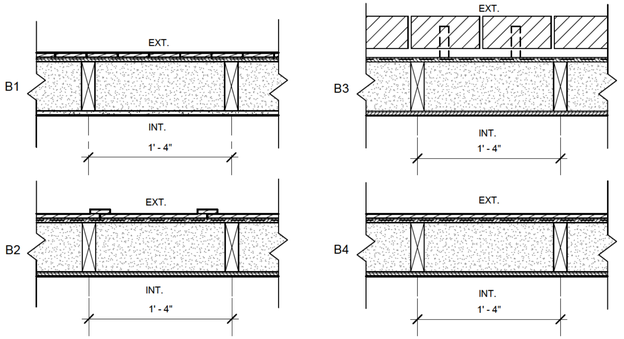
A1 / A601 — TYP. PLUMBING WALL
1 1/2" = 1'-0"



PLAN HATCH

- 1/2" GYPSUM WALLBOARD
- 2X4 FRAMING @ 16" O.C.

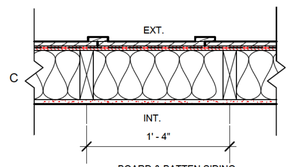
A2 / A601 — TYP. INTERIOR WALL
1 1/2" = 1'-0"



PLAN HATCH

- (B1) 4" VERTICAL WOOD-LIKE SIDING / (B2) BOARD & BATTEN / (B3) BRICK VENEER / (B4) WIDE SIDING
- MIN. 1" AIR SPACE @ BRICK VENEER
- WEATHER BARRIER, TYVEK HOUSE WRAP OR S MILAR
- 7/16" OSB WALL SHEATHING
- 2X6 FRAMING W/ MIN. R-21 SPRAY FOAM INSULATION
- 1/2" GYPSUM WALLBOARD

B / A601 — EXTERIOR WALLS
1 1/2" = 1'-0"



PLAN HATCH

- BOARD & BATTEN SIDING
- FIRE-RATED WALL SHEATHING (FLAMEBLOCK™ OR SIM.)
- MINERAL WOOL BATT INSULATION
- 5/8" TYPE-X GYPSUM WALL BOARD

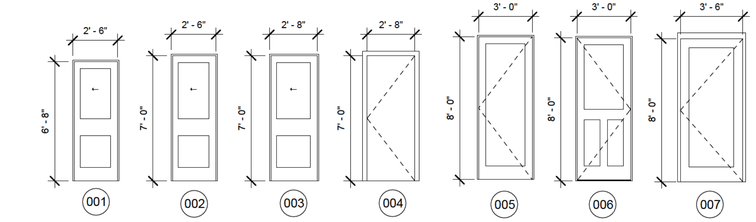
C / A601 — V340 - 1HR FIRE RESISTANT WALL
1 1/2" = 1'-0"

WALL TYPE LEGEND:

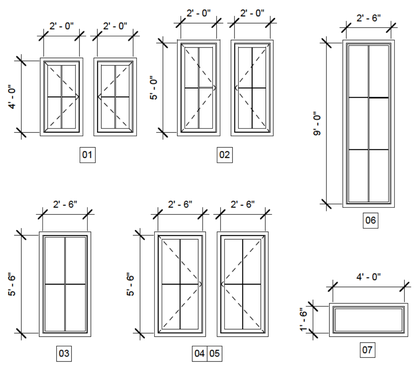
- TYPICAL INT. WALL
- TYPICAL EXT. WALL
- FOUNDATION WALL
- 1HR FIRE RESISTANT WALL

WALL MATERIALS LEGEND:

- MIN. R-21 SPRAY FOAM INSULATION
- 5/8" GYPSUM WALLBOARD
- CONCRETE
- 1/2" SIDING
- 7/16" OSB SHEATHING
- FIRE-RESISTANT MINERAL WOOL BATT INSULATION



DOOR TYPES
1/4" = 1'-0"



WINDOW TYPES
1/4" = 1'-0"

WALL SCHEDULE

Type Mark	Description	Width	Structure	Fire Rating	Linear Feet	Wall Area	Comments
A1	PLUMBING WALL	0' - 6 1/2"	2X6		115' - 8 1/2"	850 SF	
A2	INTERIOR WALL	0' - 4 1/2"	2X4		230' - 10"	1654 SF	
B1	EXTERIOR WALL WOOD-LIKE FINISH	0' - 7"	2X6		31' - 4"	367 SF	
B2	EXTERIOR BOARD + BATTEN	0' - 7"	2X6		88' - 9 1/2"	1470 SF	
B3	EXTERIOR WALL BRICK VENEER	0' - 11 1/8"	2X6		34' - 2 1/2"	591 SF	
B4	EXTERIOR WIDE SIDING	0' - 7"	2X6		57' - 6"	250 SF	
C	1HR RATED EXTERIOR BOARD + BATTEN	0' - 7"	2X6	1 HR	49' - 2"	894 SF	UL V340
F1	FOUNDATION WALL	0' - 7 5/8"	8" CMU		273' - 4"	757 SF	
F2	FOUNDATION WALL	0' - 11 5/8"	12" CMU		39' - 3 1/2"	52 SF	

