

REZONING REPORT

▶ **FILE #:** 2-E-25-RZ

AGENDA ITEM #: 13

AGENDA DATE: 2/13/2025

▶ **APPLICANT:** ANDREW BAKER

OWNER(S): Barbara Baker

TAX ID NUMBER: 46 06701

[View map on KGIS](#)

JURISDICTION: County Commission District 7

STREET ADDRESS: 8509 HEISKELL RD

▶ **LOCATION:** Southwest side of Heiskell Rd, northwest of W Copeland Dr

▶ **APPX. SIZE OF TRACT:** 0.71 acres

GROWTH POLICY PLAN: Rural Area

ACCESSIBILITY: Access is via Heiskell Road, a minor arterial street with a pavement width of 19-ft within a 63-ft right-of-way.

UTILITIES: Water Source: Hallsdale-Powell Utility District

Sewer Source: Hallsdale-Powell Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Beaver Creek

▶ **PRESENT ZONING:** A (Agricultural)

▶ **ZONING REQUESTED:** PR (Planned Residential)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **DENSITY PROPOSED:** with up to 1.5 du/ac

EXTENSION OF ZONE: No, it is not an extension.

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Single family residential - PR (Planned Residential) up to 5 du/ac

South: Rural residential, single family residential - A (Agricultural)

East: Single family residential - A (Agricultural)

West: Single family residential - A (Agricultural)

NEIGHBORHOOD CONTEXT: The surrounding area is rural in character and features undeveloped forested land and single family residential uses on large 1+ acre lots, with the exception of a small subdivision across the street. There are a few single family suburban developments to the east and south of the subject property off of side streets. I-75 lies approximately 1.5 miles to the east.

STAFF RECOMMENDATION:

▶ Postpone the application for 30 days to be heard at the March 13, 2025 Planning Commission meeting, as requested by the applicant.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

Schools affected by this proposal: Copper Ridge Elementary, Powell Middle, and Powell High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

If approved, this item will be forwarded to Knox County Commission for action on 4/21/2025. If denied, Knoxville-Knox County Planning Commission's action is final, unless the action to deny is appealed to Knox County Commission. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



Request to Postpone • Table • Withdraw

Andrew Baker

1/17/2025

Applicant Name (as it appears on the current Planning Commission agenda)

Date of Request

February 13, 2025

Scheduled Meeting Date

2-E-25-RZ

File Number(s)

POSTPONE

POSTPONE: All applications are eligible for postponement if the request is received in writing and paid for by noon on Thursday the week prior to the Planning Commission meeting. All requests must be acted upon by the Planning Commission, except new applications which are eligible for one 30-day automatic postponement. If payment is not received by the deadline, the item will be tabled.

SELECT ONE: 30 days 60 days 90 days

Postpone the above application(s) until the March 13, 2025 Planning Commission Meeting.

WITHDRAW

WITHDRAW: Applications may be withdrawn automatically if the request is received in writing no later than 3:30pm on Thursday the week prior to the Planning Commission meeting. Requests made after this deadline must be acted on by the Planning Commission. Applicants are eligible for a refund only if a written request for withdrawal is received no later than close of business 2 business days after the application submittal deadline and the request is approved by the Executive Director or Planning Services Manager.

TABLE

**The refund check will be mailed to the original payee.*

TABLE: Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled. There is no fee to table or untable an item.

AUTHORIZATION

By signing below, I certify I am the property owner, and/or the owners authorized representative.

