



# DEVELOPMENT PLAN/ USE ON REVIEW REPORT

▶ **FILE #:** 2-B-25-UR  
2-C-25-DP

**AGENDA ITEM #:** 30  
**AGENDA DATE:** 2/13/2025

▶ **APPLICANT:** VENTURE AT LASTER FARMS LLC  
**OWNER(S):** Candy Laster

**TAX ID NUMBER:** 130 175 [View map on KGIS](#)

**JURISDICTION:** County Commission District 6

**STREET ADDRESS:** 11471 OUTLET DR

▶ **LOCATION:** North side of Outlet Dr, east of Snyder Rd

▶ **APPX. SIZE OF TRACT:** 18.31 acres

**GROWTH POLICY PLAN:** Farragut Urban Growth Boundary

**ACCESSIBILITY:** Access is via Outlet Drive, a minor collector with a 45 ft pavement width within a right-of-way which varies from 80 ft to 105 ft.

**UTILITIES:** Water Source: First Knox Utility District  
Sewer Source: First Knox Utility District

**FIRE DISTRICT:** Rural Metro Fire

**WATERSHED:** Turkey Creek

▶ **ZONING:** OB (Office, Medical, and Related Services)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Multi-dwelling development

**DENSITY PROPOSED:** 17.48 du/ac

**HISTORY OF ZONING:** The property was rezoned from PR (Planned Residential) up to 12 du/ac to OB (Office, Medical and Related Services) in April 2024 (2-F-24-RZ).

**SURROUNDING LAND USE AND ZONING:**  
 North: Agriculture/forestry/vacant land - A (Agricultural)  
 South: Agriculture/forestry/vacant land, commercial - FAR: OD-RE/E (Farragut: Outlet Drive Regional Entertainment and Employment District)  
 East: Single family residential - RA (Low Density Residential)  
 West: Multifamily residential - PR(k) (Planned Residential) up to 18 DU/AC, with conditions

**NEIGHBORHOOD CONTEXT:** This area is characterized by a mix of residential and commercial land uses. The residential uses are a mix of single family dwelling units on suburban lots and multifamily dwelling units. The commercial uses are auto-oriented retail and entertainment operations.

**STAFF RECOMMENDATION:**

▶ **Approve the use on review for a multi-dwelling development with up to 320 units and a maximum building height of 52 ft for the 4-story structures as shown in the development plan, subject to 10 conditions.**

- 1) Connecting to sanitary sewer and meeting other relevant utility provider requirements.
- 2) Implementing the recommendations of the Venture at Laster Farms Multifamily Traffic Impact Study (TIS) by Cannon & Cannon, revised 1/20/2025, as required by Knox County Engineering and Public Works and the Town of Farragut (Exhibit B). A Memorandum of Understanding (MOU) with Knox County Engineering and Public Works may be required for work within the public rights-of-way, per Chapter 54, Article V of the Knox County Code (Ord. O-23-4-102). If the applicant does not enter into a MOU that includes improvements within the Town of Farragut rights-of-way, a letter of credit in dollar amount provided by the Town Engineer for the road and traffic signal modifications shall be submitted before the issuance of building permits.
- 3) A maximum of 100 certificates of occupancy may be issued before the road and traffic-related improvements are completed and operational at the intersection of N. Campbell Station Road at Snyder Road.
- 4) If during design plan approval or construction of the development, it is discovered that unforeseen off-site improvements within the right-of-way are necessary, the developer will either enter into a memorandum of understanding (MOU) with the County for these improvements or reimburse the County for their direct expenses (if completed by County crews) to make corrections deemed necessary.
- 5) Providing a Type B landscape screen (Exhibit C) along the east and north boundary lines, as shown on the landscape plan. Existing trees that remain can count toward this requirement. The Planning staff may approve minor modifications in keeping with the landscape plan before building permits are issued.
- 6) Meeting all application requirements of the Knox County Stormwater Management Ordinance (Chapter 26, Article VI of the Knox County Code), including but not limited to obtaining approval from the director of the Department of Engineering and Public Works to modify or fill any sinkholes (closed contours). If one or more closed contours cannot be filled, resulting in a modification of the site plan, a new Use on Review and Development Plan application may be required. Modifying the site plan does not include eliminating residential structures and associated driveways and parking if all other elements of the proposed development remain the same, including the number of dwelling units proposed in the other portions of the site. The elimination of a residential structure will result in a decrease in the maximum number of dwelling units allowed based on the units in the structure shown on the plan.
- 7) Obtaining all necessary approvals and permits from the Town of Farragut, including but not limited to the intersection improvements at the intersection of Snyder Road and N. Campbell Station Road and the westbound right turn lane on Outlet Drive at the site access point.
- 8) If the Hayes Road right-of-way is not closed, a revised site plan with updated zoning compliance notes must be submitted to and approved by Planning staff before building permits are issued. Planning staff may approve adjustments to the alignment of the entrance driveway if it does not result in the driveway being moved closer to adjacent properties to the south and east.
- 9) Meeting all applicable requirements of Knox County Engineering and Public Works.
- 10) Meeting the requirements of the Knox County Zoning Ordinance.

► **Approve the development plan for a multi-dwelling development with up to 320 units as shown in the development plan, subject to 1 condition.**

1) Meeting all the conditions of the associated use on review application (2-B-25-UR).  
 With the conditions noted, this plan meets the requirements for approval in the OB (Office, Medical, and Related Services) zoning district and the criteria for approval of a development plan.

With the conditions noted, this plan meets the requirements for approval in the OB (Office, Medical, and Related Services) zoning district and the criteria for approval of a use on review.

**COMMENTS:**

This proposal is for a 320-unit multi-family apartment complex on 18.31 acres and at a density of 17.48 du/ac. The development will include five 4-story and seventeen 2-story residential structures. The 4-story structures are located in the southwestern portion of the site, furthest away from the existing single-family houses to the east, and the large agricultural property to the north. The 2-story structures are townhouse-style units, where each unit has individual entrances and garages. The amenity features are located in the middle of the site, which includes a leasing office/clubhouse, outdoor pool, and fitness/cabana building. The property was rezoned from PR (Planned Residential) up to 12 du/ac to OB (Office, Medical and Related Services) in April 2024 (2-F-24-RZ).

The OB zone allows any use permitted and as regulated in the RB (General Residential) zone. The RB zone



allows multifamily uses with a density above 12 du/ac as a use permitted on review subject to Article 5.13.15, which requires a development plan (subsection B). Therefore, this request requires approval of a use on review and the development plan.

This proposal assumes that Knox County will close the Hayes Road right-of-way, which runs along the southeast boundary of the development. The subject property will obtain half of that right-of-way (approximately 0.235 acres), with the property to the south obtaining the other half. If the right-of-way is not closed, the development will still meet the minimum standards of the zoning ordinance.

#### TRANSPORTATION IMPACT STUDY (TIS)

The TIS evaluated the development's impacts at the proposed access point on Outlet Drive, the Outlet Drive intersections at Lovell Road and Snyder Road, and the intersection of N Campbell Station Road and Snyder Road. The TIS makes the following recommendations:

- 1) Addition of an exclusive northbound right turn lane with storage of 100 feet and a taper length of 140 feet at the intersection of Campbell Station Road at Snyder Road; this will require removal of the concrete island and pole location to outside the intersection. This turn lane would fall within the Town of Farragut.
- 2) Replace a 3 section signal head for the northbound approach of Campbell Station Road at Snyder Road with a 5 section right turn signal head.
- 3) Addition of a westbound right turn lane with storage of 75 feet and a taper of 140 feet at the intersection of Outlet Drive at the site access. This turn lane would fall within both Knox County and the Town of Farragut.
- 4) Upon full buildout of the development, update the traffic signal timing at the intersections of Campbell Station Road at Snyder Road and Lovell Road at Outlet Drive. Each of these signals are in coordinated systems, so splits and offsets can be adjusted, but the overall signal system timing may remain.
- 5) Ensure that grading, landscaping, signing, and other site features do not restrict lines of sight exiting the development along Outlet Drive.

#### CLOSED CONTOURS

A closed contour on a topography map is a depression that may be an indication of a potential sinkhole. The topography layer on KGIS shows several closed contours on the site, the largest of which is labeled as a sinkhole and located in the middle of the circular driveway near the entrance (see Exhibit E). The development proposes to use this sinkhole for stormwater retention, which requires approval from the Tennessee Department of Environment and Conservation. In order to fill the other closed contours, a geotechnical study must be prepared by a professional engineer and be accepted and approved by the director of engineering and public works. If any of the closed contours are not approved to be filled, it could significantly impact the site design, requiring a new approval from the Planning Commission.

#### DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

#### 1) ZONING ORDINANCE

OB (Office, Medical and Related Services)

A. The OB zone allows any use permitted and as regulated in the RB zone, with the exception of height, which is regulated by the OB zone. The RB zone allows multi-family developments with a density between 12-24 du/ac with use on review approval by the Planning Commission.

B. The OB zone allows heights greater than 45 ft with approval by the Planning Commission as a use permitted on review. As a condition of the approval, the Planning Commission may require an increase in setback and/or yard requirements where appropriate (Article 5.51.09). The 4-story structures range in height from 50-52 ft to the midpoint of the roof.

C. The minimum setbacks for residential uses are regulated by the RB zone, which requires a side setback of 12 ft plus an additional 1 ft for each additional 2 ft of building height more than 36 ft. The 4-story structures range in height from 50-52 ft to the midpoint of the roof, resulting in a required side setback of 20 ft (based on the tallest building). The setbacks shown on the plan vary depending on the buildings closest to the subject lot line. The side setback on the western lot line is 20 ft, and on the east lot line it is 12 ft because the 2-story buildings are adjacent to the lot line and the 4-story structures are a significant distance away. The rear setback is based on the 2-story structures nearest to that lot line. However, all buildings would meet the setback of the tallest buildings, if required.

D. The RB zone has a maximum building coverage of 30 percent, and this proposal has 20 percent building coverage.

E. For multi-family developments with a density of 12 du/ac or more on sites of 8 to 20 acres, the RB zone requires 10 percent of the gross development area to be set aside for usable open space and recreational uses. Usable open space is not defined, but it should be accessible to the residents, large enough for passive

or active uses, and, preferably, relatively flat. The development is required to have 1.83 acres of usable open space, and the provided usable open space is 2.0 acres based on the areas highlighted in purple on plan sheet C100.

## 2) KNOX COUNTY COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES

A. A Type B landscape screen is provided along the east and north property boundaries as an enhanced buffer to the lower intensity uses on the adjacent properties, consistent with Implementation Policy 2 to ensure development is sensitive to existing community character.

B. The subject property is located in an area with existing infrastructure that can support the proposed apartment complex, consistent with Policy 6 to promote attainable housing that meets the needs of the current and future residents.

C. The applicant is required to make road improvements as outlined in the TIS, consistent with Policy 9 to coordinate infrastructure improvements with development. It is anticipated that the applicant will enter into a Memorandum of Understanding (MOU) with Knox County for the improvements at the intersection of Snyder Road and N. Campbell Station Road, which is within the Town of Farragut. The applicant will pay for the improvements, and Knox County will coordinate the construction. If the applicant does not enter into an MOU for these improvements, the Town of Farragut may require a letter of credit in a dollar amount provided by the Town Engineer to ensure the completion.

## 3) FUTURE LAND USE MAP

The property is designated as the SMR (Suburban Mixed Residential) place type in the Comprehensive Plan (see Exhibit D). The SMR place type recommends attached residential as a "primary use," which includes duplexes, multiplexes, and townhouses that have the scale of a single family home (1-3 stories).

B. The "Implementing the Future Land Use Map" section in the Comprehensive Plan (page 28) distinguishes the role between the role of the plan and zoning ordinance. It states that the plan describes the range of land uses and development characteristics that are intended and appropriate in an area in the future, and the zoning ordinance defines land uses and development characteristics that are allowed on a specific parcel of land today.

C. The proposed 4-story structures are predominantly located in the southwest portion of the site, near the adjacent apartment complex with structures of similar scale. The 2-story townhouse structures are on the north and east portions of the site, which are compatible in scale with the single family houses to the east.

## 4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

A. The property is within the Town of Farragut Urban Growth Boundary (UGB). The purposes of the UGB designation are to encourage a reasonably compact pattern of development, promote the expansion of the Town of Farragut and Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. – This proposal is consistent with the growth policy plan.

## ----- USE ON REVIEW ANALYSIS -----

### DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10, SECTION 2)

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

#### 1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE COMPREHENSIVE PLAN OF KNOX COUNTY.

A. The property is designated as the SMR (Suburban Mixed Residential) place type in the Comprehensive Plan (see Exhibit D). The SMR place type recommends attached residential as a "primary use", which includes duplexes, multiplexes, and townhouses that have the scale of a single family home (1-3 stories).

B. The "Implementing the Future Land Use Map" section in the Comprehensive Plan (page 28) distinguishes the role between the role of the plan and zoning ordinance. It states that the plan describes the range of land uses and development characteristics that are intended and appropriate in an area in the future, and the zoning ordinance defines land uses and development characteristics that are allowed on a specific parcel of land today.

C. The proposed 4-story structures are predominantly located in the southwest portion of the site, near the adjacent apartment complex with structures of similar scale. The 2-story townhouse structures are on the north and east portions of the site, which are compatible in scale with the single family houses to the east.

D. A Type B landscape screen is provided along the east and north property boundaries as an enhanced buffer

to the lower intensity uses on the adjacent properties, consistent with Implementation Policy 2 to ensure development is sensitive to existing community character.

E. The subject property is located in an area with existing infrastructure that can support the proposed apartment complex, consistent with Policy 6 to promote attainable housing that meets the needs of the current and future residents.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.

A. The OB zone allows any use permitted and as regulated in the RB zone, with the exception of height, which is regulated by the OB zone. The RB zone allows multi-family developments with a density between 12-24 du/ac with use on review approval by the Planning Commission.

B. The OB zone allows heights greater than 45 ft with approval by the Planning Commission as a use permitted on review. As a condition of the approval, the Planning Commission may require an increase in setback and/or yard requirements where appropriate (Article 5.51.09). The 4-story structures range in height from 50-52 ft to the midpoint of the roof.

C. The minimum setbacks for residential uses are regulated by the RB zone, which requires a side setback of 12 ft plus an additional 1-ft for each additional 2 ft of building height more than 36 ft. The 4-story structures range in height from 50-52 ft to the midpoint of the roof, resulting in a required side setback of 20 ft (based on the tallest building). The setbacks shown on the plan vary depending on the buildings closest to the subject lot line. The side setback on the western lot line is 20 ft, and on the east lot line it is 12 ft because the 2-story buildings are adjacent to the lot line and the 4-story structures are a significant distance away. The rear setback is based on the 2-story structures nearest to that lot line. However, all buildings would meet the setback of the tallest buildings, if required.

D. The RB zone has a maximum building coverage of 30 percent, and this proposal has a 20 percent building coverage.

E. For multi-family developments with a density of 12 du/ac or more on sites of 8 to 20 acres, the RB zone requires 10 percent of the gross development area to be set aside for usable open space and recreational uses. Usable open space is not defined, but it should be accessible to the residents, large enough for passive or active uses, and, preferably, relatively flat. The development is required to have 1.83 acres of usable open space, and the provided usable open space is 2.0 acres based on the areas highlighted in purple on plan sheet C100.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATIONS OF BUILDINGS IN THE VICINITY.

A. The proposed 4-story structures are predominantly located in the southwest portion of the site, near the adjacent apartment complex with structures of similar scale. The 2-story townhouse structures are on the north and east portions of the site, which are compatible in scale with the single family houses to the east. The property to the north is agricultural.

B. A Type B landscape screen is provided along the east and north property boundaries as an enhanced buffer to the lower intensity uses on the adjacent properties. In addition, the proposed buildings are at lower elevation than the adjacent uses, providing additional privacy to the adjacent properties.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC CONGESTION OR OTHER IMPACTS WHICH MAY DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. With the proposed building layout, recommended landscape screening, and required road improvements, the proposed multi-family development will not significantly injure the value of adjacent property.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The property has access to Outlet Drive, a major collector street.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no other known uses in the area that could be a potential hazard or create an undesirable environment for the proposed residential use.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

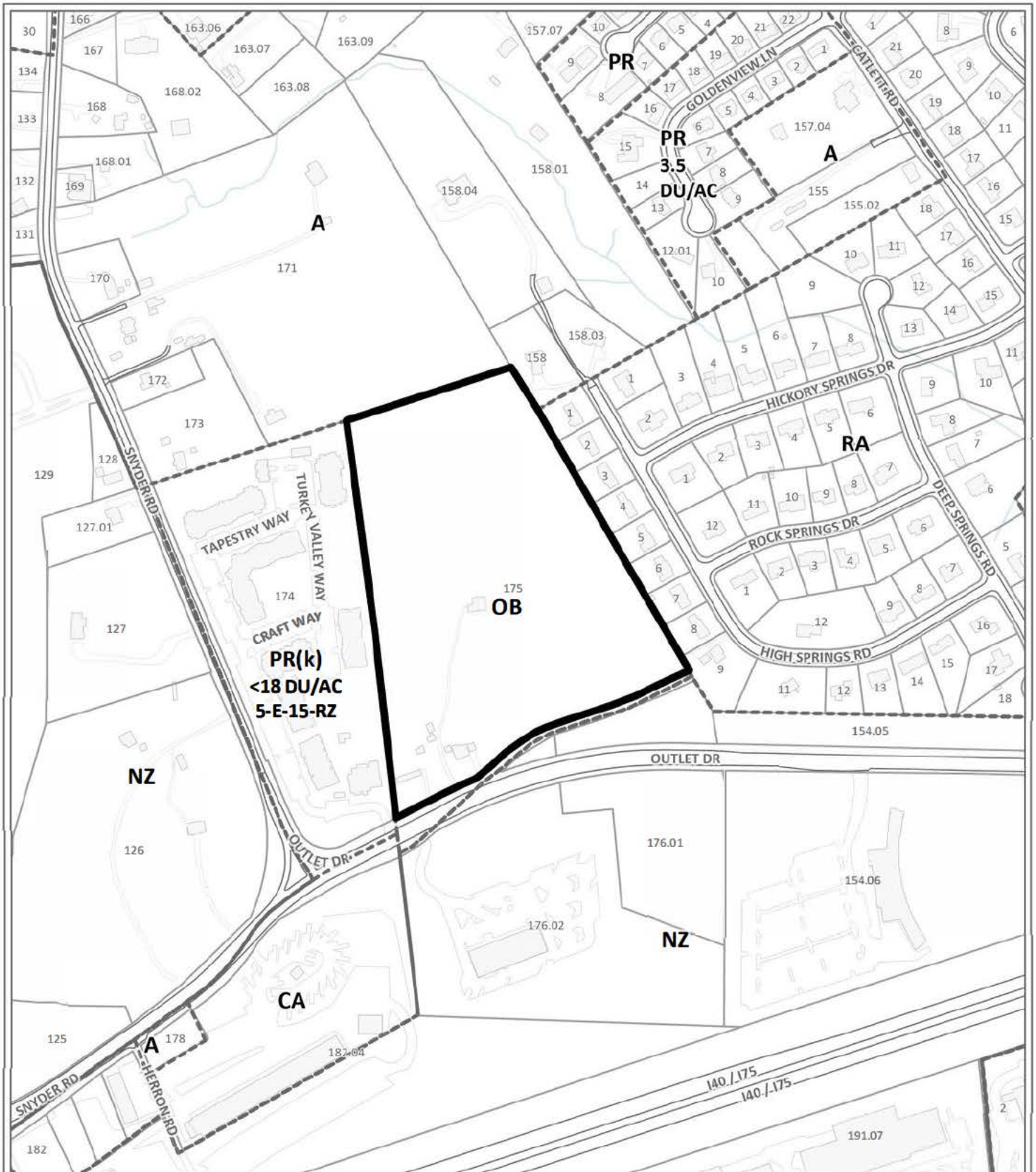
ESTIMATED STUDENT YIELD: 25 (public school children, grades K-12)

Schools affected by this proposal: Farragut Primary/Intermediate, Hardin Valley Middle, and Hardin Valley Academy.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).

