



DEVELOPMENT PLAN REPORT

► **FILE #:** 6-M-25-DP

AGENDA ITEM #: 54

AGENDA DATE: 6/12/2025

► **APPLICANT:** GREGORY S. CAMPBELL

OWNER(S): DR Horton, Inc

TAX ID NUMBER: 118 01609

[View map on KGIS](#)

JURISDICTION: County Commission District 3

STREET ADDRESS: 0 CENTERPOINT BLVD

► **LOCATION:** West side of the terminus of Centerpoint Blvd, north of Commons Point Dr

► **APPX. SIZE OF TRACT:** 6.17 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access would be via Centerpoint Boulevard, a local street with a pavement width of 32 ft within a right-of-way which varies in width from 50 ft to 55 ft.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

FIRE DISTRICT: Karns Fire Department

WATERSHED: Beaver Creek, Hickory Creek

► **ZONING:** BP (Business and Technology Park), TO (Technology Overlay)

► **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

► **PROPOSED USE:** Two 30,000 sq ft office buildings

HISTORY OF ZONING: This property was part of a larger rezoning in 1983 which created the TO (Technology Overlay) (12-FF-83-RZ).

SURROUNDING LAND USE AND ZONING:

North: Pellissippi Parkway - BP (Business and Technology Park), CA (General Business), TO (Technology Overlay)

South: Office, transportation/communications/utilities - BP (Business and Technology Park), TO (Technology Overlay)

East: Office - BP (Business and Technology Park), TO (Technology Overlay)

West: Multifamily residential - OB(k) (Office, Medical, and Related Services) with conditions, TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: This area is comprised of office park developments adjacent to multifamily developments.

STAFF RECOMMENDATION:

► **Approve the development plan for two 29,200 sq ft office buildings, subject to 6 conditions.**

1) If during design plan approval or construction of the development, it is discovered that unforeseen off-site improvements within the right-of-way are necessary as caused by the development, the developer will either

enter into a memorandum of understanding (MOU) with the County for these improvements or reimburse the County for their direct expenses (if completed by County crews) to make corrections deemed necessary.

- 2) A Transportation Impact Letter will be required during the design plan phase.
- 3) Providing a sidewalk across the property's frontage as required by Engineering and Public Works.
- 4) Meeting all other applicable requirements of the Knox County Zoning Ordinance and TTCDA Guidelines.
- 5) Meeting all requirements of the Knox County Department of Engineering and Public Works.
- 6) Obtaining a certificate of appropriateness (COA) indicating compliance with the TTCDA Guidelines for landscaping plans, elevations plans, signage plans, and lighting plans (if applicable) prior to applying for a building permit.

With the conditions noted, this plan meets the requirements for approval in the BP district and the criteria for approval of a development plan.

COMMENTS:

This proposal is to create two approximately 29,200 sq ft office buildings, with the 2nd building to be constructed in Phase 2, on Centerpoint Blvd west of Pellissippi Pkwy. Building elevations have been provided for the first building, which is closest to Pellissippi Parkway. Elevations, floor plans, and additional landscaping will be required for the Phase 2 building.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE

BP (Business and Technology Park), TO (Technology Overlay):

A. The BP (Business and Technology Park) is intended to provide for a wide range of land uses which are generally categorized in business, industrial and/or office classifications of use. This property is within the TO (Technology Overlay) zone and must meet the (Tennessee Technology Corridor Development Authority) TTCDA Guidelines for a development plan approval (6-B-24-TOB). While the board has been dissolved, development within the TO zone is still subject to the TTCDA Design Guidelines and requires administrative review by Planning staff. Planning staff reviewed these plans and has issued a certificate of appropriateness (COA) for the site plan layout. Review and a COA for the elevations, floor plans, and additional landscaping by Planning will also be required.

2) KNOX COUNTY COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES

A. Policy 3: Encourage infill and development of underutilized land. This property is a part of the Centerpoint Business Park subdivision, which was approved in 1990 (9-SD-90-C) and has continued to be built out, though this parcel has remained vacant.

B. Policy 9.3: Focus growth in areas already served by adequate infrastructure. This property accesses the Lovell Rd interchange with Pellissippi Pkwy and is part of a business park served by sewer and water.

3) KNOX COUNTY COMPREHENSIVE PLAN - PLACE TYPE

A. The property is classified as BP (Business Park), RC (Rural Conservation), and HP (Hillside Protection). The Business Park place type lists office as a primary use. Rural Conservation areas are intended to conserve forested areas, ridges, wetlands, and other significant natural areas by clustering development and minimizing land disturbance. Generally, these areas conserve between 50-70% of a site as natural open space. The property is within the Centerpoint Business Park, and the rear of the property contains steep slopes. The office buildings will remain outside of the Hillside Protection area and 51% of the RC area will remain undisturbed.

4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

A. The property is within the Planned Growth Boundary. The purposes of the Planned Growth Boundary designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. This development is in alignment with these goals.

ESTIMATED TRAFFIC IMPACT: 849 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

Schools affected by this proposal: Hardin Valley Elementary, Hardin Valley Middle, and Hardin Valley Academy.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this development plan request is final, unless the action is appealed either to the Board of Zoning Appeals or to a court of competent jurisdiction within thirty (30) days of the decision being appealed (Knox County, Tennessee Code of Ordinances, Appendix A, Zoning, 6.50.08).

DEVELOPMENT PLAN

6-M-25-DP

Petitioner: Gregory S. Campbell



Two 30,000 sq ft office buildings in BP (Business and Technology Park), TO (Technology Overlay)

Original Print Date: 5/12/2025

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 118

Jurisdiction: County

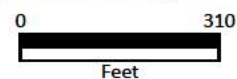
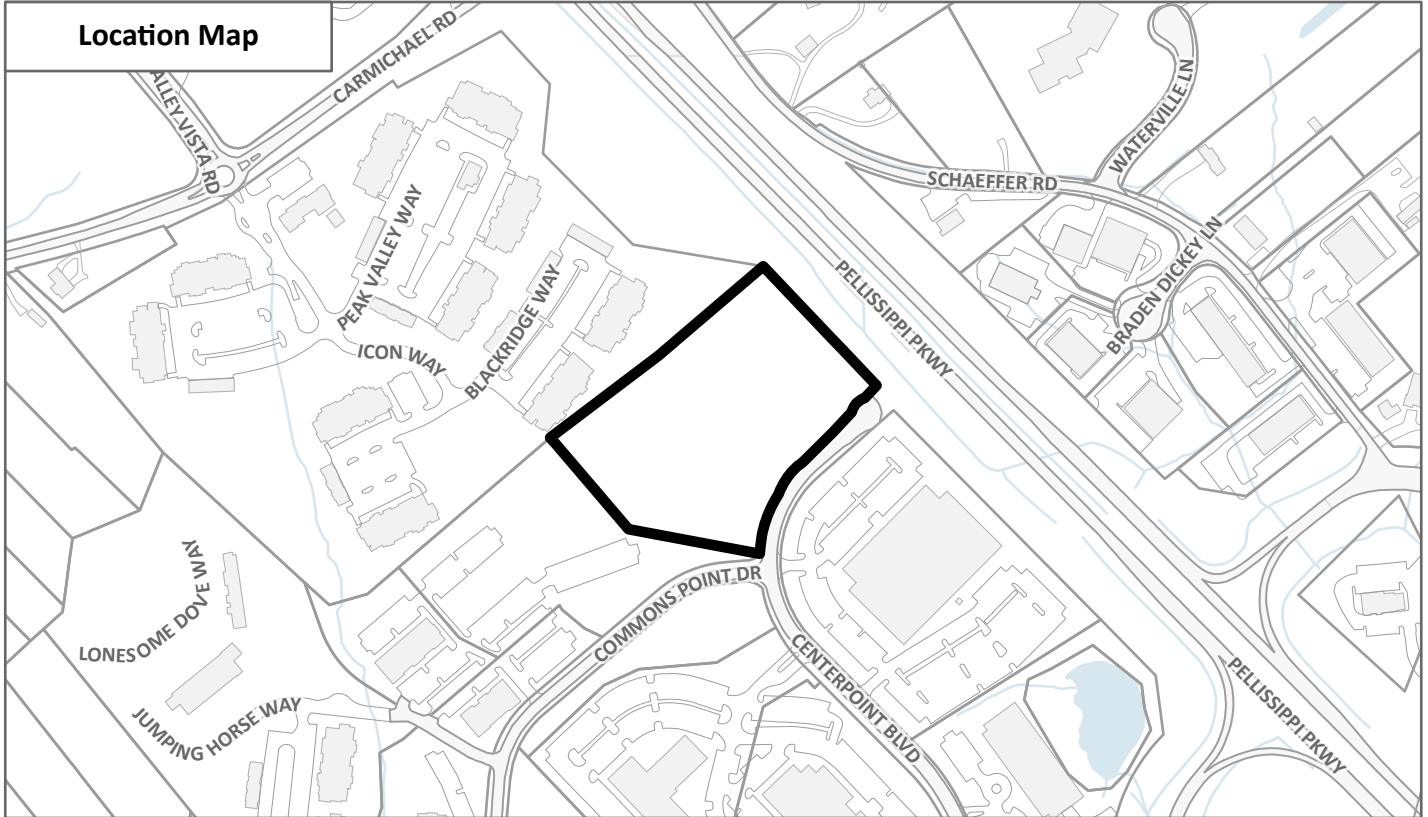


Exhibit A. Contextual Images

Location Map



Aerial Map

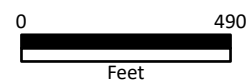


CONTEXTUAL MAPS 1

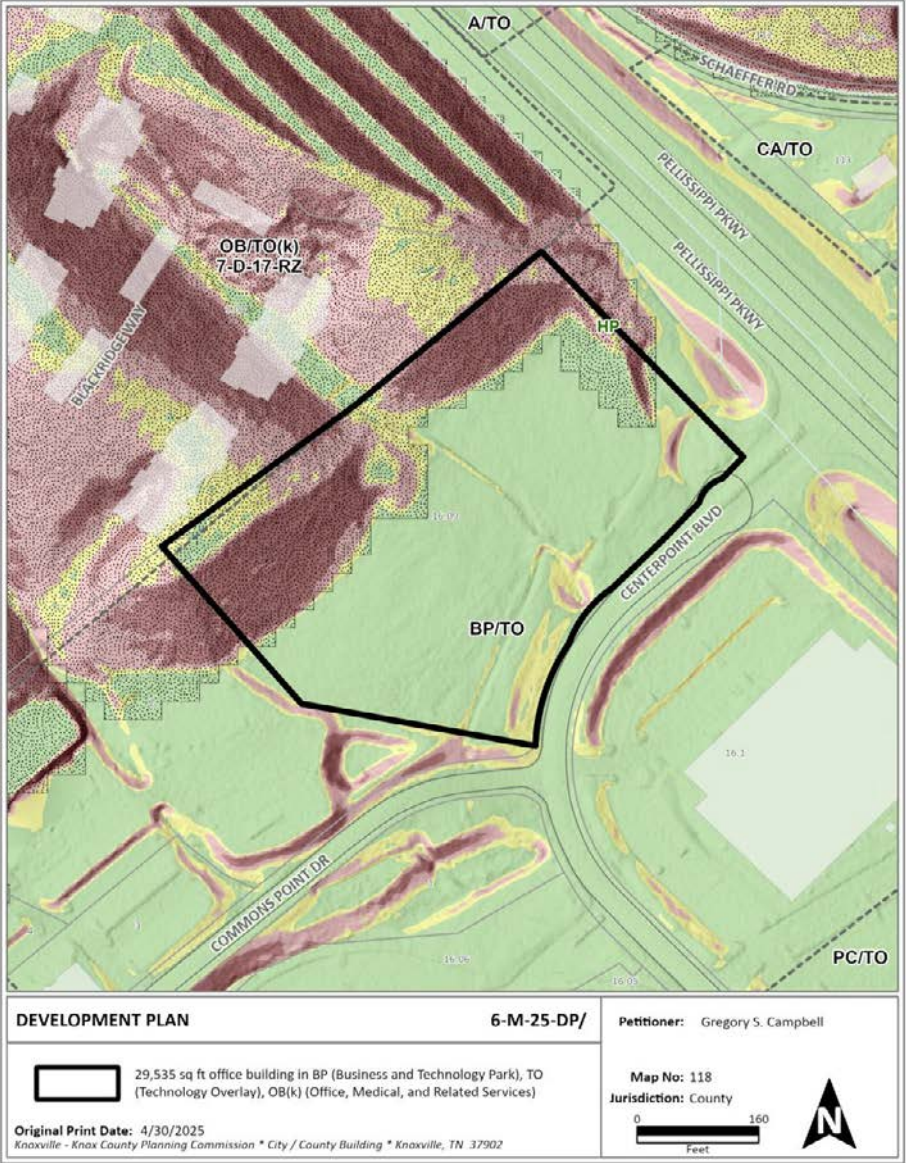
6-M-25-DP



Case boundary



CATEGORY	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Acres)
Total Area of Site	6.17		
Non-Hillside	3.91	N/A	
0-15% Slope	0.35	100%	0.35
15-25% Slope	0.28	50%	0.14
25-40% Slope	0.48	20%	0.10
Greater than 40% Slope	1.15	10%	0.11
Ridgetops			
Hillside Protection (HP) Area	2.26	Recommended disturbance budget within HP Area (acres)	0.70
		Percent of HP Area	31.1%





ANTICIPATED DESIGN REVIEW(S) SCHEDULE:

IDB:		TTCDA: 6-B-25-TOB		PLANNING COMMISSION: 6-M-25-DP	
DATE SUBMITTED:	2025-04-29	DATE SUBMITTED:	2025-04-28	DATE SUBMITTED:	2025-04-28
MEETING DATE:	TBD	MEETING DATE:	2025-06-09	MEETING DATE:	2025-06-09

[illegible]









NOTE: FOR CONCENTRATED BUSINESS AREAS, OCCUPANCY DOES NOT EXCEED 90 SF PER PERSON. ACTUAL SEAT COUNT IS USED IN LIFE SAFETY OCCUPANCY CALCULATIONS.