Andrew Baker

Applicant Signature

Andrew Baker

Please Print

865-692-7908

Phone Number

qzzyeli2004@gmail.com

Email

STAFF ONLY

Kelsey Bousquet

Staff Signature

Kelsey Bousquet

Please Print

Date Paid

No Fee

Eligible for Fee Refund? Yes No

Amount:

Kelsey Bousquet

1/23/2025

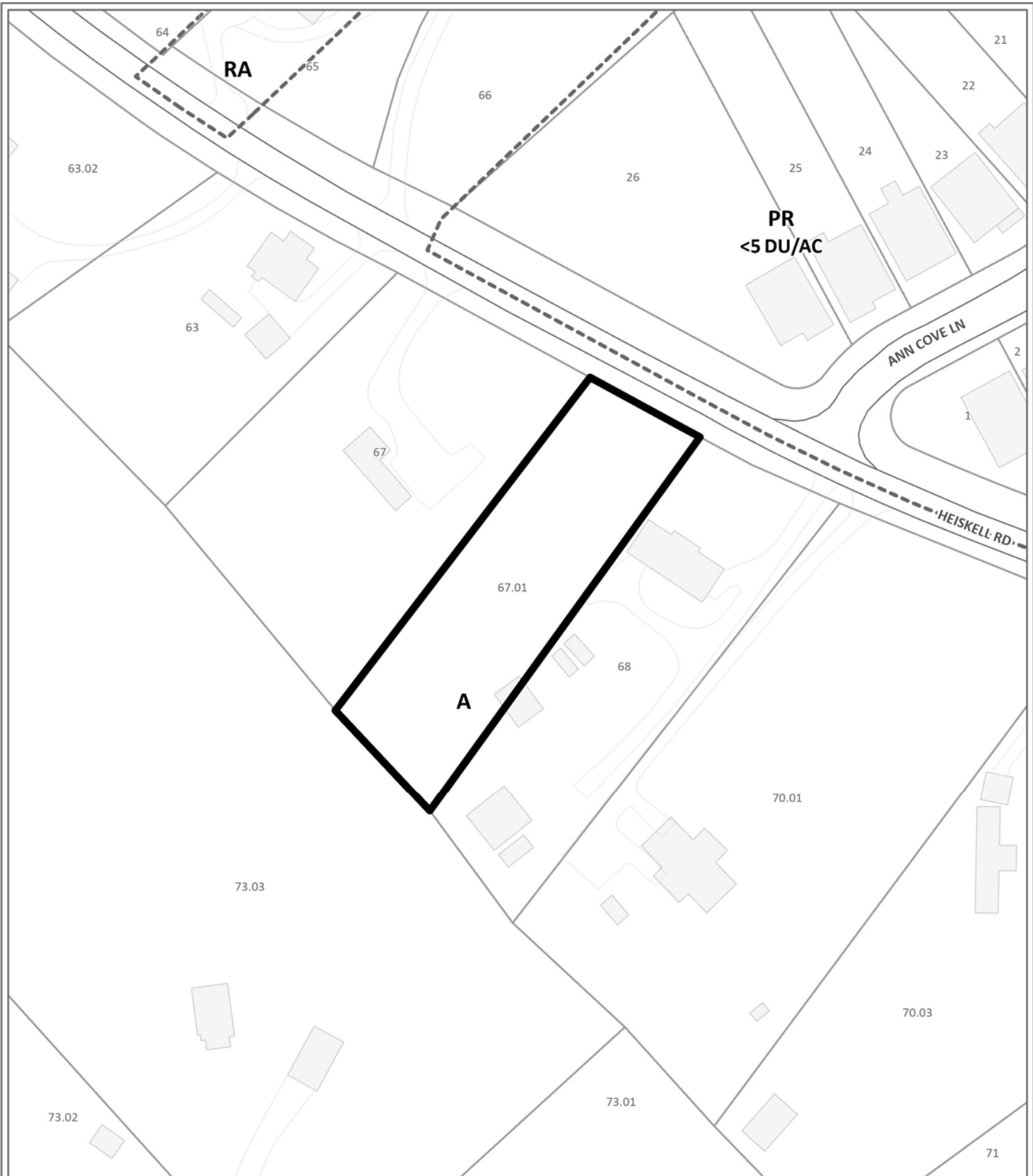
Approved by:

Date:

Payee Name

Payee Phone

Payee Address



REZONING

2-E-25-RZ

Petitioner: Andrew Baker



From: A (Agricultural)

To: PR (Planned Residential) with up to 1.5 du/ac

Map No: 46

Jurisdiction: County

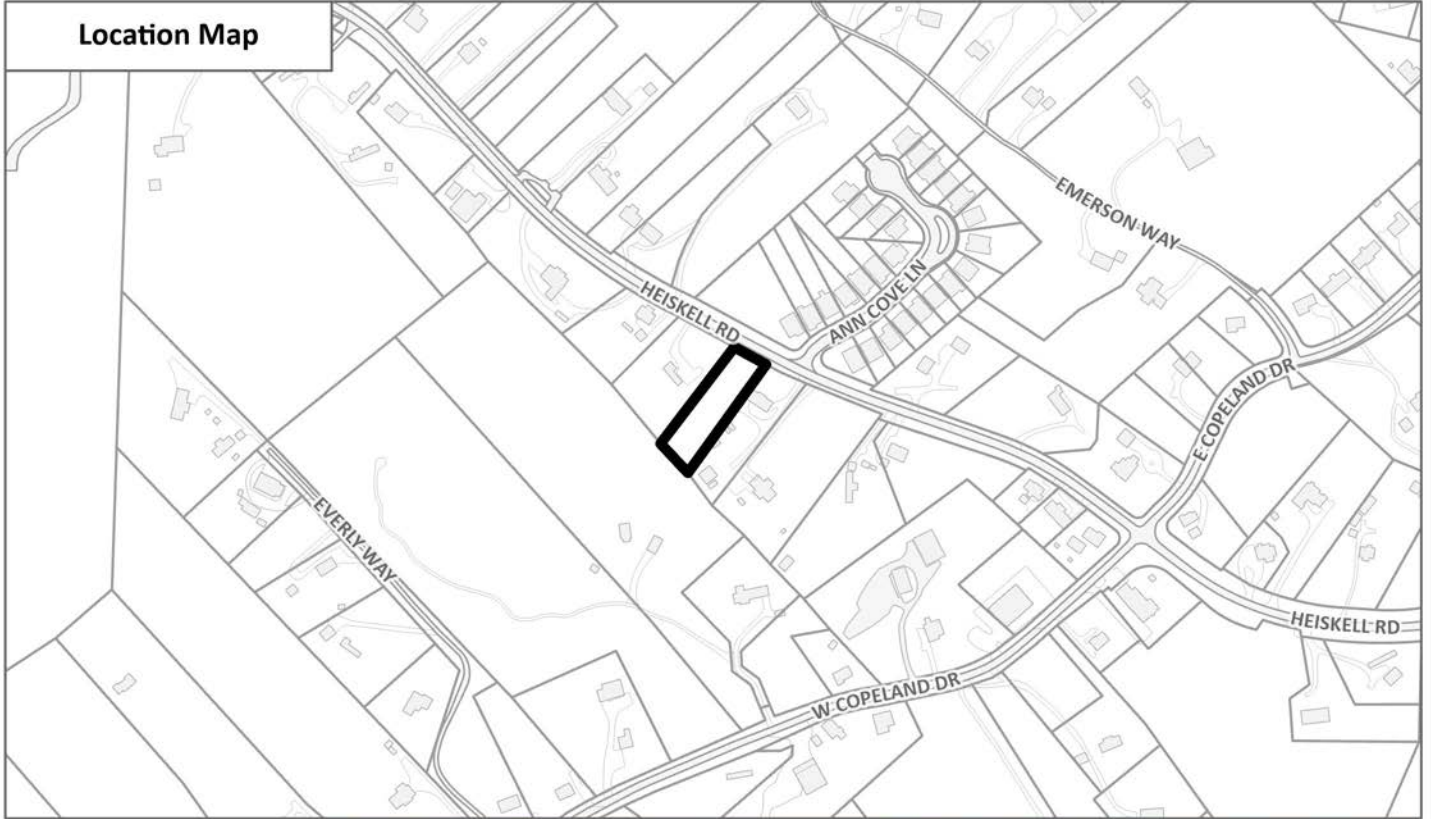
Original Print Date: 1/7/2025

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902



Exhibit A. Contextual Images

Location Map



Aerial Map

