



SPECIAL USE REPORT

► **FILE #:** 3-E-25-SU

AGENDA ITEM #: 19

AGENDA DATE: 3/13/2025

► **APPLICANT:** PIER GROUP, LLC

OWNER(S): PIER Group, LLC

TAX ID NUMBER: 109 L D 006

[View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 4507 SEVIERVILLE PIKE

► **LOCATION:** South side of Sevierville Pike, east of E Red Bud Rd

► **APPX. SIZE OF TRACT:** 15.67 acres

SECTOR PLAN: South City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Sevierville Pike, a major collector street with 20-ft of pavement width within a 44-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: Toll Creek

► **ZONING:** AG (General Agricultural), HP (Hillside Protection Overlay)

► **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

► **PROPOSED USE:** Campground (revision of previously approved Special Use 4-E-23-SU)

HISTORY OF ZONING: In 2021 the property was rezoned from RN-1 (Single-Family Residential Neighborhood) / HP (Hillside Protection Overlay) to AG (Agricultural) / HP (Hillside Protection Overlay) (5-E-21-RZ). In 2022 part of the parcel was rezoned from RN-1 (Single-Family Residential Neighborhood)/HP (Hillside Protection) to AG (General Agricultural)/HP (Hillside Protection) (1-F-22-RZ).

SURROUNDING LAND USE AND ZONING:

North: Single family residential, multifamily residential, public parks - RN-1 (Single-Family Residential Neighborhood), NA (Natural Areas), HP (Hillside Protection Overlay)

South: Agricultural/forestry/vacant, multifamily residential, public parks - RN-1 (Single-Family Residential Neighborhood), RN-3 (General Residential Neighborhood), © former planned district, NA (Natural Areas), HP (Hillside Protection Overlay)

East: Agricultural/forestry/vacant, public parks - RN-1 (Single-Family Residential Neighborhood), NA (Natural Areas), HP (Hillside Protection Overlay)

West: Agricultural/forestry/vacant, single family residential, rural residential - RN-1 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)

NEIGHBORHOOD CONTEXT: The property is part of Knoxville's Urban Wilderness trail and park system, and it abuts Ijams Nature Center to the north and Marie Myers Park to the east and south. Baker Creek Preserve and South-Doyle Middle School lie to the west, and the William Hastie Natural Area lies to the south. Aside from public parks, the area features a mix of rural, single-family, and multifamily residential uses, with some commercial uses to the west near the exit with James White Parkway.

STAFF RECOMMENDATION:

► **APPROVE the Special Use for a campground with a maximum of 6 campsites, 15 tiny mobile home cabins, 6 cabins, 1 bath house, and 1 sauna in the locations depicted on the site plan, subject to 6 conditions.**

1. Meeting the requirements of the principal use standards for campgrounds (Article 9.3.C) of the City of Knoxville Zoning Ordinance.
2. Obtaining Alternative Landscape Design approval before permits are issued that shows the location and species of existing and proposed trees that will be used to meet the required Class B buffer yard per Section 12.8.
3. Meeting the requirements of Article 11 (Off-Street Parking) of the City of Knoxville Zoning Ordinance.
4. Meeting all applicable requirements of the City of Knoxville Department of Plans Review and Inspections.
5. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
6. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of the AG zone, the principal use standards for campgrounds, and the criteria for approval of a special use.

COMMENTS:

This is a revision of the previously approved The Drop Inn campground on Sevierville Pike west of Marie Meyers Park (4-E-23-SU). The proposal is for a maximum of 6 campsites, 15 tiny mobile home cabins, 6 cabins, 1 bath house, and 1 sauna, as shown in the site plan. The tiny mobile home cabins are not on permanent foundations and are movable structures, while the cabins are permanent structures. This proposal is specific to providing the type of camping and cabin amenities presented in this application.

PRINCIPAL USE STANDARDS

The principal use standards for campgrounds (Article 9.3.C) include the following. (Staff notes in parenthesis.)

1. The minimum area for a campground is three acres. (The site is approximately 15.6 acres.)
2. Campgrounds must comply with all applicable state and city regulations including those governing the installation, construction, and/or operation of swimming pools, water supply, sewage disposal, food storage and services, plumbing, structures, electrical wiring, and fire prevention. (Proof of compliance is required during permitting. Bath house and cabins will have water, sewer, and electricity.)
3. Management headquarters, recreational facilities, coin operated laundry facilities, cabins for counselors, overnight accommodations, living space, and other uses and structures customarily associated with the operation of a campground are permitted. (The proposed structures are for overnight accommodation and office use and are amenities customarily associated with campground operations.)
4. Storage of equipment must be within enclosed structures. (This will be required during permitting.)
5. Year-round residency is prohibited at any campground. The use of camping units or sites as principal residences is prohibited. This excludes any structures erected specifically for a caretaker or campground ranger, which may be a year-round residency. (There are no proposed structures for year-round residency.)
6. A 25-foot perimeter setback from the lot line of the campground is required. No structures or campsites are allowed within this setback. The perimeter setback must be landscaped per the standards of a Class B buffer yard per Section 12.8. (Existing and new vegetation can be used to meet the buffer yard standard. The buffer is required between any campsite, common campground use area, parking area, and adjacent property lines as depicted on the attached site plan.)

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. This property is located next to Knoxville's Urban Wilderness park system. The campground use is consistent with the General Plan's development policy 9.2, which encourages development practices that fit the natural landscape, minimizing the loss of trees, woodlands, and wildlife habitat.

B. The One Year Plan and South City Sector Plan designation for this site is LDR (Low Density Residential)

and HP (Hillside Protection). AG zoning that the applicant is requesting to develop under can be considered under the LDR land use designation.

C. The property is located within the HP (Hillside Protection). The proposed development will require 3.2 acres of land disturbance, which is in compliance with the permitted disturbance of 4.02 acres.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The AG (General Agricultural) zoning district is intended to provide for agricultural uses that comprise an important part of the economy of Knoxville. The intent is to permit lands best suited for agriculture to be used for agriculture purposes, and prevent the encroachment of incompatible land uses on farm lands and protect the physical and economic well-being of agricultural operations.

B. A campground is permitted as a special use in the AG zone and must meet the principal use standards of (Article 9.3.C.) as outlined above and the standards for evaluating a special use (Article 16.2.F.2.) This proposal is in compliance and has obtained Alternative Landscape Design approval to use the existing vegetation.

C. The property is within the HP (Hillside Protection) overlay district. The proposed development will require minimal land disturbance and is in compliance with the HP overlay standards.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The subject property is on a major collector road with Knoxville's Urban Wilderness park and trail system to the east, north, and south. Single family residential homes are along the northern and western boundaries.

B. The campsite loop "B" is the location closest to the adjacent house at a distance of approximately 190 ft to the west and 375 ft from the closest house to the northwest.

C. The campground will be screened from the view of nearby homes using the existing tree canopy. Additionally, adjacent properties also have dense vegetation.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. Lights should not impact the adjacent properties. Lighting will be limited to small wall packs on tiny home mobile cabins and small wall packs at cabins, with similar lighting to the single family houses in the area. The campground will not include any large pole-mounted lights and will only include limited lighting at the bath house and pathway lighting. The exterior light fixture that is closest to a property line is the cabin porch light, which is approximately 60-ft from the property line at the road, and approximately 138-ft from the west property line, which includes the tree canopy buffer. Additionally, building finishes are muted and darker colors, which will not reflect the lights.

B. Vehicular traffic should be minimal daily as there are only 1.3 motor vehicle parking spaces per campsite/cabin space (34 parking spaces per campsite/cabin).

C. There may be odors and noises from people grilling and around campfires, but this would not be uncommon in a residential setting.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. Motor vehicular access to the site is via Sevierville Pike, a major collector street, so it will not draw substantial additional traffic through residential streets.

B. This site is within the School Parental Responsibility zone. The city will waive the sidewalk construction requirement, as this will not be a residential development. If sidewalks are required along this property in the future, the driveway will be built to ADA standards.

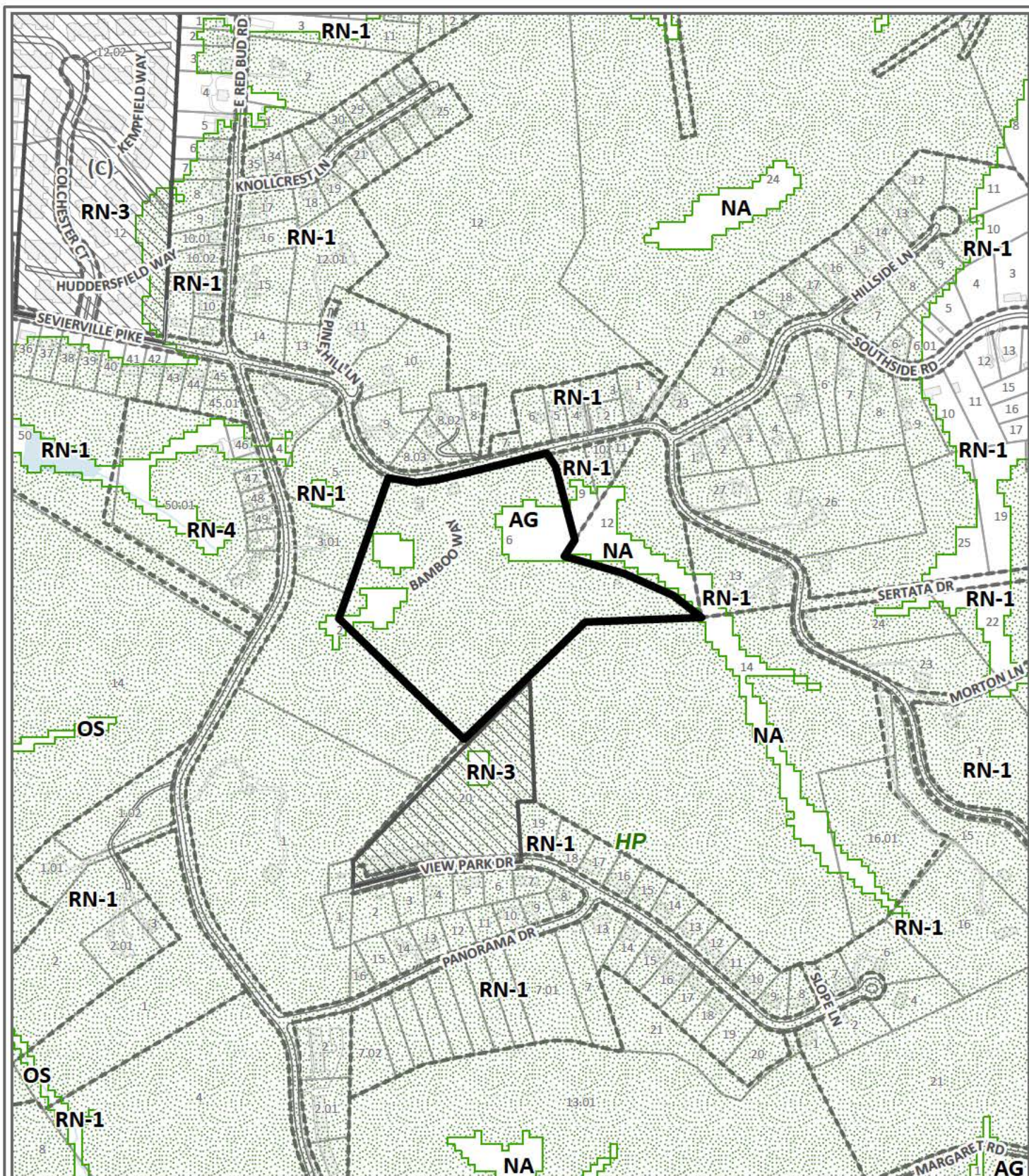
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for future uses on this site.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

3-E-25-SU

Petitioner: PIER Group, LLC



Campground (revision of previously approved Special Use 4-E-23-SU) in AG (General Agricultural), HP (Hillside Protection Overlay)