The Planning Commission's approval or denial of this use on review request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



**CONCEPT PLAN / DEVELOPMENT PLAN 2-SF-25-C / 2-C-25-DP; 2-B-25-UR**

**Petitioner:** Venture at Laster Farms LLC

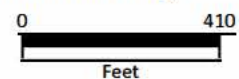


Multi-dwelling development in OB (Office, Medical, and Related Services)

**Original Print Date:** 1/3/2025

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

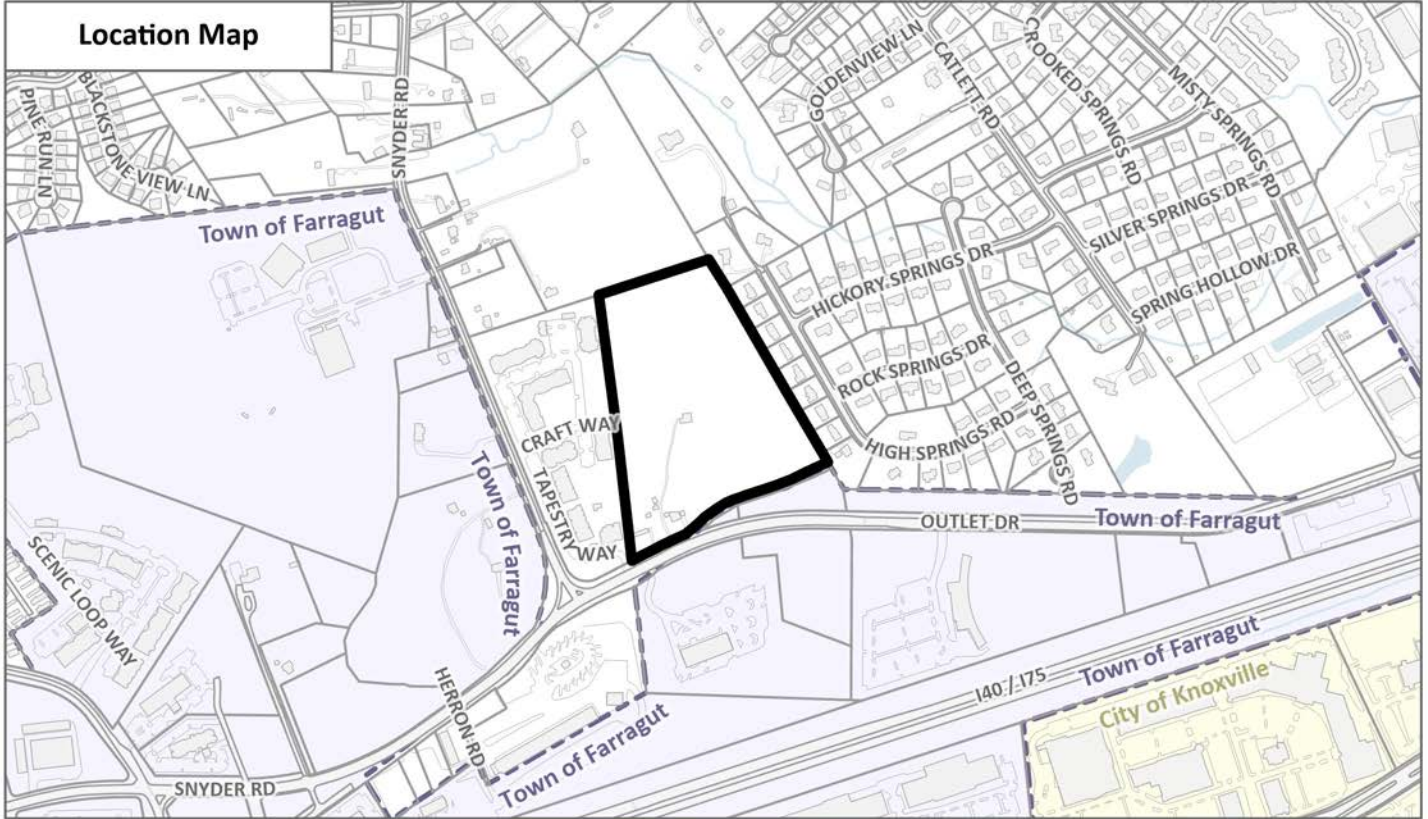
**Map No:** 130  
**Jurisdiction:** County





# Exhibit A. Contextual Images

Location Map



Aerial Map

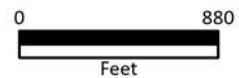


CONTEXTUAL MAPS 1

2-B-25-UR / 2-C-25-DP

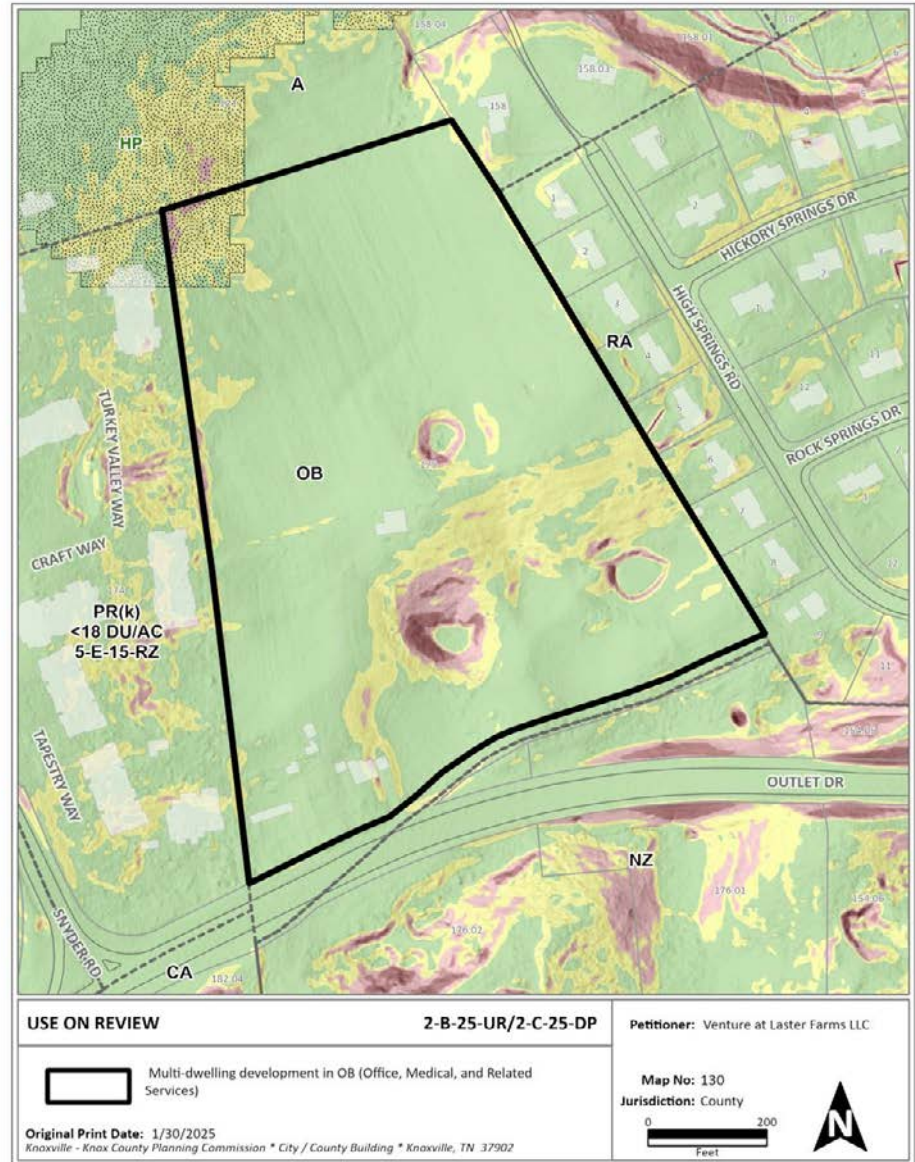


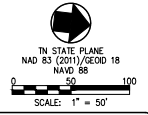
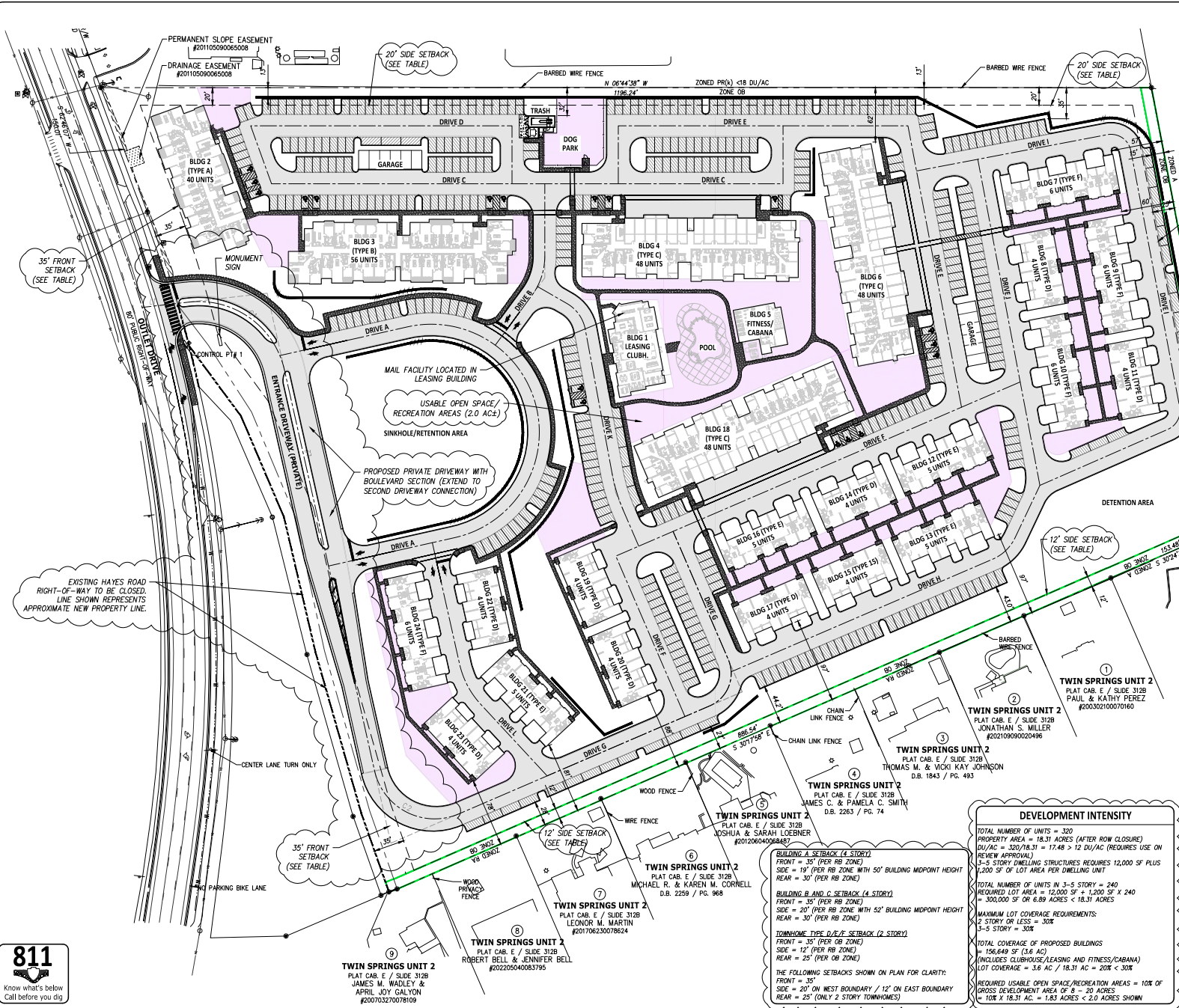
Case boundary





CATEGORY	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Acres)
<b>Total Area of Site</b>	<b>18.07</b>		
Non-Hillside	17.64	N/A	
0-15% Slope	0.05	100%	0.05
15-25% Slope	0.33	50%	0.16
25-40% Slope	0.05	20%	0.01
Greater than 40% Slope	0.00	10%	0.00
Ridgetops			
<b>Hillside Protection (HP) Area</b>	<b>0.4</b>	Recommended disturbance budget within HP Area (acres)	<b>0.2</b>
		Percent of HP Area	<b>51.6%</b>





- PROPOSED TRAFFIC IMPROVEMENTS:**
- ADDITION OF AN EXCLUSIVE NORTHBOUND RIGHT TURN LANE WITH STORAGE OF 100 FEET AND A TAPER LENGTH OF 140 FEET AT THE INTERSECTION OF CAMPBELL STATION ROAD AT SWYDER ROAD. THIS WILL REQUIRE REMOVAL OF THE CONCRETE ISLAND AND POLE LOCATION TO OUTSIDE THE INTERSECTION.
  - REPLACE A 3 SECTION SIGNAL HEAD FOR THE NORTHBOUND APPROACH OF CAMPBELL STATION ROAD AT SWYDER ROAD WITH A 5 SECTION RIGHT TURN SIGNAL HEAD.
  - ADDITION OF A WESTBOUND RIGHT TURN LANE WITH STORAGE OF 75 FEET AND A TAPER OF 140 FEET AT THE INTERSECTION OF OUTLET DRIVE AT THE SITE ACCESS.

ISSUE DESCRIPTION

NO. DATE: 01/24/2025 REVISIONS PER STAFF REVIEW COMMENTS

NO. DATE: 01/27/2025 REVISIONS PER STAFF REVIEW COMMENTS

FOR PLANNING COMMISSION APPROVAL ONLY. NOT TO BE USED FOR CONSTRUCTION.

**FILE NUMBER**  
2-B-25-UR  
2-C-25-DP

Revised 1/24/2025

**VENTURE AT LASTER FARMS**  
11-071 OUTLET DRIVE  
KNOXVILLE, TN 37922

JOE ANN SIMS  
#20106190075266

KIMBERLY & JAY KOSIER  
#200905260076563

**PARKING SUMMARY  
KNOX COUNTY REQUIREMENTS**

REQUIRED SPACES FOR MULTI-FAMILY RESIDENTIAL:  
1.5 SPACES PER DWELLING UNIT FOR THE FIRST 20 UNITS PLUS 1 ADDITIONAL SPACE PER DWELLING UNIT FOR EACH ONE BEDROOM UNIT IN EXCESS OF 20 UNITS.  
PLUS 1.5 SPACES PER DWELLING UNIT FOR EACH TWO (OR MORE) BEDROOM UNITS.

UNIT TABULATION - MULTIFAMILY	
1 BEDROOM UNITS	= 96
2 BEDROOM UNITS	= 132
3 BEDROOM UNITS	= 12
TOTAL MULTIFAMILY	= 240 UNITS
UNIT TABULATION - TOWNHOMES	
2 BED TOWNHOME	= 44
3 BED TOWNHOME	= 36
TOTAL TOWNHOMES	= 80 UNITS
DEVELOPMENT TOTAL UNITS = 320 UNITS (592 BED)	
REQUIRED PARKING:	
1 BEDROOM UNITS (96 PROPOSED)	
1.5 SPACES PER UNIT FOR THE FIRST 20 = 1.5 x 20 = 30 SPACES	
2 OR MORE BEDROOM UNITS (224 PROPOSED)	
1.5 SPACES PER UNIT = 1.5 x 224 = 336 SPACES	
TOTAL REQUIRED: 30 + 78 + 336 = 444 SPACES	
PROVIDED PARKING:	
STANDARD SURFACE SPACES	= 408
ACCESSIBLE SURFACE SPACES	= 18
ATTACHED MULTIFAMILY GARAGE SPACES	= 36
ATTACHED TOWNHOME GARAGE SPACES	= 80
DETACHED MULTIFAMILY GARAGE SPACES	= 12
TOTAL PARKING SPACES PROVIDED:	= 554
(1.74/DU AVERAGE AND 0.94/BED AVERAGE)	
REQUIRED (501-1000) = 2% OF TOTAL = 11 SPACES (2 VAN)	

**DEVELOPMENT INTENSITY**

TOTAL NUMBER OF UNITS = 320  
PROPERTY AREA = 18.31 ACRES (AFTER ROW CLOSURE)  
DU/AC = 320/18.31 = 17.48 > 12 DU/AC (REQUIRES USE ON RENEW APPROVAL)  
3-5 STORY DWELLING STRUCTURES REQUIRES 12,000 SF PLUS 1,200 SF OF LOT AREA PER DWELLING UNIT

TOTAL NUMBER OF UNITS IN 3-5 STORY = 240  
REQUIRED LOT AREA = 12,000 SF + 1,200 SF x 240 = 804,000 SF OR 6.89 ACRES = 18.17 ACRES

MINIMUM LOT COVERAGE REQUIREMENTS:  
2 STORY OR LESS = 30%  
3-5 STORY = 30%

TOTAL COVERAGE OF PROPOSED BUILDINGS  
= 156,849 SF (3.6 AC)  
(INCLUDES CLUBHOUSE/LEASING AND FITNESS/CABANA)  
LOT COVERAGE = 3.6 AC / 18.31 AC = 20% < 30%

REQUIRED USABLE OPEN SPACE/RECREATION AREAS = 10% OF GROSS DEVELOPMENT AREA OF 8 = 20 ACRES  
= 10% x 18.31 AC = 1.83 ACRES < 2.0 ACRES SHOWN

THE FOLLOWING SETBACKS SHOWN ON PLAN FOR CLARITY:

FRONT = 35'  
SIDE = 20" ON WEST BOUNDARY / 12" ON EAST BOUNDARY  
REAR = 25' (ONLY 2 STORY TOWNHOMES)