DOOR SCHEDULE

No.	NOMINAL DIMENSIONS Width	Height	Type	Swing Direction	Count	FINISH Panel Material	Frame Material	Safety Glass	Comments
001	2' - 6"	6' - 8"	INTERIOR POCKET DOOR UNDER STAIR	---	1	WOOD	WOOD	No	
002	2' - 6"	7' - 0"	INTERIOR POCKET DOOR	---	3	WOOD	WOOD	No	
003	2' - 8"	7' - 0"	INTERIOR POCKET DOOR	---	7	WOOD	WOOD	No	
004	2' - 8"	7' - 0"	INTERIOR DOOR	LH	1	WOOD	WOOD	No	
004	2' - 8"	7' - 0"	INTERIOR DOOR	RH	2	WOOD	WOOD	No	
005	3' - 0"	8' - 0"	EXTERIOR FULL GLASS DOOR	LH	1	TBD BY OWNER	TBD	Yes	IECC 2018 COMPLIANT
06G	3' - 0"	8' - 0"	DOOR FROM GARAGE TO ENTRY	LH	1	SOLID WOOD OR SOLID/HONEYCOMB STEEL	WOOD	No	IECC 2018 COMPLIANT; Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 13/8 inches (35 mm) in thickness, solid or honeycomb-core steel doors not less than 13/8 inches (35 mm) thick, or 20-minute fire-rated doors, equipped with a self-closing or automatic-closing device.
006	3' - 0"	8' - 0"	EXTERIOR HALF-LITE DOOR	RH	1	TBD BY OWNER	TBD		
007	3' - 6"	8' - 0"	EXTERIOR BACK DOOR	RH	1	TBD BY OWNER	TBD	Yes	IECC 2018 COMPLIANT
008	5' - 0"	8' - 0"	FULL GLASS, INTERIOR BARN DOUBLE DOOR	---	1	TBD BY OWNER	---		
009	10' - 0"	8' - 0"	EXTERIOR SLIDING DOOR	---	1	ALUMINUM	ALUMINUM	Yes	IECC 2018 COMPLIANT
010	16' - 0"	8' - 0"	GARAGE DOOR	---	1	TBD BY OWNER	TBD	No	

WINDOW SCHEDULE

No.	NOMINAL DIMENSIONS Width	Height	Description	Count	Head Height	Sill Height	Material	Finish	Comments
01	2' - 0"	4' - 0"	RIGHT TILT / TURN	1	7' - 8"	3' - 8"	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT
01	2' - 0"	4' - 0"	LEFT TILT / TURN	2	SEE PLANS	SEE PLANS	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT
02	2' - 0"	5' - 0"	LEFT TILT / TURN	1	9' - 0"	4' - 0"	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT; EERO COMPLIANT
02	2' - 0"	5' - 0"	RIGHT TILT / TURN	1	9' - 0"	4' - 0"	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT; EERO COMPLIANT
03	2' - 6"	5' - 6"	FIXED	8	SEE PLANS	SEE PLANS	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT
04	2' - 6"	5' - 6"	RIGHT TILT / TURN	13	SEE PLANS	SEE PLANS	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT; EERO COMPLIANT
04	2' - 6"	5' - 6"	LEFT TILT / TURN	9	SEE PLANS	SEE PLANS	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT; EERO COMPLIANT
05	2' - 6"	5' - 6"	LEFT TILT / TURN WINDOW @ KITCHEN	2	9' - 0"	3' - 6"	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT; EERO COMPLIANT
05	2' - 6"	5' - 6"	RIGHT TILT / TURN WINDOW @ KITCHEN	3	9' - 0"	3' - 6"	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT; EERO COMPLIANT
06	2' - 6"	9' - 0"	INTERIOR FIXED WINDOW @ OFFICE	2	9' - 3"	0' - 3"	TBD BY OWNER	TBD BY OWNER	---
07	4' - 0"	1' - 6"	FIXED	3	7' - 8"	6' - 2"	TBD BY OWNER	TBD BY OWNER	IECC 2018 COMPLIANT

OVERALL CONDITIONED AREA

Comments	Area
CONDITIONED	2714 SF
UNCONDITIONED	1349 SF
	4063 SF

OVERALL AREA SCHEDULE

No.	Name	Level	Area	Comments
100	FOYER	T.O. SLAB	173 SF	CONDITIONED
101	PDR	T.O. SLAB	28 SF	CONDITIONED
102	COVERED FRONT PORCH	T.O. SLAB	97 SF	UNCONDITIONED
103	GARAGE	T.O. SLAB	550 SF	UNCONDITIONED
104	OFFICE	T.O. SLAB	59 SF	CONDITIONED
105	PANTRY	T.O. SLAB	71 SF	CONDITIONED
106	KITCHEN / LIVING	T.O. SLAB	766 SF	CONDITIONED
107	COVERED REAR PORCH	T.O. SLAB	245 SF	UNCONDITIONED
108	UNCOVERED REAR PORCH	T.O. SLAB	457 SF	UNCONDITIONED
200	BONUS ROOM	T.O. 2ND STRUCT.	509 SF	CONDITIONED
201	LAUNDRY	T.O. 2ND STRUCT.	81 SF	CONDITIONED
202	W.I.C.	T.O. 2ND STRUCT.	36 SF	CONDITIONED
203	BED 1	T.O. 2ND STRUCT.	155 SF	CONDITIONED
204	BATH 1	T.O. 2ND STRUCT.	42 SF	CONDITIONED
205	SHARED BATH	T.O. 2ND STRUCT.	45 SF	CONDITIONED
206	BATH 2	T.O. 2ND STRUCT.	42 SF	CONDITIONED
207	BED 2	T.O. 2ND STRUCT.	152 SF	CONDITIONED
208	W.I.C.	T.O. 2ND STRUCT.	36 SF	CONDITIONED
209	MASTER BATH	T.O. 2ND STRUCT.	175 SF	CONDITIONED
210	W.I.C.	T.O. 2ND STRUCT.	80 SF	CONDITIONED
211	MASTER BED	T.O. 2ND STRUCT.	265 SF	CONDITIONED
			4063 SF	