Original Print Date: 1/31/2025

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 109

Jurisdiction: City

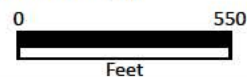
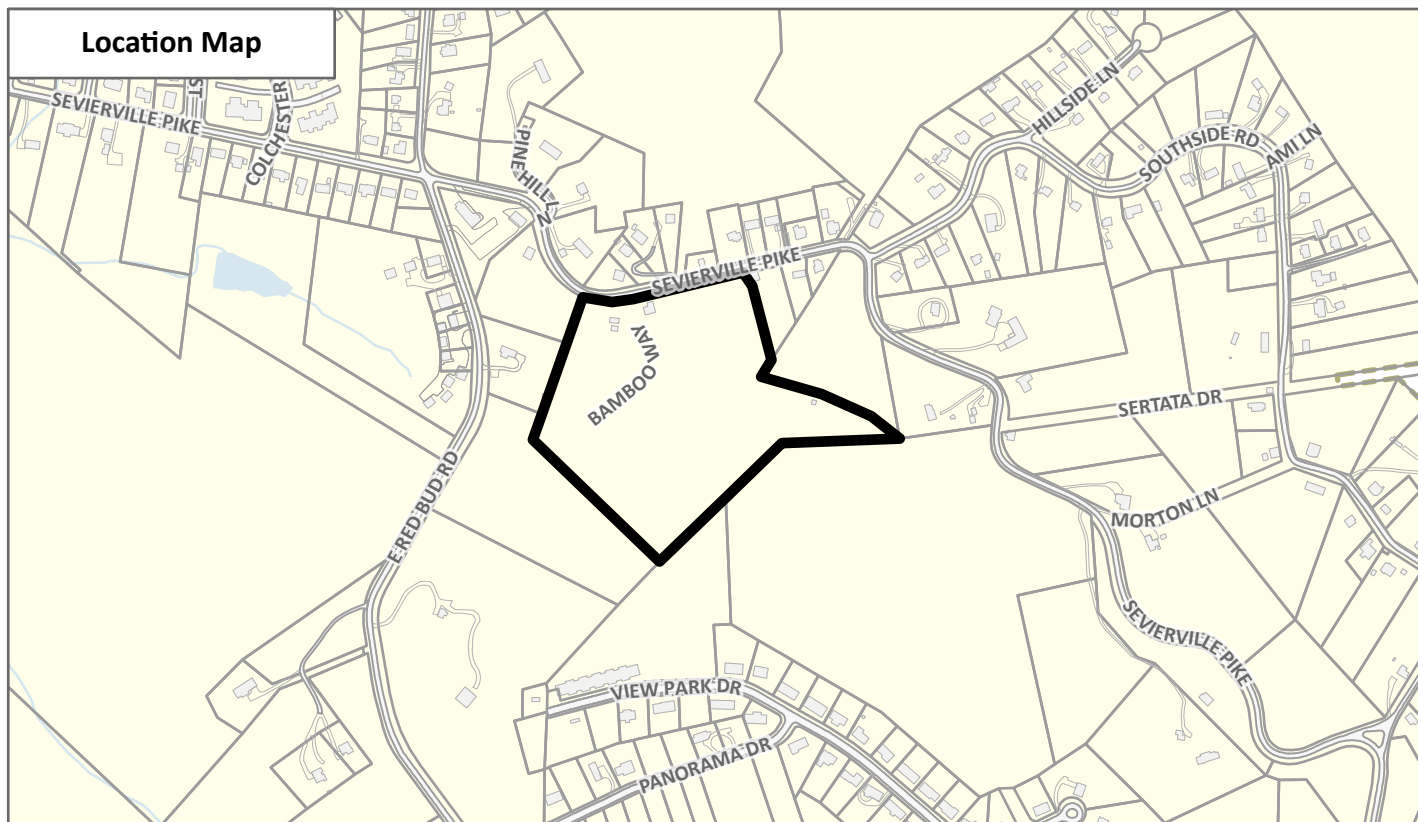
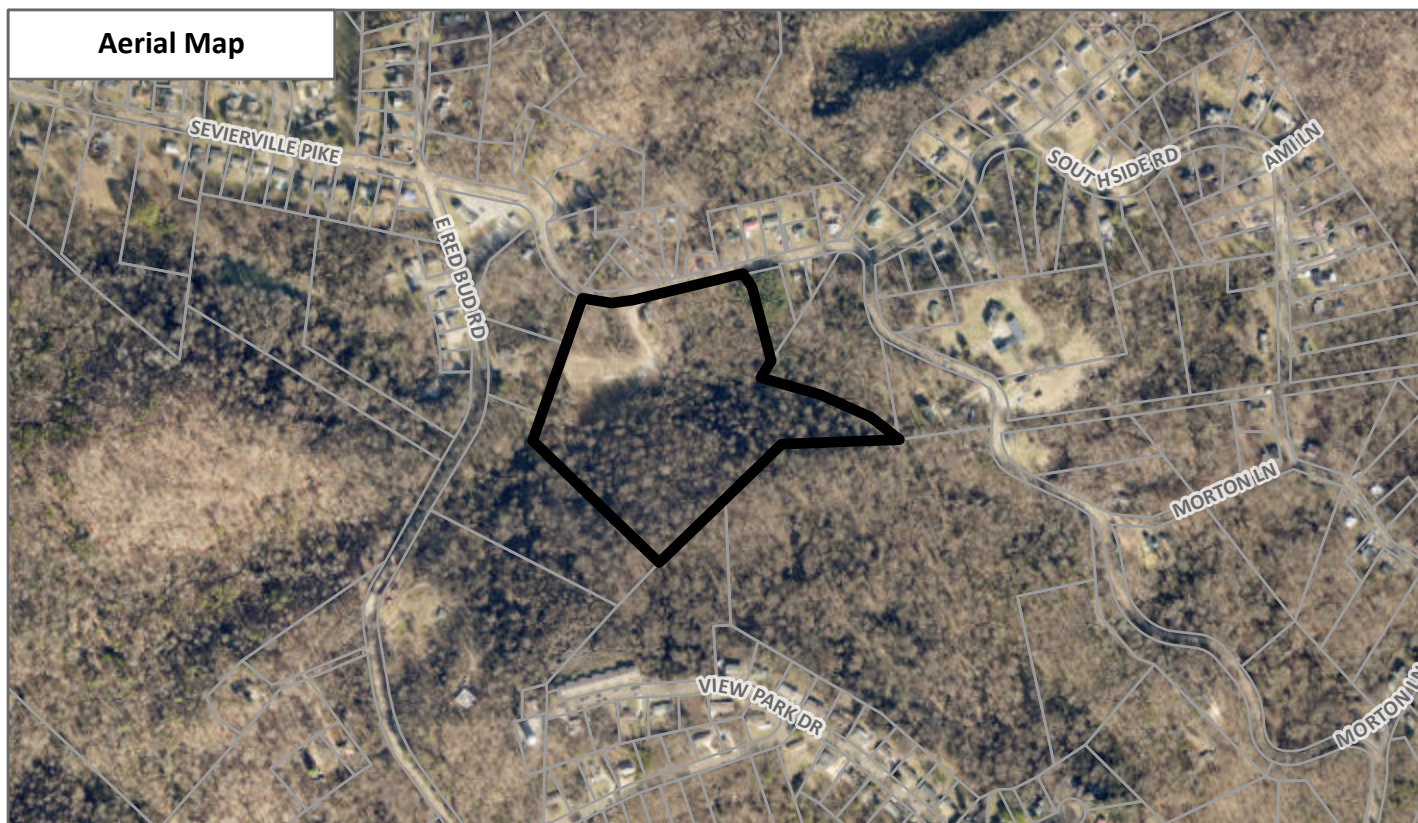


Exhibit A. Contextual Images

Location Map



Aerial Map

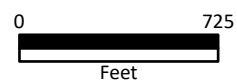


CONTEXTUAL MAPS 1

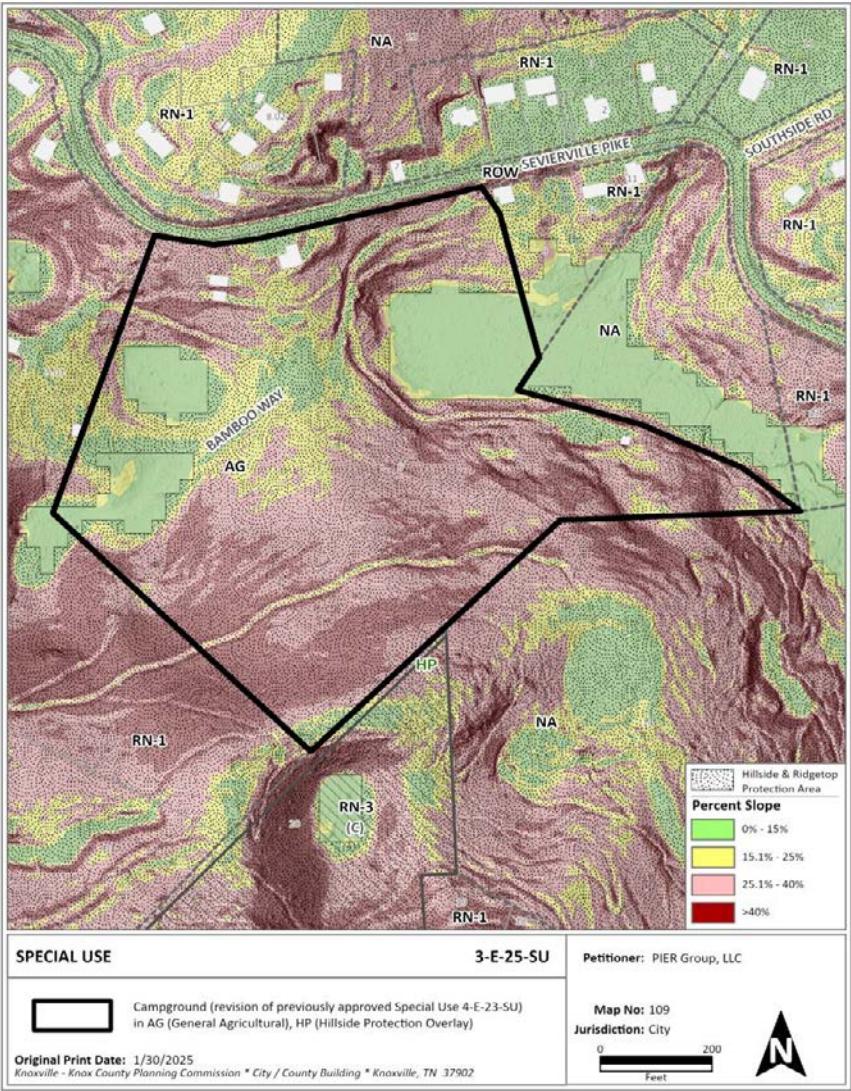
3-E-25-SU



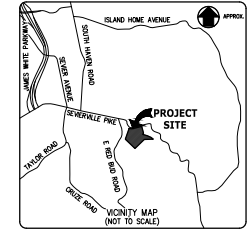
Case boundary



CATEGORY	SQFT	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Sqft)	DISTURBANCE AREA (Acres)
Total Area of Site	682,476.5	15.67			
Non-Hillside	90,745.4	2.08	N/A		
0-15% Slope	51,468.7	1.18	100%	51,468.7	1.18
15-25% Slope	110,106.8	2.53	50%	55,053.4	1.26
25-40% Slope	257,290.3	5.91	20%	51,458.1	1.18
Greater than 40% Slope	172,865.3	3.97	10%	17,286.5	0.40
Ridgetops					
Hillside Protection (HP) Area	591,731.1	13.58	Recommended disturbance budget within HP Area	175,266.7	4.02
			Percent of HP Area	29.6%	

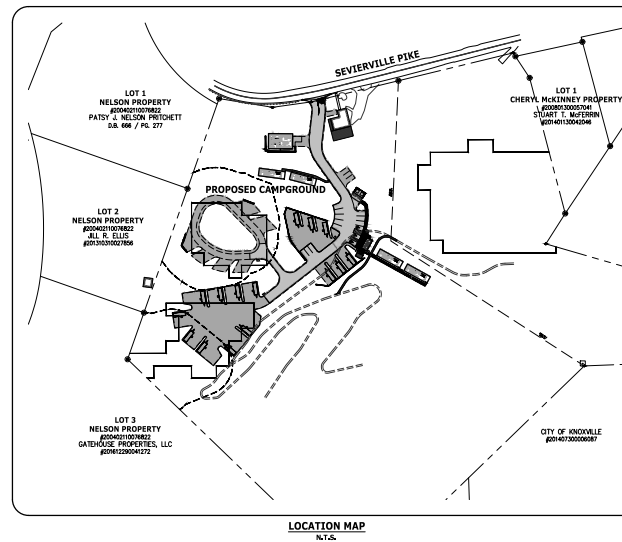


**THE DROP INN
SPECIAL USE REVIEW
4507 SEVIERVILLE PIKE
KNOXVILLE, TENNESSEE 37920**



DRAWING INDEX

C001	COVER SHEET
C002	GENERAL NOTES AND LEGENDS
C101	SITE LAYOUT PLAN (OVERALL)
C201	SITE GRADING & DRAINAGE PLAN (OVERALL)
C301	DRIVEWAY PROFILES
C401	TURNING MOVEMENTS AND SIGHT DISTANCE
C501	CONCEPTUAL SITE UTILITY PLAN (WATER & SEWER)



PROPERTY DATA	
PROPERTY OWNER	THE DROP INN KNOX, LLC 408 E RED BUD ROAD KNOXVILLE, TN 37920
KNOXVILLE C.L.T. MAP NO.	109
PARCEL NUMBER	6.00
JURISDICTION	KNOX COUNTY, CITY OF KNOXVILLE, CITY BLOCK #29220
ZONING	AG, "AGRICULTURAL ZONING"
AREA	15.6+ AC. TOTAL (2.86 AC. DISTURBED)

**SPECIAL USE
SUBMITTAL
3-E-25-SU**

IF THIS DOCUMENT IS NOT SIGNED, SEALED, AND
DATED, IT MAY NOT BE USED FOR CONSTRUCTION.