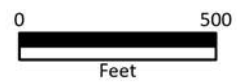


CONTEXTUAL MAPS 1

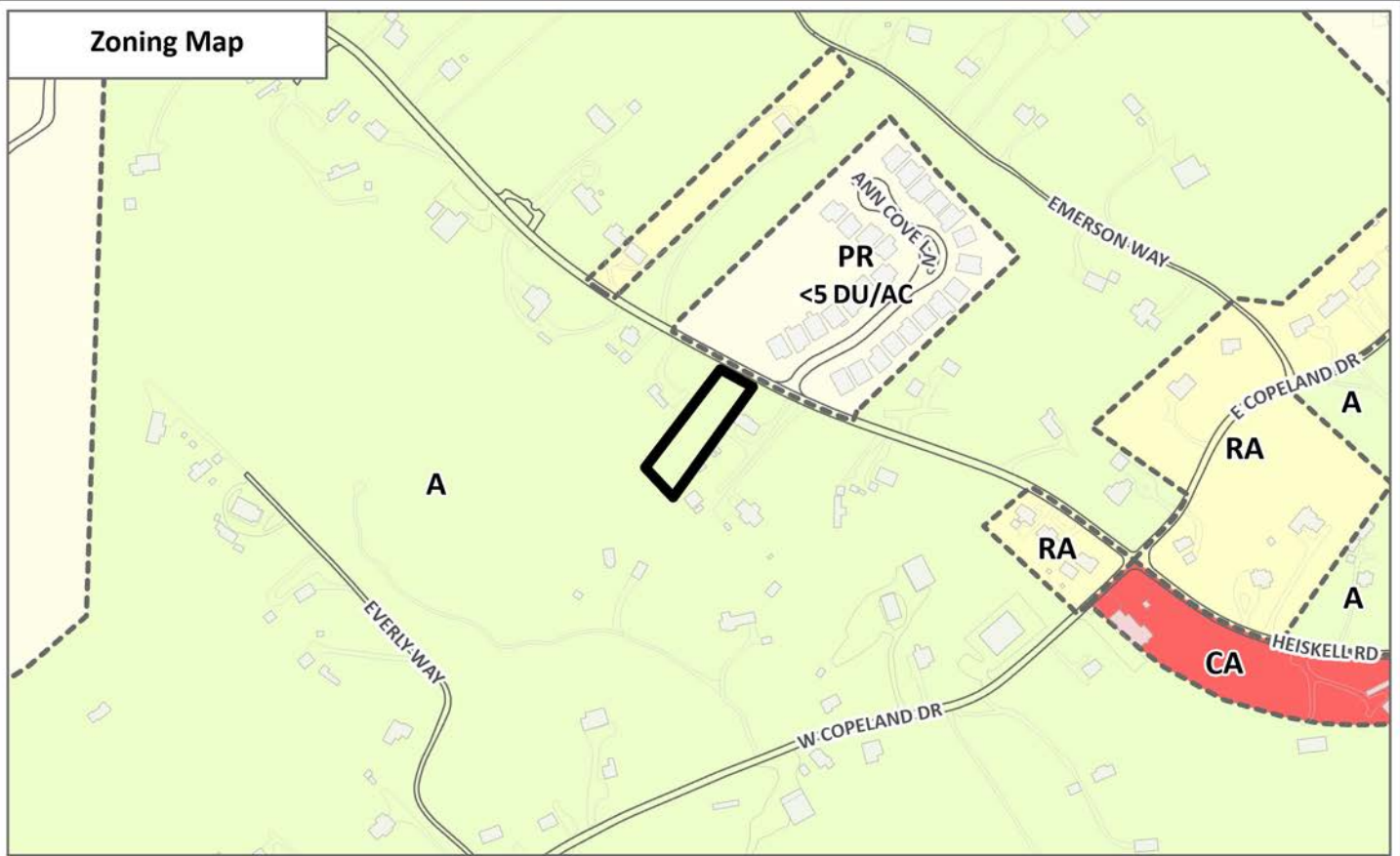
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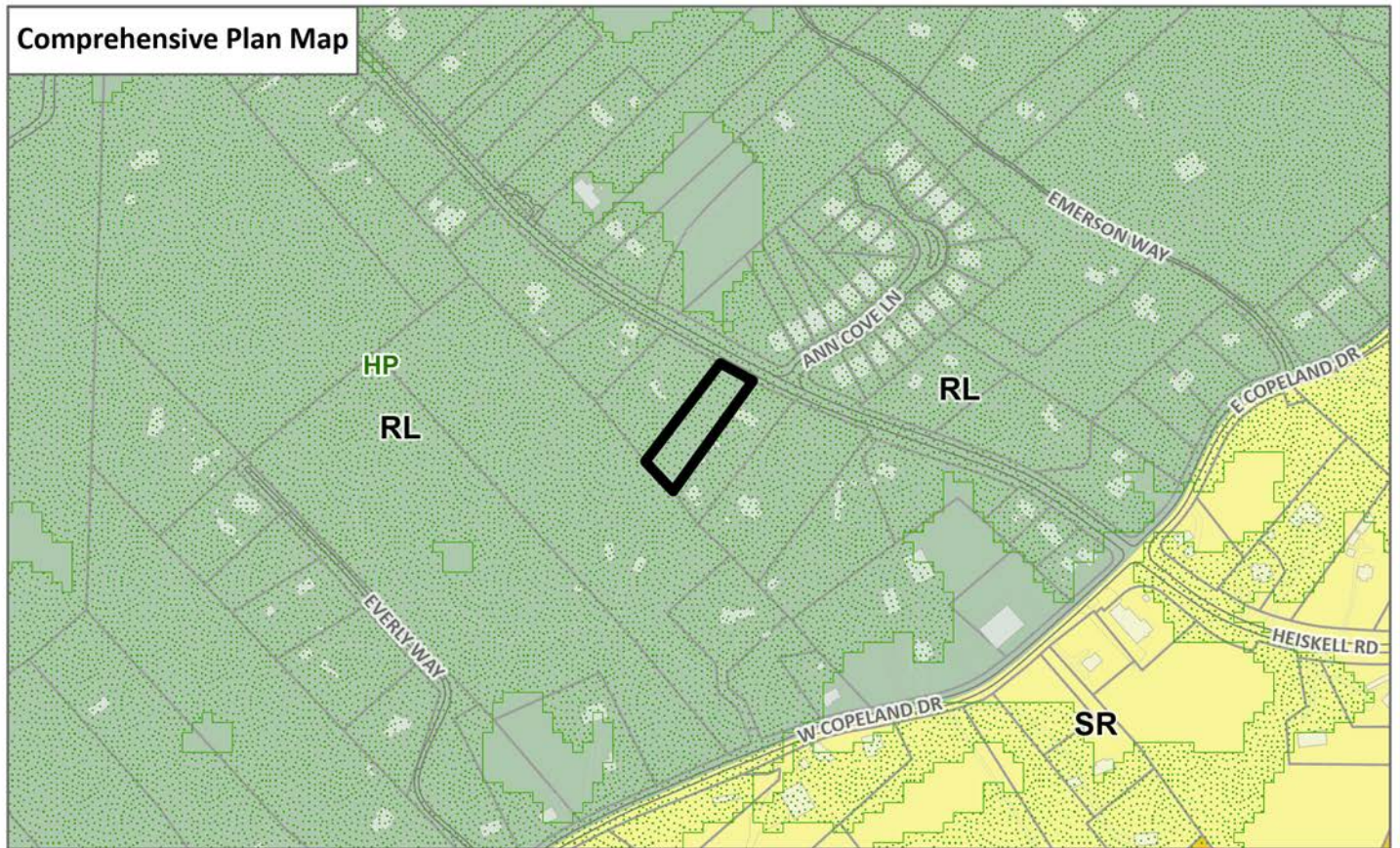
Case boundary