UL Product iQ™

BXUV.V340

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States
BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

See General Information for Fire-resistance Ratings - ANSI/UL 263 Certified for United States
Design Criteria and Allowable Variances

See General Information for Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada
Design Criteria and Allowable Variances

Design No. V340

July 8, 2021

Bearing Wall Rating — 1 Hr Exposed to Fire on Either Face

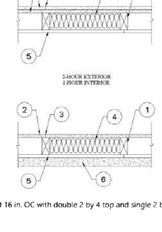
Bearing Wall Rating - 2 Hr Rating Exposed to Fire on Interior Face and 1 Hr Rating Exposed to Fire on Exterior Face (See Item 2)

Bearing Wall Rating - 2 Hr Rating Exposed to Fire on Exterior Face and 1 Hr Rating Exposed to Fire on Interior Face (See Item 6)

For Wood Studs, Finish Rating — 4 min (Exposed to Fire on Exterior Face)

Loaded Per 2012 NDS Supplement, ASD Method, Wall Braced by Sheathing, 40% of Design Load Applied to Wall
This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**



1. **Wood Studs** — Nom 2 by 4 in., spaced 16 in. OC with double 2 by 4 top and single 2 by 4 in. bottom plates. Studs effectively firestopped.

2. **Gypsum Board* — Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305.** **1 Hr rating** - Nom. 5/8 in. thick, 4 ft. wide, applied vertically, and nailed to studs and bearing plates 7 in. OC with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam. and 1/4 in. diam. head. Vertical joints centered over studs and staggered min. 1 stud cavity from the vertical joints of the building units (Item #5). **2 Hr rating** - two layers required, base layer nailed 6 in. OC. with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam. and 1/4 in. diam. head. The face layer nailed to the studs and bearing plates over the base layer, 8 in. OC with 8d cement coated nails, 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam. head. Vertical joints in adjacent layers (multilayer systems) staggered one stud cavity.

3. **Joints and Nail Heads** — Wallboard joints covered with tape and joint compound. Nail heads covered with joint compound.

4. **Batts and Blankets*** — Faced or unfaced mineral fiber insulation, 3-1/2 in. thick, minimum 2.87 pcf, friction fit in the wall cavity between stud, plates.
See **Batts and Blankets*** (BZJZ) category for names of Classified manufacturers.

5. **Building Units* —** Building units placed with the laminate face against or laminate face away from, and nailed to, the wood framing, with 1-7/8 in. long, 6d nails, spaced 6 in. OC. on the perimeter and 12 in. OC. in the field. Vertical joints centered on studs. Horizontal joints backed with nom. 2 by 4 wood blocking.
LOUISIANA-PACIFIC CORP — type Siteguard 1-Side
LOUISIANA-PACIFIC CORP — type LP FlameBlock 1-Side

6. **Exterior Facings —** Required for 2 Hour Rating on the Exterior Face. The following exterior facing shall be installed in accordance with the manufacturer's installation instructions:

6A. **Brick —** Brick veneer, minimum thickness of 3.4 inches, meeting the requirements of local code agencies. Brick veneer attached to the studs with corrugated metal wall ties attached to each stud with 8d cement coated nails, every sixth course of bricks and max 32 in. OC horizontally. One in. air space provided between brick veneer and sheathing.

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**

Last Updated on 2021-07-08

REVISION	
No.	REVISION
1	REVIEW CYCLE 1

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE

Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

heyoh
DESIGN + DEVELOPMENT

LOGAN HIGGINS
REGISTERED ARCHITECT
No. 109393
STATE OF TENNESSEE
Approved

CHECKED BY:	SRD/LH
DRAWN BY:	AL/SRD
11.19.2024	
As indicated	

SHEET
A601
10 OF 12
SCHEDULE + DIAGRAMS

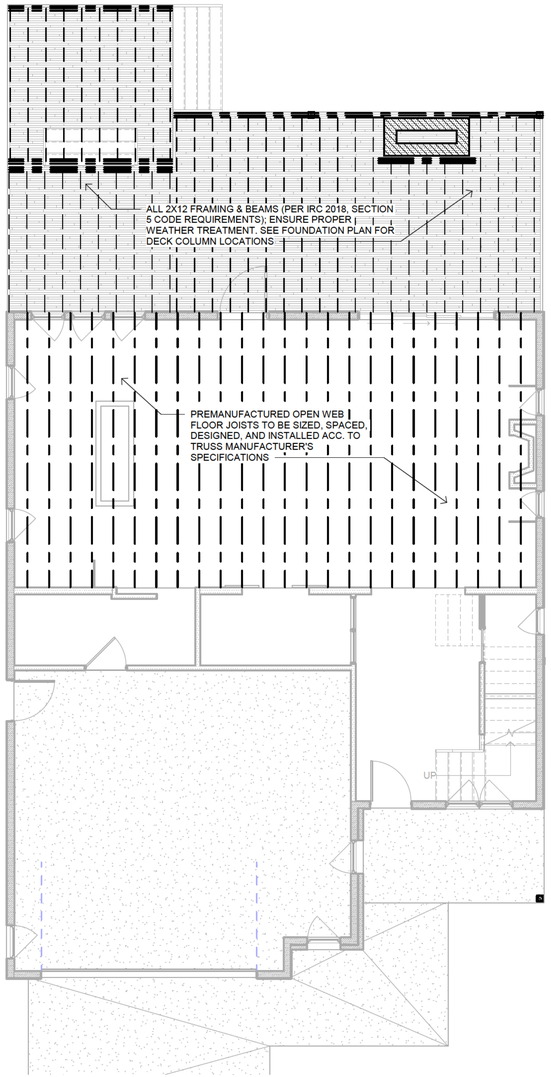
FRAMING GENERAL NOTE:

FLOOR & ROOF STRUCTURE TO BE SIZED AND DESIGNED BY ROOF TRUSS MANUFACTURER.