THE DROP INN CAMPGROUND
4507 SEVIERVILLE PIKE
KNOXVILLE, TENNESSEE 37920

1. *Introduction*



0025 Investment Drive, Suite 120
Coxville, TN 37932

665.670.8555
www.cci-corp.com

CLIENT:
PIER GROUP
PARTNERS IN EVERYTHING
RECREATION
121 E. JACKSON AVENUE
KNOXVILLE, TENNESSEE 37915

CI PROJ. NO.	01821-0000
DATE:	JANUARY 24, 2025
W/PC:	J. HUNT
DRAWN BY:	J. HUNT

SITE LAYOUT PLAN (OVERALL)

C101



7. ABOVE GROUND AND UNDERGROUND UTILITIES AS SHOWN WERE LOCATED FROM VISIBLE FIELD EVIDENCES, UTILITY RECORDS, AND/OR INTERVIEWS WITH LOCAL RESIDENTS. IN JULY OF 2017, VERIFICATION AS TO EXISTENCE, LOCATION, SIZE, MATERIAL, AND DEPTH SHOULD BE PURSUED PRIOR TO ANY EXCAVATION OR DEMOLITION. CONTRACTOR SHALL AVOID CONFLICTS AND/OR HAZARDS, NOTIFY TENNESSEE TRANSPORTATION COMMISSION AND/OR ANY OTHER AGENCIES, AND OBTAIN NECESSARY PERMITS AND APPROVALS BEFORE ANY EXCAVATION OR GRADING ACTIVITIES.
8. CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS REQUIRED TO PERFORM DEMOLITION WORK.
9. CONTRACTOR SHALL PROPERLY DISPOSE OF DEMOLITION DEBRIS AND MATERIALS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
10. EXCAVATIONS FROM DEMOLITION ARE TO BE BACKFILLED WITH COMPACTED FILL.
11. CONTRACTOR SHALL CONTACT THE CITY OF KNOXVILLE OFFICE OF COMMUNITY DEVELOPMENT AND ECONOMIC DEVELOPMENT TO DETERMINE IF ANY EXISTING WATER, GAS, FIBER, OR OTHER UTILITIES ARE LOCATED WITHIN OR ADJACENT TO THE PROJECT AREA.
12. CONTRACTOR SHALL REMOVE 25% OF THE EXISTING PIPES, STRUCTURES AND MATERIALS, EITHER BY CUTTING, REMOVING, OR ABANDONING. CONTRACTOR SHALL REMOVE AND ABANDON 25% OF THE EXISTING PIPES, STRUCTURES MUST BE REMOVED AND ABANDONED BY THE CONTRACTOR. IF REMOVED, ANY REMAINING STRUCTURES THAT ARE NOT TO BE REMOVED SHALL BE ABANDONED IN ACCORDANCE WITH TSD STANDARDS. A FORMAL INSPECTION BY CITY ENGINEERING STAFF (OR 3RD PARTY) OF THE REMOVED STRUCTURES SHALL BE REQUIRED.
13. IF THE PIPES WILL BE ABANDONED IN PLACE, THE DEPTH OF THE ABANDONMENT SHALL BE IN ACCORDANCE WITH TSD STANDARDS. THE ENTIRE VOLUME OF THE PIPES MUST BE FILLED WITH FILL TO THE TOP OF THE PIPES.
14. CONTRACTOR SHALL CONTACT THE CITY OF KNOXVILLE CITY ENGINEERING STAFF (OR 3RD PARTY) MUST

[illegible][illegible]

1. PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:		
SEEDING DATES	GRASS SEED	PERCENTAGES
7/1 TO 7/15	KOREAN LEPOLEPSA	33%
	SUMMER DAVIS	33%
5/1 TO 7/15	ENGLISH RYE	100%
7/1 TO 7/15	STAR WHEAT	100%
7/15 TO 7/1	BALL COUSCIOUS	33%
	ITALIAN RYE	33%
2. PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:		
5/1 TO 7/1	KENTUCKY 31 FESCUE	80%
	KOREAN LEPOLEPSA	15%
6/1 TO 8/15	ENGLISH RYE	100%
	KENTUCKY 31 FESCUE	55%
	STAR WHEAT	45%
	KOREAN LEPOLEPSA	15%
	GERMAN ALFALFA	10%
4/15 TO 8/15	BERMUDAGRASS (PLOWED)	100%
	ANNUAL LEPOLEPSA	30%
8/1 TO 12/1	WHITE CLOVER	20%
	ENGLISH RYE	20%
12/1 TO 2/1	KENTUCKY 31 FESCUE	25%
	CROWN VETCH	25%
	ENGLISH RYE	50%

1. INSTALL STORM SEWER PIPING AND APPURTENANCES TO MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF TDDT AND THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
2. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
3. STORM PIPE SHALL BE REINFORCED CONCRETE PIPE IN ACCORDANCE WITH AASHTO M170 OR EQUAL UNLESS NOTED OTHERWISE.
4. PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING & COMPACTION ARE COMPLETE & PRIOR TO PLACING THE BASE. TEST DEFLECTION WITH A MANDREL OR SAND FILL METHOD SHALL BE PERFORMED AT THE FOLLOWING:
 - a. PIPE WITH DEFLECTION .5% OR GREATER OR WITH UNLAME MISALIGNMENT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

1. THE CONTRACTOR IS TO INSTALL ALL INITIAL DEVICES (SILT FENCE, CONSTRUCTION ENTRANCE AND INLET PROTECTION) SHOWN ON THESE PLANS ONCE AUTHORIZATION FROM THE CITY OF KNOXVILLE IS RECEIVED. ONCE THE DEVICES ARE INSTALLED THE ENGINEER WILL INSPECT THE INSTALLATION AND SEND CERTIFICATION TO CITY OF KNOXVILLE PRIOR TO OBTAINING THE GRADING PERMIT.
2. LIMITS OF DISTURBANCE SHALL BE CLEARLY MARKED IN THE FIELD.
3. EROSION PREVENTION AND SEDIMENT CONTROL METHODS AND DEVICES USED ARE DESIGNED TO CONTROL STORM RUNOFF GENERATED BY A 5-YR, 24-HR STORM EVENT.

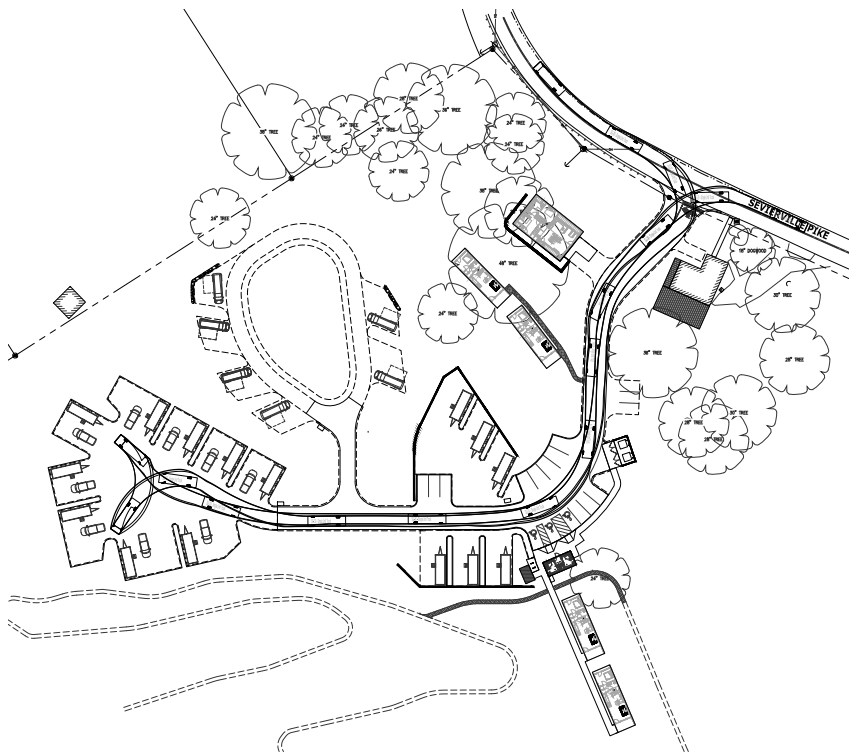
WITHIN HP OVERLAY:
DISTURBED AREA = 2.32 AC.
UNDISTURBED AREA = 11.29 AC.

OUTSIDE OF HP OVERLAY:
DISTURBED AREA = 0.85 AC.
UNDISTURBED AREA = 1.21 AC.

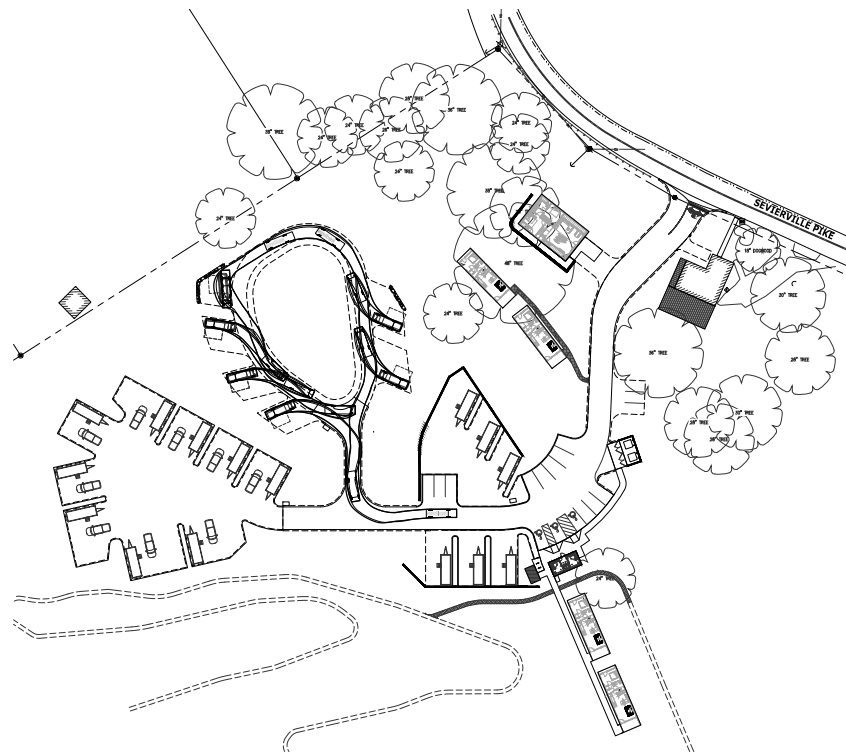
TOTAL SITE:
DISTURBED AREA = 3.20 AC.
UNDISTURBED AREA = 12.47 AC.

1. ALL GRAVEL SHALL BE CLEAN STONE.
2. GRAVEL PARKING AREAS SHALL BE CLEARLY DELINEATED.
3. ALL GRAVEL AREAS REQUIRE PERMETER CONTAINMENT.
4. GRAVEL PARKING LOTS SHALL INCLUDE GRID INSTALLATION, CONCRETE FLUSH CURB, OR FLUSH LANDSCAPE TIMBERS TO PREVENT RUTTING.

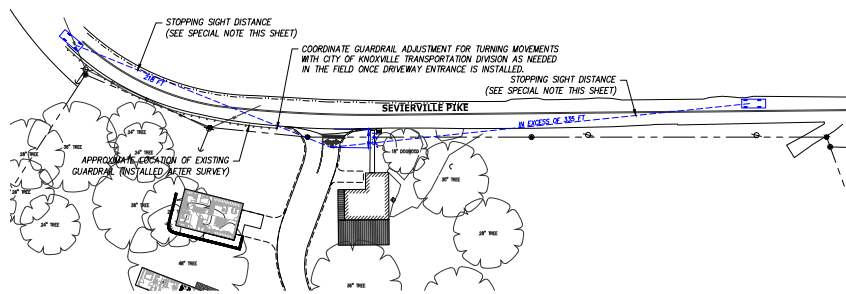
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FIRE ACCESS CIRCULATION
SCALE: 1" = 40'



SPRINTER VAN CIRCULATION
SCALE: 1" = 40'



SIGHT DISTANCE
SCALE: 1" = 40'

SIGHT DISTANCE CALCULATION
SIGHT DISTANCE SHOWN BASED ON FIELD VISIT ON 02/22/22. POSTED SPEED LIMIT IS 30 MPH.
STOPPING SIGHT DISTANCE CRITERIA IS USED AT THIS LOCATION SINCE THE INTERSECTION INCLUDES A DRIVEWAY INSTEAD OF A CONNECTING ROADWAY.
PER AASHTO, A MINIMUM OF 200' IS REQUIRED FOR A DESIGN SPEED OF 30 MPH. A MINIMUM OF 210' IS PROVIDED IN THE WEST BOUND DIRECTION AND THE EAST BOUND IS IN EXCESS OF 335'.
IN ADDITION, THE EXISTING CURVE WEST OF THE PROPOSED DRIVEWAY CONNECTION HAS AN APPROXIMATE 200' RADIUS. A MINIMUM 250' RADIUS IS REQUIRED FOR A DESIGN SPEED OF 30 MPH WITH A SUPER ELEVATION OF 4%. THE EXISTING CURVE DOES NOT APPEAR TO HAVE A POSITIVE SUPER ELEVATION AND HAS A NEGATIVE SLOPE (SLOPING OPPOSITE DIRECTION) WHICH WOULD REQUIRE A GREATER RADIUS. THEREFORE, THE CURVE SHOULD HAVE A REDUCED SPEED WHICH WOULD DECREASE THE STOPPING SIGHT DISTANCE REQUIRED.

NO.	DATE	REVISION DESCRIPTION
1	02/22/22	REVISED PER PLANNING REVIEW COMMENTS

SPECIAL USE SUBMITTAL 3-E-25-SU

IF THIS DOCUMENT IS NOT COVER, SEAL, AND SIGNED, IT MAY NOT BE USED FOR CONSTRUCTION.