**811**  
Know what's below  
Call before you dig

10025 Investment Drive, Suite 120  
Knoxville, TN 37932

865.670.8555  
www.cci-corp.com

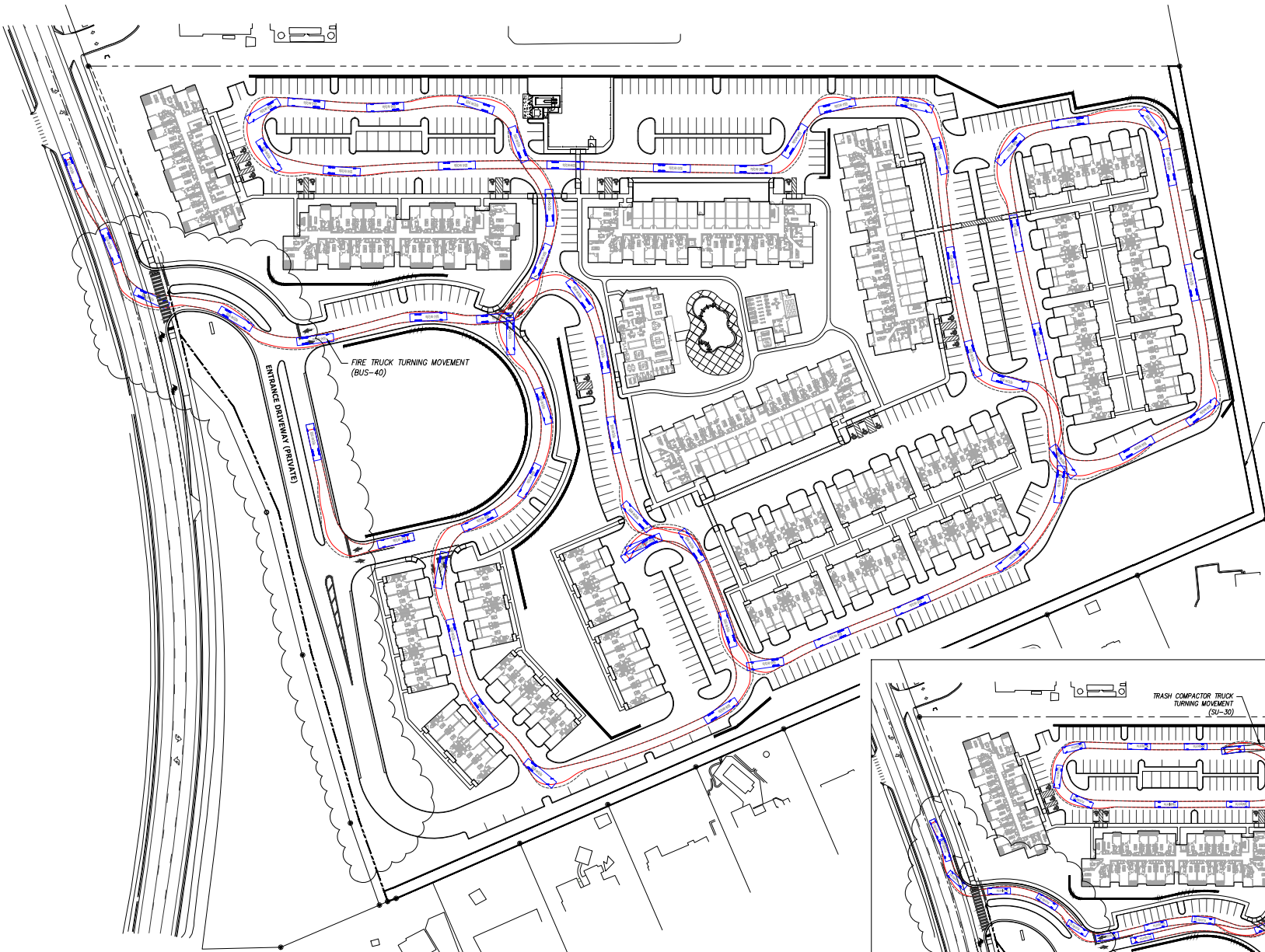
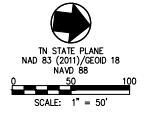
CLIENT:  
VENTURE AT LASTER FARMS  
OWNER LLC  
9820 WESTPOINT DRIVE, SUITE 100  
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000  
DATE: JANUARY 21, 2025  
PW/C: JRL  
DRAWN BY: CO

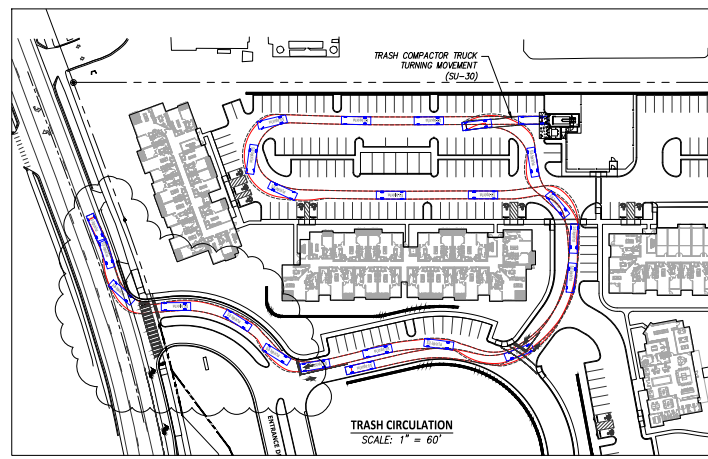
**OVERALL SITE LAYOUT PLAN**

**C100**





**FIRE ACCESS CIRCULATION**  
SCALE: 1" = 50'



**TRASH CIRCULATION**  
SCALE: 1" = 60'

NO.	DATE	ISSUE DESCRIPTION
1	10/21/2025	REVISION PER STAFF REVIEW COMMENTS

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NOT TO BE USED FOR CONSTRUCTION.

**FILE NUMBER**  
**2-B-25-UR**  
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Revised 1/21/2025

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865.670.8555  
www.cci-corp.com

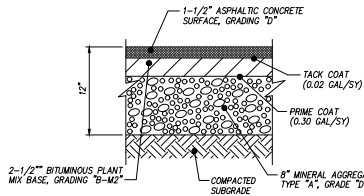
CLIENT:  
**VENTURE AT LASTER FARMS**  
OWNER LLC  
9820 WESTPOINT DRIVE, SUITE 100  
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000  
DATE: JANUARY 21, 2025  
PW/C: JKH  
DRAWN BY: CO

**TURNING MOVEMENTS**

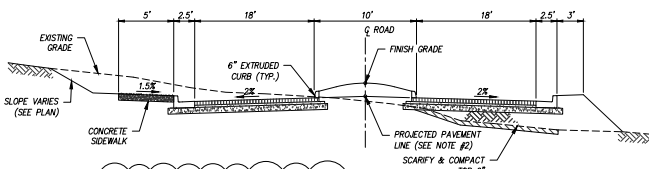
**C101**





01 ASPHALT PAVEMENT SECTION  
N.T.S.

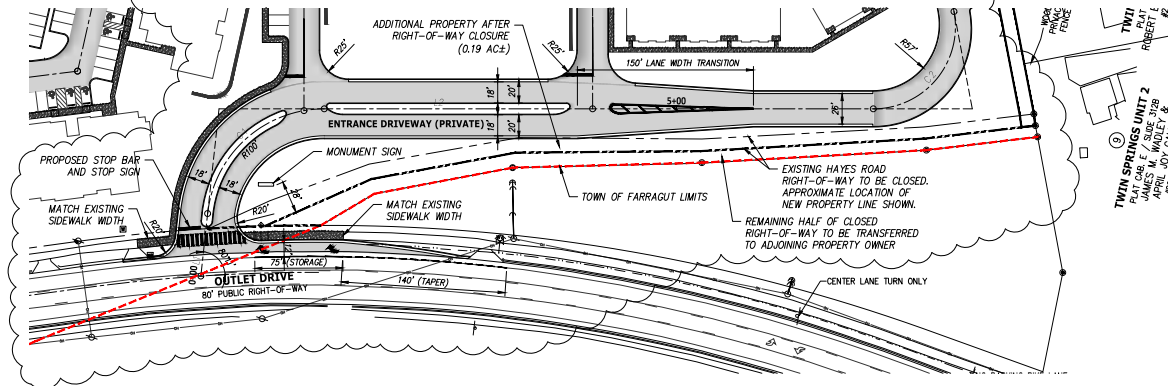
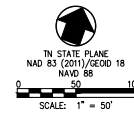
- NOTES:  
1. SEE PAVEMENT SECTION THIS SHEET.  
2. PROFILE REPRESENTS THE PROJECTED CROSS-SLOPE TO THE CENTERLINE OF THE ROAD.



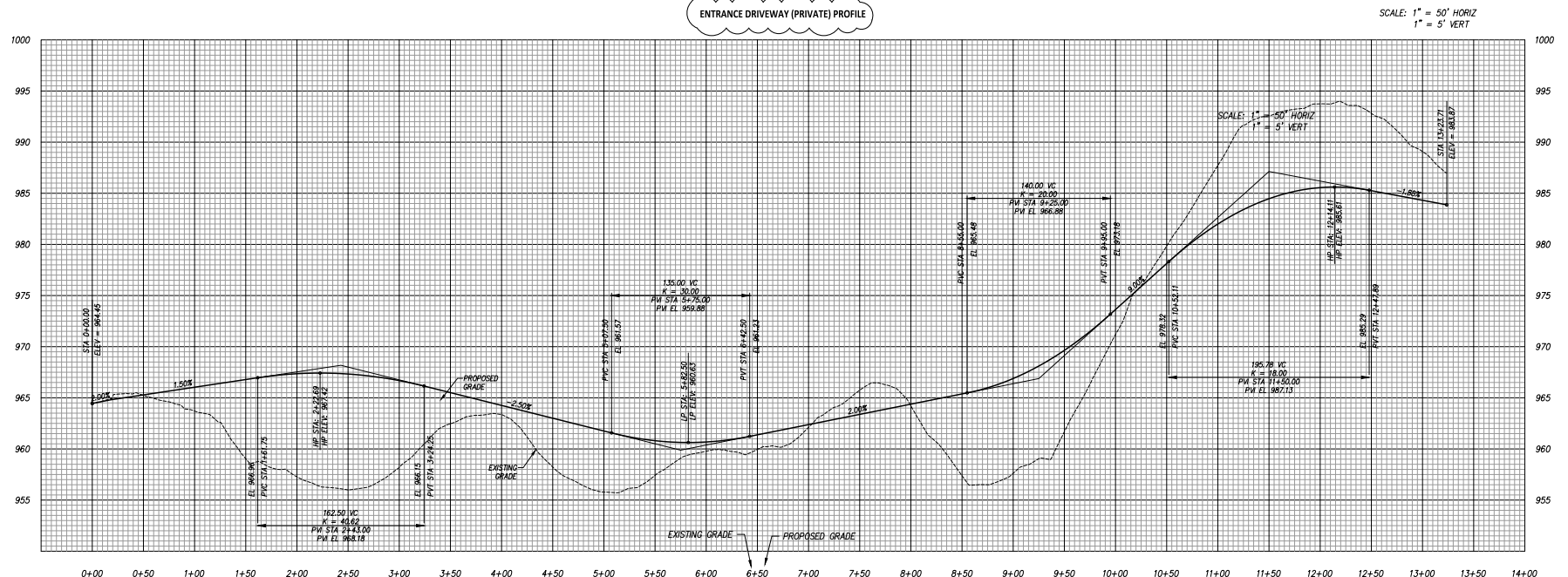
02 TYPICAL BOULEVARD SECTION (PRIVATE)  
N.T.S.

PRIVATE DRIVEWAY HORIZONTAL CURVE DATA TABLE							
CURVE NO.	P.L. COORDINATES	P.C. STATION	P.T. STATION	DELTA ANGLE	RADIUS	CURVE LENGTH	CHORD BEARING
C1	N: 576896.52 E: 2511505.69	0+53.60	1+99.85	083° 47' 43"	100.000'	146.25'	N28° 41' 27.34"W
C2	N: 577099.97 E: 2511971.16	6+67.72	7+90.67	100° 38' 02"	70.000'	122.95'	N20° 16' 17.85"E

PRIVATE DRIVEWAY LINE DATA TABLE		
LINE NO.	DISTANCE	BEARING
L1	53.60'	N13° 12' 24.14"W
L2	467.88'	N70° 35' 18.83"E



ENTRANCE DRIVEWAY (PRIVATE) PROFILE



964.44	964.45	965.74	965.29	965.70	966.04	965.85	966.79	967.28	967.36	966.99	967.33	968.20	966.60	969.47	966.51	966.36	964.26	968.32	965.01	965.79	961.76	967.41	960.01	969.78	966.60	966.74	965.35	964.22	964.38	967.38	965.38	967.62	966.59	961.08	969.64	971.18	973.63	978.84	978.13	987.72	981.99	992.29	984.47	985.74	985.55	992.81	985.25	988.08	984.31
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ISSUE DESCRIPTION

NO. DATE: 01/21/2025 REVISION PER STAFF REVIEW COMMENTS

TWIN SPRINGS UNIT 2  
JAY LANE E, MADLEY STR  
APRIL 2017 CH V.V.

FOR PLANNING CONSIDERATION ONLY. NOT TO BE USED FOR CONSTRUCTION.

**FILE NUMBER**  
2-B-25-UR  
2-C-25-DP

Revised 1/21/2025

**VENTURE AT LASTER FARMS**  
11471 OUTLET DRIVE  
KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120  
Knoxville, TN 37932

865.670.8555  
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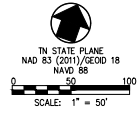
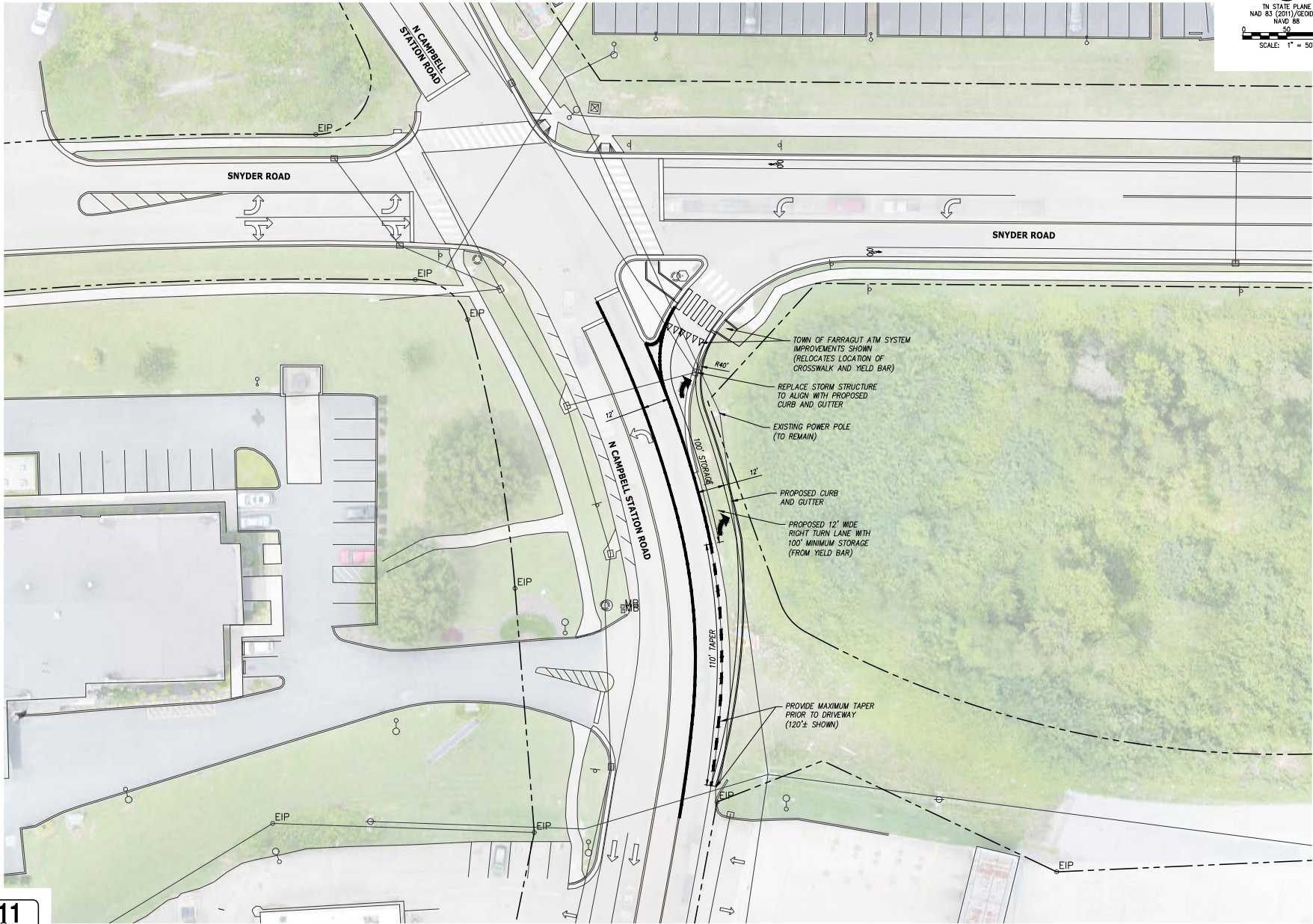
CLIENT:  
VENTURE AT LASTER FARMS  
OWNER LLC  
9820 WESTPOINT DRIVE, SUITE 100  
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000  
DATE: JANUARY 21, 2025  
PW/C: JRH  
DRAWN BY: CO

**HAYES ROAD  
SITE LAYOUT PLAN &  
ROADWAY PROFILE**

**C102**





NO.	DATE	ISSUE DESCRIPTION
1	10/21/2024	REVISION PER STAFF REVIEW COMMENTS



**FILE NUMBER**  
**2-B-25-UR**  
**2-C-25-DP**

Revised 1/21/2025

**VENTURE AT LASTER FARMS**  
 11471 OUTLET DRIVE  
 INDIANAPOLIS, TN 37932

PROJECT:

10025 Investment Drive, Suite 120  
 Knoxville, TN 37932  
 865.670.8555  
 www.cci-corp.com

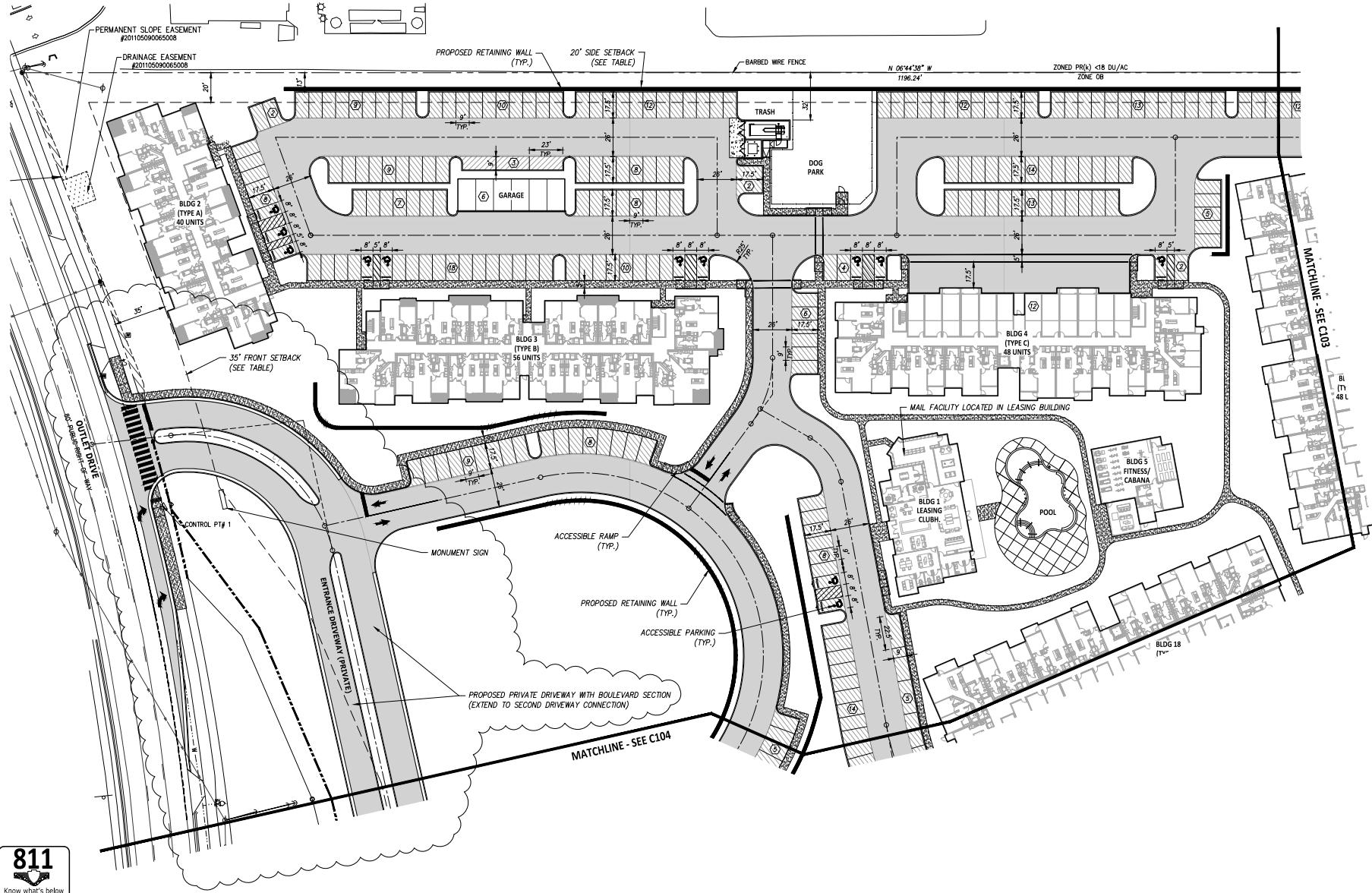
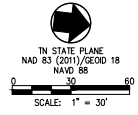
CLIENT:  
**VENTURE AT LASTER FARMS**  
 OWNER LLC  
 9820 WESTPOINT DRIVE  
 INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01852-000  
 DATE: DECEMBER 20, 2024  
 P/W/C: JRH  
 DRAWN BY: CO