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25 | 24 | 23 | 22

A horizontal number line with arrows at both ends. It has major tick marks labeled 15, 16, 17, and 18. There are also minor tick marks between each major tick mark, representing half-integers.

	NON-RATED WALL ASSEMBLY
	NON-RATED CMU WALL
	NON-RATED WALL PLUMBING CHASE
	1-HOUR-RATED, FIRE BARRIER (IBC §707), SHAFT ENCLOSURE (IBC §710)
	1-HOUR-RATED, CMU FIRE BARRIER WITH FURRING ON OCCUPIED FINISH SIDE
	1-HOUR-RATED, CMU FIRE BARRIER (IBC §707)
	GLAZING SYSTEM (SEE ELEVATIONS & SPECS)
	INDICATES LOCATION OF WALL CONTROL JOINT(S)

-	OCCUPANCY GRAPHIC LEGEND	
	NOT TO SCALE	IBC 201

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DESIGN DEVELOPMENT FOR:
DR HORTON OFFICE
1431 CENTERPOINT BLVD, STE 110, KNOXVILLE

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SHEET DESCRIPTION

FIRST FLOOR LIFE SAFETY
PLAN

LS101

PROJECT DATE	PROJECT NUMBER
2025-05-27	24104

DOES AFFECT - CONTRACT TO PURCHASE SUBJECT PROPERTY

SECRET

GENERAL NOTES

2. REFERENCE PLANNING COMMISSION FILE NUMBER 6-M-25 DO & TCDIA FILE NUMBER 6-B-25 TOS
3. THE PROJECT SITE'S SHOWN ON TAX MAP 118, AS PARCELS 118.040.
4. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE SHALL BE REPEATED TO THE GOVERNING AUTHORITY. SUCH WORK SHALL BE REPEATED AT THE CONTRACTOR'S RISK AND AT NO ADDITIONAL EXPENSE TO THE GOVERNING AUTHORITY.
5. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
7. BASIC INFORMATION WAS OBTAINED FROM A SURVEY PREPARED BY VINCH SURVEY LLC DATED 02/06/2023. DATA AND INFORMATION WAS NOT CONSIDERED TO BE FIELD REPRESENTATIVE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY OMISSIONS OR COMMISSIONS RESULTING FROM SUCH.
8. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. BURIED UTILITY ROUTING, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER.
9. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT ALL UTILITIES REMAINING UNDISTURBED. ANY DAMAGE OCCASIONED TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONNECTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 24 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
10. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL GOVERNING AGENCY AND STATE OF REGULATIONS AND SPECIFICATIONS.
11. ALL ROWWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY.

EROSION CONTROL NOTES:

- 2 THE DISTURBED AREA FOR THIS PROJECT IS APPROPRIATELY DESIGNATED AREA ACRES.
- 3
- 4 THE SURFACE SUBSTRY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO
- 5 COMMUNITY PANEL NO. 4709036C AND 4709036CZ OF THE F.E.M.A. FLOOD DAMAGE MAPS FOR
- 6 KNOX, TENNESSEE.
- 7 EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE
- 8 EARTH MOVING, OPERATION GRUBBING AND SIGNS MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE
- 9 CONSTRUCTION PERIOD. TRAILER AND EQUIPMENT MUST BE REMOVED AT THE BEGINNING OF THE WORKDAY
- 10 BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
- 11
- 12 PROVIDE TEMPORARY CONSTRUCTION ACCESSSES AT THE POINTS WHERE CONSTRUCTION VEHICLES EXIT
- 13 THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- 14
- 15 THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR THE SITE: THE DATES WHEN MAJOR GRADING
- 16 OPERATIONS BEGAN AND ENDED, THE DATES WHEN THE CONSTRUCTION OF PERMANENT CULVERTS BEGAN
- 17 A PORTION OF THE SITE, THE DATES WHEN STABILIZATION MATERIALS ARE INITIATED, INSPECTION RECORDS AND
- 18 RECORDS OF THE CONSTRUCTION OF THE EROSION CONTROL MEASURES.
- 19
- 20 THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A
- 21 REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
- 22
- 23 PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE
- 24 THAN 15 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDER AND/OR
- 25 MULCHED OR COVERED WITH EQUIVOCAL COVER IS INSTALLED.
- 26
- 27 CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRAZED OR FORAGED AREAS.
- 28
- 29 SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE
- 30 ENVIRONMENTAL AGENCY. IT SHALL NOT BE PLACED AT A LOCATION CLOSE TO THE ADJACENT WATERSHED. IT
- 31 SHALL NOT BE PLACED IN A LOCATION WHERE IT COULD BE WASHED INTO THE ADJACENT WATERSHED OR
- 32 CONTAMINATED OR DAMAGED BY THE CONSTRUCTION IN THE RUN OFF. THE CONTRACTOR SHALL OBTAIN
- 33 APPROVAL FROM THE ENVIRONMENTAL AGENCY FOR THE LOCATION OF THE SEDIMENT.
- 34
- 35 SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAP, SILT FENCES, SEDIMENTATION POND AND OTHER
- 36 SEDIMENT CONTROLS AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY
- 37 50% OR AS DIRECTED BY CHARGED RESPONSIBLE.
- 38
- 39 SEDIMENT SHALL BE REMOVED FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY
- 40 LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SEDIMENT.
- 41
- 42 THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES
- 43 ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE
- 44 PRESENCE OF A SUFFICIENTLY REPRESENTATIVE SAMPLE OF THE ADJACENT WATERSHED.
- 45
- 46 SOIL ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED. UNLESS
- 47 OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH

SITE LAYOUT NOTES

- THE SITE LAYOUT SHALL BE BASED ON REFERENCE POINTS AS NOTED.
- THE PROPOSED BUILDING SHALL BE Laid OUT UTILIZING THE REFERENCE BUILDING CORNER POINTS AS CONTROL AND THE ARCHITECTURAL DRAWINGS. DIMENSIONS SHOWN TO THE PROPOSED BUILDING ARE CALCULATED TO THE FACE OF EXTERIOR WALL. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLOUGH FILL ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
- THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- CURBS SHALL BE PARALLEL TO THE CENTRELINE OF DRIVES. THE CURBS SHALL BE PLACED ONLY AFTER FINISHING ALL DRIVE PAVEMENT UP TO THE CURBS LOCATED AT THE FACE OF CURB OR AT A CONSIDERED OFFSET BY A REGISTERED LAND SURVEYOR.
- ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. GRADIENTS WHEN ACCESSIBLE SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS.
- CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 4000 PSI CONCRETE.
- THE CONTRACTOR SHALL COME PLANE IN THE DIRECTION OF TRAFFIC.
- THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.

SITE GRADING & DRAINAGE NOTES

- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO NOTIFY ALL UTILITIES OF ANY EXCAVATION OR DISTURBANCE PRIOR TO ANY EXCAVATION AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES.
- THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL ADJUST THE CASTINGS OF ALL MAIN AND EXISTING STRUCTURES TO MATCH PROPOSED GRADES.
- PROPOSED CONTIGUOUS AND/OR STEP ELEVATIONS ARE THE RESULT OF AN ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. THE CONTRACTOR SHALL NOT ATTEMPT TO ALTER THE PROPOSED GRADES OR ELEVATIONS WITHIN THE CONTINITY OF THE GRADES. THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
- ALL CUT AND FILL SLOPES SHALL BE 3:1 HORIZONTAL TO 1 VERTICAL OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL PIPES UNDER EXISTING WALKWAYS SHALL BE BACKFILLED TO THE SUBGRADE WITH CRUSHED STONE.
- MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1.0%. THE MAXIMUM GRADES WITH ACCESSIBLE SPACES SHALL BE 2% IN ANY DIRECTION.
- IF ANY EXISTING DRIVEWAY OR DRIVEWAY APPROACHES ARE TO BE REMOVED, THE SUBGRADE AND FINISH FRENCH DRAINS MAY BE REQUIRED. THE DRIVEWAY SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER.
- THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOIL REPORT HAS BEEN OBTAINED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE USE AND ADHERENCE TO THE RECOMMENDATIONS FOR THE WORK INDICATED SO SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE TO CONTRACT FILL SUFFICIENTLY AROUND AND OVER ALL EXISTING UTILITIES TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT AN OVERALL COST TO THE OWNER OF ZERO.
- IN NO CASE SHALL SLOPE, HEIGHT, SLOPE LOCALIZATION, OR EXCAVATION DEPTH INCLUDING TRINCHE CONSTRUCTION, EXCEED THOSE SPECIFIED IN THE STATE AND FEDERAL REGULATIONS, SPECIALLY NOTICED OR DETERMINED BY THE LOCAL GOVERNMENT AGENCIES.
- DO NOT DISRUPT VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- STRIP TOPPOES FROM ALL CUTS AND FILL AREAS AND STOCKPILE UNTIL COMPLETION OF GENERAL GRADING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF STRIP TOPPOES SOIL IF INSUFFICIENT QUANTITIES ARE ON SITE.
- TOP OF GRADE ELEVATIONS AND LOCATION OF COORDINATES FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE PLANS, UNLESS NOTED OTHERWISE. THE GRADES SHALL SLOPE CONTINUOUSLY WITH THE PAVEMENT GRADES.
- ALL DRAINAGE CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE STATE OF TEXAS.
- POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL-SUPPORTED BY PERCHED WATER IN FOUNDATION AREAS SHALL BE MAINTAINED AS SUCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE GEOTECHNICAL ENGINEER, CONSTRUCTION, SOIL-INSULATION INTO EXCAVATIONS SHOULD BE MAINTAINED AS SUCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE GEOTECHNICAL ENGINEER, CONSTRUCTION, SOIL-INSULATION INTO EXCAVATIONS SHOULD BE MAINTAINED AS SUCH.
- REINFORCED CONCRETE STORM DRAINAGE PIPE SHALL BE CAST IN WALL "T" HOPE SHALL BE CORRUGATED, SMOOTH WALL IN 12" WITH 3/4" SLAT GRATES.
- FILL SLOPES 3:1 AND GREATER SHALL BE PLACED AND COMPACTED 3' BEYOND PROPOSED LIMITS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO THE 10' BEYOND THE PROPOSED LIMITS.
- THE CONTRACTOR SHALL PROVIDE AN AIRBILT SURVEY STAMPOD BY A LICENSED SURVEYOR IN THE STATE OF TEXAS FOR ALL STORM SYSTEMS, ONSITE DETENTION POND, AND WATER QUALITY MEASURES. VERIFY COMPLIANCE WITH DESIGN DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD ADJUSTMENTS TO AVOID TREES, IF POSSIBLE. THE CONTRACTOR SHALL WALK THE ALIGNMENT OF THESE SWALES AND DITCHES IN THE FIELD TO VERIFY ADJUSTMENTS OF TREES.
- FILL TOPOES SHALL BE AS POSSIBLE. THE CONTRACTOR SHALL BE TREATED TO THE SEEMING OF AVOID NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS.
- ANY SITE USE FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR THE USE OF THE CONTRACTOR TO THE PROPOSED PROJECT. THE CONTRACTOR SHALL BE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK OF ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR BEING SUBJECT TO A STOP WORK ORDER.
- IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO WASTE EXCESS EARTHWORK OFF SITE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FIRST OBTAIN THE EXCESS MATERIAL TO BE USED FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EARTH MATERIALS. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUTTABLE MATERIAL AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EARTH MATERIALS. IF SUFFICIENT AMOUNTS OF MATERIAL ARE NOT AVAILABLE ON SITE.
- SEGMENTAL WALLS SHALL BE PROVIDED BY THE CONTRACTOR AS A DESIGN BUILD. WALL DESIGN PLANS SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY GEOTECHNICAL ENGINEER AS A SHOP DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY GEOTECHNICAL ENGINEER AS A SHOP DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY GEOTECHNICAL ENGINEER AS A SHOP DRAWING.