Zoning Map



Comprehensive Plan Map

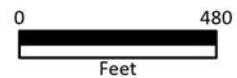


CONTEXTUAL MAPS 2

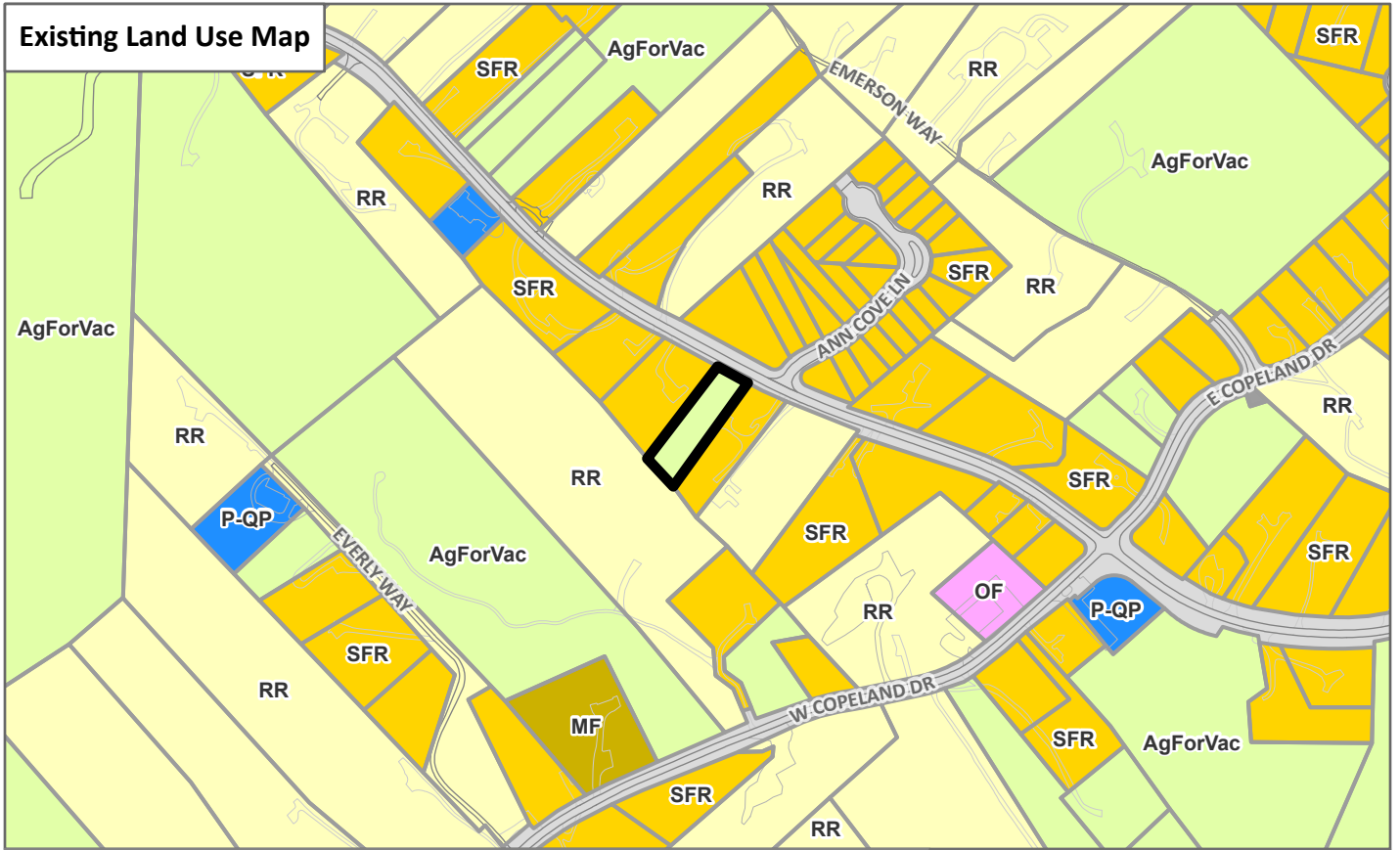
2-E-25-RZ



Case boundary



Existing Land Use Map

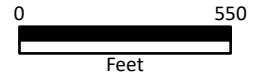


CONTEXTUAL MAPS 3

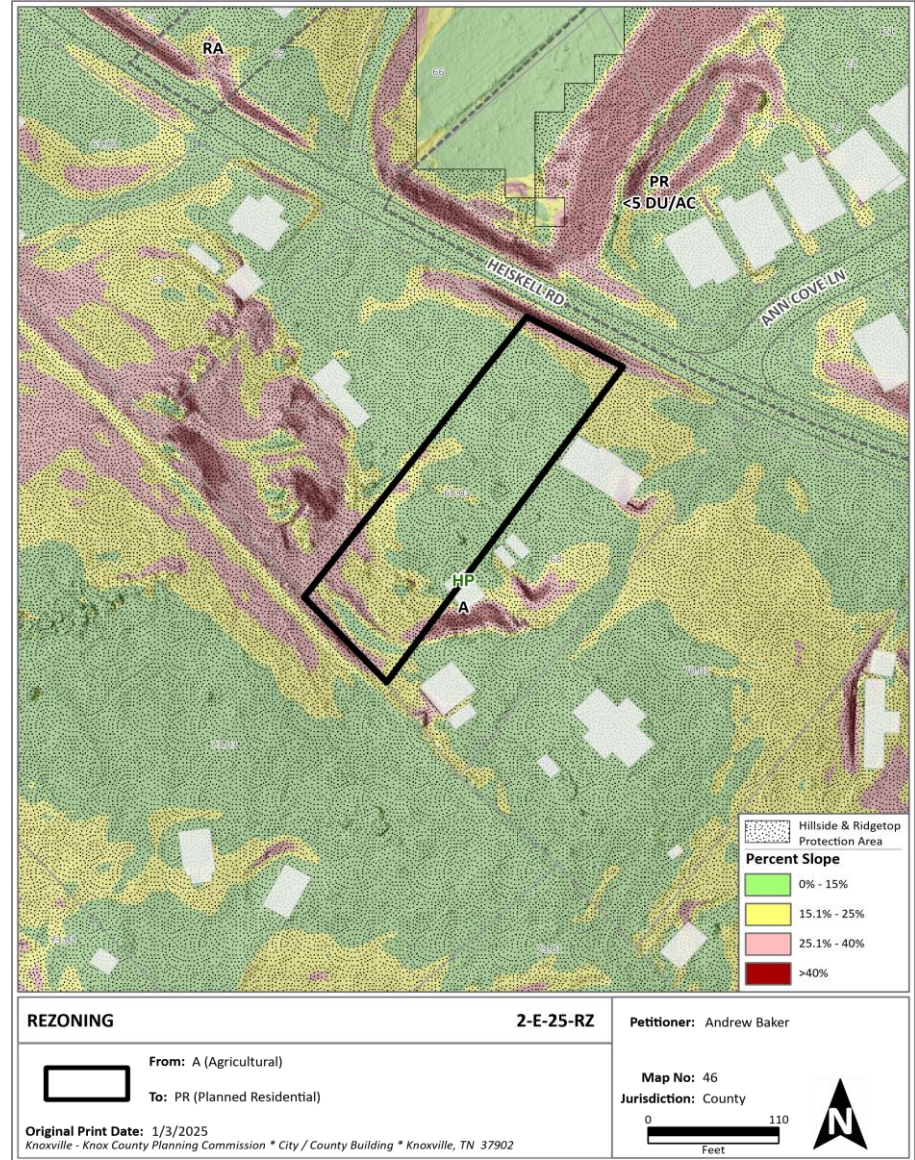
2-E-25-RZ



Case boundary



| CATEGORY | ACRES | RECOMMENDED DISTURBANCE BUDGET (Percent) | DISTURBANCE AREA (Acres) |
|--------------------------------------|-------------|---|--------------------------|
| Total Area of Site | 0.71 | | |
| Non-Hillside | 0.00 | N/A | |
| 0-15% Slope | 0.44 | 100% | 0.44 |
| 15-25% Slope | 0.19 | 50% | 0.10 |
| 25-40% Slope | 0.08 | 20% | 0.02 |
| Greater than 40% Slope | 0.01 | 10% | 0.00 |
| Ridgetops | | | |
| Hillside Protection (HP) Area | 0.7 | Recommended disturbance budget within HP Area (acres) | 0.6 |
| | | Percent of HP Area | 77.4% |





Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - PA
- Rezoning

Andrew Baker

Applicant Name

Affiliation

12/20/2024

2/13/2025

Date Filed

Meeting Date (if applicable)

File Number(s)

2-E-25-RZ

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Andrew Baker

Name

Company

8505 Heiskell Rd.

Powell

TN

37849

Address

City

State

ZIP