THE DROP INN CAMPGROUND
KNOXVILLE, TENNESSEE 37932

PROJECT:

CANNON & CANNON
10025 Investment Drive, Suite 120
Knoxville, TN 37932
865.670.8555
www.ccc-corp.com

CLIENT:
PIER GROUP
PARTNERS IN EVERYTHING
RECREATION
121 E. JACKSON AVENUE
KNOXVILLE, TENNESSEE 37915

CCI PROJ. NO.: 01821-0800
DATE: JANUARY 24, 2023
CHKD: J. HUNT
DRAWN BY: J. HUNT

TURNING MOVEMENTS & SIGHT DISTANCE

C401

	PLANS PREPARED BY:	CUSTOMER/PROJECT:	REV#	DATE	REVISIONS		BY:	FILE:	DRAWING: FOUNDATION PLAN LAYOUT
	ESHS CONSTRUCTION LLC NEWBURG, PA 17240 PHONE: 717-440-5497 EMAIL: Charlie@YourMCH.com	Zook Cabins 5181 Lincoln Highway Gap, PA 17527						Vegas AFrame	
								SQ.FT.:	
								STATE: PA	
								TYPE: CAPE	
	BUILDER:		DRAWN BY:	DATE:	SCALE:	CHECKED BY:	MODEL:	SHEET:	
	Zook Cabins 5075 Lower Algenen Rd (Rte 372) Atglen, PA 19310		Eshs Construction LLC	12/20/2024	1/4" = 1'-0"	CJZJHJ	AFRAME	1	

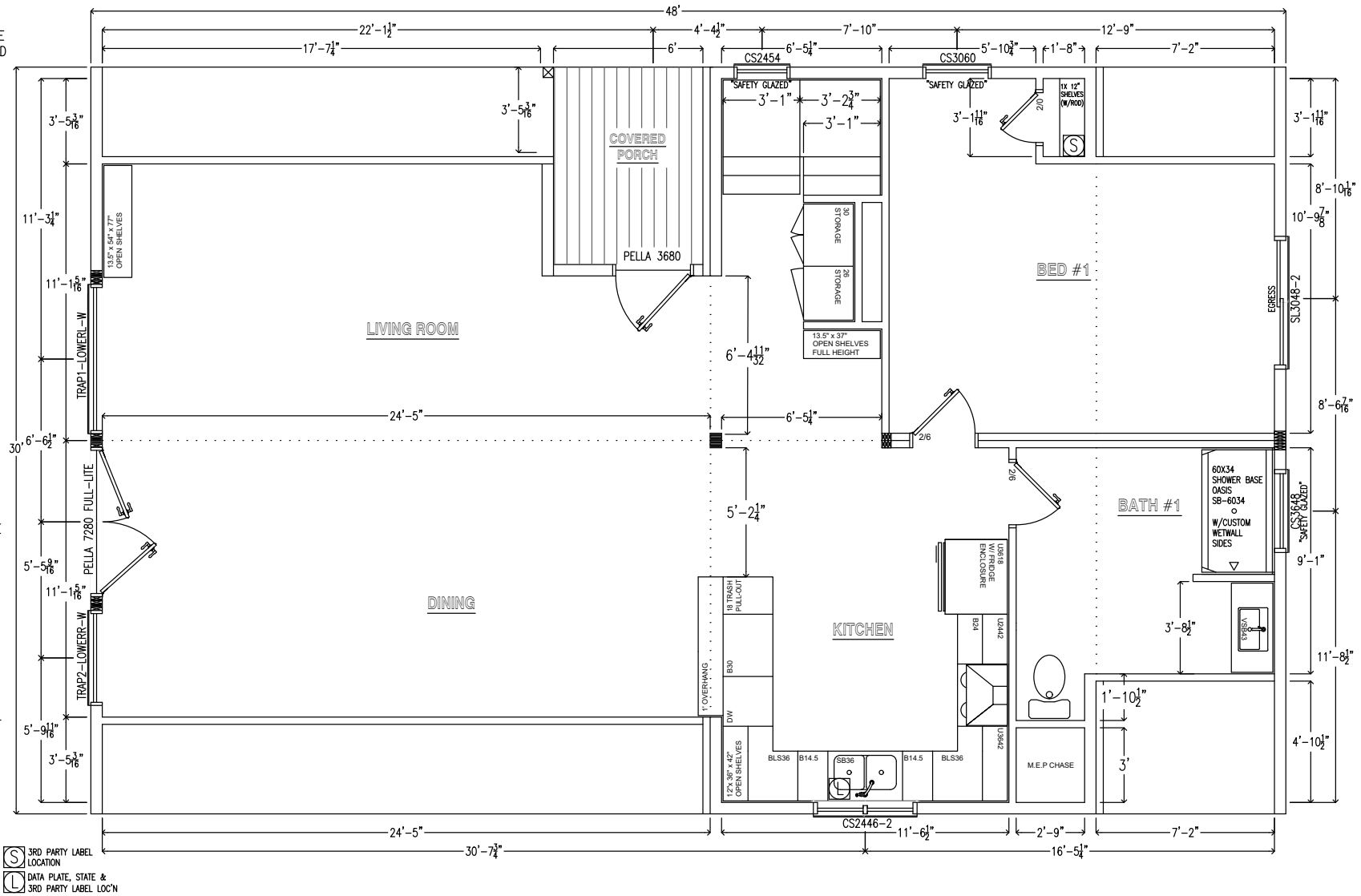
FLOOR INSULATION MANDATED BY THE ENERGY EFFICIENCY CERTIFICATE. THE MODULAR MANUFACTURER DOES NOT INCLUDE FLOOR INSULATION AND IT MUST BE SUPPLIED AND INSTALLED ON SITE BY THIRD PARTIES IN ACCORDANCE WITH ATTACHED ENERGY CODE CALCULATIONS.

ALL WINDOW OPENINGS SET 72" ABOVE FINISHED GRADE WITH THE BOTTOM OF THE CLEAR OPENING BELOW 24" ABOVE FINISHED FLOOR MUST BE EQUIPPED WITH WINDOW GUARDS SUPPLIED AND INSTALLED IN THE FIELD IN ACCORDANCE WITH R312.2.

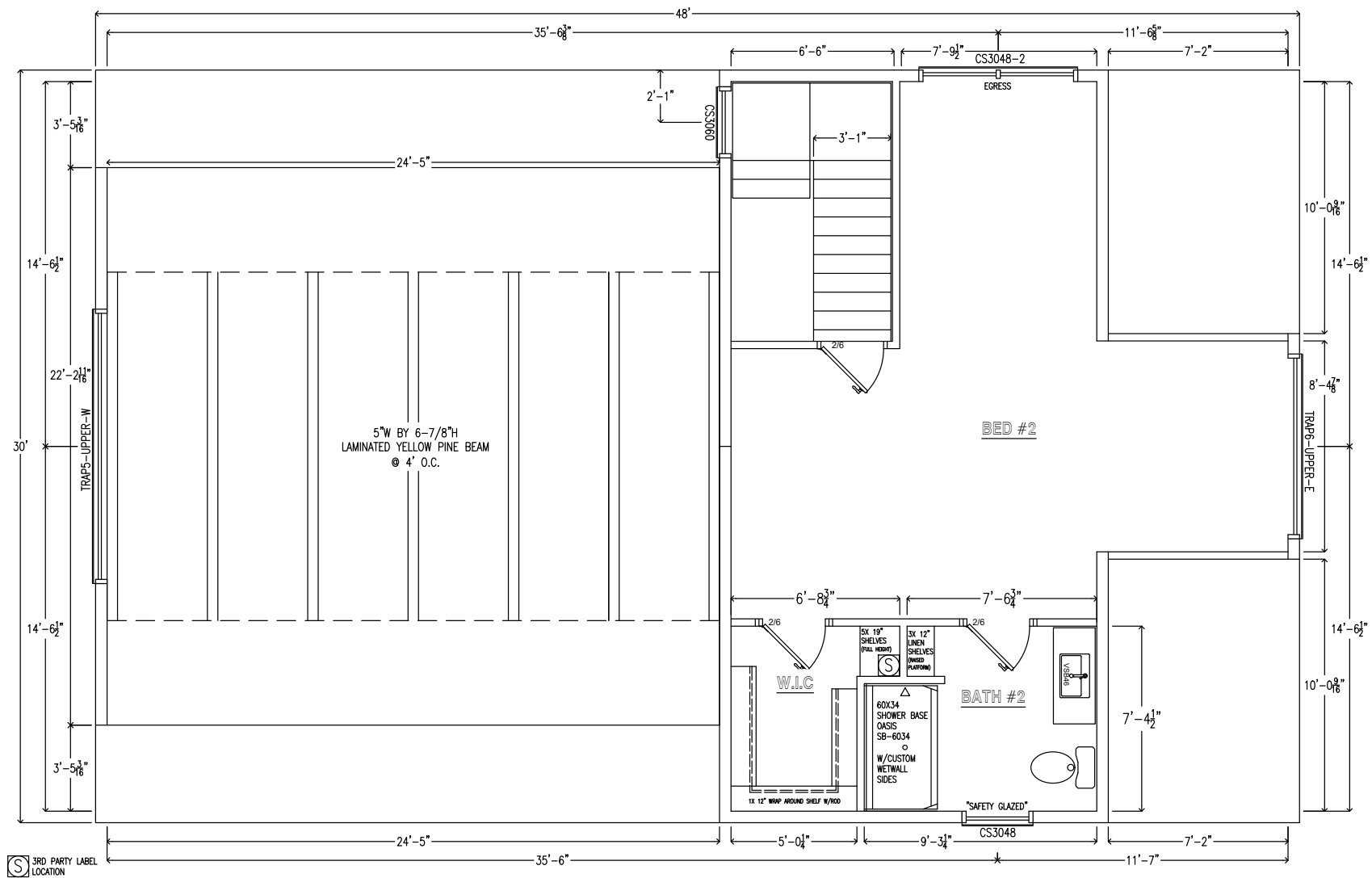
2018 IRC, TABLE R602.7.5 MINIMUM REQUIRED FULL HEIGHT STUDS AT EACH TERMINATION OF HEADERS IN EXTERIOR WALLS		
ULTIMATE DESIGN WIND SPEED AND EXPOSURE CATEGORY		
MAXIMUM HEADER SPAN (FEET)	<140 MPH, EXPOSURE B OR <130 MPH, EXPOSURE C	<115 MPH, EXPOSURE B
4	1	1
6	2	1
8	2	1
10	3	2
12	3	2
14	3	2
16	4	2
18	4	2

NOTES:

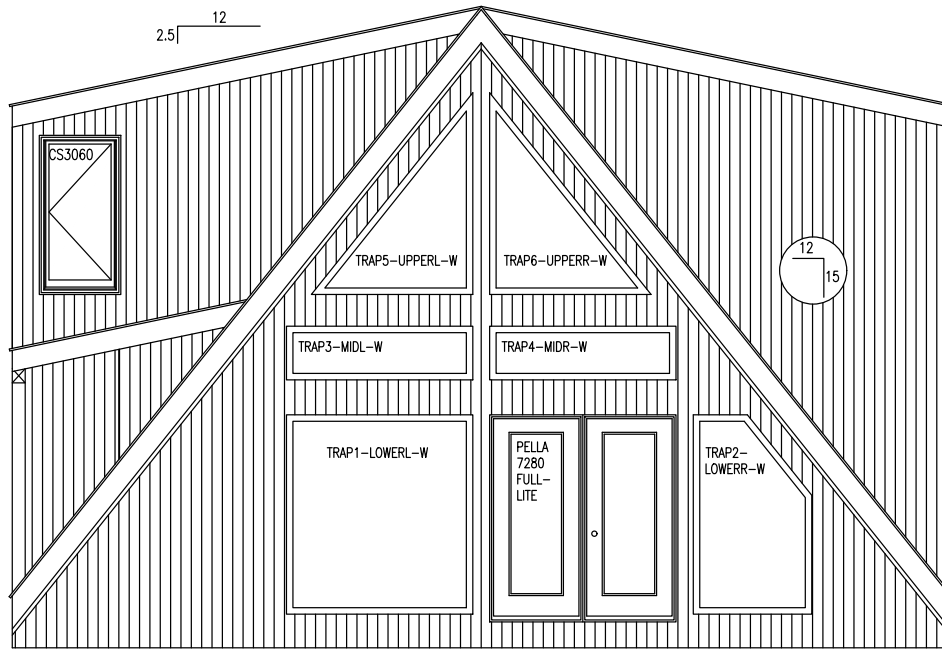
1. THE HOUSE PLAN CAN BE MIRRORED FROM FRONT TO BACK AND/OR LEFT TO RIGHT.
2. INTERIOR WALL PARTITIONS (NON-LOAD BEARING AND NON-BRACED) ARE ALLOWABLE TO BE RELOCATED OR REMOVED FROM THE PLAN. KITCHEN & BATHROOM CABINETS MAY BE REPOSITIONED, ADDED, OR OMITTED.
3. THE LOCATION OF THE PANEL BOX MAY CHANGE BASED ON INDIVIDUAL ELECTRICAL SERVICE REQUIREMENTS.
4. WINDOWS & DOORS OF IDENTICAL SIZE CAN BE REPLACED PROVIDED THEIR RATINGS AND THERMAL VALUES ARE EQUAL TO OR EXCEED THE SPECIFIED REQUIREMENTS.
5. ALL ON-SITE CONSTRUCTION MUST BE INSPECTED BY THE LOCAL BUILDING OFFICIAL HAVING JURISDICTION.