GEOTECHNICAL NOTES

3. A GEOLOGICAL REPORT FOR THE SITE HAS BEEN PREPARED BY THE FOLLOWING FIRM, DATED MAY XX, XXXX. REFER TO REPORT FOR RECOMMENDATIONS.
2. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOLOGICAL ENGINEER PRIOR TO PLACEMENT. THIS MATERIAL SHALL BE PLACED IN LOTS DICTATED BY THE GEOLOGICAL ENGINEER AND COMPACTED AS SPECIFIED BY THE GEOLOGICAL ENGINEER.
3. WHERE DRAINAGE OR UTILITY LINES OCCUR IN PROPOSED FILL AREAS, THE FILL MATERIAL IS TO BE PLACED AND COMPACTED PRIOR TO INSTALLATION OF DRAINAGE OR UTILITY LINES. FILL IS TO BE INSPECTED BY A PROFESSIONAL GEOLOGICAL ENGINEER TESTING FROM SUPPLIED BY THE OWNER. RESULTS OF THE TEST SHALL BE FURNISHED TO THE GEOLOGICAL ENGINEER. CONTRACTOR TO PAY FOR ANY TESTING.
4. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PILES, STRUCTURES, VALVE STEMS, ETC. INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
5. ALL EARTHWORK, INCLUDING THE UNPAVED SURFACE AND EACH LAYER OF FILL, SHALL BE MONITORED AND APPROVED BY A QUALIFIED GEOLOGICAL ENGINEER, OR HIS REPRESENTATIVE.

SITE UTILITY NOTES

1. ALL WATER SERVICES SHALL BE OF THE MATERIAL INDICATED ON THE PLAN. POLYVINYLCHLORIDE (PVC) SHALL BE USED FOR ALL SERVICES EXCEPT AS NOTED.
2. ALL SANITARY LINES, SEWER LINES, AND APPLURANCES SHALL BE OF MATERIALS AND CONSTRUCTION THAT CONFORM TO INTERFERENCE CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
3. PROVIDE A MINIMUM 360° OF COVER OVER ALL WATER LINES.
4. THE CONTRACTOR SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES, WHERE THE SEPARATION IS LESS THAN 10 FEET, THE CONTRACTOR SHALL MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
5. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTENCE HORIZONTAL AND VERTICAL LOCATION OF EXISTING SANITARY SEWER LINES, SEWER MAINS, AND SEWER LATERALS. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITIES USED BY THIS WATERLINE SO AS NOT TO CONFLICT WITH SANITARY SEWERS, SANITARY SEWER LATERALS, OR SEWER MAINS. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
7. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
8. BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FISHED AND TESTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE VERIFICATION VERBALLY TO ALLOW THE UTILITY TO PASS UNDER OR OVER EACH UTILITY LINES. ALL BRINGS AND BRACES NEED NOT BE ACTUALLY SHOWN, BUT THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES AND FOR BRACING AND/OR RODDING AT ALL BENDS AND TIES AS REQUIRED BY INTERFERENCE CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
9. REPAIR ALL DAMAGE TO EXISTING FEATURES (AS DRYES, ROOTS, LANDSCAPING, ETC.) TO PRE-CONSTRUCTION CONDITION.
10. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ALLOW THE ALIGNMENT OF THE WATERLINE. THE CONTRACTOR SHALL PROVIDE VERIFICATION VERBALLY TO ALLOW THE UTILITY TO PASS UNDER OR OVER EACH UTILITY LINES. ALL BRINGS AND BRACES NEED NOT BE ACTUALLY SHOWN, BUT THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES AND FOR BRACING AND/OR RODDING AT ALL BENDS AND TIES AS REQUIRED BY INTERFERENCE CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
11. REDUCE PRESSURE BACKFLOW PREVENTER (PBPB) OR DUAL CHECK WILL BE REQUIRED ON ALL TESTS AND FINAL MEASUREMENTS. PRESSURE VERIFICATION BACKFLOW PREVENTER AND MUST BE APPROVED BY INTERFERENCE CITY PUBLIC WORKS.
12. COORDINATE THE EXACT LOCATION OF ALL UTILITIES FROM THE BUILDING WITH THE PLUMBING PLANS.
13. WATER METERS SHALL BE AT LEAST 22" BUT NOT MORE THAN 24" FROM TOP OF METER TO PROPOSED WATERLINE.
14. THE CONTRACTOR SHALL VERIFY SIZES FOR EXISTING PIPES, ALL BENDS AND TIES AND SIZES AS SHOWN ON PLANS.
15. REPAIR EXISTING CURB, CEMENT, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION OR TO ADDITIONAL COST, TO THE OWNER.
16. THE PROPOSED CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
17. THE PROPOSED ELECTRICAL LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRICAL COMPANY BY THE CONTRACTOR.
18. THE PROPOSED TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL TELEPHONE COMPANY BY THE CONTRACTOR.
19. THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER LINES HORIZONTALLY AND/OR VERTICALLY TO ALLOW THE REQUIRED BRACING AT BENDS AND TIES.
20. EXISTING CASTINGS LOCATED IN FLAT CURB AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE SURFACE OF THE CURB.
21. WATER SERVICES SHALL BE TYPE K CURB AND SHALL INCLUDE CORPORATION STOPS, CURB STOPS, PRESTRESS METE BOX AND ALL OTHER FITTINGS AS REQUIRED BY INTERFERENCE CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
22. THE OUTSIDE OF ALL MANHOLES SHALL BE COATED WITH BITUMINOUS PAINT.
23. ALL WATER LINE SERVICES SHALL TERMINATE AT A METER BOX LOCATED 10 FEET FROM THE R.O.W. LINE.
24. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES AND FEATURES OF THE PROPERTY. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK IN AREAS WHERE THE CONTRACTOR'S EQUIPMENT WILL BE REQUIRED TO FURNISH ACCESS TO THE PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SUCH ACCESS.
25. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR REPAIRS WILL BE REQUIRED. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
26. COORDINATE ANY UTILITY FACILITIES THAT WILL REMAIN IN PLACE. OTHER UTILITY FACILITIES MAY NEED TO BE REMOVED INCONSPICUOUSLY WITH THE CONTRACTOR'S OPERATIONS.
27. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY THE CORING AND RESIN/SEAL METHOD.
28. FIRE HYDRANT ASSEMBLIES INCLUDING THE APPROPRIATE SIZE TIE (WITH KICKER), 6" TO HYDRANT 5" GATE VALVE WITH VALVE BOX, AND FIRE HYDRANT (WITH KICKER). HYDRANTS SHALL BE INSTALLED AT THE INTERFERENCE CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
29. THE CONCRETE CAPS AND ENCASEMENTS ON ALL WATER SERVICES SHALL BE A MINIMUM OF 6" THICK LUST 3000 PSI CONCRETE.
30. ALL SANITARY SEWER SERVICES SHALL BE 6" DIAMETER AND EXTEND 10 FEET BEYOND THE PROPERTY LINE.
31. CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #8 WIRE.
32. BACKFLOW PREVENTER DEVICE FOR THE DOMESTIC WATER SERVICE SHALL BE LOCATED INSIDE THE BUILDING, SEE THE PLUMBING TRACINGS FOR THE LOCATION OF THE BACKFLOW PREVENTER.
33. SHAMES SHALL BE USED TO BE GALVANIZED STEEL.
34. ALL PROPOSED LOT CORNERS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION OF SANITARY SEWERS. CONTROL POINTS ARE AS SHOWN ON THE SITE LAYOUT PLAN.
35. SEWER SERVICES TO BE 8" DIAMETER UP TO A MINIMUM SLOPE OF 1.0% UNLESS SHOWN OTHERWISE ON THE DRAININGS. LINES ARE TO BE COVERED BY THE BUILDINGS. COORDINATE CONNECTION POINTS WITH THE BUILDING PLUMBING TRACINGS FOR THE LOCATION OF THE CONNECTION OF ALL SEWER SERVICES IN GRASS AREAS AND 48" COVER IN PAVED AREAS.
36. ALL FIRE LINES SHALL BE INSTALLED BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF THE PROJECT.
37. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE STORM DRAIN CONNECTIONS AT THE INTERFERENCE CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
38. EXISTING STANDARDS OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT.
39. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



EX CONTOUR (5 FT)	_____
EX CONTOUR (1 FT)	_____
PROPERTY LINE	_____
LIMITS OF DISTURBANCE	_____
SILT FENCE	_____
STRAW WATTLE	_____
CONSTRUCTION EXIT	_____
ROLLED EROSION CONTROL PRODUCT	_____
TEMPORARY SEEDING AREAS	_____
RIP-RAP OUTLET PROTECTION	_____
INLET PROTECTION	_____

1431 CENTERPOINT BLVD, STE 110, KNOXVILLE TN 37932

C301

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INSPECTIONS DESCRIBED IN PARAGRAPHS 2.1 AND 4 BELOW, SHALL BE PERFORMED AT LEAST TWICE EVERY CALENDAR WEEK. INSPECTIONS SHALL BE PERFORMED AT LEAST 72 HOURS AHEAD WHERE SITES OR PORTIONS OF CONSTRUCTION SITES HAVE BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO CONDITIONS (E.G. SITE COVERED WITH SNOW OR ICE) OR DUE TO EXTREME DROUGHT. THIS INSPECTION ONLY HAS TO BE CONDUCTED ONCE PER MONTH UNTIL THAWING OR PRECIPITATION RESULTS IN RUNOFF OR CONSTRUCTION ACTIVITY RESUMES. INSPECTION REQUIREMENTS DO NOT APPLY TO DEFINABLE AREAS THAT HAVE BEEN FINALLY STABILIZED. WRITTEN NOTIFICATION OF THE INTENT TO CONDUCT INSPECTION PERIODICALLY SHALL BE PROVIDED TO THE LOCAL ENVIRONMENTAL FIELD OFFICE. SHOULD ENVIRONMENTAL GOVERNING AGENCY DISCOVER THAT MONTHLY INSPECTIONS OF THE SITE ARE NOT APPROPRIATE DUE TO INSUFFICIENT STABILIZATION OR OTHERWISE, THE AGENCY SHALL ADVISE THE AGENCY OF RECORD. THE AGENCY OF RECORD MAY INSPECT THE SITE TO CONFIRM OR DENY THE NOTIFICATION TO CONDUCT MONTHLY INSPECTIONS.

- NOTE:**
CONTRACTOR SHALL INSTALL A 4'X4' WEATHER PROOF SIGN (6' HEIGHT) AT THE MAIN CONSTRUCTION ENTRANCE. THE SIGN SHALL HAVE THE FOLLOWING INFORMATION:

TEMPORARY SEEDING RECOMMENDATION FOR LATE WINTER AND EARLY

TEMPORARY SEEDING RECOMMENDATION FOR SUMMER	
SEEDING RATE (kg/ha)	

TEMPORARY SEEDING RECOMMENDATION FOR FALL			

TABLE NOTES:

1. SOURCE: SECTION 7.8 OF THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK, 4TH EDITION, AUGUST 2012.

TEMPORARY VEGETATION NOTES:

1. CONSTRUCTION SPECIFICATIONS SHALL COMPLY WITH SECTION 7.8 OF THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK, 4TH EDITION AUGUST 2012.

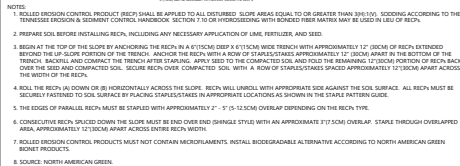
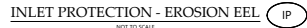
SOIL AMENDMENTS - LATE WINTER, EARLY SPRING, SUMMER, AND FALL:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/AC GROUND

MULCH - LATE WINTER, EARLY SPRING, SUMMER, AND FALL:
APPLY 4,000 LB/AC STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

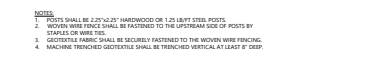
MAINTENANCE - LATE WINTER, EARLY SPRING, AND SUMMER:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

MAINTENANCE - FALL
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE. IF NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/AC CRIMSON CLOVER IN LATE FEBRUARY OR EARLY MARCH.