**N CAMPBELL  
 STATION ROAD  
 IMPROVEMENTS**

**C102A**





NO.	DATE	ISSUE DESCRIPTION
1	10/24/2025	REVISION PER STAFF REVIEW COMMENTS
2	10/27/2025	REVISION PER STAFF REVIEW COMMENTS



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**FILE NUMBER**  
**2-B-25-UR**  
**2-C-25-DP**

Revised 1/24/2025

**VENTURE AT LASTER FARMS**  
 11471 OUTLET DRIVE  
 KNOXVILLE, TN 37932

PROJECT:



10025 Investment Drive, Suite 120  
 Knoxville, TN 37932  
 865.670.8555  
 www.cci-corp.com

CLIENT:  
**VENTURE AT LASTER FARMS**  
 OWNER LLC  
 9820 WESTPOINT DRIVE, SUITE 100  
 INDIANAPOLIS, IN 46236

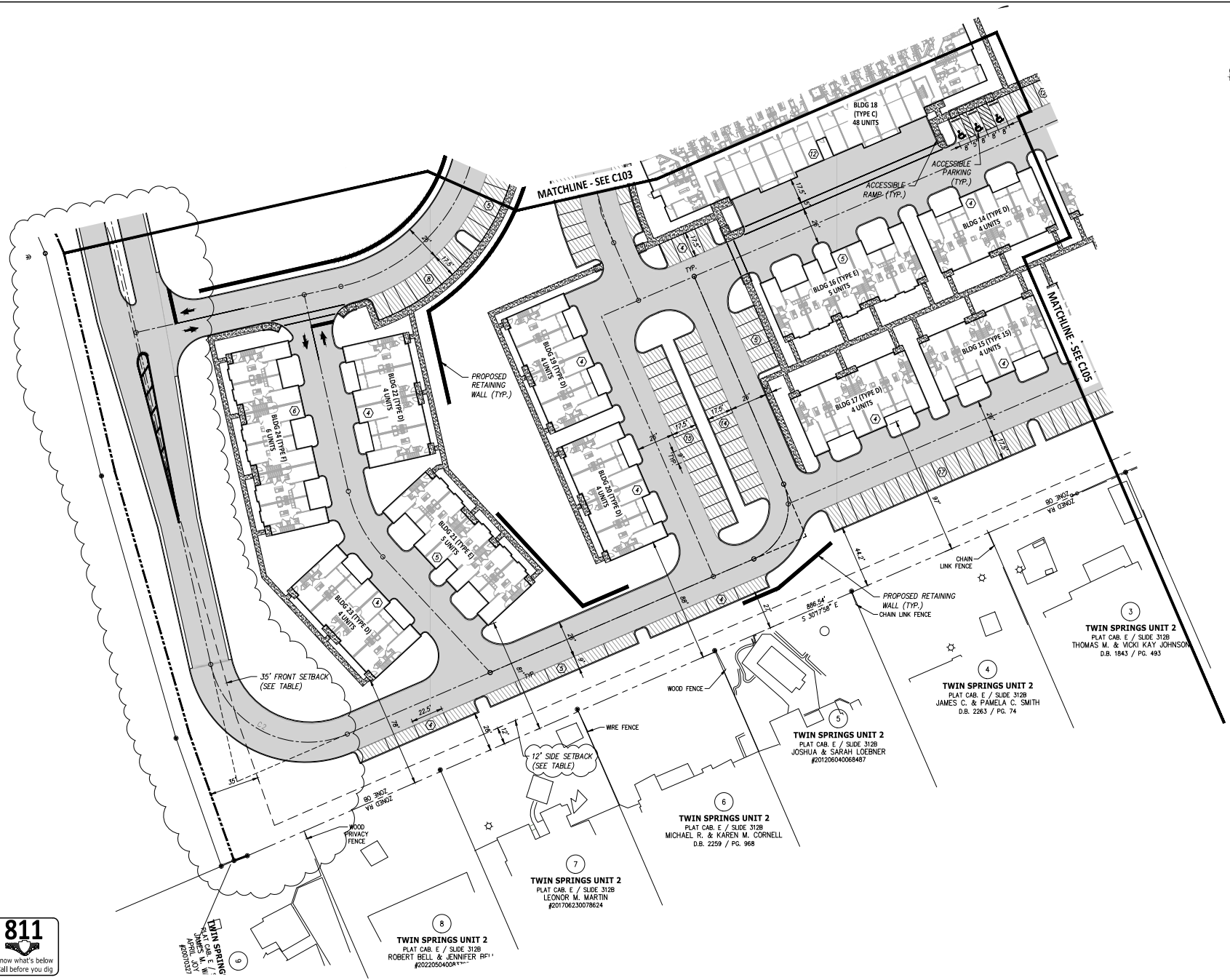
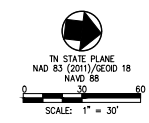
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 DATE: JANUARY 21, 2025  
 PW/C: JRL  
 DRAWN BY: CO

SITE LAYOUT PLAN

**C103**

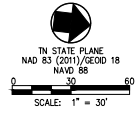
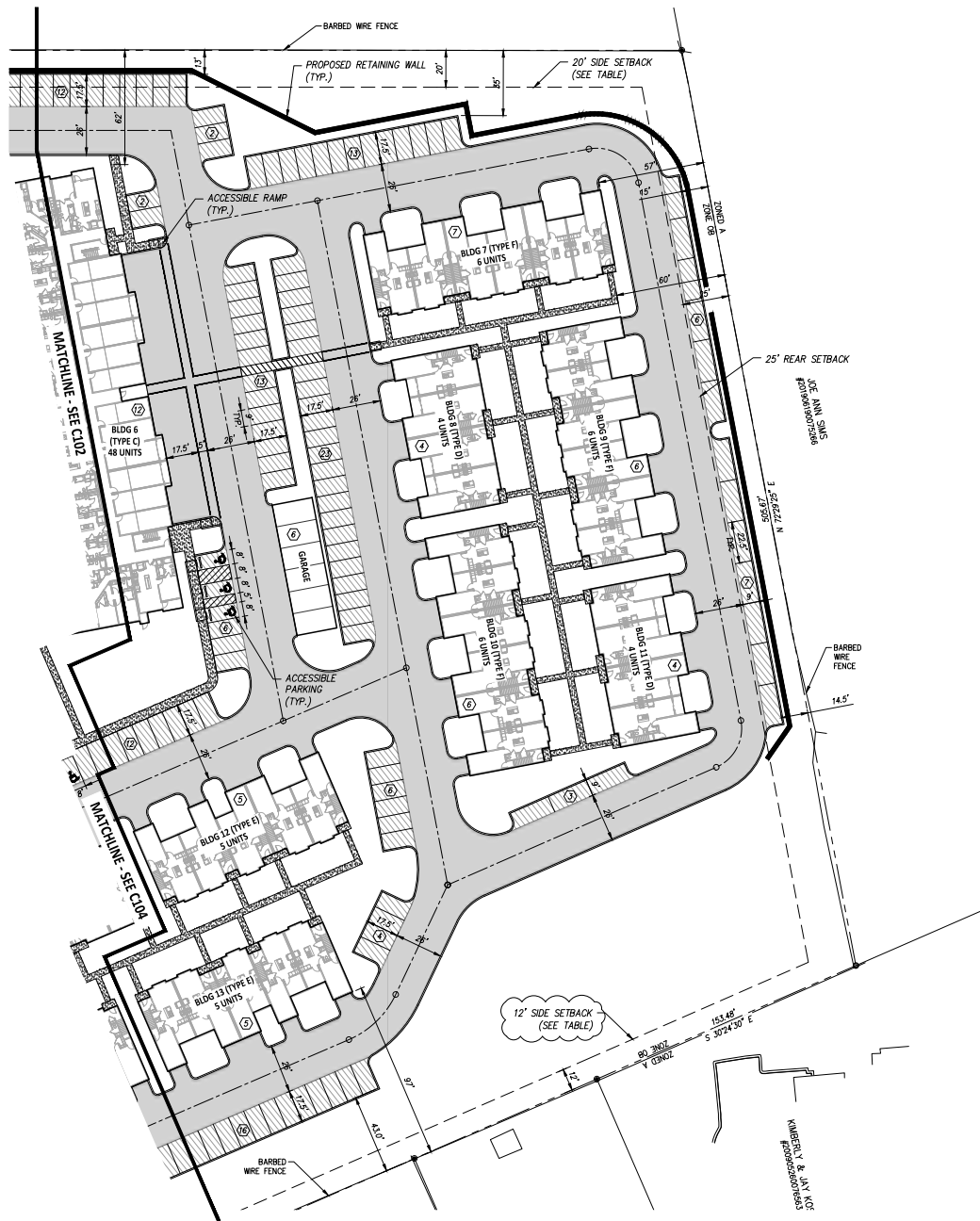






ISSUE DESCRIPTION	
NO.	
DATE	01/24/2025
REVISION	REVISED PER STAFF REVIEW COMMENTS
NO.	
DATE	01/27/2025
REVISION	REVISED PER STAFF REVIEW COMMENTS
	
<small>FOR PLANNING COMMISSION APPROVAL ONLY. NOT TO BE USED FOR CONSTRUCTION.</small>	
<b>FILE NUMBER</b> <b>2-B-25-UR</b> <b>2-C-25-DP</b>	
Revised 1/24/2025	
<b>VENTURE AT LASTER FARMS</b> 11971 OUTLET DRIVE KNOXVILLE, TN 37932	
PROJECT:	
	
10025 Investment Drive, Suite 120 Knoxville, TN 37932	
865.670.8555 www.cci-corp.com	
CLIENT:	
<b>VENTURE AT LASTER FARMS</b> <b>OWNER LLC</b> 9820 WESTPOINT DRIVE, SUITE 100 INDIANAPOLIS, IN 46236	
CCI PROJ. NO.	01852-000
DATE:	JANUARY 21, 2025
PN/PC:	JRH
DRAWN BY:	CO
<b>SITE LAYOUT PLAN</b>	
<b>C104</b>	





NO.	DATE	ISSUE DESCRIPTION
1	01/24/2025	REVISED PER STAFF REVIEW COMMENTS
2	01/27/2025	REVISED PER STAFF REVIEW COMMENTS



FOR PLANNING COMMISSION APPROVAL ONLY. NOT TO BE USED FOR CONSTRUCTION.

**FILE NUMBER**  
**2-B-25-UR**  
**2-C-25-DP**

Revised 1/24/2025

**VENTURE AT LASTER FARMS**  
 11471 OUTLET DRIVE  
 KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120  
 Knoxville, TN 37932  
 865.670.8555  
 www.cci-corp.com

CLIENT:  
**VENTURE AT LASTER FARMS**  
 OWNER LLC  
 9820 WESTPOINT DRIVE, SUITE 100  
 INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000  
 DATE: JANUARY 21, 2025  
 PW/PC: JRH  
 DRAWN BY: CO

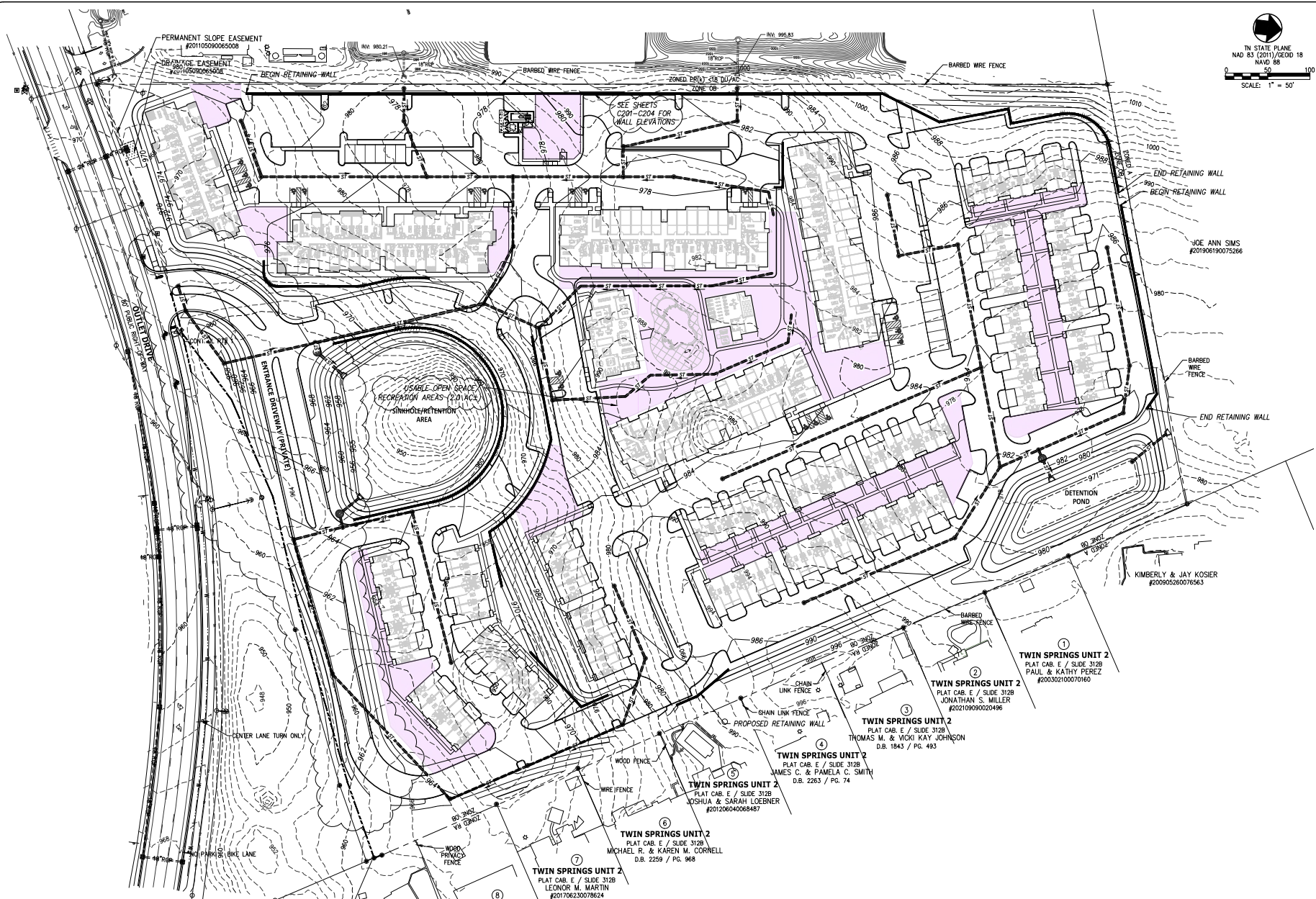
SITE LAYOUT PLAN

**C105**









TN STATE PLANE  
 NAD 83 (2011) GEOD 18  
 NAVD 88  
 SCALE: 1" = 50'

NO.	DATE	ISSUE DESCRIPTION
1	01/24/2025	REVISIONS PER STAFF REVIEW COMMENTS
2	01/27/2025	REVISIONS PER STAFF REVIEW COMMENTS



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**FILE NUMBER**  
**2-B-25-UR**  
**2-C-25-DP**

Revised 1/24/2025

**VENTURE AT LASTER FARMS**  
 11971 OUTLET DRIVE  
 KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120  
 Knoxville, TN 37932

865.670.8555  
 www.cci-corp.com

CLIENT:  
**VENTURE AT LASTER FARMS**  
 OWNER LLC  
 9820 WESTPOINT DRIVE, SUITE 100  
 INDIANAPOLIS, IN 46256

CCI PROJ. NO. 01863-000  
 DATE: JANUARY 21, 2025  
 P/W/C: JRM  
 DRAWN BY: CO

**OVERALL SITE GRADING PLAN**

**C200**

**NOTES:**  
 1. DETENTION, RETENTION, AND SINKHOLE STORAGE DESIGN TO BE INCLUDED AS PART OF FINAL PERMIT REVIEW PLANS.

**811**  
 Know what's below  
 Call before you dig

**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 JAMES M. WADLEY &  
 APRIL JOY GALYON  
 #200703270078109

**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 ROBERT BELL & JENNIFER BELL  
 #202205040083795

**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 LEONOR M. MARTIN  
 #201706230078624

**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 MICHAEL R. & KAREN M. CORNELL  
 D.B. 2259 / PG. 968

**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 JOSHUA & SARAH LOEBNER  
 #201206040068467

**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 JAMES C. & PAMELA C. SMITH  
 D.B. 2263 / PG. 74

**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 THOMAS M. & VICKI KAY JOHNSON  
 D.B. 1843 / PG. 493

**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 JONATHAN S. MILLER  
 #202109090020496

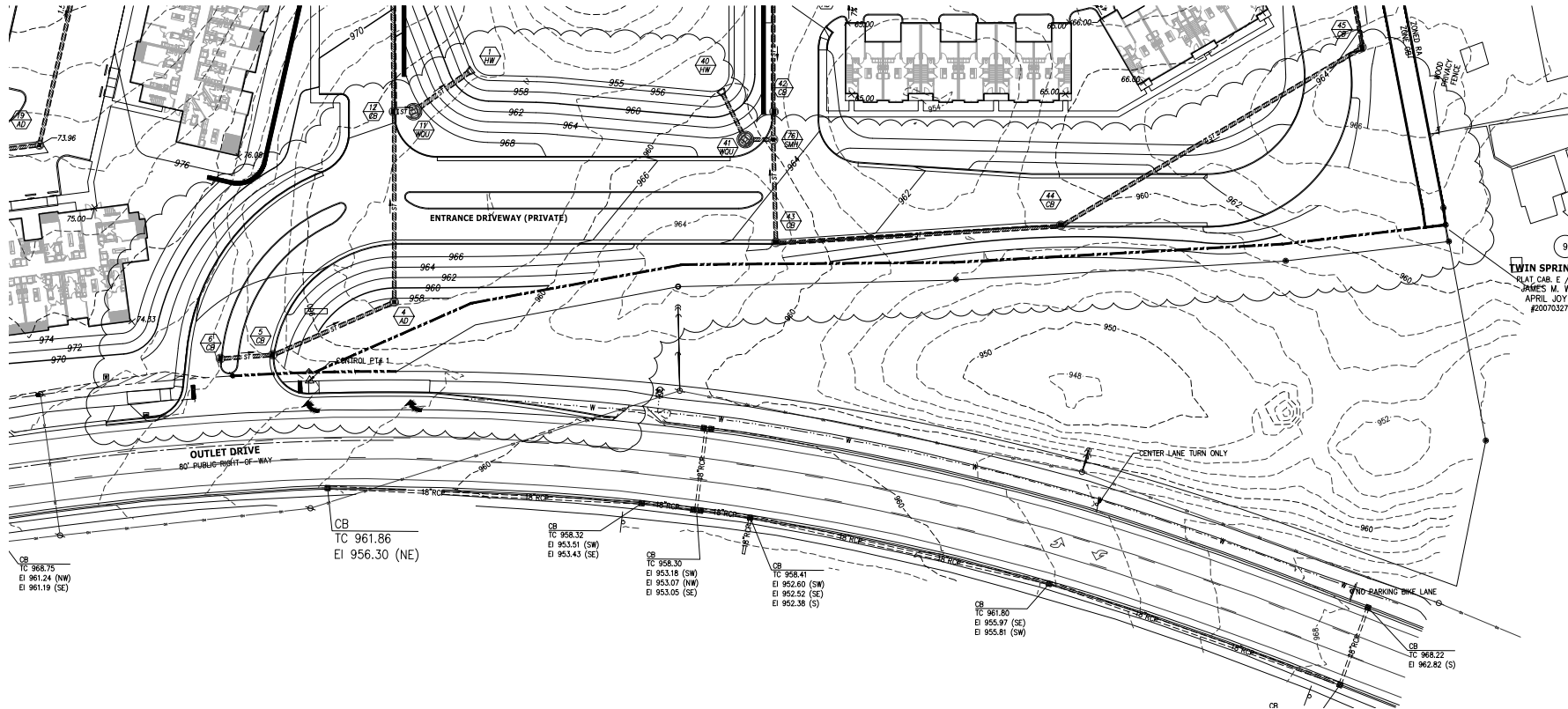
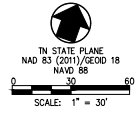
**TWIN SPRINGS UNIT 2**  
 PLAT C&B, E / SLIDE 3128  
 PAUL & KATHY PEREZ  
 #200302100070160