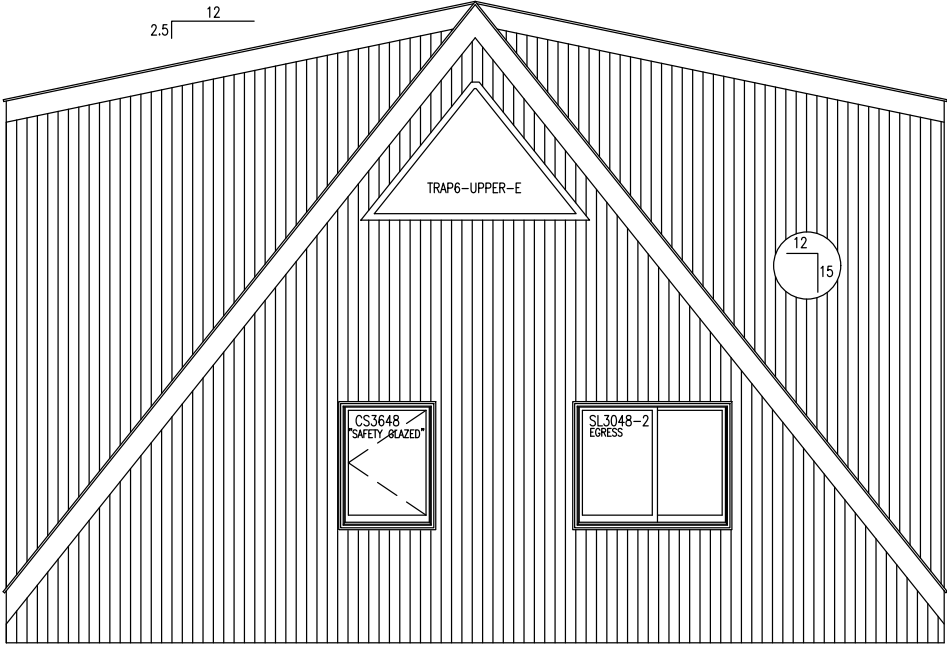
<div>PLANS PREPARED BY:</div> <div>ESHs CONSTRUCTION LLC NEWBURG, PA 17240 PHONE: 717-440-5497 EMAIL: Charlie@YourMCH.com</div>	<div>CUSTOMER/PROJECT:</div> <div>Zook Cabins 5181 Lincoln Highway Gap, PA 17527</div>	<div>REV#</div> <div>DATE</div>	<div>REVISIONS</div>		<div>BY:</div>	<div>FILE:</div> <div>Vegas AFrame</div>	<div>DRAWING:</div> <div>1ST FLOOR PLAN</div>
	<div>BUILDER:</div> <div>Zook Cabins 5075 Lower Atglen Rd (RTE 372) Atglen, PA 19310</div>					<div>SQ.FT.:</div>	<div>SHEET:</div> <div>2</div>
						<div>STATE:</div> <div>PA</div>	
						<div>TYPE:</div> <div>CAPE</div>	
						<div>MODEL:</div> <div>AFRAME</div>	
		<div>DRAWN BY:</div> <div>Eshs Construction LLC</div>	<div>DATE:</div> <div>12/20/2024</div>	<div>SCALE:</div> <div>1/4"=1'-0"</div>	<div>CHECKED BY:</div> <div>CJZJHU</div>		



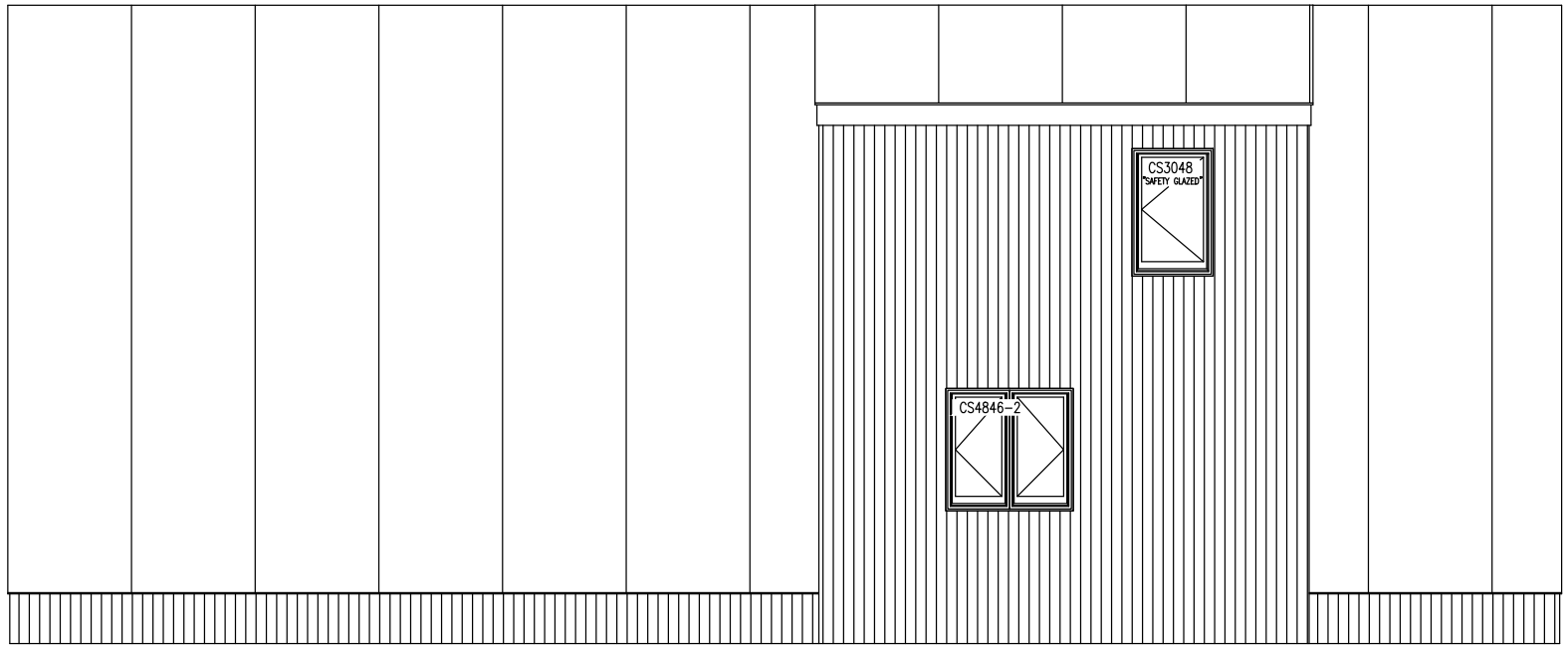
<div> <div> <div>PLANS PREPARED BY:</div> <div> <div>ESHs CONSTRUCTION LLC</div> <div>NEWBURG, PA 17240</div> <div>PHONE: 717-440-5497</div> <div>EMAIL: Charlie@YourMCH.com</div> </div> </div> <div> <div>CUSTOMER/PROJECT:</div> <div> <div>Zook Cabins</div> <div>5181 Lincoln Highway</div> <div>Gap, PA 17527</div> </div> </div> <div> <div>BUILDER:</div> <div> <div>Zook Cabins</div> <div>5075 Lower Atglen Rd (RTE 372)</div> <div>Atglen, PA 19310</div> </div> </div> </div>	<div> <div>REV#</div> <div>DATE</div> <div>REVISIONS</div> </div>	<div> <div>BY:</div> <div>FILE:</div> <div>SQ.FT.:</div> <div>STATE:</div> <div>TYPE:</div> <div>MODEL:</div> </div>	<div> <div>DRAWING:</div> <div>2ND FLOOR PLAN</div> <div>SHEET:</div> <div>2.1</div> </div>



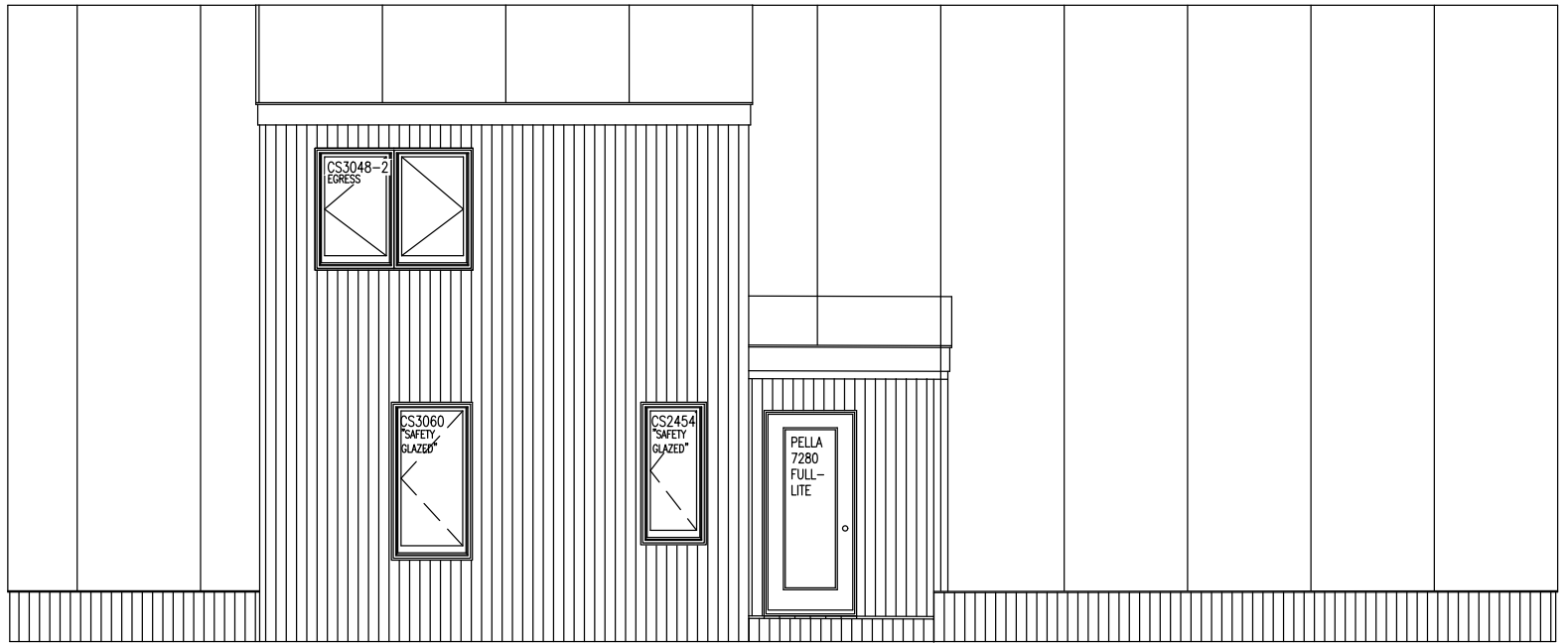
	PLANS PREPARED BY:	CUSTOMER/PROJECT: <div>Zook Cabins 5181 Lincoln Highway Gap, PA 17527</div>	REV#	DATE	REVISIONS	BY:	FILE:	DRAWING: FRONT ELEVATION
	ESHs CONSTRUCTION LLC NEWBURG, PA 17240 PHONE: 717-440-5497 EMAIL: Charlie@YourMCH.com						Vegas AFrame	
							SQ.FT.:	
							STATE: PA	
	BUILDER: <div>Zook Cabins 5075 Lower Atglen Rd (RTE 372) Atglen, PA 19310</div>	DRAWN BY: ESHs Construction LLC	DATE: 12/20/2024	SCALE: 1/4"=1'-0"	CHECKED BY: CJZJHU	TYPE: CAPE	MODEL: AFRAME	SHEET: 4



	PLANS PREPARED BY:	CUSTOMER/PROJECT: Zook Cabins 5181 Lincoln Highway Gap, PA 17527	REV#	DATE	REVISIONS		BY:	FILE:	DRAWING: REAR ELEVATION
	ESHs CONSTRUCTION LLC NEWBURG, PA 17240 PHONE: 717-440-5497 EMAIL: Charlie@YourMCH.com							Vegas AFrame	
								SQ.FT.:	
								STATE: PA	
								TYPE: CAPE	
	BUILDER:	Zook Cabins 5075 Lower Atglen Rd (RTE 372) Atglen, PA 19310	DRAWN BY:	DATE:	SCALE:	CHECKED BY:	MODEL:	SHEET: 4A	
			Esbs Construction LLC	12/20/2024	1/4"=1'-0"	CJZJHU	AFRAME		



	PLANS PREPARED BY:	CUSTOMER/PROJECT: Zook Cabins 5181 Lincoln Highway Gap, PA 17527	REV#	DATE	REVISIONS		BY:	FILE:	DRAWING: LEFT ELEVATION
	ESHs CONSTRUCTION LLC NEWBURG, PA 17240 PHONE: 717-440-5497 EMAIL: Charlie@YourMCH.com							Vegas AFrame	
								SQ.FT.:	
							STATE: PA		
	BUILDER: Zook Cabins 5075 Lower Atglen Rd (RTE 372) Atglen, PA 19310		DRAWN BY: DATE:		SCALE:	CHECKED BY:	TYPE:	SHEET: 4B	
			Eshs Construction LLC 12/20/2024		1/4"=1'-0"	CJZJHJ	CAPE		
							MODEL: AFRAME		



	PLANS PREPARED BY:	CUSTOMER/PROJECT: <div>Zook Cabins 5181 Lincoln Highway Gap, PA 17527</div>	REV#	DATE	REVISIONS		BY:	FILE:	DRAWING: RIGHT ELAVATION
	ESHs CONSTRUCTION LLC NEWBURG, PA 17240 PHONE: 717-440-5497 EMAIL: Charlie@YourMCH.com							Vegas AFrame	
								SQ.FT.:	
							STATE: PA		
	BUILDER: <div>Zook Cabins 5075 Lower Atglen Rd (Rte 372) Atglen, PA 19310</div>	DRAWN BY:	DATE:	SCALE:	CHECKED BY:	TYPE:	MODEL:	SHEET:	
		Esbs Construction LLC	12/20/2024	1/4"=1'-0"	CJZJHU	CAPE	AFRAME	4C	







APPROVED

145.33. MANUFACTURED HOMES EXCLUDED.
(a) MANUFACTURED HOMES WHICH ARE SI

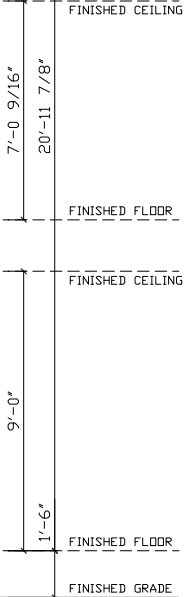
607 HAND CAPTURED HEADS WHICH ARE SUBJECT TO SECTIONS 604 AND 625 OF THE NATIONAL MANUFACTURED HOUSING CONSTRUCTION AND SAFETY STANDARDS ACT OF 1974 (42 U.S.C.A. 5403 AND 5424) AND REGULATIONS ISSUED THEREUNDER BY THE UNITED STATES DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT ARE NOT SUBJECT TO THIS CHAPTER.