NOT TO SCALE



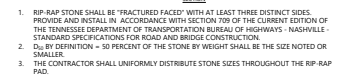
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



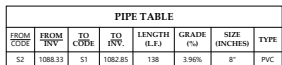
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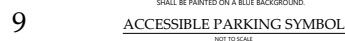


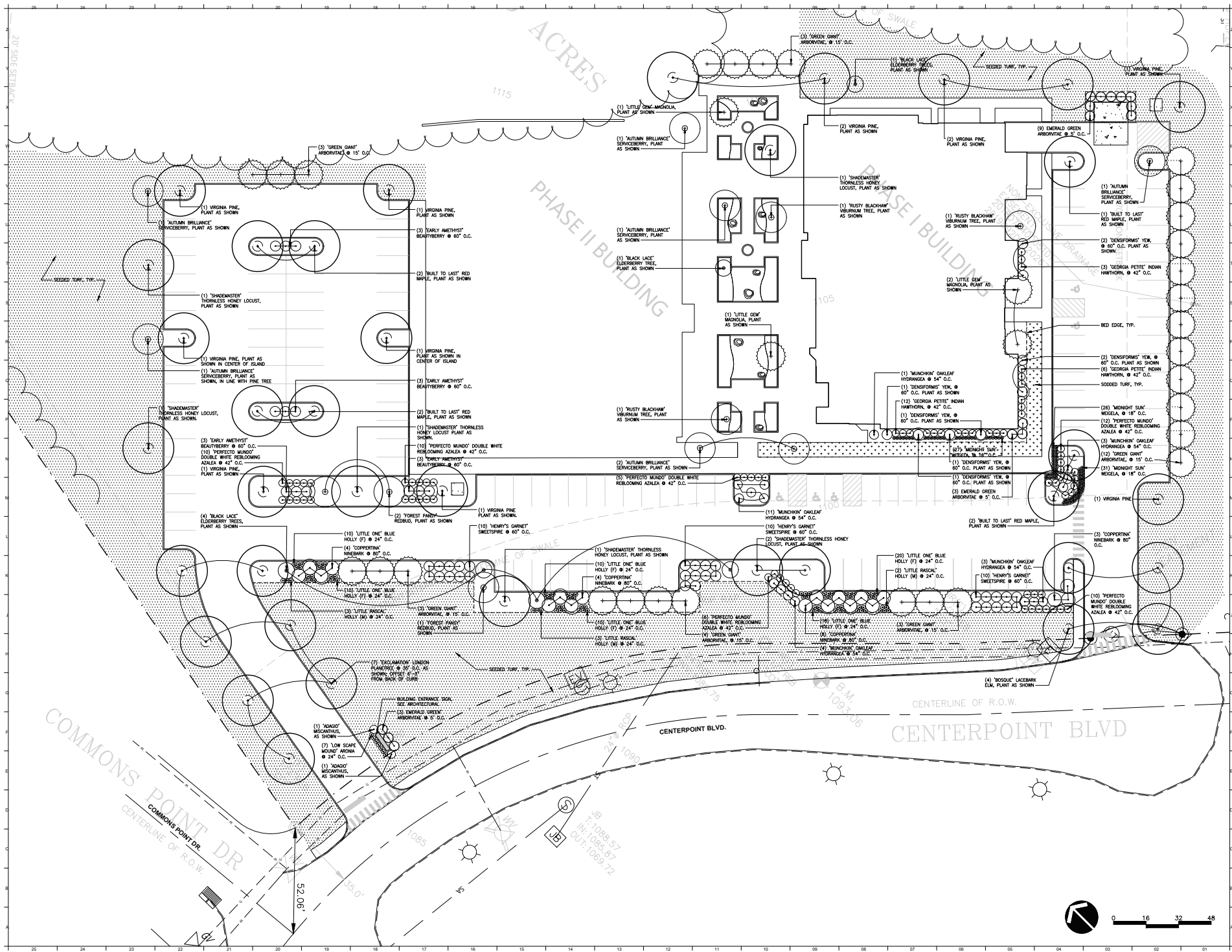
431 CENTERPOINT BLVD, STE 110, KNOXVILLE IN 37932

SEDIMENT AND EROSION CONTROL DETAILS

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2025-05-27	24104







PROVIDE A TREE COUNT (3.1.4)
PROPOSED: 38 SHADE, 19 ORNAMENTAL, 45 EVERGREEN (57 IF INCLUDING SHADE AND EVERGREEN)=
TOTAL TREES: 102

PROVIDE A CALCULATION FOR 10 LARGE MATURING TREES PER ACRE OF YARD SPACE (3.1.5)
PROPOSED: 38TREES/3.76ACRES= 10.05 PER ACRE

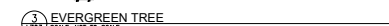
PARKING ALONG PELLISSIPPO PONDY SHOULD BE SCREENED FROM THE ROAD (3.4.1)
PROPOSED: SEE SHEET L100

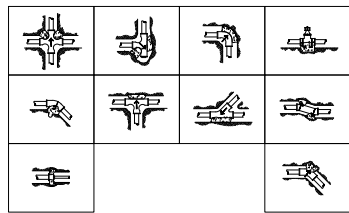
PROVIDE CALCULATION PLANTING AREAS SHALL NOT BE LESS THAN 5% OF THE SERVICE AREA FOR PARKING.
PROPOSED: 152%



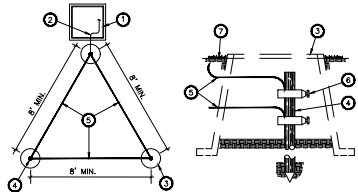
* ALL SPECIMEN TREES ON THE PROJECT TO BE SUPPLIED FROM ONE OF THE FOLLOWING NURSERY SOURCES:

1. SELECT TREES NURSERY	(S) - SMALL: < 30'
2. HUNTER NURSERY	(M) - MEDIUM: 30' - 50'
3. BOLD SPRINGS NURSERY	(L) - LARGE: > 50'
4. APPROVED EQUIVALENT NURSERY AS APPROVED PRIOR TO BIDDING.	



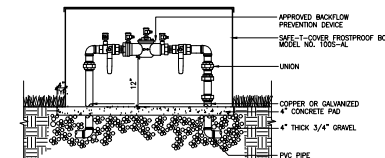


12 THURST BLOCK DETAILS
1/8" SCALE: 1/2" = 1'-0"

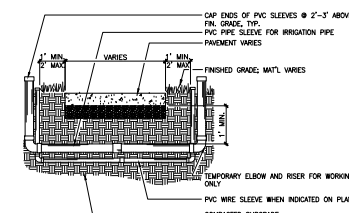


- GROUND ROD LAYOUT**
- LEGEND
1. CONTROLLER ASSEMBLY
 2. #10 AWG SOLID BARE COPPER WIRE FROM GROUNDING ROD TO CONTROLLER. MAKE WIRE AS SHORT AND STRAIGHT AS POSSIBLE.
 3. COVER GROUNDING ROD WITH 10" ROUND VALVE BOX.
 4. 5/8" x 8" COPPER CLAD GROUNDING ROD. INSTALL RODS IN SOIL IN A TRIANGULAR PATTERN SPACED A MINIMUM OF 8' APART FROM EACH OTHER. GROUNDING ROD TO HAVE A RESISTANCE OF 10 OHMS OR LESS.
 5. #10 AWG BARE COPPER BETWEEN GROUNDING RODS.
 6. BRASS WIRE CLAMP. USE SEPARATE CLAMP FOR EACH WIRE.
 7. FINISH GRADE.

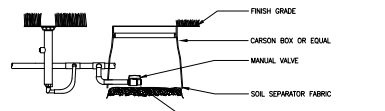
13 GROUND GRID
1/8" SCALE: NOT TO SCALE



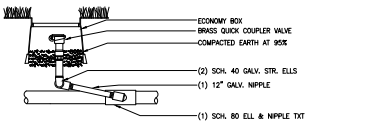
14 TYPICAL BACKFLOW PREVENTER DETAIL
1/8" SCALE: 1/2" = 1'-0"



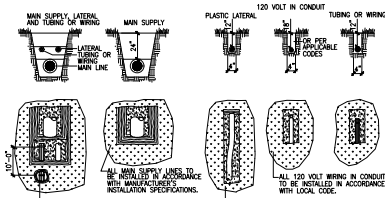
15 IRRIGATION SLEEVING DETAIL
1/8" SCALE: 3/8" = 1'-0"



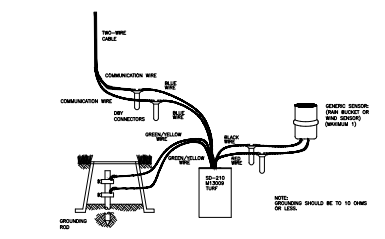
7 TYPICAL VALVE DRAIN DETAIL
1/8" SCALE: NOT TO SCALE



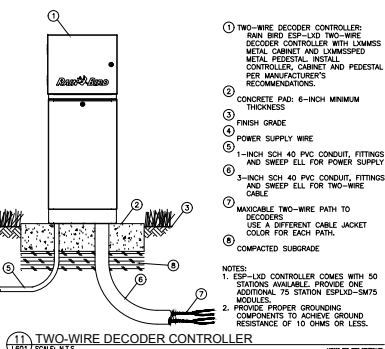
8 TYPICAL QUICK COUPLER VALVE
1/8" SCALE: 3/4" = 1'-0"



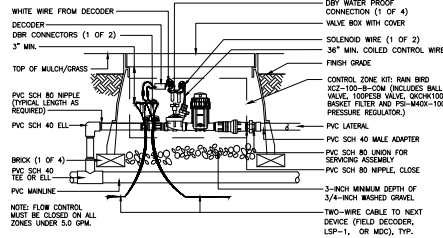
9 TYPICAL TRENCHING DETAIL
1/8" SCALE: 1/4" = 1'-0"



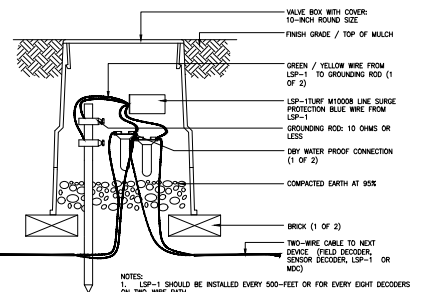
10 SENSOR DECODER AND GENERIC SENSOR
1/8" SCALE: NOT TO SCALE



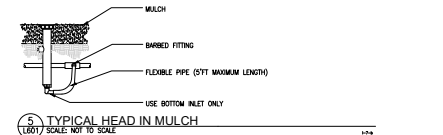
11 TWO-WIRE DECODER CONTROLLER
1/8" SCALE: N.T.S.



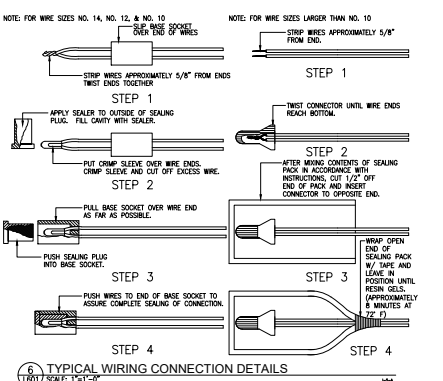
3 1" COMMERCIAL CONTROL ZONE KIT W/ BASKET FILTER
1/8" SCALE: NOT TO SCALE



4 TYPICAL SURGE PROTECTOR DETAIL
1/8" SCALE: NOT TO SCALE



5 TYPICAL HEAD IN MULCH
1/8" SCALE: NOT TO SCALE



6 TYPICAL WIRING CONNECTION DETAILS
1/8" SCALE: 1/2" = 1'-0"

IRRIGATION SCHEDULE		
KEY	RAINBIRD MODEL	GALLONS PER MINUTE
50	800S-MPR-50-H	6.60
50	800S-MPR-50-F	6.60
35	500S-MPR-35-Q	1.92
35	500S-MPR-35-H	3.81
35	500S-MPR-35-F	7.58
25	500S-MPR-25-Q	1.00
25	500S-MPR-25-H	1.98
25	500S-MPR-25-F	3.82
1800	1800-SAM-PRS-15T	1.23
1800	1800-SAM-PRS-12T	1.58
1800	1800-SAM-PRS-12T	0.87
1800	1800-SAM-PRS-12H	1.30
1800	1800-SAM-PRS-12	1.95
1800	1800-SAM-PRS-120	0.85
1800	1800-SAM-PRS-120-LA	0.59
1800	1800-SAM-PRS-10T-LA	0.59
1800	1800-SAM-PRS-10H-LA	0.79
1800	1800-SAM-PRS-8H-FLT	0.28
1800	1800-SAM-PRS-8H-FLT	0.39
1800	1800-SAM-PRS-8H-FLT	0.52
1800	1800-SAM-PRS-8H-FLT	1.05
1800	1800-SAM-PRS-8H	0.15
1800	1800-SAM-PRS-ST	0.13
1800	1800-SAM-PRS-SH	0.20
50	FUL FULL(2.5/4"THROW)	0.40
50	HALF HALF(2.5/4"THROW)	0.19
50	QTR QUARTER(2.5/4"THROW)	0.12

NOTES:

1. VAN ADJUSTABLE NOZZLE. MATCHED TO BODY, GPM VARIES
2. USE 4" POP-UP AT TURF APPLICATIONS.
3. USE 12" POP-UP AT SHrub AND GROUNDER APPLICATIONS
4. USE R-RAN AND HE-VAN NOZZLES TO ACHIEVE BEST COVERAGE AS REQUIRED

1-1/2" REDUCED PRESSURE BACKFLOW DEVICE, SEE MECHANICAL DRAWINGS

1/2" WATER METER

W-LINE MANUAL BALL VALVE

DRINK VALVE

3/8"

3/4" QUICK COUPLER VALVE

PSI-PRS-3 SERIES

ELECTRIC REMOTE CONTROL VALVE-PRESS. RES.