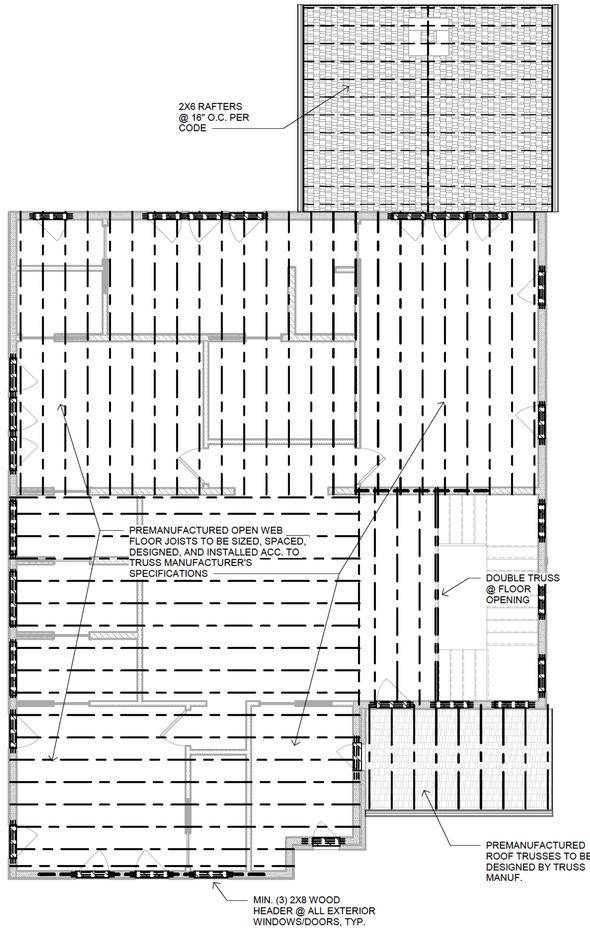
MANUFACTURER'S DRAWINGS AND SPECIFICATIONS MUST BE KEPT ON SITE FOR FIELD INSPECTIONS.

MANUFACTURER MUST NOTIFY ARCHITECT & CONTRACTOR IF ADDITIONAL REINFORCEMENT IS REQUIRED.

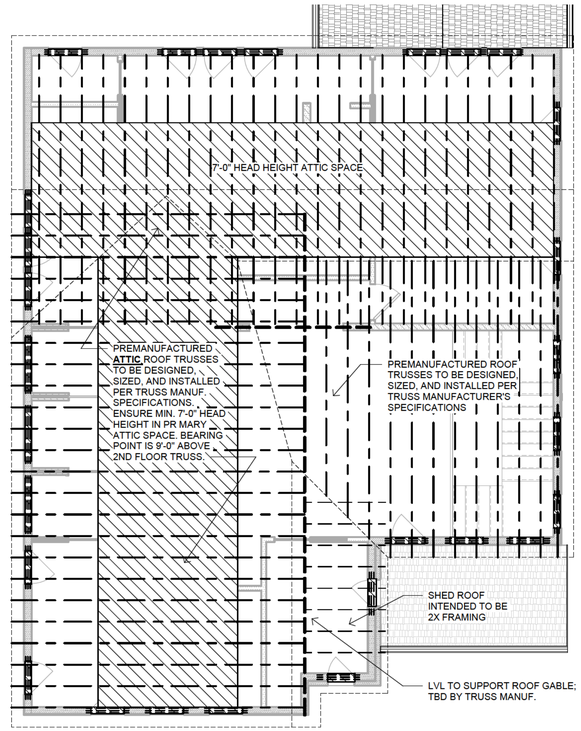
THESE DRAWINGS ARE FOR DIAGRAMMATIC PURPOSES ONLY.



1 A701 GROUND FLOOR FRAMING DIAGRAM
3/16" = 1'-0"



2 A701 SECOND FLOOR FRAMING DIAGRAM
3/16" = 1'-0"



3 A701 ROOF FRAMING PLAN DIAGRAM
3/16" = 1'-0"

REVISION	
No.	REVISION

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION SINGLE FAMILY RESIDENCE

Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

heyo DESIGN + DEVELOPMENT

OGAN HIGGINS REGISTERED ARCHITECT PLANTATION, FLORIDA No. 106995 STATE OF TENNESSEE

CHECKED BY:	SRD/LH
DRAWN BY:	AL/SRD
10.30.2024	
3/16" = 1'-0"	

SHEET
A701
11 OF 12
STRUCTURAL DIAGRAMS

GENERAL NOTES REGARDING STRUCTURAL ELEMENTS

DESIGN CODES & SPECIFICATIONS

PROJECT STATE: TENNESSEE

BUILDING CODE: 2018 INTERNATIONAL RESIDENTIAL CODE

DESIGN LOADS: ASCE 7-10
"MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES"

CONCRETE CODE: ACI 318-11
"BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"

STEEL CODE: AISC 360-10
"SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS"

WOOD CODE: NDS - 2018
"NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH 2012 SUPPLEMENT"

A. ADDITIONAL APPLICABLE CODES AND SPECIFICATIONS ARE LISTED IN THE 2018 IRC.
B. MATERIAL PROPERTIES, AS STATED IN THESE CONSTRUCTION DOCUMENTS, ARE BASED UPON MATERIALS CURRENTLY AVAILABLE FOR CONSTRUCTION AND MAY NOT CORRESPOND WITH TABLES PROVIDED IN THE CODES AND SPECIFICATIONS LISTED ABOVE. WHERE POSSIBLE, THESE CODES HAVE BEEN USED IN THEIR ENTIRETY. WHERE THESE CODES REFERENCE OBSOLETE INFORMATION, INFORMATION BASED UPON CURRENT INDUSTRY STANDARDS HAS BEEN SUBSTITUTED AS NECESSARY.