(b) THE FOLLOWING LANGUAGE MUST APPEAR IN THE INSTALLATION DOCUMENTATION PROVIDED WITH THE INDUSTRIALIZED HOME AND THE DATA PLATE:

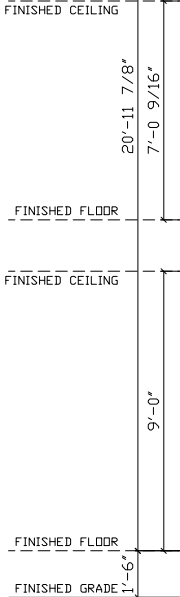
THE MANUFACTURER CERTIFIES THAT THE STRUCTURE (GN-18156) IS NOT A MANUFACTURED HOME SUBJECT TO THE PROVISIONS OF THE NATIONAL BUILDING CODE, AND IS CONSIDERED TO BE EQUIVALENT TO THE FOLLOWING:

- 1) DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE BUILT PERMANENT FOUNDATION
- 2) NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED
- 3) DESIGNED AND MANUFACTURED TO COMPLY WITH NATIONALLY RECOGNIZED BUILDING AND CODES EQUIVALENT TO BUILDING CODES FOR ON-SITE BUILDING OR WITH THE MINIMUM PROPERTY REQUIREMENTS CAPTAINED BY THE SECRETARY PURSUANT TO TITLE II OF THE NATIONAL HOUSING ACT, AND
- 4) TO THE MANUFACTURER'S KNOWLEDGE NOT INTENDED TO BE USED OTHER THAN ON A SITE-BUILT PERMANENT FOUNDATION

QN-18156/JN-85197/PA



FRONT ELEVATION




REAR ELEVATION

THESE DRAWINGS HAVE BEEN DEVELOPED SPECIFICALLY FOR THE HOMEOWNER FROM APPROVED BUILDING SYSTEMS. PLEASE CHECK LAYOUT, ROOM SIZE, WINDOW LOCATION, KITCHEN, CEILING HEIGHT, ROOF PITCH AND WALL SIZE TO BE CERTAIN THEY ARE WHAT YOU WANT. IF THERE ARE ANY CHANGES, PLEASE MAKE YOUR CHANGES AND HIGHLIGHT THEM AND RETURN TO BUILDER FOR REVISIONS BY US.

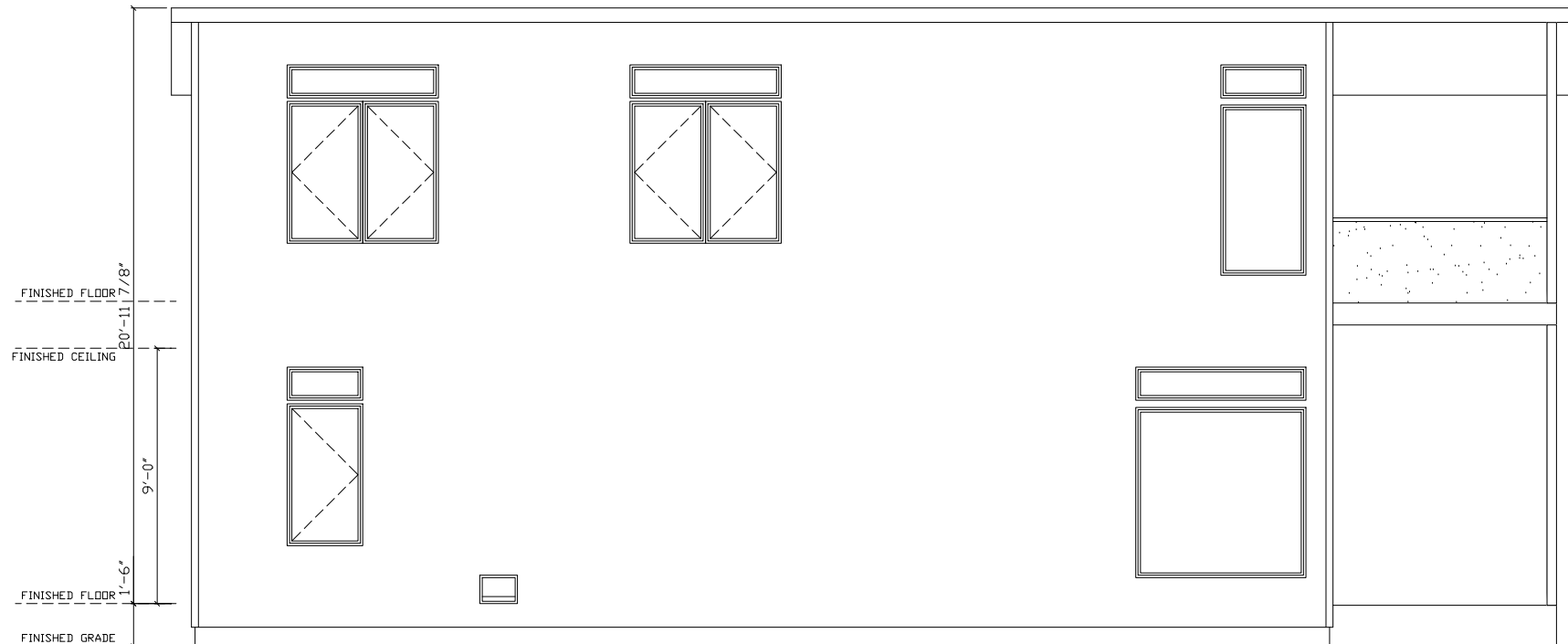
ALL PRODUCTS ARE BUILT ACCORDING TO STATE MANDATED CODES, HOWEVER IT IS THE RESPONSIBILITY OF THE LOCAL BUILDER TO BRING TO OUR ATTENTION ANY SPECIAL ISSUES SUCH AS, RADON VENTS AND ANY STRUCTURAL LOADS IN EXCESS OF THE STATE MANDATED CODES.

NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

<div><div></div><div><div>THE PEAK OF PERFECTION</div><div>APEX HOMES OF PA, LLC.</div><div>1712 ROUTE 422 HARRISBURG, PA 17149 PHONE: (570) 837-2833</div></div></div>				ZOOK CABIN'S/SNOW SHOE						
STAGE	DATE	DRAWN BY	BUILDING LOCATION:		SEISMIC DESIGN CATEGORY:	1540 CUSTOM 2-STORY FRONT/REAR ELEVATIONS				
PRELIM	6/6/24	KND	*NEED STREET ADDRESS*		LANCASTER, PA					
-	-	-	LANCASTER, PA		B					
-	-	-	LANCASTER COUNTY							
-	-	-	SNOW ZONE:	WIND ZONE:	WIND LOAD:	SCALE:	FILE NO:			
-	-	-	30 PSF	115 MPH VULT	21 PSF	3/16" x 1'-0"	A18156(99)			
-	-	-				LAYER:				
-	-	-				FRONT				

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.

QN-18156/JN-85197/PA



OMIT SIDING AND SHINGLES

THESE DRAWINGS HAVE BEEN DEVELOPED SPECIFICALLY FOR THE HOMEOWNER FROM APPROVED BUILDING SYSTEMS. PLEASE CHECK LAYOUT, ROOM SIZE, WINDOW LOCATION, KITCHEN, CEILING HEIGHT, ROOF PITCH AND WALL SIZE TO BE CERTAIN THEY ARE WHAT YOU WANT. IF THERE ARE ANY CHANGES, PLEASE MAKE YOUR CHANGES AND HIGHLIGHT THEM AND RETURN TO BUILDER FOR REVISIONS BY US.

ALL PRODUCTS ARE BUILT ACCORDING TO STATE MANDATED CODES, HOWEVER IT IS THE RESPONSIBILITY OF THE LOCAL BUILDER TO BRING TO OUR ATTENTION ANY SPECIAL ISSUES SUCH AS, RADON VENTS AND ANY STRUCTURAL LOADS IN EXCESS OF THE STATE MANDATED CODES.

NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

ZOOK CABIN'S/SNOW SHOE

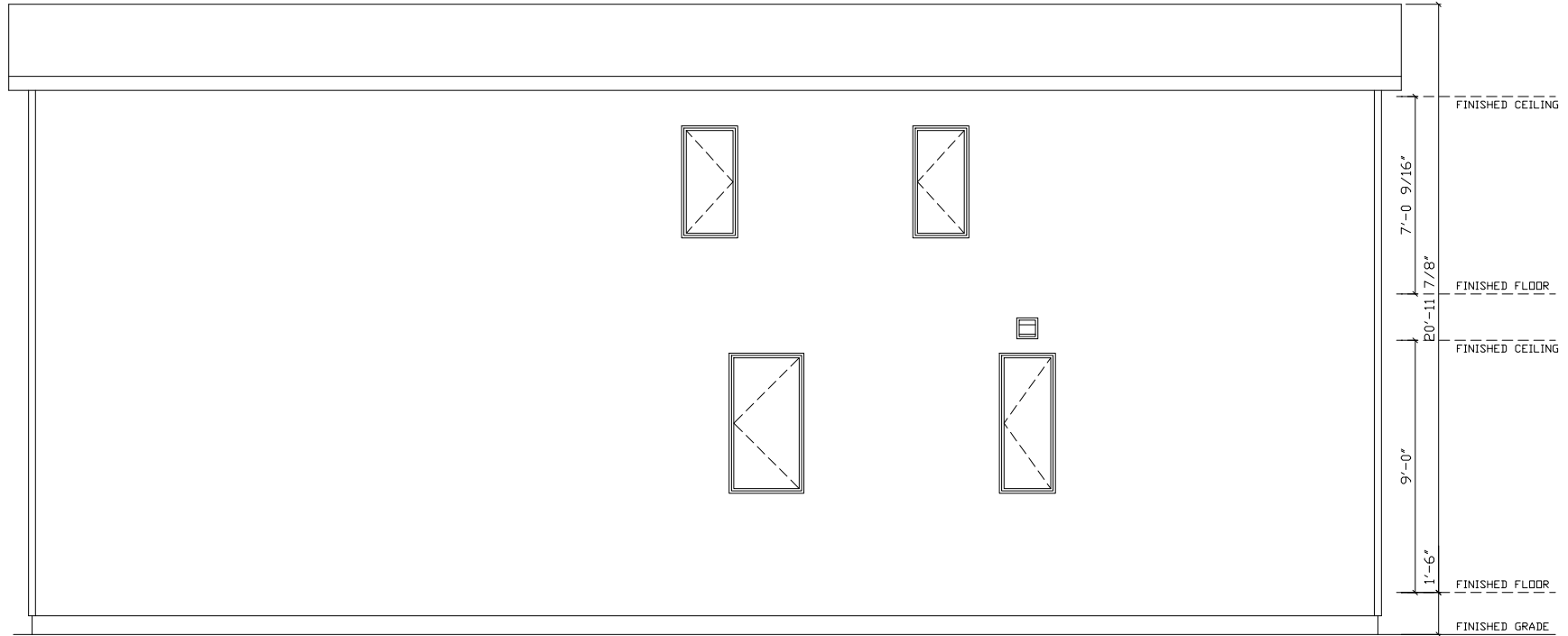
STAGE	DATE	DRAIN BY
PRELIM	6/6/24	KND
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-



THE PEAK OF
PERFECTION
APEX
HOMES of PA, LLC.
1172 ROUTE 422
LANCASTER, PA 17646
PHONE: (717) 807-2838

BUILDING LOCATION: *NEED STREET ADDRESS* LANCASTER, PA LANCASTER COUNTY		SEISMIC DESIGN CATEGORY: B	1540 CUSTOM 2-STORY LEFT SIDE ELEVATION	
SNOW LOAD: 30 PSF	WIND ZONE: 115 MPH	VULT	WIND LOAD: 21 PSF	SCALE: 3/16"= 1'-0"
			LAYER: LEFT	FILE NO: A18156(99)

QN-18156/JN-85197/PA



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**OMIT SIDING AND
  SHINGLES**

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THESE DRAWINGS HAVE BEEN DEVELOPED SPECIFICALLY FOR THE HOMEOWNER FROM APPROVED BUILDING SYSTEMS. PLEASE CHECK LAYOUT, ROOM SIZE, WINDOW LOCATION, KITCHEN, CEILING HEIGHT, ROOF PITCH AND WALL SIZE TO BE CERTAIN THEY ARE WHAT YOU WANT. IF THERE ARE ANY CHANGES, PLEASE MAKE YOUR CHANGES AND HIGHLIGHT THEM AND RETURN TO BUILDER FOR REVISIONS BY US.

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NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

 <p> THE PRAK OF PERFECTION APEX HOMES OF PA, LLC. 17125 ROUTE 622 WILKES BARRE, PA 18742 PHONE: (570) 837-2333 </p>	STAGES	DATE	DRAWN BY	ZOOK CABIN'S/SNOW SHOE			
	PRELIM	6/6/24	KND	BUILDING LOCATION:		SEISMIC DESIGN CATEGORY:	1540 CUSTOM 2-STORY RIGHT SIDE ELEVATION
	-	-	-	*NEED STREET ADDRESS*		B	
	-	-	-	LANCASTER COUNTY			
	-	-	-				
				SNOW ZONE:	WIND ZONE:	WIND LOAD:	FILE NO:
				30 PSF	115 MPH VULT	21 PSF	A18156(699)
						SCALE:	LAYER:
						3/16" = 1'-0"	RIGHT

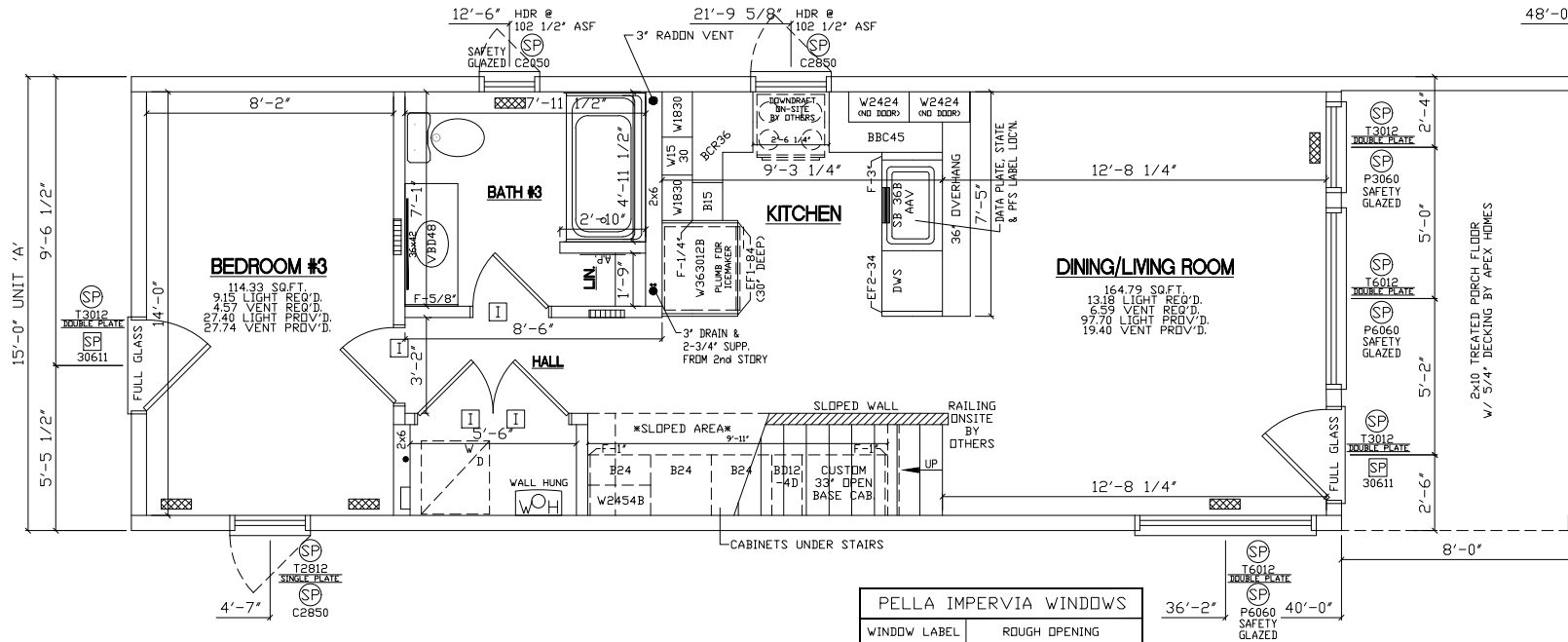
THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.