BOOSTER PUMP

RAINBIRD MODEL CIP-50-FAC

ESP-LSD WITH LHM

TWO-WIRE CONTROLLER AND METAL CABINET

WIRELESS RAIN GAUGE

REMOTE CONTROL

10 HCC

ET MANAGER SMART CONTROLLER CARTRIDGE

ETC-LX

PRC-LSD WITH UNITECH M2100-2 PEN

PROGRAM BACKUP CONTROLLER

FD-101, 102, 200, 401, 801

FIELD DECODERS

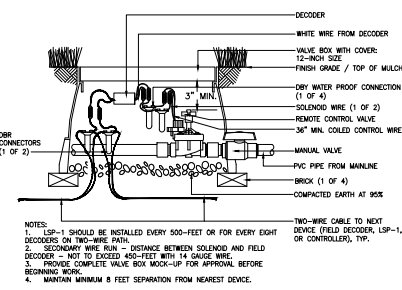
FS-200-B, PT-322

FLOW SENSOR AND MODULE

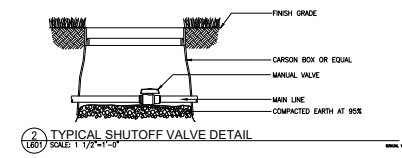
LSP-1 TURF

LINE SURGE PROTECTION ASSEMBLY

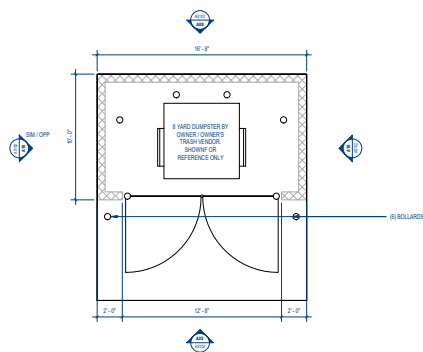
IRRIGATION PIPE SIZING CHART FOR CLASS 200 PVC PIPE		
CLASS 200 MAINLINE SIZE AS NOTED	0-10 GPM	3/4" PIPE
CLASS 200 LATERAL SIZE AS NOTED	11-16 GPM	1" PIPE
SCHEDULE 40 SLEEVES SIZE AS NOTED	17-26 GPM	1 1/4" PIPE
	27-37 GPM	1 1/2" PIPE
	38-57 GPM	2" PIPE
	58-82 GPM	2 1/2" PIPE



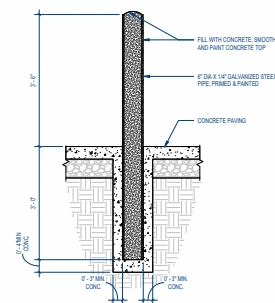
1 TYPICAL VALVE AND FIELD DECODER DETAIL
1/8" SCALE: NOT TO SCALE



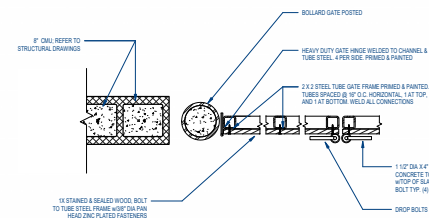
2 TYPICAL SHUTOFF VALVE DETAIL
1/8" SCALE: 1 1/2" = 1'-0"



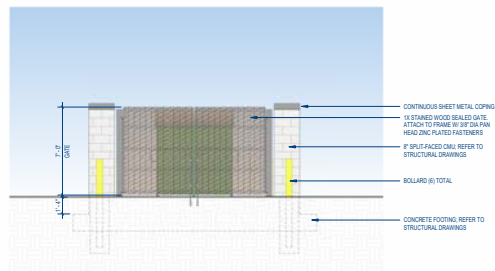
LEVEL 01 - TRASH ENCLOSURE
1/4" = 1'-0"



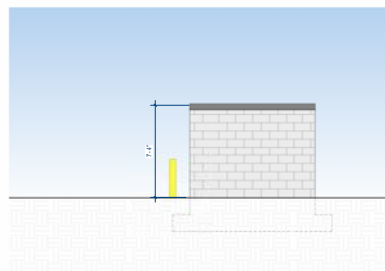
TYPICAL BOLLARD DETAIL
3/4" = 1'-0"



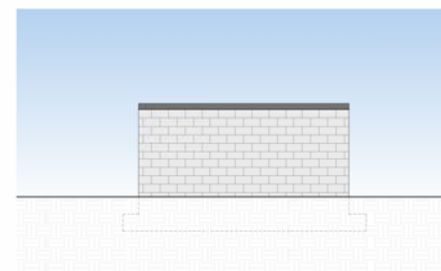
GATE DETAIL	
1 1/2" = 1'-0"	



TRASH ENCLOSURE FRONT ELEVATION



TRASH ENCLOSURE SIDE ELEVATION



TRASH ENCLOSURE BACK ELEVATION	
4.188 - 41.00	

NO.	DESCRIPTION	DATE
E		
D		
C		

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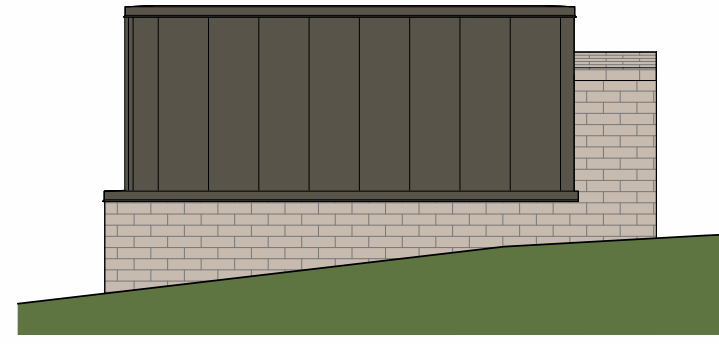
SHEET DESCRIPTION
TRASH ENCLOSURE

AS102

PROJECT DATE	PROJECT NUMBER
2025-05-27	24104

NO.	DESCRIPTION	DATE

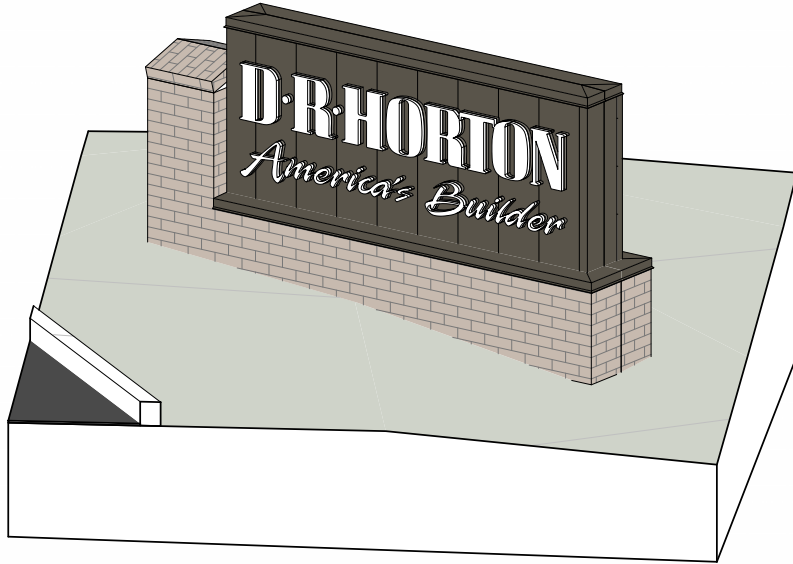
SHEET DESCRIPTION	
MONUMENT SIGN	
AS103	
PROJECT DATE	PROJECT NUMBER
2025-05-27	24104



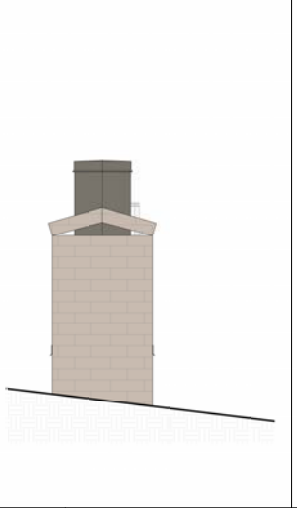
T12 REAR ELEVATION
1" x 1'-0"



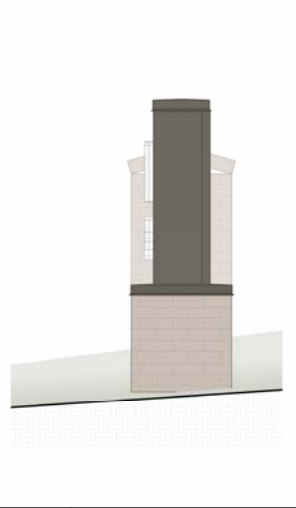
K12 PRIMARY ELEVATION
1" x 1'-0"



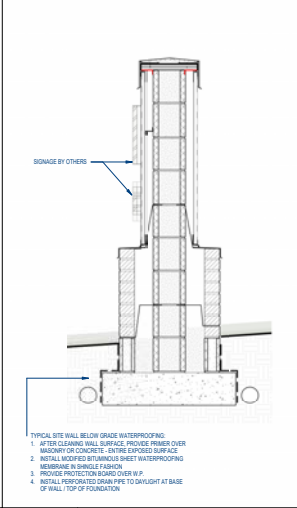
K25 MONUMENT SIGN



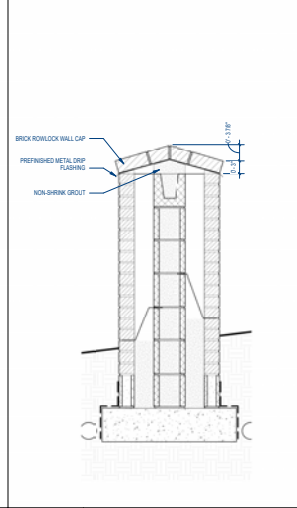
A25 MONUMENT SIGN SIDE ELEVATION
1" x 1'-0"



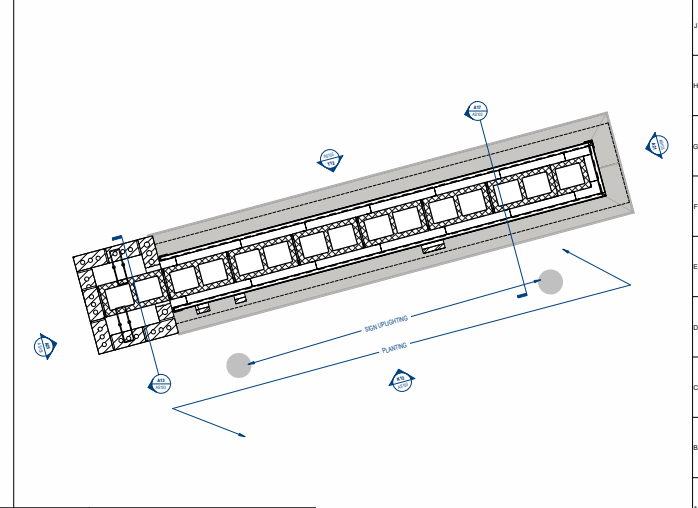
A21 MONUMENT SIGN SIDE ELEVATION
1" x 1'-0"



A17 MONUMENT SIGN AT MTL PANEL
1" x 1'-0"