DESIGN LOADS:

STRUCTURAL DESIGN CODES: 2018 EDITION OF IBC & ASCE 7-10

LIVE LOADS:	FLOOR:	ROOF:
A. ROOF	--	20 psf
B. ELEVATED SLABS	100 psf	--
C. RESIDENTIAL FLOOR	40 psf	--

DRAWINGS

A. CHANGES TO THE CONTRACT DOCUMENTS SHALL BE CLOUDED ON SHOP DRAWINGS OR REQUESTED IN WRITING. THE CONTRACTOR IS LIABLE FOR ANY DEVIATIONS UNLESS REVIEWED AND ACKNOWLEDGED BY THE HEYOH OR CONTRACTED ENGINEERS. SHOP DRAWING SUBMITTALS SHALL BE CHECKED FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS.
B. ALL STRUCTURAL OPENINGS AROUND OR AFFECTED BY MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SHALL BE VERIFIED WITH EQUIPMENT PURCHASED BEFORE PROCEEDING WITH STRUCTURAL WORK AFFECTED.
C. HEYOH LLC OR ANY OF ITS EMPLOYEES SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, TECHNIQUES, PROCEDURES, OR SEQUENCES FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY OTHER PERSONS PERFORMING THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
D. RE: ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EMBEDS,OPENINGS, SLEEVES, ETC NOT SHOWN ON THE STRUCTURAL DRAWINGS.

EXISTING CONDITIONS:

A. IN ANY SITUATION WHERE EXISTING CONDITIONS AND/OR STRUCTURES ARE TO BE CONSIDERED, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND IN THE CASE OF ANY DISCREPANCIES, CONTRACTOR SHALL NOTIFY HEYOH OR ENGINEER IMMEDIATELY.

BUILDING SYSTEMS

A. CONTRACTOR SHALL PROVIDE ANY NECESSARY BRACING & SHORING AS REQ'D. UNTIL BLDG. SYSTEMS HAVE BEEN COMPLETED. STRUCTURE SHALL NOT BE CONSIDERED STABLE UNTIL ALL STRUCTURAL ELEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

FOUNDATIONS

A. THE FOUNDATION DESIGN IS BASED UP AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF FOR SPREAD AND STRIP FOOTINGS. CONTRACTOR IS RESPONSIBLE FOR ENGAGING A GEOTECHNICAL TESTING AGENCY TO VERIFY ASSUMED ALLOWABLE BEARING PRESSURE AND TO ENSURE THAT ANTICIPATED TOTAL SETTLEMENT WILL NOT EXCEED 1".
B. COORDINATE ALL FOOTING STEPS W/ UTILITIES.
C. IF FOOTING ELEVATIONS SHOWN OCCUR IN DISTURBED, UNSTABLE, OR UNSUITABLE SOIL, THE ENGINEER SHALL BE NOTIFIED.
D. CONTRACTOR TO COORDINATE LOCATION AND SIZE OF FOOTING STEPS AND SHOULD ADJUST AS REQUIRED TO MAINTAIN 1'-0" MINIMUM COVER OVER TOP OF FOOTING AND MEET LOCAL FROST DEPTH CRITERIA.

CONCRETE

A. UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
B. SLAB-ON-GRADE, ALL CONCRETE EXPOSED TO WEATHER, CONCRETE OVER METAL DECKS & ALL CONCRETE WALLS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.
C. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE LIMESTONE AGGREGATE AND ENTRAINED AIR.
D. LIMIT AIR CONTENT TO 3% FOR SLAB-ON-GRADE CONCRETE
E. MAXIMUM W/C RATIO FOR SLAB-ON-GRADE SHALL BE 0.50.
F. MAXIMUM W/C RATIO FOR ALL OTHER CONCRETE SHALL BE 0.55
G. PROVIDE 3/4" CHAMFER AT ALL EXPOSED CORNERS OF BEAMS, WALLS, ETC.
H. ALL SLAB-ON-GRADE CONSTRUCTION SHALL FOLLOW THE RECOMMENDATIONS OF "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION, ACI 302.1R-04"
I. A MIN. 6 mil VAPOR BARRIER SHALL BE PROVIDED BELOW SLAB-ON-GRADE AT ALL LOCATIONS. VAPOR BARRIER SHALL BE LAPPED AND TAPED AS REQUIRED BY MANUFACTURER. RE: ARCH FOR ADDITIONAL VAPOR BARRIER REQUIREMENTS.
J. UNLESS NOTED OTHERWISE BY STRUCTURAL DOCUMENTS, MINIMUM COVER FOR REINFORCING SHALL BE AS FOLLOWS:
   a. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH_____3"
   b. EXPOSED TO EARTH OR WEATHER
      #5 OR SMALLER____________________________________1 1/2"
      #6 OR LARGER_____________________________________2"
   c. NOT EXPOSED TO EARTH OR WEATHER OR IN CONTACT WITH GROUND
      SLABS, WALLS, JOISTS
         #11 OR SMALLER____________________________3/4"
         ALL OTHER________________________________1 1/2"
      BEAMS, COLUMNS
         PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS__1 1/2"