PENNSYLVANIA CODES
2018 INTERNATIONAL RESIDENTIAL CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE

NOTE:
1ST FLOOR WINDOW
HEADERS TO BE @ 100' ASF
(EXCEPT WHERE NOTED)

QN-18156/JN-85197/PA

GLENCO SYSTEM CALC'S:
ALL EXT. LOAD BEARING HDR'S: WITH SPAN OF 7'-7"
OR LESS WILL BE (3) 2x6 SPF #2 ALL OTHERS
WILL BE SPECIFIED. ALL REQUIRED JACK STUDS
SHOWN ARE 2x6 SPF #2.



FRONT OF HOUSE

4'x10' FLOOR REGISTER (3' FROM WALL) 5 REQUIRED
TDE-KICK HEAT GRILLE (LOCATED @ WET AREAS) 1 REQUIRED
6'x14' HIGH/LOW AIR RETURNS @ 87' & 18' AFF. 2 PAIRS REQUIRED

THESE DRAWINGS HAVE BEEN DEVELOPED SPECIFICALLY FOR THE HOMEOWNER FROM APPROVED BUILDING SYSTEMS. PLEASE CHECK LAYOUT, ROOM SIZE, WINDOW LOCATION, KITCHEN, CEILING HEIGHT, ROOF PITCH AND WALL SIZE TO BE CERTAIN THEY ARE WHAT YOU WANT. IF THERE ARE ANY CHANGES, PLEASE MAKE YOUR CHANGES AND HIGHLIGHT THEM AND RETURN TO BUILDER FOR REVISIONS BY US.

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PELLA IMPERVIA WINDOWS	
WINDOW LABEL	ROUGH OPENING
2040	24" x 48"
2050	24" x 60"
2812	32" x 14"
2850	32" x 60"
3012	36" x 14"
3050	36" x 60"
3060	36" x 72"
5412	64" x 14"
2850-2	64" x 60"
6012	72" x 14"
6060	72" x 72"

NOTES:

- BUILDER IS RESPONSIBLE FOR PROVIDING A PROPERLY SIZED HEATING SYSTEM TO COVER A ? BTU LOSS
- HEAT LOSS WAS CALCULATED WITH R-?? FLOOR INSULATION
- PELLA IMPERVIA WINDOWS
- 1ST FLOOR SQUARE FOOTAGE = 600 SQ/FT

- 9'-0" 1ST FLOOR CEILING HEIGHT
-
-
-
-

ZOOK CABIN'S/SNOW SHOE		1540 CUSTOM 2-STORY 1ST STORY FLOOR PLAN	
BUILDING LOCATION: *NEED STREET ADDRESS* LANCASTER, PA LANCASTER COUNTY		SEISMIC DESIGN CATEGORY: B	
SNOW ZONE: 115 MPH VULT 30 PSF		WIND LOAD: 21 PSF SCALE: 3/16" = 1'-0"	
DATE: 6/6/24		FILE NO: A18156(99)	
STAGE: PRELIM		LAYER: SHI/FPI	
DATE: 6/6/24		DRAWN BY: -	
DATE: -		KIND: -	
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THE PEAK OF
PERFECTION

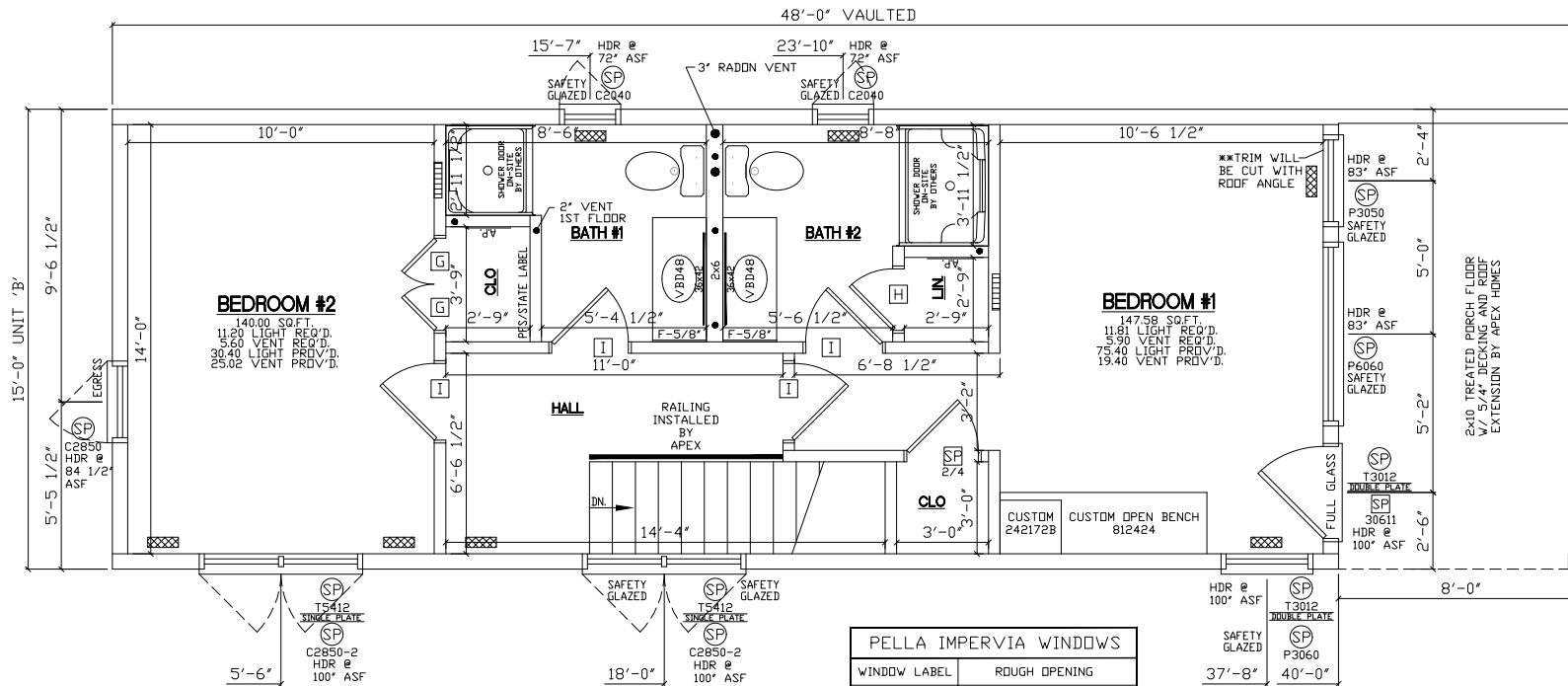
APEX
HOMES of PA, LLC.

1712 ROUTE 422
LANCASTER, PA 17606
PHONE: (717) 807-2838

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED
BUILDING SYSTEMS FILED WITH THE STATE.

QN-18156/JN-85197/PA

GLENCO SYSTEM CALC'S:
ALL EXT. LOAD BEARING HDR'S WITH SPAN OF 7'-0" OR LESS WILL BE (3) 2x6 SPF #2 ALL OTHERS WILL BE SPECIFIED. ALL REQUIRED JACK STUDS SHOWN ARE 2x6 SPF #2.



FRONT OF HOUSE

- 4"x10" FLOOR REGISTER (3' FROM WALL) 7 REQUIRED
- 6"x14" HIGH/LOW AIR RETURNS @ 87" & 18" AFF. 2 PAIRS REQUIRED

THESE DRAWINGS HAVE BEEN DEVELOPED SPECIFICALLY FOR THE HOMEOWNER FROM APPROVED BUILDING SYSTEMS. PLEASE CHECK LAYOUT, ROOM SIZE, WINDOW LOCATION, KITCHEN, CEILING HEIGHT, ROOF PITCH AND WALL SIZE TO BE CERTAIN THEY ARE WHAT YOU WANT. IF THERE ARE ANY CHANGES, PLEASE MAKE YOUR CHANGES AND HIGHLIGHT THEM AND RETURN TO BUILDER FOR REVISIONS BY US.

ALL PRODUCTS ARE BUILT ACCORDING TO STATE MANDATED CODES, HOWEVER IT IS THE RESPONSIBILITY OF THE LOCAL BUILDER TO BRING TO OUR ATTENTION ANY SPECIAL ISSUES SUCH AS, RADON VENTS AND ANY STRUCTURAL LOADS IN EXCESS OF THE STATE MANDATED CODES.

NOTES:

- PELLA IMPERVIA
- 2ND FLOOR SQUARE FOOTAGE = 600 SQ/FT
- APPROX. 7'-0"/9'-4" 2ND FLOOR CEILING HEIGHT
- 2/12 NON STORAGE RAFTER ROOF SYSTEM @ 16" O.C.
-

-
-
-
-
-
-

PELLA IMPERVIA WINDOWS	
WINDOW LABEL	ROUGH OPENING
2040	24" x 48"
2050	24" x 60"
2812	32" x 14"
2850	32" x 60"
3012	36" x 14"
3050	36" x 60"
3060	36" x 72"
5412	64" x 14"
2850-2	64" x 60"
6012	72" x 14"
6060	72" x 72"

ZOOK CABIN'S/SNOW SHOE		1540 CUSTOM 2-STORY 2ND STORY FLOOR PLAN		FILE NO: A18156(99)
BUILDING LOCATION: *NEED STREET ADDRESS* LANCASTER, PA LANCASTER COUNTY		SEISMIC DESIGN CATEGORY: B		WIND LOAD: 21 PSF
SNOW ZONE: 115 MPH VULT 30 PSF		SCALE: 3/16" = 1'-0"		LAYER: SHE/FPE
STAGE PRELIM	DATE 6/6/24	DRAWN BY KND		

THE PEAK OF
PERFECTION

APEX
HOMES of PA, LLC.