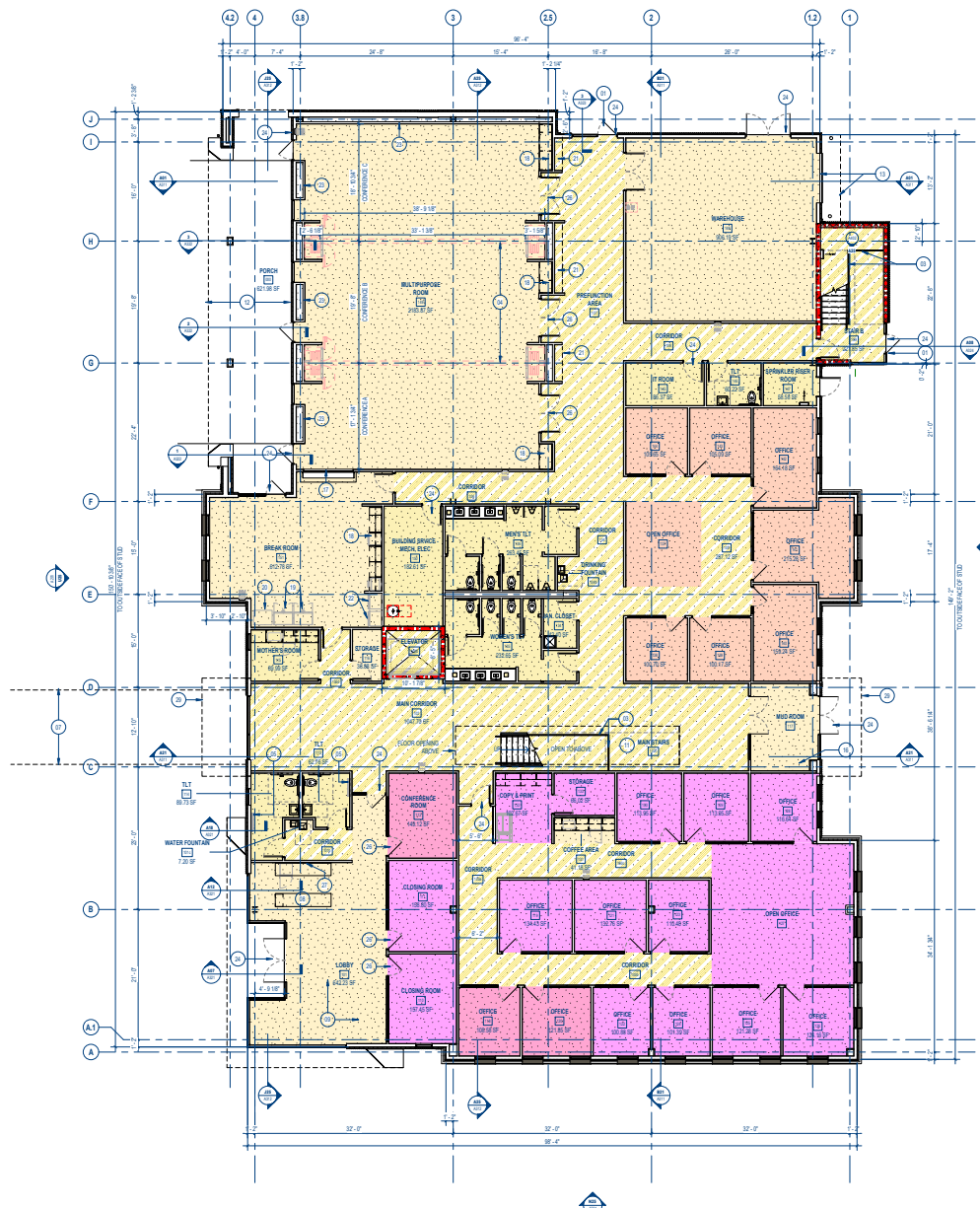
A13 MONUMENT SIGN AT BRICK
1" x 1'-0"



A09 MONUMENT SIGN PLAN
1" x 1'-0"

5/27/2025 3:38:25 PM

A21 LEVEL 01 - FLOOR PLAN
1/8" = 1'-0"



LEVEL 01 ROOM SCHEDULE AND SF			
ROOM #	ROOM NAME	AREA	COMMENTS
006	CORRIDOR	175.52 SF	
007	CORRIDOR	138.16 SF	
008	CORRIDOR	287.12 SF	
009	CORRIDOR	280.12 SF	
010	CORRIDOR	117.18 SF	
011	CORRIDOR	159.96 SF	
012	CORRIDOR	21.82 SF	
013	CORRIDOR	24.52 SF	
014	CORRIDOR	18.85 SF	
015	ELEVATOR	24.48 SF	
016	MAIN CORRIDOR	1647.75 SF	
017	MAIN STAIR AREA	148.12 SF	
018	PRELUNION AREA	148.12 SF	
019	STAIRS	22.85 SF	
BUILDING CIRCULATION		3077.19 SF	
020	POSH	101.58 SF	
BUILDING EXTERIOR		617.98 SF	
022	BREAK ROOM	102.75 SF	
023	OFFICE AREA	21.19 SF	
024	CONF	102.22 SF	
025	MEET ROOM	145.02 SF	
026	MULTIPURPOSE ROOM	1199.00 SF	
027	STORAGE	99.88 SF	
028	WATER FOUNTAIN	100.00 SF	
029	WATER FOUNTAIN	172.00 SF	
BUILDING SHARED		4071.90 SF	
030	BUILDING DRIVE - MECH. ELEC.	162.97 SF	
031	STAIR	24.19 SF	
032	STAIR	24.43 SF	
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NO.	DESCRIPTION	DATE

SHEET DESCRIPTION
ROOF PLAN

A111

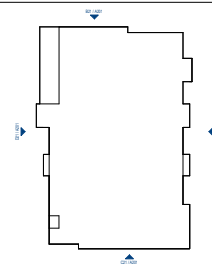
PROJECT DATE: 2025-05-27 PROJECT NUMBER: 24104

GENERAL NOTES

NO.	DESCRIPTION
01	ROOF A RETERNAE ROOF OVER INSULATION AND COVER BOARD REFER TO A300 FOR EXTERIOR ASSEMBLIES
02	ROOF CROCKET, SLOPE AT 12" PER FOOT
03	ROOF A STANDING SEAM METAL ROOF REFER TO A300 FOR EXTERIOR ASSEMBLIES
04	ROOFING MATCH MP-1A AND MP-1B IN COLOR AND FINISH
05	1/4" x 12"
06	ROOF SLOPE
07	DRAIN GROUP - COMBINATION ROOF DRAIN / OVERFLOW
08	ROOF WALK PADS NOT PROVIDE ROOF WALK PADS TO BE COORDINATED IN FUTURE PHASES. PROVIDE WALK PADS TO ACCESS ALL ROOF ACCESS POINTS AND MAINTENANCE ACCESS.
09	D.S.
10	DOWNSPOUT
11	
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KEYED NOTES

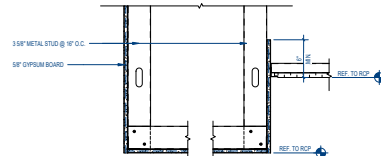
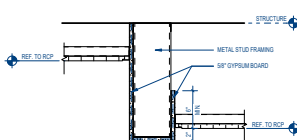
- 01 METAL PANEL (MP-1A) SCREEN WALL, STEEL POST AND TUBE SUPPORT. REFER TO STRUCTURAL DRAWINGS.
- 02 ROOF TOP HVAC UNIT. SEE MECHANICAL DRAWINGS AND NARRATIVE.
- 03 ROOF TOP ACCESS HATCH. SHIP LADDER IN MECHANICAL ROOM BELOW. LOCATION TO BE COORDINATED IN FUTURE PHASES.
- 04 PREFABRICATED METAL CANOPY BELOW.
- 05 ROOF TOP ACCESSWAY.
- 06 GUTTER.
- 07 STANDING SEAM METAL ROOF. REFER TO ELEVATIONS.
- 08 BUILDING MOUNTED SIGN BY OTHER. PROVIDE CONDUIT FOR BACK LIGHTING.
- 09 BUILDING MOUNTED WALL WASH LIGHT FIXTURE. REFER TO ELEVATIONS AND ELECTRICAL DRAWINGS FOR DETAILS.
- 10 ROOF MEMBRANE UP BACK OF FRAMING AND BELOW ROOF GRAVEL STOP.
- 11 PROVIDE FREEZE PROOF JOSE-BB FOR MAINTENANCE.



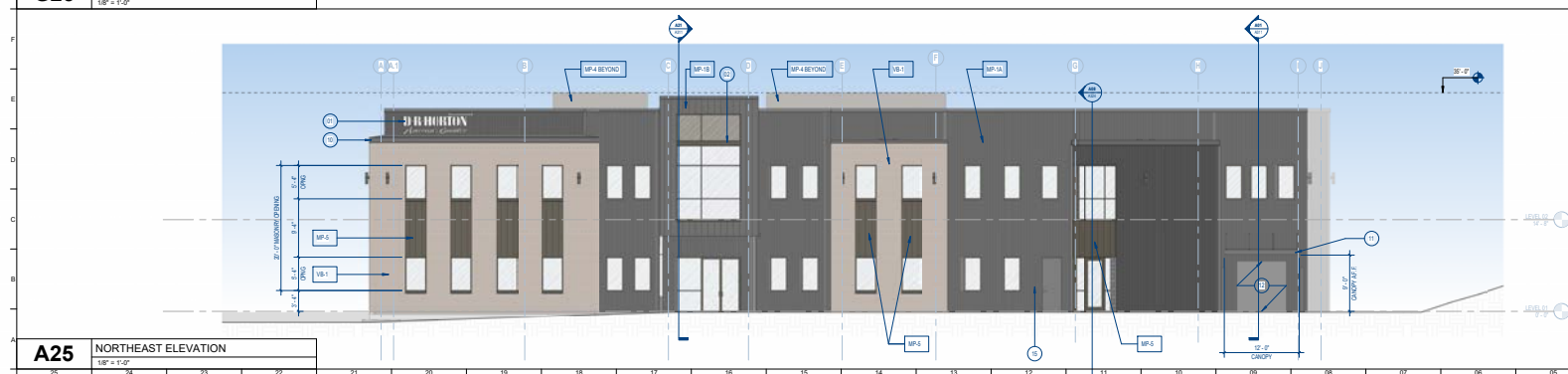
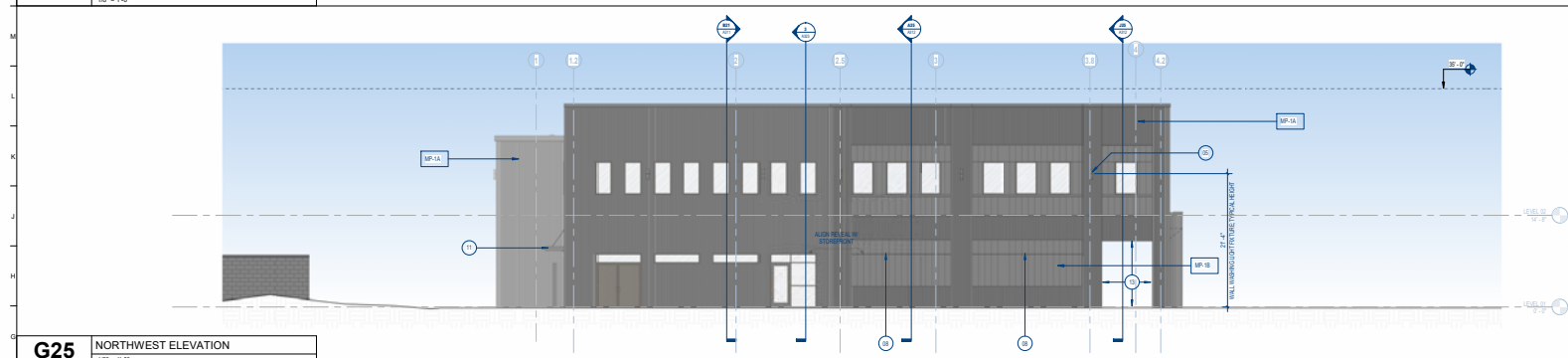
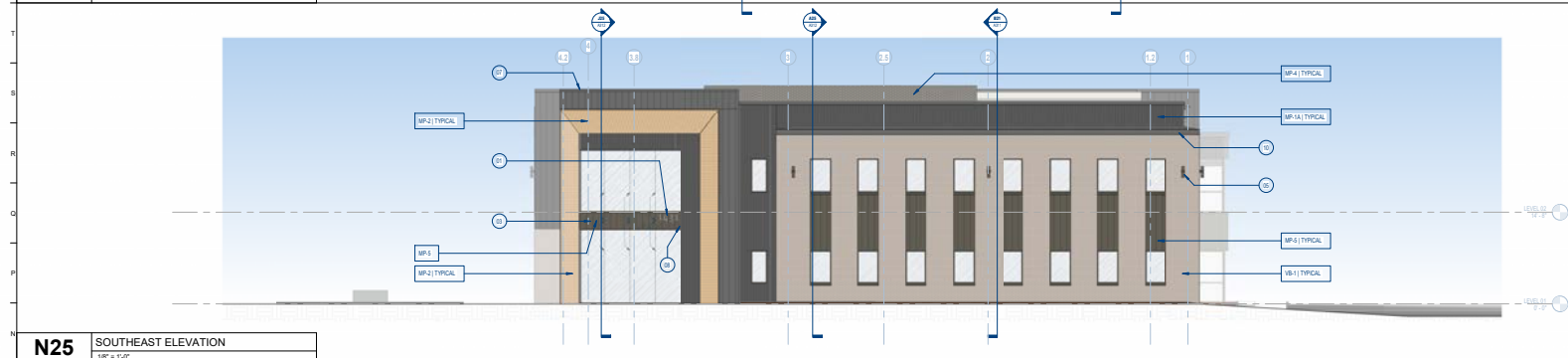
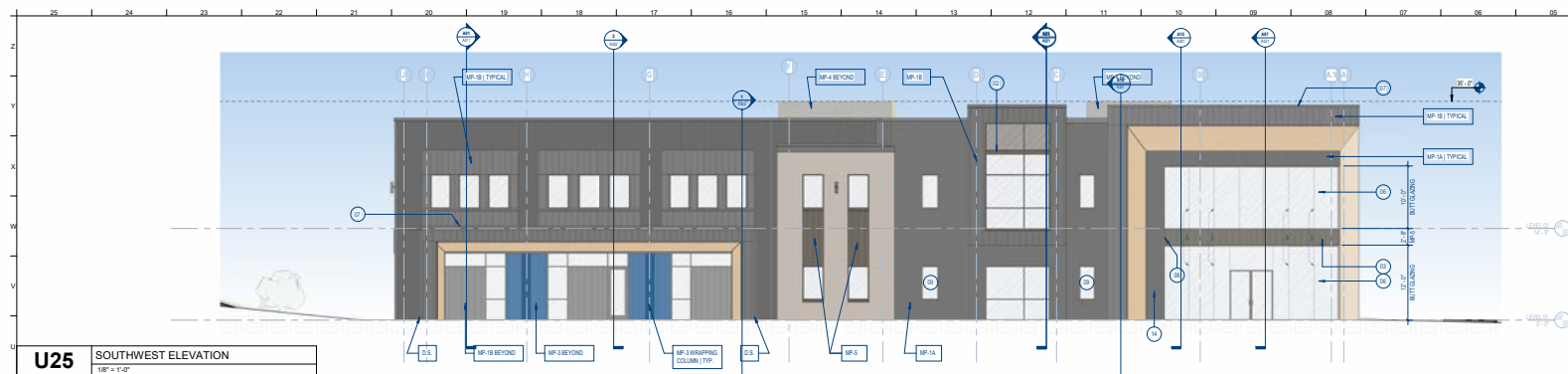
A18
