REINFORCING STEEL

A. WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185. WIRE FABRIC LOCATED IN CONCRETE SLABS SHALL BE LOCATED IN THE CENTER OF THE SLAB, U.N.O. BY STRUCTURAL DOCUMENTS. SUPPORTS USED SHALL BE SPACED A MAXIMUM OF 3'-0" O.C. IN ANY DIRECTION. ALL OTHER WIRE FABRIC SHALL MEET THE MINIMUM COVER REQUIREMENTS AS LISTED UNDER THE CONCRETE SECTION OF THIS SHEET. ALL WELDED WIRE FABRIC SHALL BE LAPPED ON CROSS WIRE SPACING PLUS 6" (10", MIN)
B. REINFORCING STEEL SHALL COMPLY WITH ASTM A615 GRADE 60 WITH THE FOLLOWING REQUIREMENTS: (a) ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED 78 ksi. RETESTS SHALL NOT EXCEED THIS VALUE BY MORE THAN ADDITIONAL 3000 psi, (b) Fu / Fy SHALL NOT BE LESS THAN 1.25. (Fy = ACTUAL YIELD TENSILE STRENGTH, Fu = ACTUAL ULTIMATE TENSILE STRENGTH)
C. REINFORCING STEEL AND ACCESSORIES SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE A.C.I. DETAILING MANUAL.
D. CONCRETE: ALL TENSION REINFORCEMENT LAPS SHALL BE PER THE CONCRETE LAP SCHEDULE. LAP COMPRESSION REINFORCEMENT 22 BAR DIAMETERS (18" MIN.). REINFORCING SHALL BE CONTINUOUS AROUND CORNERS AND INTERSECTIONS.
E. ALL REINFORCEMENT SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES IN CONFORMANCE WITH CRSI MANUAL OF STANDARD PRACTICE AND ACI 315 DURING THE PLACING OF CONCRETE.
F. ALL HOOKS IN REINFORCEMENT SHALL BE AN ACI STANDARD HOOK, UNLESS NOTED OTHERWISE.
G. WELDING REINFORCEMENT IS NOT PERMITTED UNLESS USING ASTM A706 GRADE 60

BRACING CONCRETE AND MASONRY WALLS

A. CONTRACTOR SHALL PROVIDE ANY NECESSARY TEMPORARY BRACING FOR ALL WALLS BACK FILLING SHALL NOT OCCUR UNTIL PERMANENT LATERAL RESTRAINTS ARE INSTALLED.

TIMBER

A. ALL TIMBER MEMBERS SHALL BE DOUGLAS FIR-LARCH NO.1 & BETTER OR EQUAL. ALLOWABLE WOOD STRESSES AS PROVIDED IN THE NATIONAL DESIGN STANDARD FOR WOOD CONSTRUCTION (NDS), SUPPLEMENT, TABLE 4D.
B. THE DESIGN AND CONSTRUCTION OF TIMBER MEMBERS AND CONNECTIONS SHALL FOLLOW ALL REQUIREMENTS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC).
C. ALL EXTERIOR TIMBER TO BE PROTECTED FROM WEATHER EXPOSURE.

STRUCTURAL STEEL:

A. ALL ANCHOR BOLTS SHALL BE ASTM F1554-GR36, UNLESS NOTED OTHERWISE.
B. PROVIDE MIN. 1-1/2" NON-SHRINK GROUT UNDER COLUMN BASE PLATES, U.N.O. FABRICATOR SHALL SUPPLY ADEQUATE GROUT BED FOR INSTALLATION AND ADJUSTMENT OF LEVELING NUTS.
C. ALL PLATES AND ANGLES SHALL CONFORM TO ASTM A36. ALL STRUCTURAL STEEL SHAPES SHALL CONFORM TO ASTM A992, GRADE 50. RECTANGULAR HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE B WITH YIELD STRENGTH = 46 KSI. ROUND HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE B WITH YIELD STRENGTH = 42 KSI.
D. ALL WELDS SHALL BE MADE IN ACCORDANCE WITH THE LATEST PRACTICES OF A.W.S. USE E-70XX SERIES ELECTRODES.
E. ALL STEEL, INCLUDING FASTENERS, EXPOSED TO WEATHER SHALL BE HOT DIP GALVANIZED.
F. WELDING SHALL BE PERFORMED BY OPERATORS QUALIFIED IN ACCORDANCE WITH AWS TESTS FOR THE TYPES OF WELDING REQUIRED FOR THIS PROJECT. ALL WELDERS MUST BE CERTIFIED FOR THE TYPE OF WELDING SPECIFIED AND SHALL BE IN ACCORDANCE WITH AN APPROVED WPS. ALL QUALITY PROCEDURES AND PERSONNEL SHALL BE IN ACCORDANCE WITH AWS D1.1.