JOE ANN SIMS  
 #201906190075266

KIMBERLY & JAY KOSIER  
 #200905260076563

SEE SHEETS  
 C201-C204 FOR  
 WALL ELEVATIONS





CB  
TC 966.75  
EI 961.24 (NW)  
EI 961.19 (SE)

CB  
TC 961.86  
EI 956.30 (NE)

CB  
TC 958.32  
EI 953.51 (SW)  
EI 953.43 (SE)

CB  
TC 956.30  
EI 953.18 (SW)  
EI 953.07 (NW)  
EI 953.05 (SE)

CB  
TC 958.41  
EI 952.60 (SW)  
EI 952.52 (SE)  
EI 952.38 (S)

CB  
TC 961.85  
EI 955.97 (SE)  
EI 955.81 (SW)

CB  
TC 968.22  
EI 962.82 (S)

NO.	DATE	ISSUE DESCRIPTION
1	01/21/2025	REVISED PER STAFF REVIEW COMMENTS



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**FILE NUMBER**  
2-B-25-UR  
2-C-25-DP

Revised 1/21/2025

**VENTURE AT LASTER FARMS**  
11071 OUTLET DRIVE  
KNOXVILLE, TN 37932



10025 Investment Drive, Suite 120  
Knoxville, TN 37932  
865.670.8555  
www.cci-corp.com

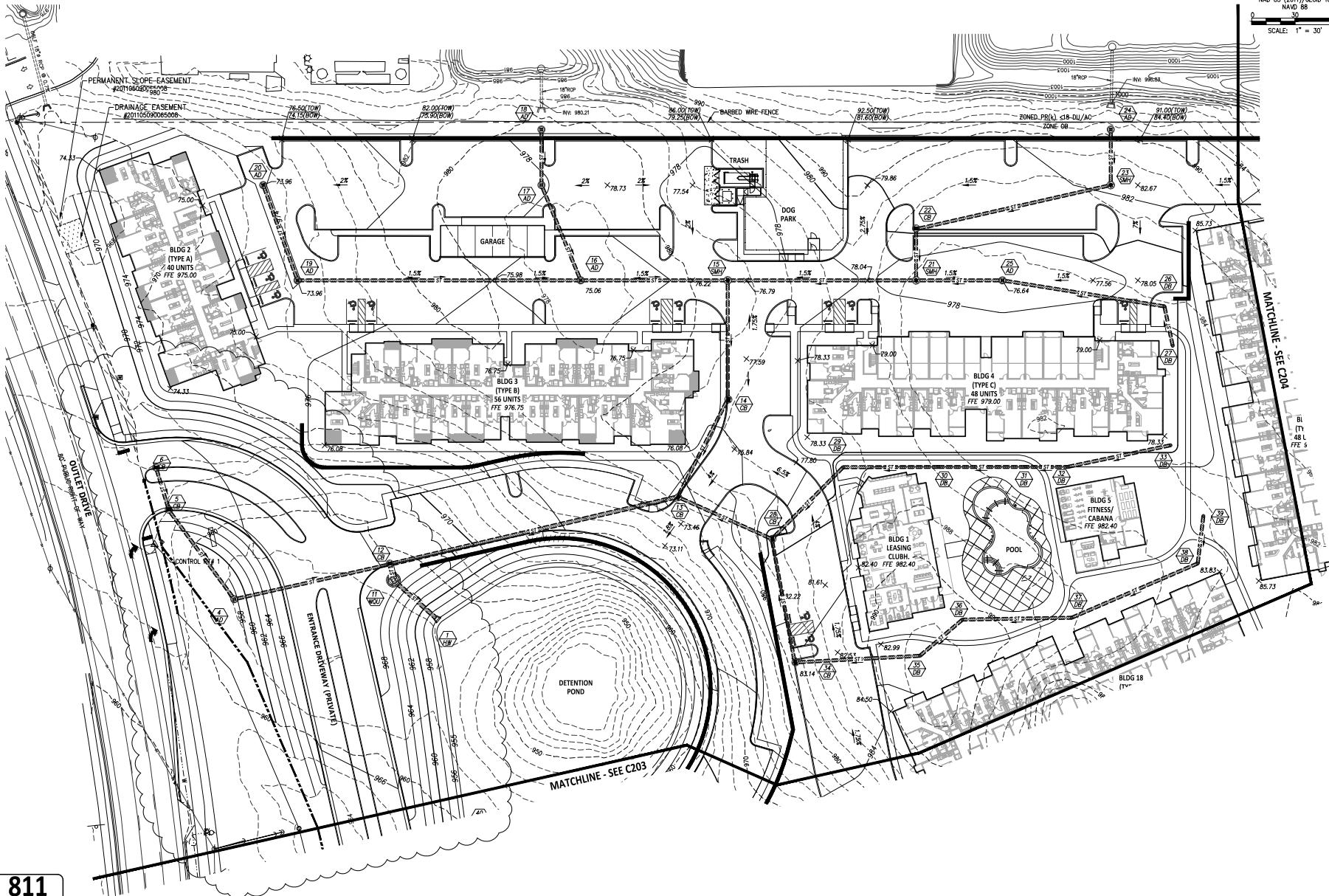
CLIENT:  
**VENTURE AT LASTER FARMS**  
OWNER LLC  
9820 WESTPOINT DRIVE, SUITE 100  
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000  
DATE: JANUARY 21, 2025  
PW/C: JRH  
DRAWN BY: CO

**HAYES ROAD**  
SITE GRADING & DRAINAGE  
PLAN

**C201**





TN STATE PLANE  
 NAD 83 (2011)/GEOD 18  
 NAVD 88  
 SCALE: 1" = 30'

NO.	DATE	ISSUE DESCRIPTION
1	01/21/2025	REVISED PER STAFF REVIEW COMMENTS



FOR PLANNING COMMISSION APPROVAL ONLY.  
 NOT TO BE USED FOR CONSTRUCTION.

**FILE NUMBER**  
 2-B-25-UR  
 2-C-25-DP

Revised 1/21/2025

**VENTURE AT LASTER FARMS**  
 11471 OUTLET DRIVE  
 KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120  
 Knoxville, TN 37932  
 865.670.8555  
 www.cci-corp.com

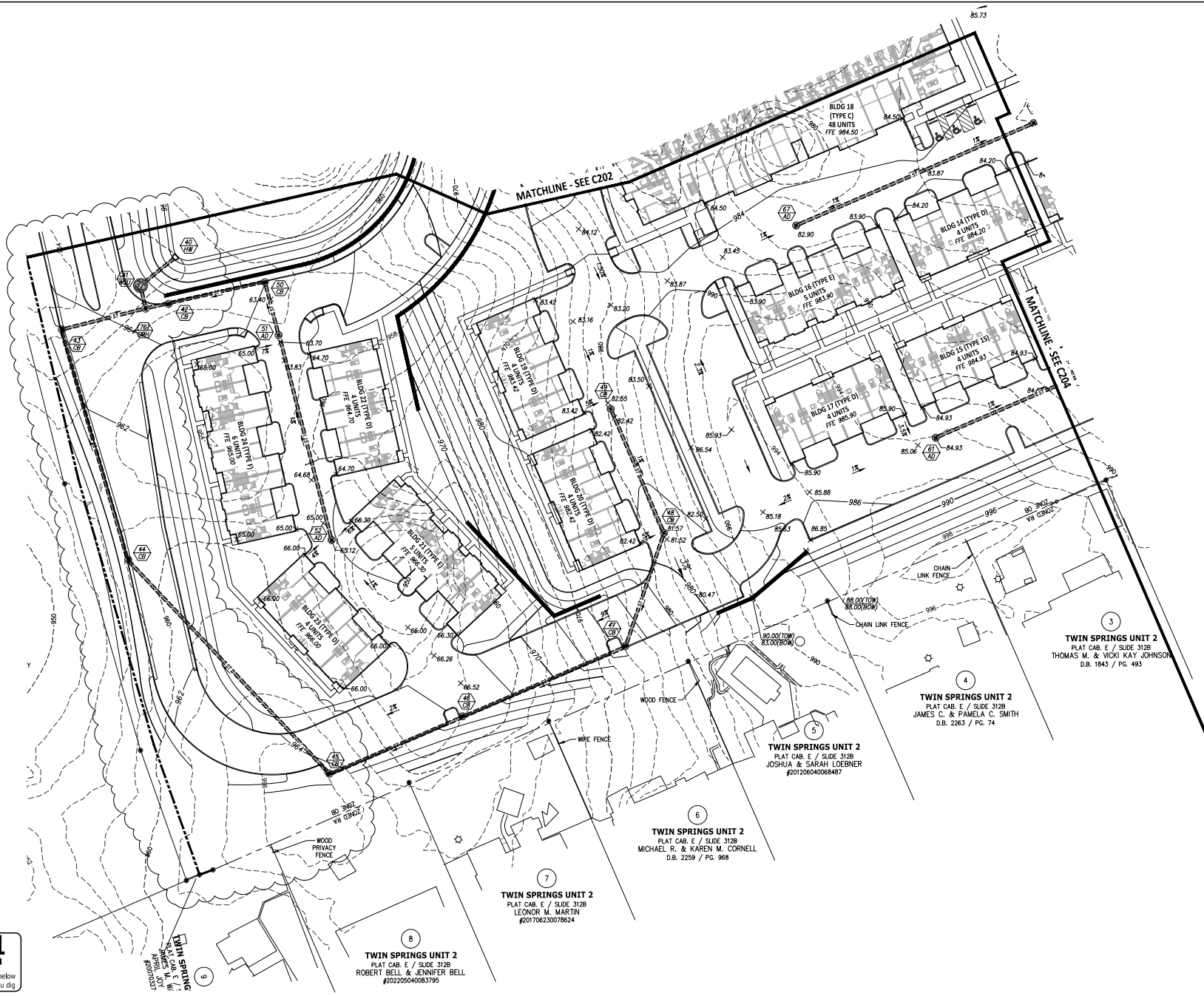
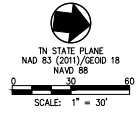
CLIENT:  
**VENTURE AT LASTER FARMS**  
 OWNER LLC  
 9820 WESTPOINT DRIVE, SUITE 100  
 INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000  
 DATE: JANUARY 21, 2025  
 PW/PC: JRH  
 DRAWN BY: CO

**SITE GRADING & DRAINAGE PLAN**

**C202**





NO.	DATE	ISSUE DESCRIPTION
1	10/12/2021	REVISED PER STAFF REVIEW COMMENTS

FOR PLANNING COMMISSION APPROVAL ONLY.  
NOT TO BE USED FOR CONSTRUCTION.

**FILE NUMBER**  
**2-B-25-UR**  
**2-C-25-DP**

Revised 1/21/2025

**VENTURE AT LASTER FARMS**  
11-071 OUTLET DRIVE  
KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120  
Knoxville, TN 37932

865.670.8555  
www.cci-corp.com

CLIENT:

**VENTURE AT LASTER FARMS**  
OWNER LLC  
9820 WESTPOINT DRIVE, SUITE 100  
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01852-000  
DATE: JANUARY 21, 2025  
PW/C: JRL  
DRAWN BY: CO

**SITE GRADING & DRAINAGE PLAN**

**C203**

**TWIN SPRINGS UNIT 2**  
PLAT CAB. E / SLIDE 312B  
ROBERT BELL & JENNIFER BELL  
#202205040083795

**TWIN SPRINGS UNIT 2**  
PLAT CAB. E / SLIDE 312B  
LEONOR M. MARTIN  
#201706230078624

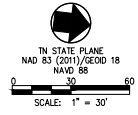
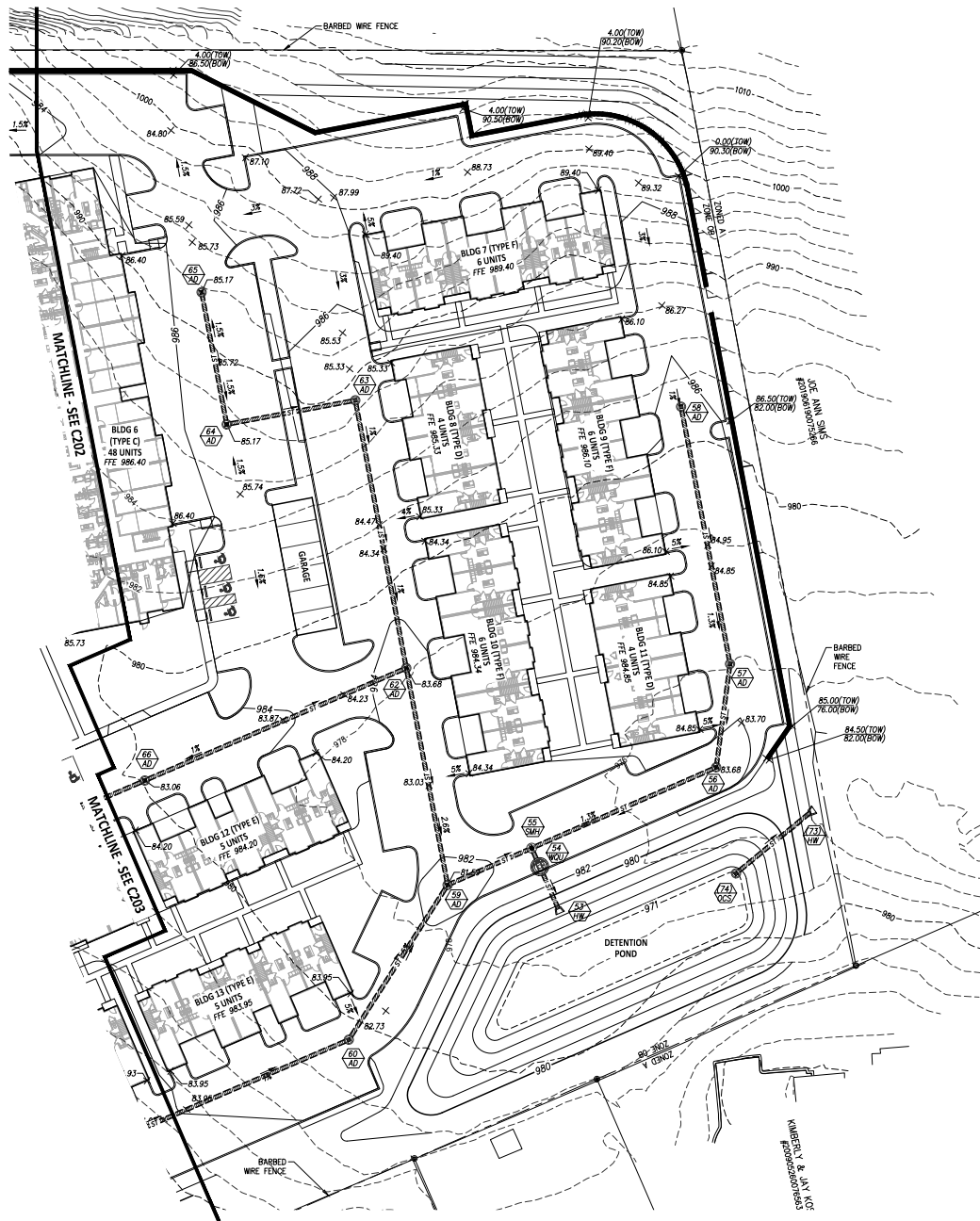
**TWIN SPRINGS UNIT 2**  
PLAT CAB. E / SLIDE 312B  
MICHAEL R. & KAREN M. CORNELL  
D.B. 2259 / PG. 968

**TWIN SPRINGS UNIT 2**  
PLAT CAB. E / SLIDE 312B  
JOSHUA & SARAH LOEBNER  
#201206040084687

**TWIN SPRINGS UNIT 2**  
PLAT CAB. E / SLIDE 312B  
JAMES C. & FAMELA C. SMITH  
D.B. 2263 / PG. 74

**TWIN SPRINGS UNIT 2**  
PLAT CAB. E / SLIDE 312B  
THOMAS M. & WENDI KAY JOHNSON  
D.B. 1643 / PG. 493





NO.	DATE	ISSUE DESCRIPTION
1	01/21/2025	REVISION PER STAFF REVIEW COMMENTS

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**FILE NUMBER**  
2-B-25-UR  
2-C-25-DP

Revised 1/21/2025

**VENTURE AT LASTER FARMS**  
11571 OUTLET DRIVE  
KNOXVILLE, TN 37932

PROJECT:



10025 Investment Drive, Suite 120  
Knoxville, TN 37932  
865.670.8555  
www.cci-corp.com

CLIENT:  
**VENTURE AT LASTER FARMS**  
OWNER LLC  
9820 WESTPOINT DRIVE, SUITE 100  
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01862-000  
DATE: JANUARY 21, 2025  
PW/C: JRH  
DRAWN BY: CO