ROOF PLAN
1/8" = 1'-0"

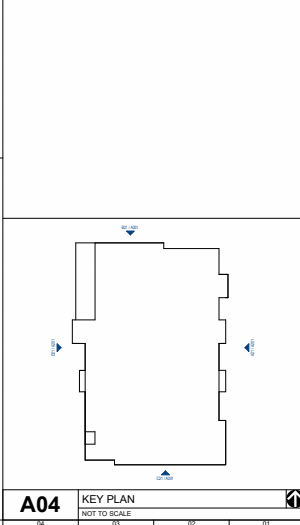
ROOF DETAILS /
TYPICALS



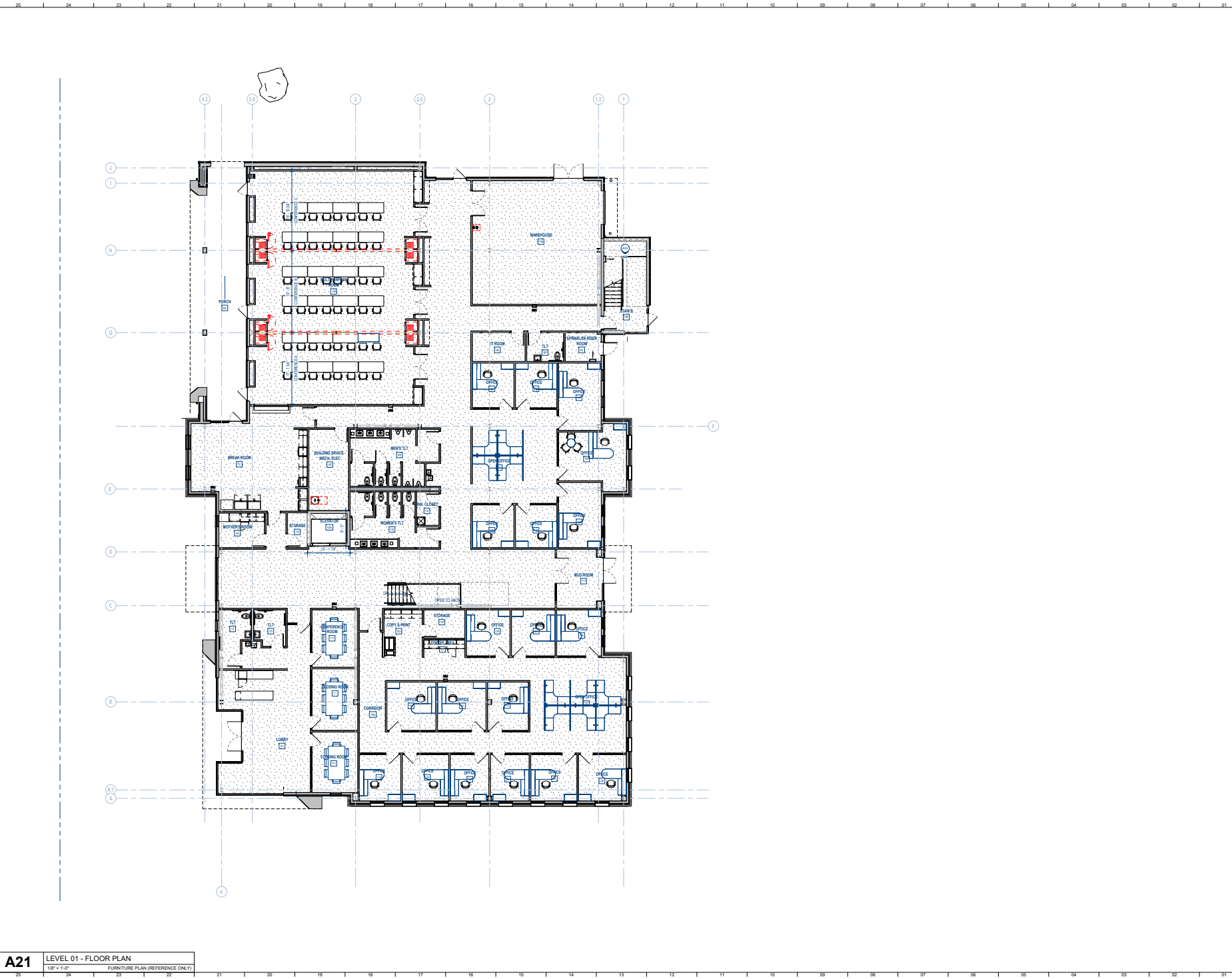
[illegible]



G2		G1	
NOT TO SCALE		EXTERIOR ELEVATIONS	
 <p>BS-1 FLUSH BRICK</p> <ul style="list-style-type: none"> BOD. WILSONTOWN BRICK CORTEX. PINK & CREAM GROUT: HOLCOM SANITIZED GRAY 	 <p>BS-2 TERRAZZO INSULATED GLASS UNITS</p> <p>BS-3 INSULATED GLASS UNITS</p>		
 <p>BS-4A FLUSH FAB PANEL</p> <ul style="list-style-type: none"> BOD. PAC-CLAD PROFILES: 1 COLOR: CHARCOAL GRAY 	 <p>BS-5 INSULATED SPINKREL GLASS UNITS</p>		
 <p>BS-6 FLUSH WALL PANEL</p> <ul style="list-style-type: none"> BOD. PAC-CLAD FLUSH WALL PANEL COLOR: CHARCOAL GRAY 	 <p>BS-7 FLUSH SOFFIT PANEL, VENTED</p> <p>INTERNAL SOFFIT PANEL IS NOT USED ON ELEVATIONS. SEE REFLECTED (CEILING PLANS)</p>		
 <p>BS-8 WOOD-LOOK METAL PANEL</p> <ul style="list-style-type: none"> LONGBOARD BLUNDE DARK 4" OR 6" V-GROOVE 	 <p>BS-9 WOOD-LOOK METAL SOFFIT PANEL</p> <p>INTERNAL SOFFIT PANEL IS NOT USED ON ELEVATIONS. SEE REFLECTED (CEILING PLANS)</p>		
 <p>BS-10 FLUSH WALL PANEL</p> <ul style="list-style-type: none"> BOD. PAC-CLAD FLUSH WALL PANEL COLOR: NAVY BLUE 	 <p>BS-11 SOFFIT PANEL, VENTED</p> <p>INTERNAL SOFFIT PANEL IS NOT USED ON ELEVATIONS. SEE REFLECTED (CEILING PLANS)</p>		
 <p>BS-12 PERFORATED WALL PANEL</p> <ul style="list-style-type: none"> BOD. PAC-CLAD PERFORATED ALUM. PANEL TYPE 18" SP/25" BOARD ORANGE/20% OPEN AREA COLOR: CHARCOAL GRAY 	 <p>CORING-1 MATCH MP-1A AND MP-1B IN COLOR AND FINISH. PAC-CLAD CHARCOAL GRAY.</p>		
 <p>BS-13 FLUSH WALL PANEL</p> <ul style="list-style-type: none"> BOD. PAC-CLAD FLUSH WALL PANEL COLOR: DARK BRONZE 	 <p>CORING-2 MATCH MP-1A IN COLOR AND FINISH. PAC-CLAD DARK BRONZE.</p>		
		 <p>(NOT USED)</p>	

[illegible][illegible]

5/27/2025 2:59:36 PM



A21 LEVEL 01 - FLOOR PLAN
1/8" = 1'-0"
FURNITURE PLAN (REFERENCE ONLY)

DIA
Design Innovation
ARCHITECTS + INTERIORS + CIVIL
1431 CENTERPOINT BLVD, STE 110, KNOXVILLE TN 37832
PH 615.627.8840 | F 615.624.3660
www.dia-arch.com