WOOD FRAMING

A. THE FOLLOWING NOTES SHALL APPLY TO ALL WOOD FRAME APPLICATIONS, U.N.O. ELSEWHERE IN THESE CONSTRUCTION DOCUMENTS.
B. ALL SHEARWALL AND BEARING WALL WOOD FRAMING (INCLUDING HEADERS) SHALL BE NO. 2 K.D. SOUTHERN PINE OR EQUAL. ALLOWABLE WOOD STRESSES AS PROVIDED IN THE NATIONAL DESIGN STANDARD FOR WOOD CONSTRUCTION (NDS), SUPPLEMENT, TABLE 4B INCLUDING ALL ADDENDA. ALL REMAINING WOOD FRAMING SHALL BE CONTRACTOR'S CHOICE, U.N.O.
C. FRAMING CONNECTIONS FOR 2x WOOD FRAMING SHALL USE SIMPSON FRAMING FASTENERS OR EQUAL. WHERE FRAMING CONNECTORS ARE NOT SHOWN USE THE MINIMUM FASTENERS AND NAILING PATTERNS SHOWN ON THE GENERAL NOTES SHEET AND IN ACCORDANCE WITH CHAPTER 23 OF THE BUILDING CODE. IN THE EVENT OF ANY DISCREPANCIES WITH BETWEEN THE BUILDING CODE AND THE GENERAL NOTES SHEET, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
D. PLYWOOD ROOF SHEATHING SHALL BE APA RATED SHEATHING, MIN. 5/8" THICKNESS, TYP. U.N.O.
E. PLYWOOD WALL SHEATHING SHALL BE APA RATED SHEATHING, MIN. 7/16" THICKNESS, TYP. U.N.O.
F. ALL EXTERIOR WALL AND ROOF SHEATHING SHALL BE EXPOSURE I OR EXTERIOR GRADE
G. PLYWOOD ROOF SHEATHING SHALL BE FASTENED TO WOOD FRAMING MEMBERS TO ACT AS AN UNBLOCKED PLYWOOD DIAPHRAGM. FASTEN PLYWOOD TO FRAMING MEMBERS WITH 8d NAILS SPACED AT 6" ON CENTER MAXIMUM AT ALL SUPPORTED EDGES AND 12" O.C. WITHIN THE FIELD OF THE PANEL, U.N.O. FASTENER PENETRATION INTO WOOD FRAMING SHALL BE 1 1/2" MINIMUM. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO THE FRAMING MEMBERS, U.N.O.
H. ALL WOOD FRAMING AND RELATED COMPONENTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.
I. STUDS SHALL HAVE FULL BEARING ON A 2" NOMINAL OR LARGER PLATE OR SILL. PLATE OR SILL WIDTH TO EQUAL OR EXCEED STUD WIDTH.
J. COMBUSTIBLE FRAMING SHALL BE A MINIMUM OF 2", BUT SHALL NOT BE LESS THAN THE DISTANCE SPECIFIED IN CHAPTER 21 OF THE BUILDING CODE AND THE INTERNATIONAL MECHANICAL CODE, FROM FLUES, CHIMNEYS AND FIREPLACES, AND 6" AWAY FROM FLUE OPENINGS.
K. WOOD COLUMNS AND POSTS SHALL BE FRAMED TO PROVIDE FULL END BEARING.
L. ALL FOUNDATION PLATES/SILLS SHALL BE BOLTED TO THE FOUNDATION w/ 1/2" DIA. BOLTS @ 4'-0" O.C. MAX. SIMPSON MASA MUDSILL ANCHORS @ 3'-0" O.C., OR EQ., MAY BE SUBSTITUTED @ EXTERIOR WALLS. MINIMUM OF 2 ANCHORS PER WALL.
M. SILL PLATES SHALL OVERLAP AT CORNERS AND WALL INTERSECTIONS.
N. ALL SLEEPERS AND SILLS SHALL BE MADE OF PRESSURE TREATED WOOD.
O. JOISTS AS USED IN THIS SECTION REFERS TO 2X FRAMING MEMBERS USED AS ROOF RAFTERS OR FLOOR JOISTS. NOTCHES AT JOIST ENDS SHALL NOT EXCEED ONE FOURTH THE DEPTH OF JOIST. HOLES BORED FOR PIPE OR CABLE SHALL BE WITHIN THE MIDDLE THIRD OF THE JOIST DEPTH AND THE DIAMETER OF SUCH HOLES SHALL NOT EXCEED ONE THIRD THE JOIST DEPTH OR 1", WHICHEVER IS GREATER. ALL OTHER REQUIRED HOLES OR NOTCHES MUST BE APPROVED BY STRUCTURAL ENGINEER. CONTRACTOR NOTE: THIS SECTION DOES NOT APPLY TO ENGINEERED WOOD MEMBERS: LVL OR PSL. CONTACT ENGINEER PRIOR TO NOTCHING OR DRILLING IN ENGINEERED WOOD MEMBERS.
P. POST BASES AND CAPS FOR 4X4 AND 6X6 POSTS SHALL BE SIMPSON ABX SERIES AT BASE AND PCX SERIES AT CAP, TYP. U.N.O. EQUIVALENT MANUFACTURERS MAY BE USED.
Q. HEADERS FRAMING INTO THE SIDE OF A COLUMN SHALL BE SUPPORTED WITH A SIMPSON HUCX SERIES CONCEALED HANGER, OR EQ. MODEL, TYP. U.N.O. EQUIVALENT MANUFACTURERS MAY BE USED.
R. PRESSURE TREAT LUMBER IN ACCORDANCE WITH THE MANUAL OF RECOMMENDED PRACTICE OF THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA).
S. ALL NAILS SUBJECT TO WEATHERING TO BE GALVANIZED (TYP. U.N.O.). ALL SHEARWALL NAILS TO BE GALVANIZED, TYP.
T. ALL NAILS SPECIFIED WITHIN DRAWINGS SHALL BE COMMON NAILS (TYP, U.N.O.).

WOOD NAILING SCHEDULE:

A. THIS NAILING SCHEDULE IS TYPICAL UNLESS OTHERWISE NOTED OR DETAILED. ALL NAILS SHALL BE COMMON WIRE NAILS (NO CLIPPED HEAD NAILS).