**SITE GRADING & DRAINAGE PLAN**

**C204**

















ES-02  
ES-01

ES-02  
ES-01



REVISIONS  
Revised 1/21/2025

VENTURE AT LASTER FARMS  
APARTMENTS IN KNOXVILLE, TN

SPECIAL USE  
REVIEW ONLY  
FILE NUMBER  
2-B-25-UR  
2-C-25-DP

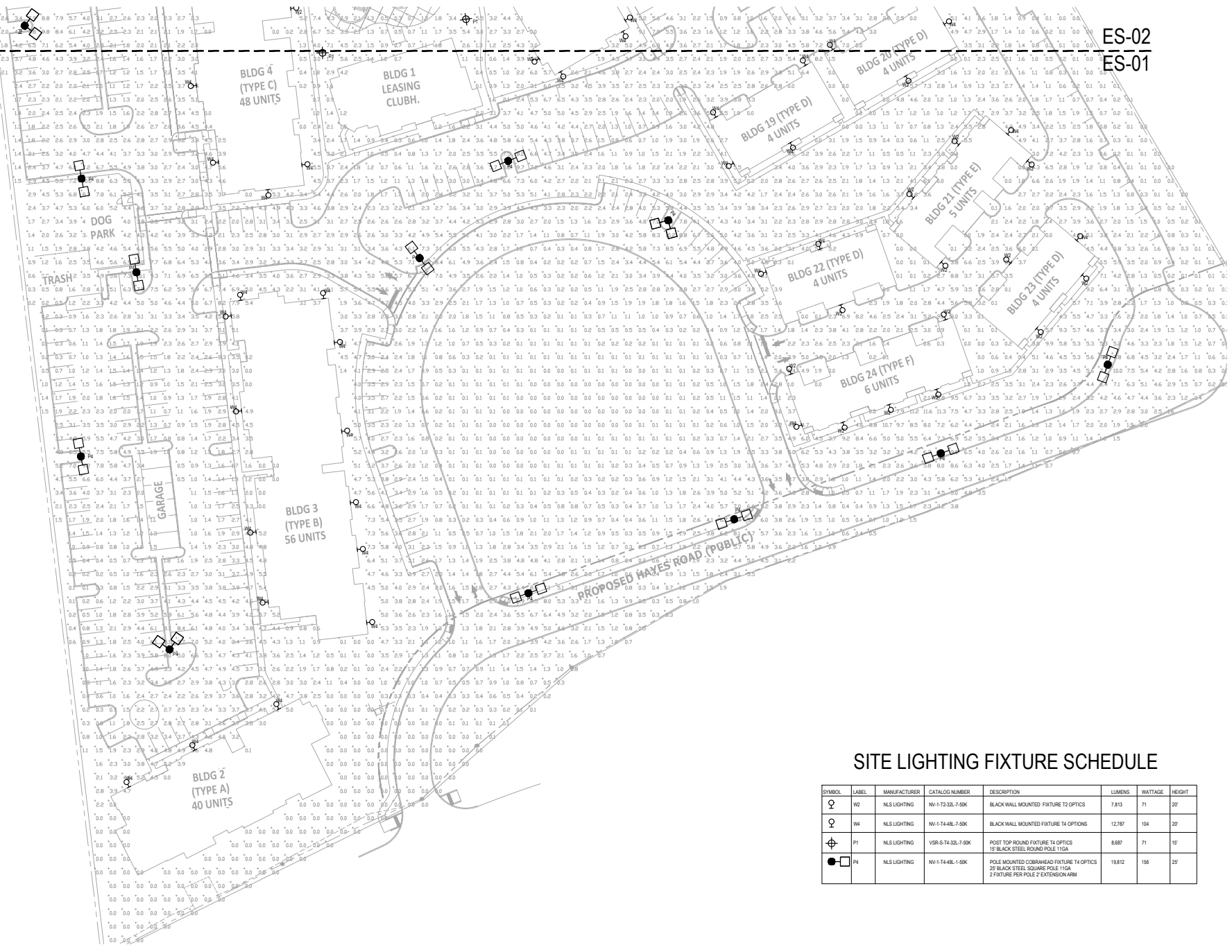
**FEDK**  
ARCHITECTS  
4595 EXCEL-PKWAY ADDISON, TX 75001  
214.520.8878  
fedk.com

DATE  
12/24/2024

PROJECT  
23206

SHEET NUMBER  
ES-01

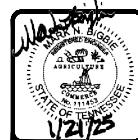
SITE PHOTOMETRICS



SITE LIGHTING FIXTURE SCHEDULE

SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS	WATTAGE	HEIGHT
⊙	W2	NLS LIGHTING	NV-17-32-7-50K	BLACK WALL MOUNTED FIXTURE T2 OPTICS	7,813	71	20'
⊙	W4	NLS LIGHTING	NV-14-48-7-50K	BLACK WALL MOUNTED FIXTURE T4 OPTICS	12,787	104	20'
⊙	PT	NLS LIGHTING	VOR-S-T4-32-7-50K	POLE TOP ROUND FIXTURE T4 OPTICS 1" BLACK STEEL ROUND POLE 11GA	8,887	71	15'
⊙	R4	NLS LIGHTING	NV-17-48-1-50K	POLE MOUNTED COBRANEAD FIXTURE T4 OPTICS 2" BLACK STEEL SQUARE POLE 11GA 2 FIXTURE PER POLE 7' EXTENSION ARM	15,812	156	20'

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REVISIONS  
Revised 1/21/2025

VENTURE AT LASTER FARMS  
APARTMENTS IN KNOXVILLE, TN

SPECIAL USE  
REVIEW ONLY  
FILE NUMBER  
2-B-25-UR  
2-C-25-DP



DATE  
12/24/2024

PROJECT  
23206

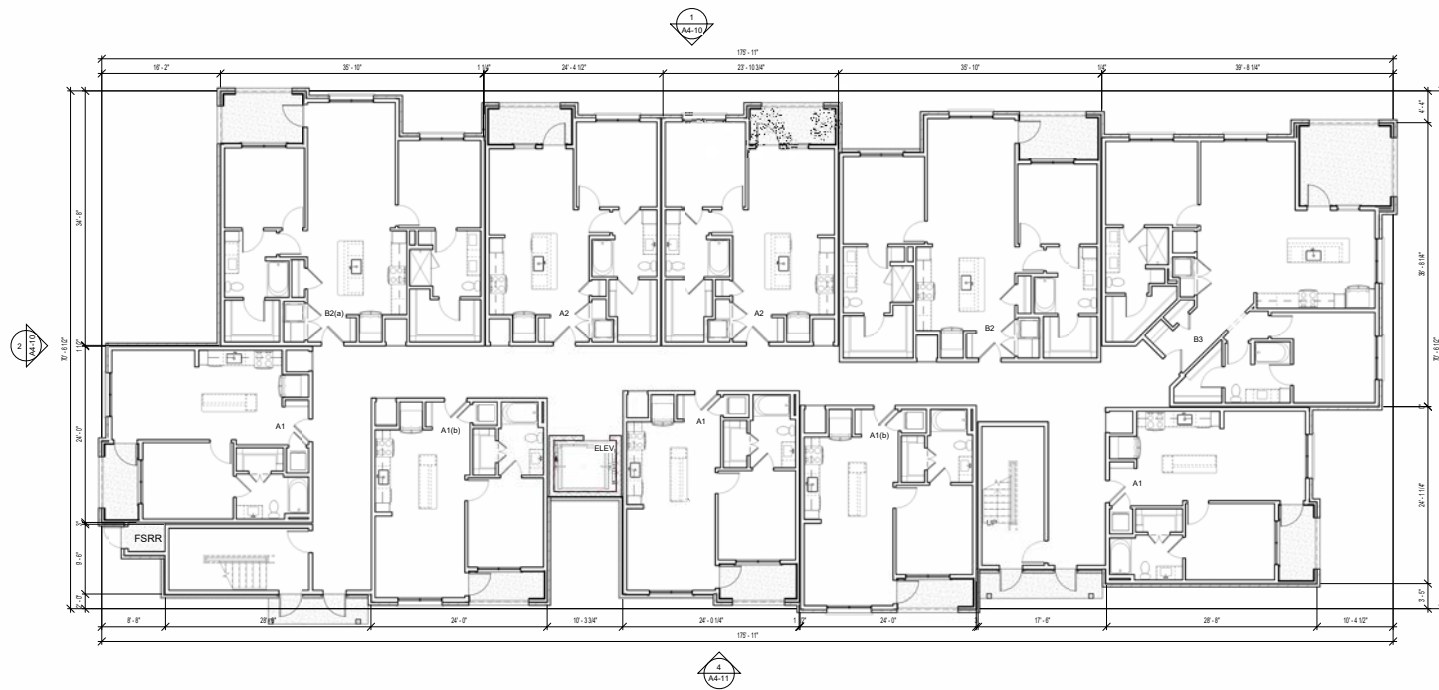
SHEET NUMBER  
ES-02

SITE PHOTOMETRICS



ES-02  
ES-01

ES-02  
ES-01



**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	E.M.	METER LOCATIONS
X	DOOR KEY	1	1 HOUR FIRE BARRELS
X	WINDOW KEY	MSUC	COMPENSER UNITS
C.I.	CONTROL POINT FLOOR CEILING & WALLS	REF	REFER TO SHEET
PH	PANIC HARDWARE	X	20 MIN. FIRE RATED ACCESS DOOR
■	STAINED CONCRETE	X	45 MIN. FIRE RATED ACCESS DOOR
■	ELONGATED FINISH MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS	○	BUILDING ORIENTATION
■	SLOPED CONCRETE AT 1% FLOOR AND SLOPED TRUSSES AT UPPER FLOORS		

**CORR DOR WALL FINISH**

E.S. EXTERIOR SHEATHING - REFER TO A4-11  
 F.C.S. FIBER CEMENT SIDING - REFER TO A4-11

**GENERAL NOTES:**

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE FINISHED TO MATCH BUILDING REFER TO SPECIFICATIONS
- GENERAL CONTRACTOR TO ENSURE CONTROL JOINTS/ PENETRATION JOINTS
- ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES
- ALL DIMENSIONS ARE FROM FRAMING I.L.C.
- REFER TO A4-05 FOR UNIT TABULATION

**SPECIAL USE REVIEW ONLY**  
**FILE NUMBER**  
 2-B-25-UR  
 2-C-25-DP

**REVISIONS**  
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**VENTURE AT LASTER FARMS**  
 APARTMENTS IN KNOXVILLE, TN

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DATE: 01/21/2025  
 PROJECT: 23206  
 SHEET NUMBER: A3-11  
 BLDG A - 1ST FLOOR PLAN

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**1 BUILDING A - FIRST FLOOR PLAN**  
 1/8" = 1'-0"



**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE BARRIER	
X	WINDOW KEY	MULTI-PURPOSE UNITS	REFER TO ME
C.J.	CONTROL JOINT	60" x 36" THRU ATTIC ACCESS	LOCKABLE
PH	PANIC HARDWARE	60" x 48" THRU ATTIC ACCESS	LOCKABLE
SH	STAINED CONCRETE		
F.D.	FLOOR DRAIN		
	BLINDING CONCRETE AT 1ST FLOOR AND BLOKED TRUSSES AT UPPER FLOOR		
	CORRIDOR WALL FINISH		
	E.S. EXTERIOR SHEATHING - REFER TO A2-11		
	F.C.S. FIBER CONCRETE SIDING - REFER TO A 2-11		

**GENERAL NOTES:**

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE INSTALLED WITH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DECORATOR FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISHED I.F.S.
- REFER TO A6-20 FOR UNIT TABULATION.

**BUILDING A - SECOND FLOOR PLAN**  
1/8" = 1'-0"

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BLDG A - 2ND FLOOR PLAN

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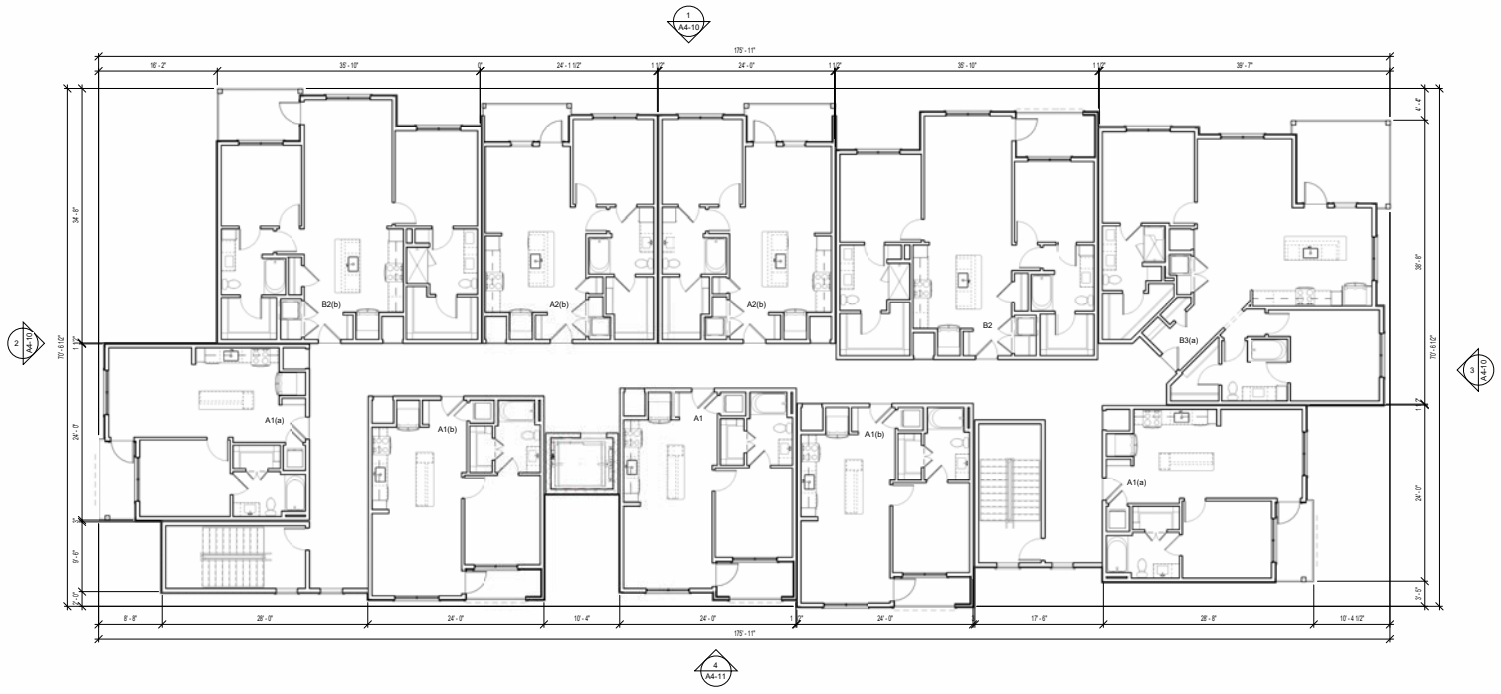
**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE BARRIER	
W	WINDOW KEY	MULTI-COMPRESSOR UNITS	
C-J	CONTROL JOINT	REFER TO MEP	
	FLOOR CLEARANCE WALLS	24" X 36" THRU ATTIC ACCESS	
PH	PANEL HARDWARE	48" X 48" THRU ATTIC ACCESS	
	STAINED CONCRETE	LOBBIES	
F.P.	FLOOR FINISH		
	MUST BE FIRE PROTECTED		
	AT FIRE RATED PENETRATIONS		
	FLOOR AND SLOPED TRUSSES		
	AT UPPER FLOOR		
	SLOPED CONCRETE AT 1% FLOOR AND SLOPED TRUSSES AT UPPER FLOOR		

**CORRIDOR WALL FINISH**  
 E.S. EXTERIOR SHEATHING - REFER TO A3-11  
 E.C.S. FINISH CONCRETE - REFER TO A-11

**GENERAL NOTES:**

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE MOUNTED TO MATCH BUILDING - REFER TO SPECIFICATIONS
- GENERAL CONTRACTOR TO ENSURE CONTROL JOINTS PENETRATION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS - REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES
- ALL DIMENSIONS ARE FROM FINISH I.S.G.O.
- REFER TO A3-20 FOR UNIT TABULATION



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**VENTURE AT LASTER FARMS**  
 APARTMENTS IN KNOXVILLE, TN

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DATE: 01/21/2025  
 PROJECT: 23206  
 SHEET NUMBER: A3-14  
 BLDG A - 4TH FLOOR PLAN

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**1 BUILDING A - FOURTH FLOOR PLAN**  
 1/8" = 1'-0"



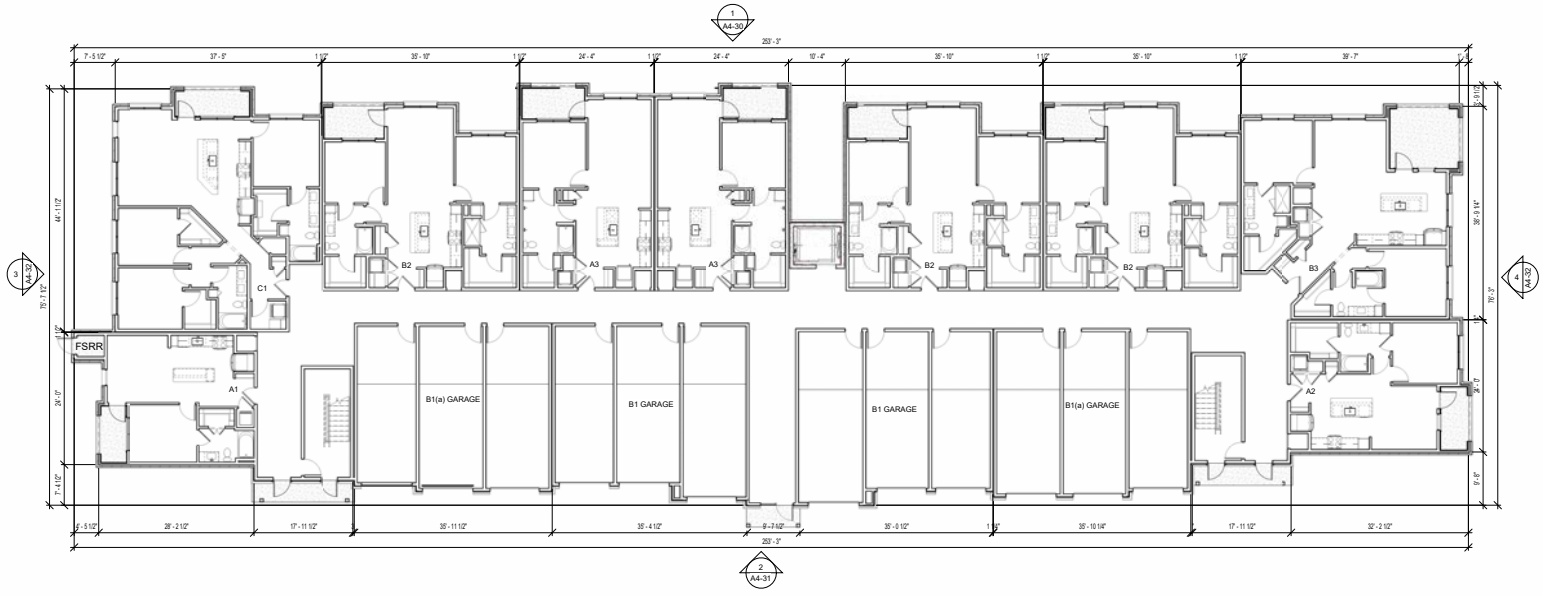
**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE BARRIER	
X	WINDOW KEY	MULTI-COMPRESSOR UNITS	REFER TO MEP
C.J.	CONTROL JOINT	24" X 36" THRU ATTIC ACCESS	
PH	PANIC HARDWARE	48" X 48" THRU ATTIC ACCESS	
[Hatched]	STAINED CONCRETE	LOBBIES	
[Dotted]	FLOOR FINISHES		
[Dotted]	MUST BE FIRE PROTECTED		
[Dotted]	AT FIRE RATED PENETRATIONS		
[Dotted]	AT FLOOR AND SLOPED TRUSSES		
[Dotted]	AT UPPER FLOORS		
[Dotted]	SLOPED CONCRETE @ 1% FLOOR AND SLOPED TRUSSES AT UPPER FLOORS		
[Circle with arrow]	BUILDING ORIENTATION		

**CORRIDOR WALL FINISH**  
 E.S. EXTERIOR SHEATHING - REFER TO A3-11  
 E.C.S. FIBER CEMENT SIDING - REFER TO A3-11

**GENERAL NOTES:**

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE HUNG TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISHING I.L.O.D.
- REFER TO A3-20 FOR UNIT FABRICATION.