865-692-7908

Phone

Email

CURRENT PROPERTY INFO

Barbara Baker

8505 Heiskell Rd. Powell TN

865-938-1688

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

8509 Heiskell Rd. Powell TN, 37849

04606701

Property Address

Parcel ID

Hallsdale Powell

Hallsdale Powell

N

Sewer Provider

Water Provider

Septic (Y/N)

COMMUNITY ENGAGEMENT

Sign and return the **Public Notice & Community Engagement** form with this application.

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). **We require applicants to acknowledge their role in this process.**

DEVELOPMENT REQUEST

- Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential

Related City Permit Number(s)

Home Occupation (specify) _____

Other (specify) _____

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name

Unit / Phase Number
 Combine Parcels
 Divide Parcel
 Total Number of Lots Created

Other (specify) _____

Attachments / Additional Requirements

ZONING REQUEST

Zoning Change
 Planned Residential 1.5 du/ac
 Proposed Zoning

Pending Plat File Number

Plan Amendment Change
 Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests

Other (specify) _____

STAFF USE ONLY

PLAT TYPE

- Staff Review
 Planning Commission

ATTACHMENTS

- Property Owners / Option Holders
 Variance Request
 Amendment Request (*Comprehensive Plan*)

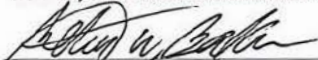
ADDITIONAL REQUIREMENTS

- Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

| | | |
|--------------|--|-----------------|
| Fee 1 | | \$650.00 |
| Fee 2 | | |
| Fee 3 | | |
| Total | | |

AUTHORIZATION

By signing below, I declare under penalty of perjury the foregoing is true and correct: **1)** He/she/it is the owner of the property AND **2)** The application and all associated materials are being submitted with his/her/its consent. If there are additional owners or options holders, each additional individual must sign the Property Owners/Option Holders Form.

 Andrew Baker 12/20/2024
 Applicant Signature Print Name / Affiliation Date

865-692-7908 
 Phone Number Email

 Barbara Baker 12/26/2024, SG
 Property Owner Signature Please Print Date Paid



Public Notice and Community Engagement

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s).

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

~~12/20/2024~~ 1/31/2025

Date to be Posted

~~2/21/2024~~ 2/14/2025

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting


Applicant Signature

Andrew Baker

Applicant Name

12/20/2024

Date

2-E-25-RZ

FILE NUMBER