CONNECTION TYPE	NAILING
JOIST TO SILL OR GIRDER, TOE NAIL EACH SIDE	(3) 8d
BRIDGING TO JOIST, TOE NAIL EACH END	(2) 8d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d @ 16" O.C.
TOP PLATE TO STUD, END NAIL	(2) 16d
DOUBLE STUDS, FACE NAIL	16d @ 24" O.C.
DOUBLED TOP PLATES, FACE NAIL	(2) 16d @ 24" O.C.
CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C.
CEILING JOISTS TO PLATE, TOE NAIL	(3) 8d
CONTINUOUS JOISTS TO PLATE, TOE NAIL	(3) 8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	(3) 16d
RAFTER TO PLATE, TOE NAIL	(3) 8d
BUILT-UP CORNER STUDS	16d @ 24" O.C.
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3) 16d
PLYWOOD SHEATHING	SEE PLANS

TYPICAL NAIL SHANK DIAMETER AND LENGTHS

TYPE	DESCRIPTION	6d	8d	10d	16d
COMMON	LENGTH	2"	2 1/2"	3"	3 1/2"
NAILS	DIAMETER	0.113"	0.131"	0.148"	0.162"
	HEAD DIAMETER	0.266"	0.281"	0.312"	0.344"

REVISION	
No.	REVISION

Project:
SAVAGE RESIDENCE

Number: 224010

Client:
GORDON + STACY SAVAGE

Info:
NEW CONSTRUCTION SINGLE FAMILY RESIDENCE

Location:
515 MIMOSA AVENUE
KNOXVILLE, TN 37920

heyoh DESIGN + DEVELOPMENT

LOGAN HIGGINS REGISTERED ARCHITECT STATE OF TENNESSEE

CHECKED BY: SRD/LH
DRAWN BY: AL/SRD
10.30.2024

SHEET
A702
12 OF 12
GEN. STRUCT. NOTES

(1) Download and fill out this form at your convenience.
(2) Sign the application digitally (or print, sign, and scan).

(3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices
OR email it to applications@knoxplanning.org

Reset Form

Planning
KNOXVILLE | KNOX COUNTY

Development Request

DEVELOPMENT
- ☐ Development Plan
- ☐ Planned Development
- ☐ Use on Review / Special Use
- ☐ Hillside Protection COA

SUBDIVISION
- ☐ Concept Plan
- ☐ Final Plat

ZONING
- ☐ Plan Amendment
  - ☐ SP ☐ PA
- ☐ Rezoning

Heyoh Design & Development	Architect
Applicant Name	Affiliation

11-21-2024		File Number(s): 1-B-25-OB
Date Filed	Meeting Date (if applicable)	

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ■ Architect/Landscape Architect

Logan Higgins	Heyoh Design & Development		
Name	Company		
133 S Gay Street, Suite C	Knoxville	TN	37902
Address	City	State	ZIP
865-236-0430	[redacted]		
Phone	Email		

CURRENT PROPERTY INFO

Gordon & Stacy Savage	P.O. Box 363 Knoxville,TN 37901	
Property Owner Name (if different)	Property Owner Address	Property Owner Phone
515 Mimosa Ave, Knoxville, TN, 37920	109AB008	
Property Address	Parcel ID	
KUB	KUB	
Sewer Provider	Water Provider	Septic (Y/N)

COMMUNITY ENGAGEMENT

*Sign and return the **Public Notice & Community Engagement** form with this application.*

*Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). **We require applicants to acknowledge their role in this process.***

View Form

DEVELOPMENT REQUEST

☐ Development Plan ☐ Use on Review / Special Use ☐ Hillside Protection COA

☐ Residential ☐ Non Residential

Home Occupation (specify)

Other (specify) Form Based Code, Level III Alternative Compliance Review

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name

Unit / Phase Number ☐ Combine Parcels ☐ Divide Parcel Total Number of Lots Created

Related Rezoning File Number

☐ Other (specify)

☐ Attachments / Additional Requirements

ZONING REQUEST

☐ Zoning Change Proposed Zoning

☐ Plan Amendment Change Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests

☐ Other (specify)

Pending Plat File Number

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request

☐ Amendment Request *(Comprehensive Plan)*

ADDITIONAL REQUIREMENTS

☐ Use on Review / Special Use *(Concept Plan)*

☐ Traffic Impact Study

☐ COA Checklist *(Hillside Protection)*

Fee 1		Total
1209	$500.00	$500.00
Fee 2		
Fee 3		

AUTHORIZATION

By signing below, I declare under penalty of perjury *the foregoing is true and correct:* ***1)*** *He/she/it is the owner of the property AND* ***2)*** *The application and all associated materials are being submitted with his/her/its consent. If there are additional owners or options holders, each additional individual must sign the Property Owners/Option Holders Form.*

Applicant Signature

Logan Higgins, Architect

Print Name / Affiliation

11-22-24

Date

865-236-0430

Phone Number

[redacted]

Email

Gordon Savage

Gordon Savage (Nov 22, 2024 15:11 EST)

Property Owner Signature

Gordon Savage

Please Print

Date Paid

(1) Download and fill out this form at your convenience
(2) Sign the application digitally

(3) Email applications@knoxplanning.org and include this signed form with your completed application

Reset Form

Planning
KNOXVILLE | KNOX COUNTY

Public Notice and Community Engagement

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged $10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s).

Acknowledgement

***By signing below**, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.*

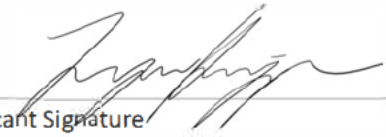
12-27-24 — Date to be Posted

01-10-25 — Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

☐ Yes ☐ No

■ No, but I plan to prior to the Planning Commission meeting



Applicant Signature

Logan Higgins — Applicant Name

11-25-24 — Date

1-B-25-OB
FILE NUMBER