PRELIMINARY
NOT FOR
CONSTRUCTION

DESIGN DEVELOPMENT FOR:
DR HORTON OFFICE
1431 CENTERPOINT BLVD, STE 110, KNOXVILLE TN 37832

NO.	DESCRIPTION	DATE

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SHEET DESCRIPTION
FIRST FLOOR FURNITURE
PLAN

A801

PROJECT DATE	PROJECT NUMBER
2025-05-27	24104

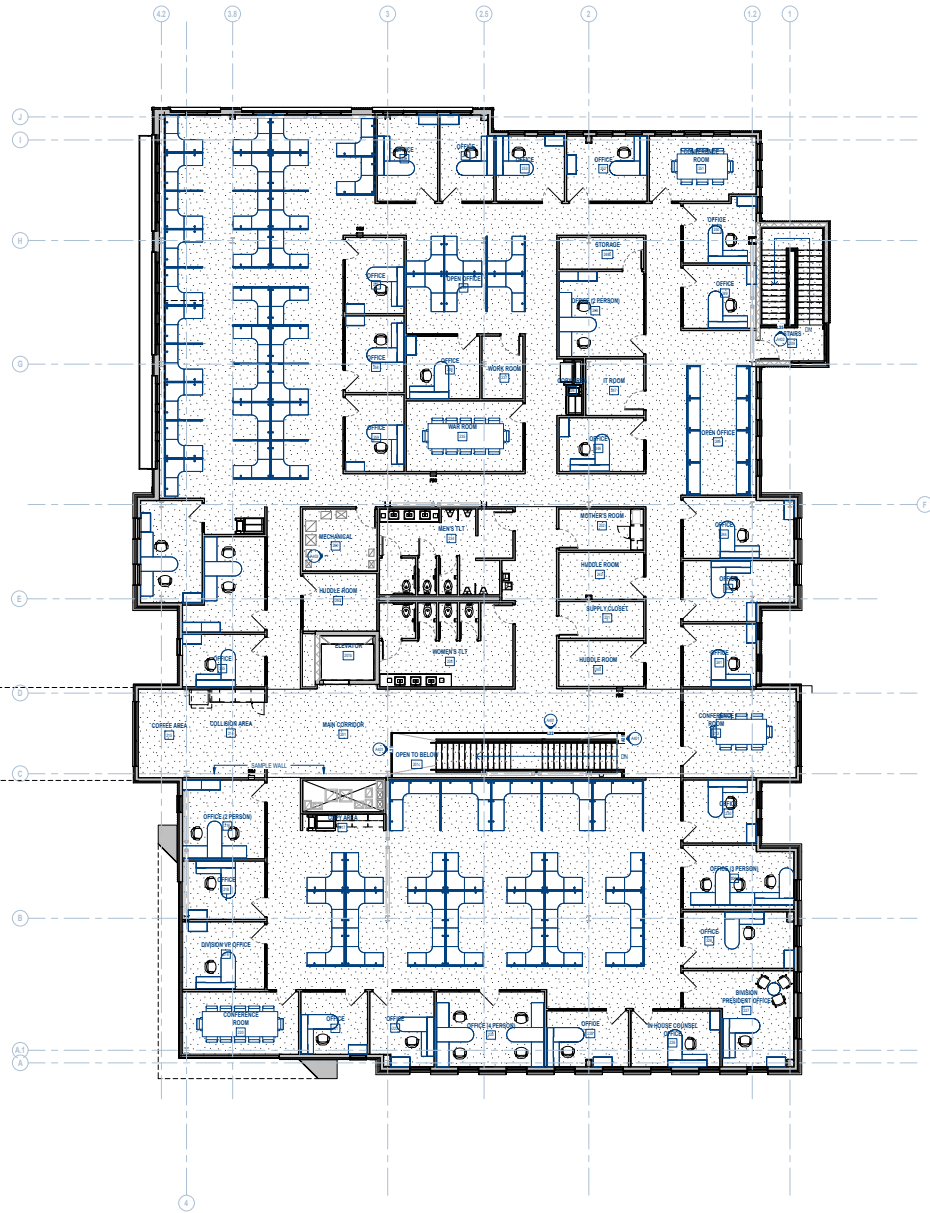
DR HORTON OFFICE

[illegible]

SHEET DESCRIPTION
SECOND FLOOR
FURNITURE PLAN

A802

PROJECT DATE	PROJECT NUMBER
2025-05-27	24104



RSX1 LED Area Luminaire

Specifications

Introduction

Ordering Information

EXAMPLE: RSX1 LED P4 4K R3 MOLT SPA DBD20

RSX1 LED Area Luminaire

Specifications

Introduction

Ordering Information

EXAMPLE: RSX1 LED P4 4K R3 MOLT SPA DBD20

UKI-60741 KIOS 3 Ingrade Flush Frame

PROJECT DATE

QUANTITY TYPE SC NOTE

ORDERING EXAMPLE || UKI-60741-12W - N W30-120/27V

UKI-60741

ADDITIONAL OPTIONS

CHAPARRAL LG LED Architectural Outdoor

Product Code

Source/Wattage

Voltage

Dimming Driver

Order Info

Finish

Color Temp

Options

Order Info

Order Info

gotham | i v o

Round Wall Mount Cylinder

Ordering Information

Ordering Information

Ordering Information

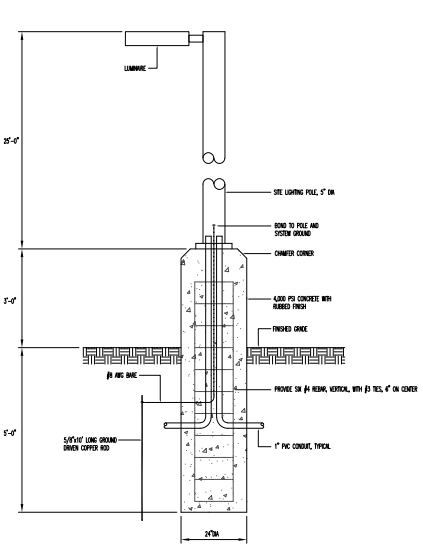
NULITE

Regalo IP65 Rated RXT-F-D

Ordering Information

Ordering Information

Ordering Information



POLE BASE DETAIL

DIA Design Innovation

ARCHITECTS • INTERIORS • PLANNING

402 S. Gay Street, Suite 301, Knoxville, TN 37902

PRELIMINARY NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT FOR: DR HORTON OFFICE

1431 CENTERPOINT BLVD., STE 110, KNOXVILLE TN 37932

ES001

PROJECT DATE: 2025-05-27

PROJECT NUMBER: 24104

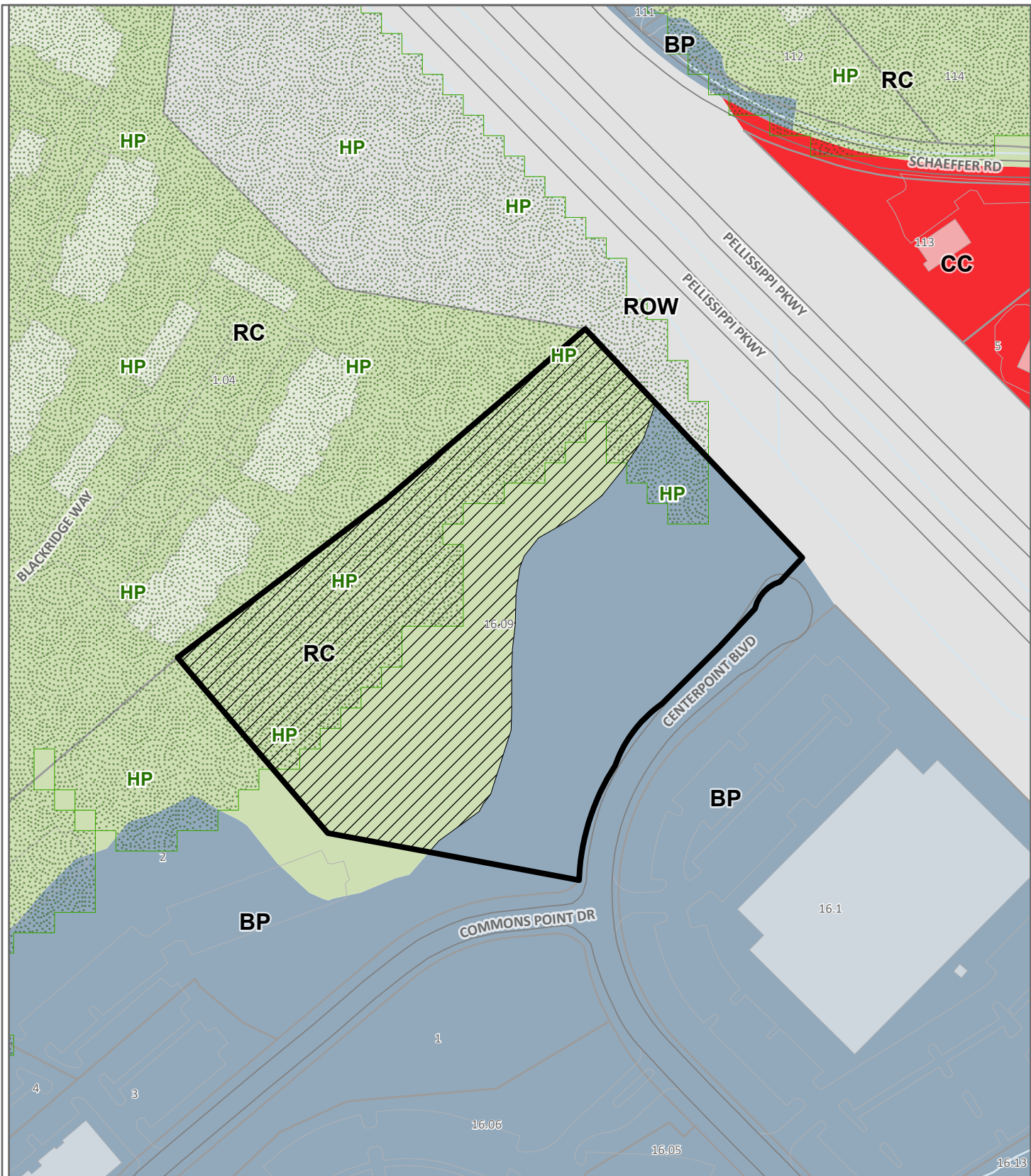


Exhibit B: County Future Land Use

6-M-25-DP

Petitioner: Gregory S. Campbell



Case Boundary



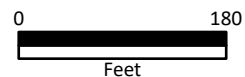
Area in RC is 3.71 acres

Original Print Date: 5/21/2025

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 118

Jurisdiction: County





Development Request

Subdivision ☐ Concept Plan* ☐ Final Plat

Zoning ☐ Rezoning ☐ Plan Amendment*

Development ☒ Development Plan* ☐ Planned Development* ☐ Use on Review / Special Use* ☐ Hillside Protection COA*

*These application types require a [pre-application consultation](#) with Planning staff.

GREGORY S. CAMPBELL		DESIGN INNOVATION / DIA / ARCHITECT	
Applicant Name		Affiliation	
04.28.2025	JUNE 12, 2025	File Number(s)	
Date Filed	Meeting Date (if applicable)	4/29/2025	

Correspondence

All correspondence will be directed to the approved contact listed below.

☐ Applicant ☐ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☒ Architect/Landscape Architect

TYLER G. PETTIFORD		DIA	
Name		Company	
402 S. GAY ST.; SUITE 201	KNOXVILLE	TN	37902
Address		City	State ZIP
423.310.6350	[REDACTED]		
Phone	Email		

Current Property Info

D.R. HORTON, INC.	1431 CENTERPOINTE BLVD.; SUITE 110	865.338.5650
Property Owner Name (if different)	Property Owner Address	Property Owner Phone
LOT 9R / 0 CENTERPOINTE BLVD.	118 01609	
Property Address	Parcel ID	
WEST KNOX UTILITY	"	Septic (Y/N) <input checked="" type="checkbox"/>
Sewer Provider	Water Provider	

Development Request

☐ Residential ☒ Non-Residential

RELATED CITY PERMIT NUMBER

Proposed Use OFFICE (PRIMARY, GROUP B, SECONDARY, GROUP A-3)

Specify if a traffic impact study is required: ☒ Yes (required to be submitted with application) ☐ No

SUBMITTED TRAFFIC IMPACT STUDY. NO TRAFFIC STUDY.

APRIL 2025

Subdivision Request

		RELATED REZONING FILE NUMBER
Proposed Subdivision Name		
Unit / Phase Number	<input type="checkbox"/> Combine Parcels <input type="checkbox"/> Divide Parcel	Proposed Number of Lots (total)
<input type="checkbox"/> Other (specify) _____		
Specify if requesting: <input type="checkbox"/> Variance <input type="checkbox"/> Alternative design standard		
Specify if a traffic impact study is required: <input type="checkbox"/> Yes (required to be submitted with application) <input type="checkbox"/> No		

Zoning Request

		PENDING PLAT FILE NUMBER
<input type="checkbox"/> Zoning Change	Proposed Zoning	Proposed Density (units/acre, for PR zone only)
<input type="checkbox"/> Sector Plan <input type="checkbox"/> One Year Plan <input type="checkbox"/> Comprehensive Plan		
<input type="checkbox"/> Plan Amendment Change	Proposed Plan Designation(s)	
<input type="checkbox"/> If, in Knox county, submit plan amendment request with application	Previous Rezoning Requests	
<input type="checkbox"/> Other (specify) _____		

Authorization

☒ I declare under penalty of perjury the foregoing is true and correct: **1)** He/she/it is the owner of the property AND **2)** The application and all associated materials are being submitted with his/her/its consent

	TYLER G. PETTIFORD	04.28.2025
Applicant Signature	Print Name / Affiliation	Date
423.310.6350		
Phone Number	Email	
	Barak Saltzman	4/29/2025
Property Owner Signature	Please Print	Date Paid

Staff Use Only

☐ Administrative Review

ADDITIONAL REQUIREMENTS ☐ Property Owners / Option Holders

FEE 1	FEE 2	FEE 3	TOTAL
0405 1,600.00			1,600.00

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

05/30/2025

Date to be Posted

06/13/2025

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

☒ Yes ☐ No

☐ No, but I plan to prior to the Planning Commission meeting



Applicant Signature

GREGORY S. CAMPBELL

Applicant Name

2025-04-30

Date