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**VENTURE AT LASTER FARMS**  
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DATE: 01/21/2025  
 PROJECT: 23206  
 SHEET NUMBER: A3-31  
 BLDG C - 1ST FLOOR PLAN

**1 BUILDING C - FIRST FLOOR PLAN**  
 3/32" = 1'-0"

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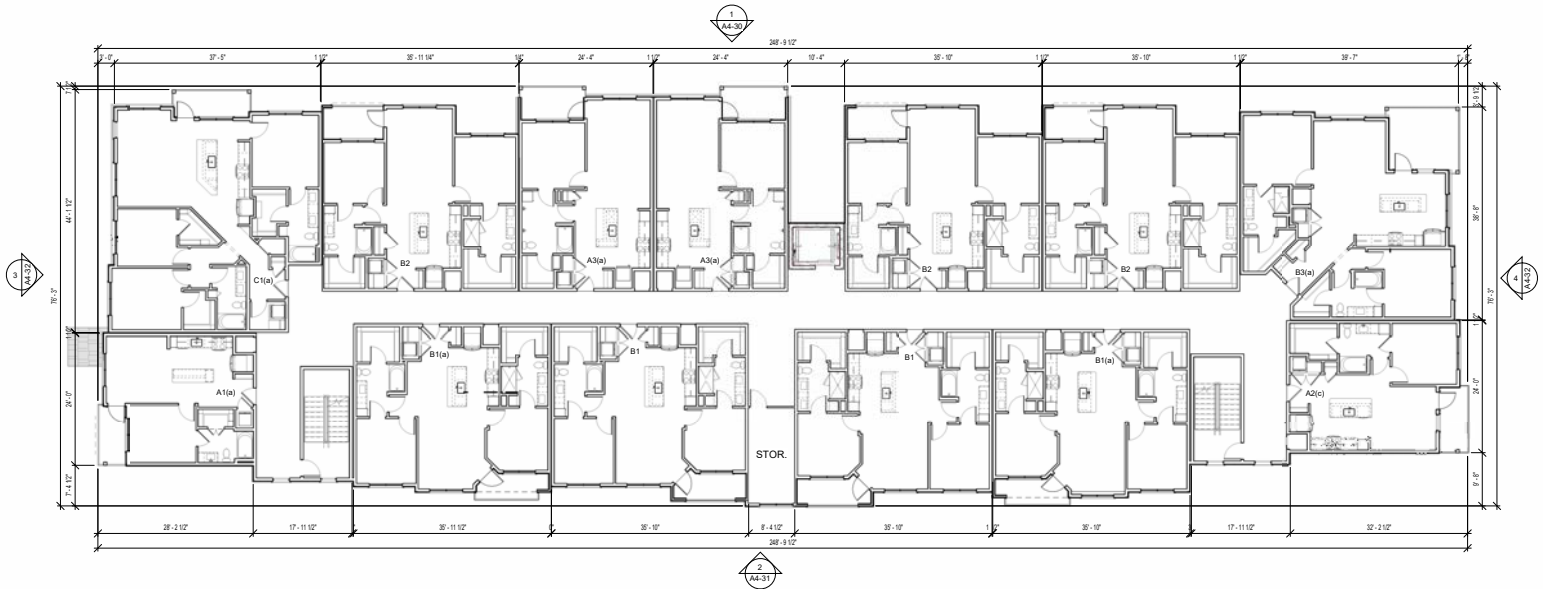
**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
⊗	DOOR KEY	⊗	1 HOUR FIRE BARRIER
⊗	WINDOW KEY	⊗	HEAVY PORTULACA UNITS REFER TO MEP
C.J.	CONTROL JOINT FLOOR CEILING & WALLS	⊗	2' X 3' 6" THRU ATTIC ACCESS LOOKABLE
PH	PANEL HARDWARE	⊗	48" X 48" THRU ATTIC ACCESS LOOKABLE
▨	STAINED CONCRETE	⊗	BUILDING ORIENTATION
-F.D.	FLOOR FINISHES MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS		
▨	SLOPED CONCRETE AT 10% FLOOR AND SLOPED TRUSSES AT UPPER FLOORS		

**CORR DOR WALL F NISH**  
 E.S. EXTERIOR SHEATHING - REFER TO A2-11  
 E.C.S. EXTERIOR CONCRETE SINGING - REFER TO A3-11

**GENERAL NOTES:**

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE INSTALLED TO MATCH BUILDING - REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS.
- ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DECORATOR FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISHING I.A.C.D.
- REFER TO A3-20 FOR UNIT TABULATION.



**SPECIAL USE REVIEW ONLY**  
**FILE NUMBER**  
**2-B-25-UR**  
**2-C-25-DP**

**REVISIONS**  
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**VENTURE AT LASTER FARMS**  
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 PROJECT: 23206  
 SHEET NUMBER: A3-32  
 BLDG C - 2ND FLOOR PLAN

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**1 BUILDING C - SECOND FLOOR PLAN**  
 3/32" = 1'-0"



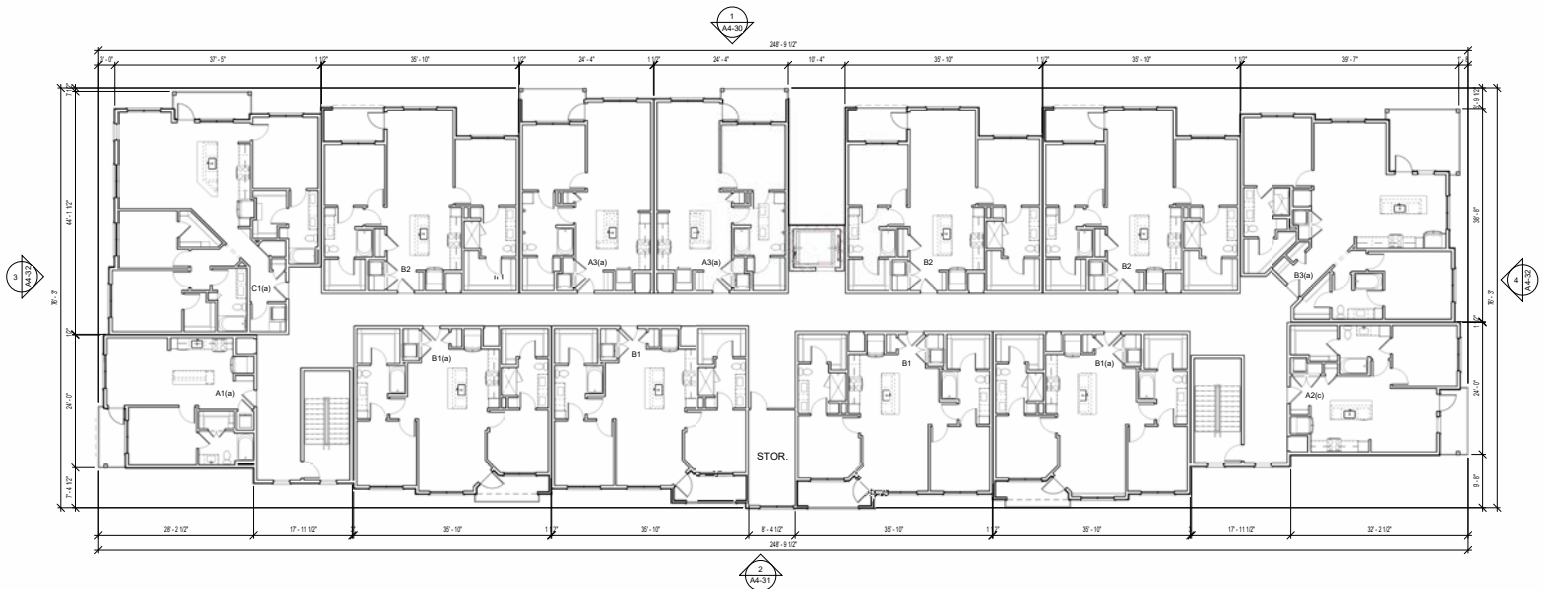


**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE RASHER	REFER TO SHEET
W	WINDOW KEY	1 HOUR FIRE RASHER	REFER TO SHEET
C.J.	CONTROL JOINT	48" x 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
PH	PANIC HARDWARE	48" x 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
[Symbol]	STAINED CONCRETE	48" x 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
[Symbol]	FLOOR FINISH	48" x 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
[Symbol]	BLIND CONCRETE 4" HIGHER FLOOR AND SLOPED TRUSSES AT UPPER FLOOR	48" x 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
[Symbol]	CORRIDOR WALL FINISH	48" x 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
[Symbol]	E.S. EXTERIOR SHEATHING - REFER TO A7-11	48" x 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
[Symbol]	F.C.S. FIRE CEMENT SILING - REFER TO A7-11	48" x 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET

**GENERAL NOTES:**

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE FINISHED TO MATCH BUILDING REFER TO SPECIFICATIONS
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- CONDITIONS WITH INTERIOR OCCUPANCY FOR INTERIOR FINISHES
- ALL DIMENSIONS ARE FROM FINISH D.I.C.
- REFER TO A6-20 FOR UNIT TABULATION



**1 BUILDING C - FOURTH FLOOR PLAN**  
 3/32" = 1'-0"

**SPECIAL USE REVIEW ONLY**  
**FILE NUMBER**  
**2-B-25-UR**  
**2-C-25-DP**

**REVISIONS**  
 Revised 1/21/2025

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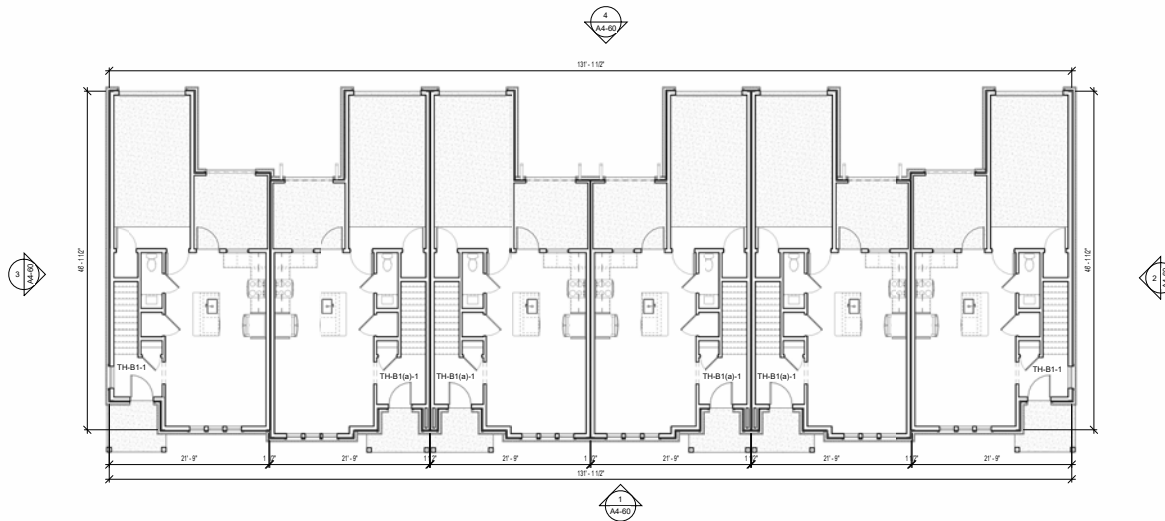
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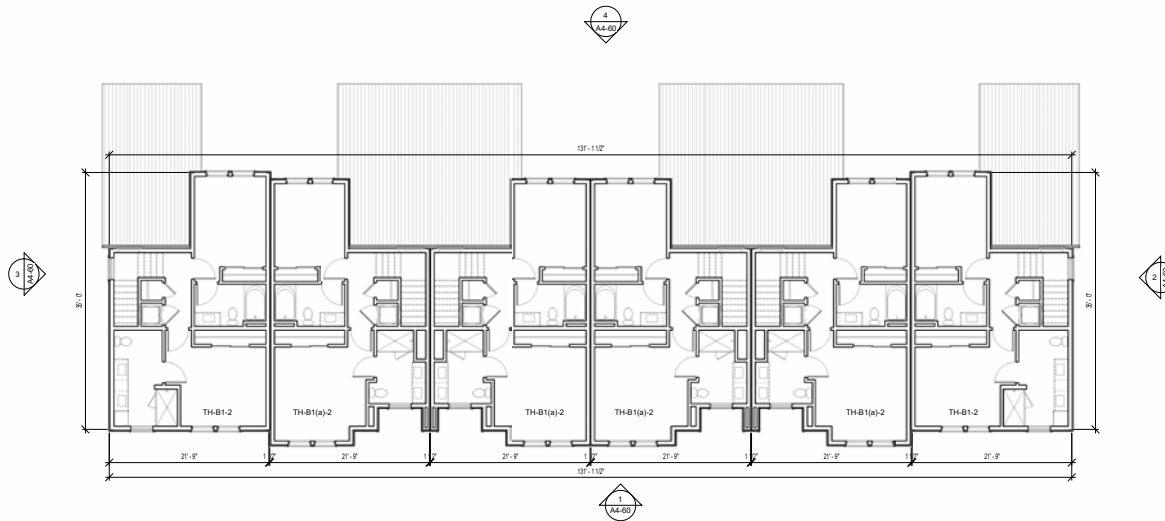
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**A3-34**

BLDG C - 4TH FLOOR PLAN

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**1 BUILDING F - FIRST FLOOR PLAN**  
1/8" = 1'-0"



**2 BUILDING F - SECOND FLOOR PLAN**  
1/8" = 1'-0"

**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	E M	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE BARRIER	
X	WINDOW KEY	PARC CONDENSER UNITS	REFER TO REF
C.J.	CONTROL JOINT	2" X 2" THERMATIC ACCESS	LOOKING
PH	PANEL HARDWARE	48" X 48" THERMATIC ACCESS	LOOKING
	STAINED CONCRETE		BUILDING ORIENTATION
F.D.	FLY POP TRAYS		
	WALLS TO BE FIRE PROTECTED		
	AT FIRE RATED PENETRATIONS		
	AT FIRE RATED PENETRATIONS		
	AT FIRE RATED PENETRATIONS		

**CORR DOR WALL FINISH**  
E.S. EXTERIOR SHEATHING - REFER TO A-11  
F.C.S. FIBER CEMENT SIDING - REFER TO A-11

**GENERAL NOTES:**

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE PAINTED TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURE LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MAINTENANCE USE.
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISH U.I.C.
- REFER TO A-20 FOR UNIT TABULATION.

**SPECIAL USE REVIEW ONLY**  
**FILE NUMBER**  
**2-B-25-UR**  
**2-C-25-DP**

**REVISIONS**  
Revised 1/21/2025

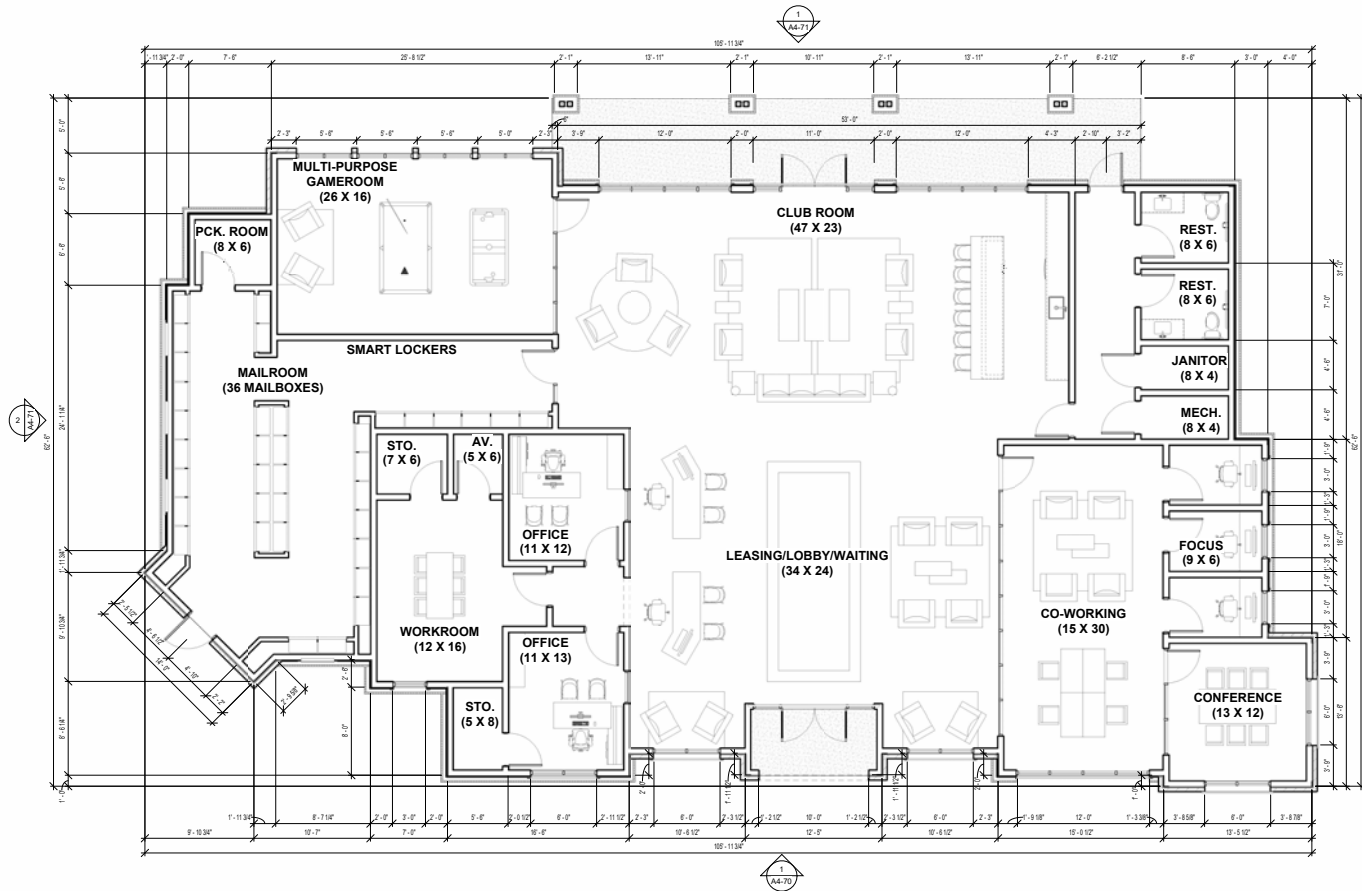
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SHEET NUMBER: A3-61  
BLDG F - TH-B1

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**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	E.M.	METER LOCATIONS
X	DOOR KEY		1 HOUR FIRE BARRIER
X	WINDOW KEY		HAAC CONDENSER UNITS REFER TO MEP
C.J.	CONTROL JOINT FLOOR CEILING & WALLS		2" x 3" TRILLI ATTIC ACCESS LOOKING UP
PH	PANIC HARDWARE		4" x 4" TRILLI ATTIC ACCESS LOOKING UP
	STAINED CONCRETE		BUILDING ORIENTATION
F.D.	RY-RDP FRAMING MUST BE FIRE PROTECTED AT FIRE EXISTENCE LOCATIONS		
	BULKY CONCRETE AT 1ST FLOOR AND SLORED TRUSSES AT UPPER FLOORS		

**CORR DOR WALL FINISH**  
 S.S. EXTERIOR SHEATHING - REFER TO A-11  
 F.C.S. FIBER CEMENT SIDING - REFER TO A-11

**GENERAL NOTES:**  
 \* WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE HANGED TO MEET TO BUILDING REFER TO SPECIFICATIONS.  
 \* GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MANUFACTURER'S USED.  
 \* COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES.  
 \* ALL DIMENSIONS ARE FROM FRAMING U.L.C.  
 \* REFER TO A-01 FOR UNIT TOLERANCE.

**1 LEASING PLAN**  
 3/16" = 1'-0"

BUILDING FOOTPRINT AREA - 5686 SQ. FT.  
 CONDITIONED AREA - 5041 SQ. FT.

**SPECIAL USE REVIEW ONLY**  
**FILE NUMBER**  
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**2-C-25-DP**

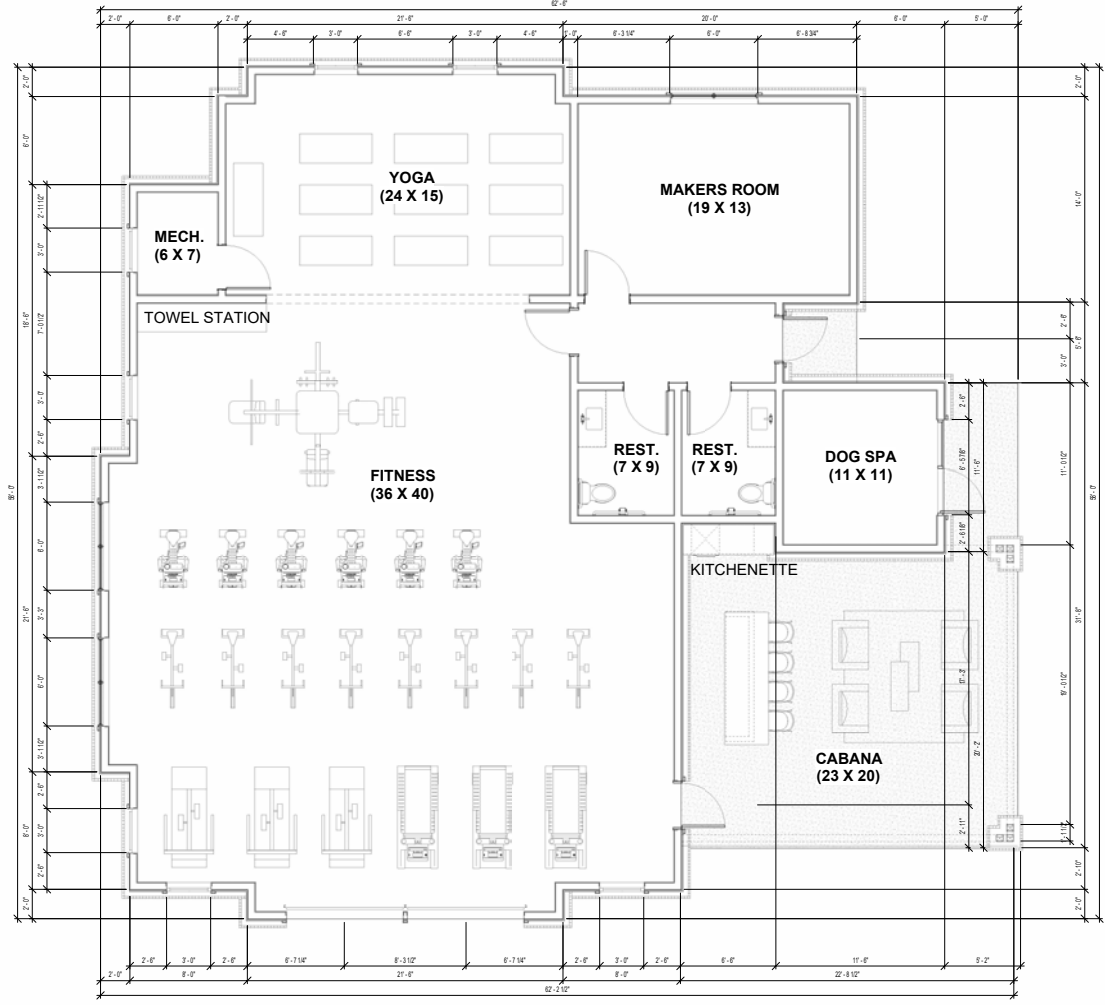
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 SHEET NUMBER: A3-71  
 LEASING-CLUB

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**PLAN LEGEND:**

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1	1 HOUR FIRE BARRIER
W	WINDOW KEY	HC	HVAC CONDENSER UNITS
C.L.	CONTROL LINE FLOOR CEILING & WALLS		REFER TO SHIP
PH	PANIC HARDWARE	27'	27' X 30" TIRRA ATTIC ACCESS
SC	STAINED CONCRETE	30'	30' X 48" TIRRA ATTIC ACCESS
P.F.	RY-ROOF FLASHING		LOCATIONS
	WALLS TO BE FIRE PROTECTED AT FIRE RATED PENETRATIONS		
	BUILDING CONCRETE AT 1ST FLOOR AND SLOPED TRUSSES AT UPPER FLOORS		
			BUILDING ORIENTATION

**CORR DOR WALL FINISH**  
 D.S. EXTERIOR SHEATHING - REFER TO A3-11  
 F.C.S. FIBER CEMENT SIDING - REFER TO A3-11

**GENERAL NOTES:**  
 \* WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE HANGED TO BAY TO BUILDING - REFER TO SPECIFICATIONS  
 \* GENERAL CONTRACTOR TO ENSURE CONTROL & EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.  
 \* COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES  
 \* ALL DIMENSIONS ARE FROM FINISH UNLESS NOTED OTHERWISE  
 \* REFER TO A3-01 FOR UNIT TABULATION

**1 FITNESS BUILDING**  
 1/4" = 1'-0"

BUILDING FOOTPRINT AREA - 3074 SQ. FT.  
 CONDITIONED AREA - 2518 SQ. FT.

**SPECIAL USE REVIEW ONLY**  
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**VENTURE AT LASTER FARMS**  
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PROJECT  
 23206

SHEET NUMBER  
 A3-81

FITNESS

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# VENTURE AT LASTER FARMS MULTIFAMILY

## KNOX COUNTY, TENNESSEE

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TRAFFIC IMPACT STUDY

OUTLET DRIVE  
KNOX COUNTY, TENNESSEE

CCI PROJECT NO. 01852-0000.000



**REVISION 1 (1/16/2025)**

This report replaces the previous version of the traffic impact study dated 12/16/2024 prepared for this project in its entirety. The associated changes are related to incorporation of review comments from the Town of Farragut, Knox County, and Knoxville-Knox County Planning.

**PREPARED FOR:**

Trinitas Development LLC  
8900 Keystone Crossing  
Suite 1225  
Indianapolis, IN 46240

**SUBMITTED BY:**

Cannon & Cannon, Inc.  
10025 Investment Drive  
Suite 120  
Knoxville, TN 37932

REVISION 1  
JANUARY 20

**2025**

2-B-25-UR / 2-C-25-DP  
TIS Version 2  
1/20/2025

## CONCLUSIONS & RECOMMENDATIONS

The primary conclusion of this study is that the traffic generated from the proposed development will have some impacts at the study intersections. Congestion and queueing issues during peak hours do currently exist at the intersection of Campbell Station Road at Snyder Road, and the proposed development is expected to worsen the potential issues. The northbound approach is currently the worst leg of this intersection and will continue to experience increasing queues. Addition of a northbound right lane with an overlap phase will greatly impact the functionality and capacity of this intersection. Furthermore, delays and queue lengths at the intersection of Lovell Road at Outlet Drive are anticipated to worsen particularly during the PM peak hour. However, these impacts could likely be reduced to an acceptable level with optimized signal timing at this intersection.

Based on the above conclusions and other discussions throughout the report, the following is a list of recommendations developed with this traffic impact study:

- 1) Addition of an exclusive northbound right turn lane with storage of 100 feet and a taper length of 140 feet at the intersection of Campbell Station Road at Snyder Road; this will require removal of the concrete island and pole location to outside the intersection. This turn lane would fall within the Town of Farragut.
- 2) Replace a 3 section signal head for the northbound approach of Campbell Station Road at Snyder Road with a 5 section right turn signal head.
- 3) Addition of a westbound right turn lane with storage of 75 feet and a taper of 140 feet at the intersection of Outlet Drive at the site access. This turn lane would fall within both Knox County and the Town of Farragut.
- 4) Upon full buildout of the development, update the traffic signal timing at the intersections of Campbell Station Road at Snyder Road and Lovell Road at Outlet Drive. Each of these signals are in coordinated systems, so splits and offsets can be adjusted, but the overall signal system timing may remain.
- 5) Ensure that grading, landscaping, signing, and other site features do not restrict lines of sight exiting the development along Outlet Drive.



## Type “B” Screen: Continuous

**APPROPRIATE LOCATION:** Screening parking and loading areas from adjoining residential and office districts

**NOTE:** Landscape buffer strips should be a minimum of 12 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

### INTRODUCTION

Landscape screening reduces the impact of intense development upon adjacent land uses by providing visual separation, reducing the transmission of glare and air pollution, and limiting access. Screening also promotes the aesthetic appeal of a neighborhood and promotes higher property values.

This series of design guidelines defines several types of landscape screen. Each type is applicable to a certain intensity of conflict between adjacent land uses. Each screen type is illustrated by several planting schemes with an equivalent height, density and opacity of landscaping.

Planning uses these guidelines to illustrate desirable levels of screening appropriate to various site planning situations. Creative alternatives which achieve a comparable effect are encouraged.

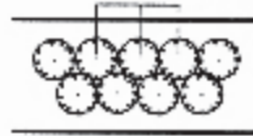
The contents of these guidelines are advisory and are intended to supplement, but not replace, the requirements of the Knoxville Zoning Ordinance and the Knox County Zoning Ordinance.

SHRUB HEIGHT  
Installed: 4 ft.  
Mature: 6 ft.

- Two offset rows of evergreen shrubs

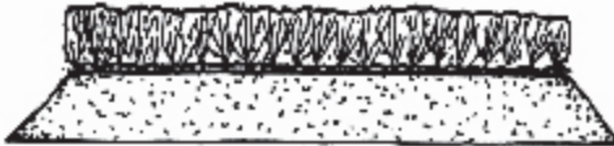


Maximum 4' Centers



SHRUB HEIGHT  
Installed: 2 ft.  
Mature: 3 ft.

- A continuous row of evergreen shrubs on a 3 ft. high earth berm



Maximum 3' Centers



TREE HEIGHT  
Installed: 8 ft.  
Mature: 15 ft.

- A 5 ft. high masonry wall or timber fence with evergreen trees and low shrubs or climbing vines



Maximum 50' Centers

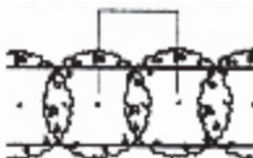


TREE HEIGHT  
Installed: 8 ft.  
Mature: 20 ft.

- One row of evergreen trees with branches touching the ground



Maximum 10' Centers



## Suburban Mixed Residential

Suburban Mixed Residential areas are similar in pattern to Suburban Residential but with a greater mix of housing types, including attached housing or small-scale multifamily housing.

Existing areas exhibit a pattern of curvilinear streets, long blocks, and limited connectivity between neighborhoods and other non-residential areas. Future developments should feature street and path connections to adjacent neighborhoods, walkable proximity to parks, and bikeable proximity to neighborhood commercial areas.

Locations are typically near or adjacent to collector roads within close proximity to existing or planned neighborhood services and served by sewer systems.

### LAND USE MIX

#### Primary Uses

Residential, Single family  
Residential, Attached

#### Secondary Uses

Civic  
Commercial

### HOUSING MIX

- Single family subdivisions with small lots
- Attached residential such as duplexes, multiplexes, and townhomes that have the scale of a single family home

### FORM ATTRIBUTES\*

#### BUILDING FORM

##### Height

1-3 stories

##### Setback

20-30 feet

#### TRANSPORTATION

##### Primary Mode(s)

Automobile

##### Secondary Mode(s)

Walk, Bike

##### Parking

On-street and private off-street; individual drives from street.

##### Streets

Dead-end streets should be limited. Street connections to adjacent residential areas should be provided in new subdivisions.

#### OPEN SPACE

Most open space takes the form of private yards. Public neighborhood parks should be located in prominent, easily-accessible locations. Schools could also supplement public parks. Some residential areas include shared access to private open space.

### EXAMPLE PATTERN

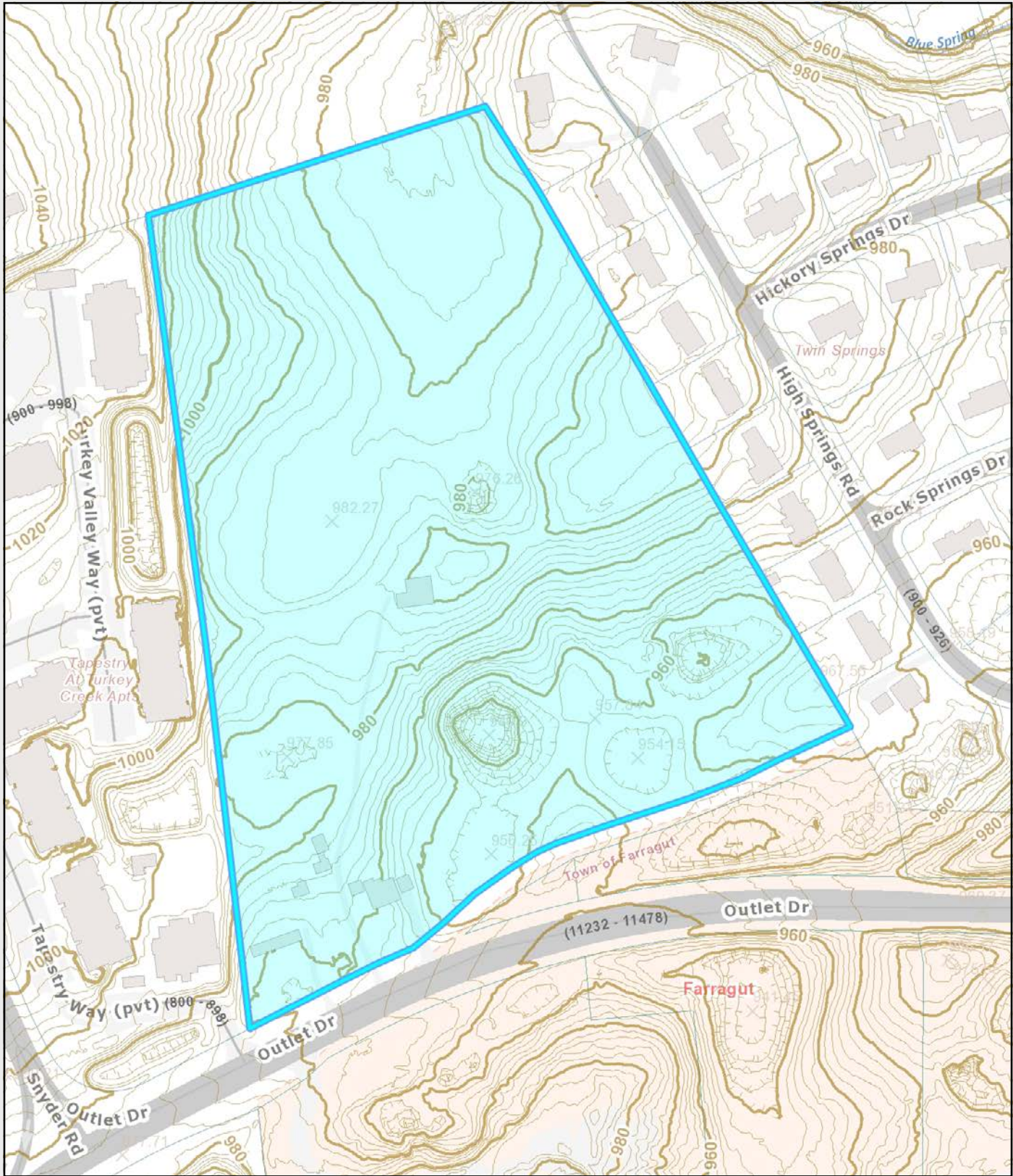


### EXAMPLE CHARACTER



\*See page 42 for more information on form attributes.

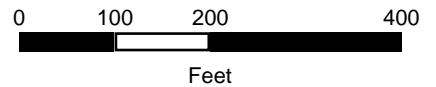




## Closed Contours (Potential Sinkholes)

### Exhibit E

Revised: 2/7/2025



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Reset Form



# Development Request

- DEVELOPMENT**
- Development Plan
  - Planned Development
  - Use on Review / Special Use
  - Hillside Protection COA
- SUBDIVISION**
- Concept Plan
  - Final Plat
- ZONING**
- Plan Amendment
    - SP
    - PA
  - Rezoning

Venture at Laster Farms Owner LLC

Developer

Applicant Name		Affiliation	
December 27, 2024	February 13, 2025	<div style="border: 1px solid black; padding: 5px;"> <p style="text-align: right; margin: 0;">File Number(s)</p> <p style="margin: 0;">2-SF-25-C</p> <p style="margin: 0;">2-C-25-DP</p> <p style="margin: 0;">2-B-25-UR</p> </div>	
Date Filed	Meeting Date (if applicable)		

## CORRESPONDENCE All correspondence related to this application should be directed to the approved contact listed below.

Applicant    Property Owner    Option Holder    Project Surveyor    Engineer    Architect/Landscape Architect

Adrien Dannemiller		Millstone Management	
Name		Company	
9820 Westpoint Drive	Indianapolis	IN	46256
Address	City	State	ZIP
(317) 525-9464	[REDACTED]		
Phone	Email		

## CURRENT PROPERTY INFO

Candy Laster	11471 Outlet Drive	
Property Owner Name (if different)	Property Owner Address	Property Owner Phone
11471 Outlet Drive, Knoxville, TN 37932	130 0175	
Property Address	Parcel ID	
First Utility District (FUD)	First Utility District (FUD)	N
Sewer Provider	Water Provider	Septic (Y/N)

## COMMUNITY ENGAGEMENT Sign and return the **Public Notice & Community Engagement** form with this application.

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). **We require applicants to acknowledge their role in this process.**

View Form

### DEVELOPMENT REQUEST

- Development Plan  
  Use on Review / Special Use  
  Hillside Protection COA  
 Residential  
  Non-Residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) \_\_\_\_\_

Related City Permit Number(s)

### SUBDIVISION REQUEST

Proposed Subdivision Name \_\_\_\_\_

Combine Parcels  
  Divide Parcel  
 Unit / Phase Number \_\_\_\_\_

320

Total Number of Lots Created

Other (specify) \_\_\_\_\_

Attachments / Additional Requirements

Related Rezoning File Number

### ZONING REQUEST

Zoning Change

Proposed Zoning \_\_\_\_\_

Plan Amendment Change

Proposed Plan Designation(s) \_\_\_\_\_

Pending Plat File Number

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

Other (specify) \_\_\_\_\_

### STAFF USE ONLY

#### PLAT TYPE

- Staff Review  
  Planning Commission

#### ATTACHMENTS

- Property Owners / Option Holders  
  Variance Request  
 Amendment Request (*Comprehensive Plan*)

#### ADDITIONAL REQUIREMENTS

- Use on Review / Special Use (*Concept Plan*)  
 Traffic Impact Study  
 COA Checklist (*Hillside Protection*)

Fee 1	Total
	<b>\$1,600.00</b>
Fee 2	
Fee 3	

### AUTHORIZATION

**By signing below, I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property AND 2) The application and all associated materials are submitted with his/her/its consent. If there are additional owners or options holders, each additional individual must sign the Property Owners/Option Holders Form.**

*Adrien Dannemiller*  
Applicant Signature

Adrien Dannemiller

12/26/2024

317-525-9464

Print Name / Affiliation

Date

Phone Number

Email

Authentisign  
*Candy Laster*      12/26/24

Candy Laster

12/27/2024, SG

Property Owner Signature

Please Print

Date Paid



# Public Notice and Community Engagement

## Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

**Planning staff will post the required sign.** If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

### Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

### Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

## Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s).

### Acknowledgement

*By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.*

12/31/2024

14  
02/15/2025

Date to be Posted

Date to be Removed

**Have you engaged the surrounding property owners to discuss your request?**

- Yes    No
- No, but I plan to prior to the Planning Commission meeting

*Adrian Damumiller*  
Applicant Signature

Venture at Laster Farms Owner LLC

Applicant Name

12/26/2024

Date  
2-SF-25-C;  
2-C-25-DP; 2-B-25-UR

FILE NUMBER