7172 ROUTE 422
LANCASTER, PA 17646
PHONE: (717) 807-2838

GENERAL NOTES	2018 IRC NOTES	ELECTRICAL NOTES	ZOOK CABIN'S/SNOW SHOE					1540 CUSTOM 2-STORY		FILE NO: A181-01
1. GASKET OR WEATHERSTRIPPING AND INSULATION, EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES, IS TO BE INSTALLED UPON COMPLETION OF THE SET-UP OF THE HOME AT CEILING ACCESS PANELS AND / OR PULL DOWN STAIRS ON SITE BY OTHERS. 2. DRYER VENT DUCT SHALL TERMINATE ON AN OUTSIDE WALL OF A BUILDING NOT LESS THAN 3'-0" IN ANY DIRECTION FROM ANY OPENING INTO THE BUILDING AND MUST BE EQUIPPED WITH A BACKDRAFT DAMPER. 3. TUB / SHOWER CONTROL VALVES TO HAVE A HIGH STOP LIMIT SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120° F (49°C). THE BASEMENT AND / OR ATTIC DOOR MUST HAVE WEATHERSTRIPPING AND A SWEEP PROVIDED AND INSTALLED ON-SITE BY OTHERS. 4. ADD BLOCKING IN WALLS ON ALL ENDS OF CABINET RUNS FOR BASE, WALL, TALL AND VANITY CABINETS TO PULL SIDE OF CABINETS TIGHT TO THE WALL.	1. WINDOW EGRESS REQUIREMENTS MEET 2015 IRC, SECTION R310.1 2. VISUAL INSPECTION OF THE INSULATION INSTALLATION WILL BE DOCUMENTED BY THE APEX QC DEPARTMENT. 3. BUILDER TO INSTALL A FRESH AIR INTAKE FROM THE ON-SITE FORCED AIR SYSTEM TO MEET THE REQUIREMENTS OF M1507.3.3(1). 4. HOT WATER PIPE INSULATION SHALL BE INSTALLED IN ACCORDANCE W/ SECT. N1103.4.2 OF THE 2015 IRC. 5. EXTERIOR WALL FIRE RATING AND REQUIRED FIRE SEPARATION DISTANCES MEET THE REQUIREMENTS PER THE 2015 IRC TABLE 302.1(1) & (2) 6. BUILDER TO PROVIDE AND INSTALL HIGH-EFFICACY LAMPS IN 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES ON-SITE PER SECTION N1104.1. 7. ALL WINDOWS WITH OPENINGS WHICH OPEN 4 INCHES OR GREATER, ARE 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW AND THE LOWEST PART OF THE CLEAR OPENING IS LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR, WILL REQUIRE WINDOW GUARDS PER 2015 IRC SECTIONS R312.2. THE WINDOW GUARDS WILL BE PROVIDED AND INSTALLED ON-SITE BY OTHERS.	* 2017 NEC NOTES : 1. ALL LIGHT BOXES MUST BE RATED TO SUPPORT 50# FOR NON-PADDLE FANS AND 70# FOR PADDLE FAN BOXES. 2. TAMPER RESISTANT (T.R.) RECEPTACLES REQUIRED THRU-OUT THE ENTIRE HOME, UNLESS NOTED OTHERWISE ON THE PLAN. 3. ALL BALCONIES, DECKS AND PORCHES ACCESSIBLE FROM INSIDE THE DWELLING UNIT ARE REQUIRED TO HAVE ONE WATERPROOF (W.P.) T.R. GFI RECEPTACLE WITHIN THE PERIMETER OF THE BALCONY, DECK OR PORCH. 4. 1 & 2 FAMILY DWELLINGS ARE REQUIRED TO BE PROVIDED WITH ONE W.P. T.R. GFI RECEPTACLE ACCESSIBLE WHILE STANDING AT GRADE LEVEL LOCATED A MAX. OF 6'-6" ABOVE GRADE AT THE FRONT AND REAR OF EACH DWELLING UNIT. 5. THE GROUNDING CIRCUIT CONDUCTOR FOR THE CONTROLLED LIGHTING CIRCUIT SHALL BE PROVIDED AT THE LOCATION WHERE SWITCHES CONTROLLING LIGHTING LOADS THAT ARE SUPPLIED BY A GROUNDED GENERAL PURPOSE BRANCH CIRCUIT FOR OTHER THAN THE FOLLOWING: A. WHERE CONDUCTORS ENTER THE BOX ENCLOSING THE SWITCH THROUGH A RACEWAY, PROVIDED THAT THE RACEWAY IS LARGE ENOUGH FOR ALL CONDUCTORS, INCLUDING A GROUNDED CONDUCTOR. B. WHERE THE BOX ENCLOSING THE SWITCH IS ACCESSIBLE FOR THE INSTALLATION OF AN ADDITIONAL OR REPLACEMENT CABLE WITHOUT REMOVING FINISH MATERIALS C. WHERE SNAP SWITCHES WITH INTEGRAL ENCLOSURES COMPLY WITH 300.15 (E) D. WHERE A SWITCH DOES NOT SERVE A HABITABLE ROOM OR BATHROOM E. WHERE MULTIPLE SWITCH LOCATIONS CONTROL THE SAME LIGHTING LOAD SUCH THAT THE ENTIRE FLOOR AREA OF THE ROOM OR SPACE IS VISIBLE FROM THE SINGLE OR COMBINED SWITCH LOCATIONS F. WHERE LIGHTING IN THE AREA IS CONTROLLED BY AUTOMATIC MEANS G. WHERE A SWITCH CONTROLS A RECEPTACLE LOADS 6. ALL 15 AND 20 AMPERE 125 AND 250 VOLT RECEPTACLES INSTALLED IN A WET LOCATION STILL MUST HAVE AN ENCLOSURE AND COVERS THAT ARE WEATHERPROOF WHETHER AN ATTACHMENT PLUG CAP IS INSERTED OR NOT. ALL ENCLOSURES AND COVERS INSTALLED IN WET LOCATIONS MUST BE LISTED AS "EXTRA DUTY" 7. A LUMINARIES WEIGHING MORE THAN 50 LBS. SHALL BE SUPPORTED INDEPENDENTLY OF THE OUTLET BOX, UNLESS IT IS LISTED AND MARKED FOR THE MAXIMUM WEIGHT TO BE SUPPORTED. 8. ALL 120 VOLT, SINGLE-PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS BEDROOMS, SUN ROOMS RECREATION ROOMS CLOSETS, HALLWAYS, LAUNDRY AREA, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. 9. ALL BATHROOM RECEPTACLES, LAUNDRY RECEPTACLES, EXTERIOR RECEPTACLES AND ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, THE DISHWASHER CIRCUIT OR RECEPTACLES THAT ARE WITH IN 6'-0" OF THE OUTSIDE EDGE OF THE KITCHEN SINK INCLUDING RECEPTACLES UNDER THE SINK OR IN CABINETS ARE REQUIRED TO BE GFI PROTECTED.	BUILDING LOCATION: *NEED STREET ADDRESS* LANCASTER, PA LANCASTER COUNTY	SEISMIC DESIGN CATEGORY: B	WIND LOAD: 21 PSF	WIND ZONE: 115 MPH VULT	SNOW ZONE: 30 PSF	DATE: 6/6/24	DRAWN BY: END	STAGE: PRELIM
THESE DRAWINGS HAVE BEEN DEVELOPED SPECIFICALLY FOR THE HOMEOWNER FROM APPROVED BUILDING SYSTEMS. PLEASE CHECK LAYOUT, ROOM SIZE, WINDOW LOCATION, KITCHEN, CEILING HEIGHT, ROOF PITCH AND WALL SIZE TO BE CERTAIN THEY ARE WHAT YOU WANT. IF THERE ARE ANY CHANGES, PLEASE MAKE YOUR CHANGES AND HIGHLIGHT THEM AND RETURN TO BUILDER FOR REVISIONS BY US. ALL PRODUCTS ARE BUILT ACCORDING TO STATE MANDATED CODES, HOWEVER IT IS THE RESPONSIBILITY OF THE LOCAL BUILDER TO BRING TO OUR ATTENTION ANY SPECIAL ISSUES SUCH AS, RADON VENTS AND ANY STRUCTURAL LOADS IN EXCESS OF THE STATE MANDATED CODES.										
<div><div>THE PEAK OF PERFECTION</div><div>APEX HOMES OF PA, LLC.</div><div>1729 ROUTE 629</div><div>MIDDLEBURG, PA 17042</div><div>PHONE: (717) 657-2333</div></div>										
<div><div>AA</div></div>										



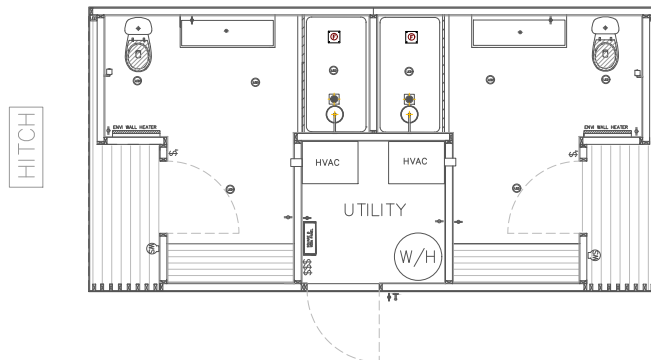






BATH HOUSE

12X24 : 288 SF
RVIA SEAL,
BUILT TO THE ANSI 119.5 STANDARDS



INDEX OF SHEETS	
001	FLOOR PLAN
002	JOIST FRAMING
003	FRAMING PLAN
100	DRIVER: FRAMING & EXTERIOR
101	PASSENGER: FRAMING & EXTERIOR
102	HITCH: FRAMING & EXTERIOR
103	REAR: FRAMING & EXTERIOR
200	ELECTRICAL
201	PLUMBING

ZOOK CABINS
5075 Lower Valley Rd. Suite B
Atglen, PA 19310 USA



SCALE: $\frac{1}{4}" = 1'0"$

DRAWN BY: DW

ISSUED: 3.20.24

REVISED:

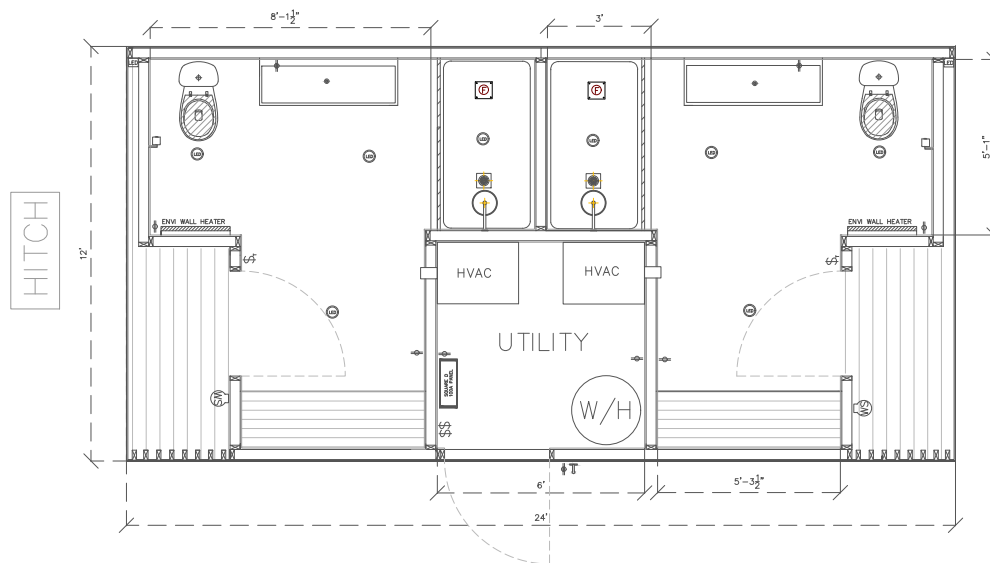
12x24

BATH HOUSE
FLOOR PLAN

000

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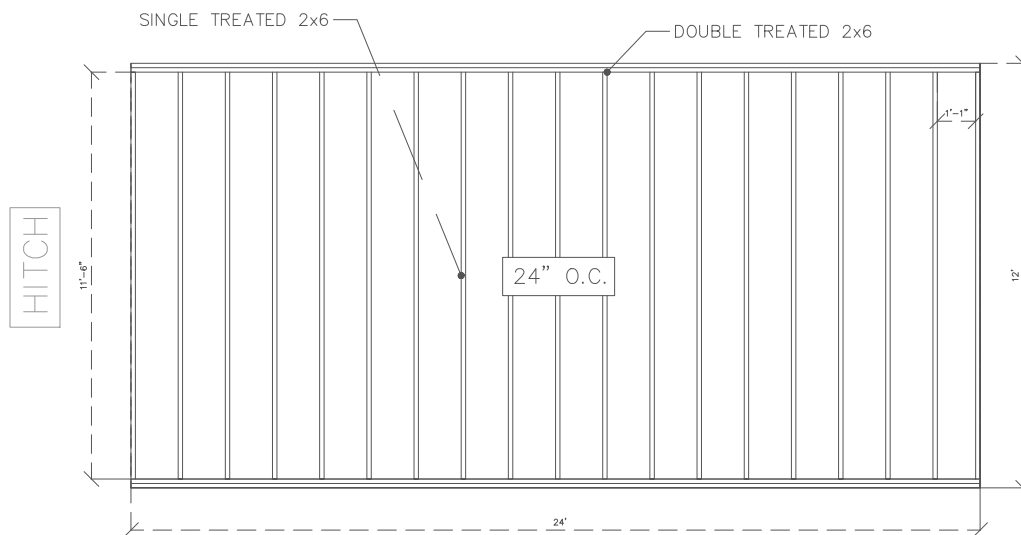
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5075 Lower Valley Rd. Suite B
Atglen, PA 19310 USA



SCALE: $\frac{1}{4}" = 1'0"$
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ISSUED: 3.20.24
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12x24
BATH HOUSE
FLOOR PLAN

001



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Atglen, PA 19310 USA



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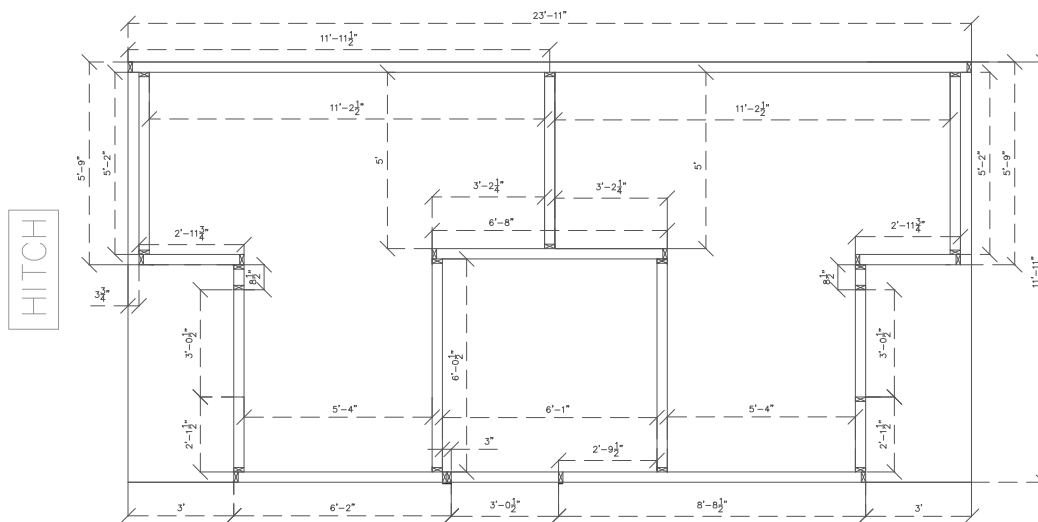
REVISED:

12x24

BATH HOUSE

FLOOR
JOIST PLAN

002



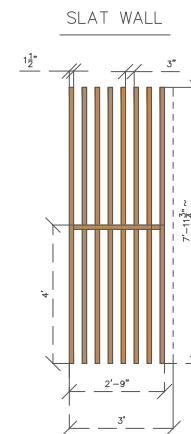
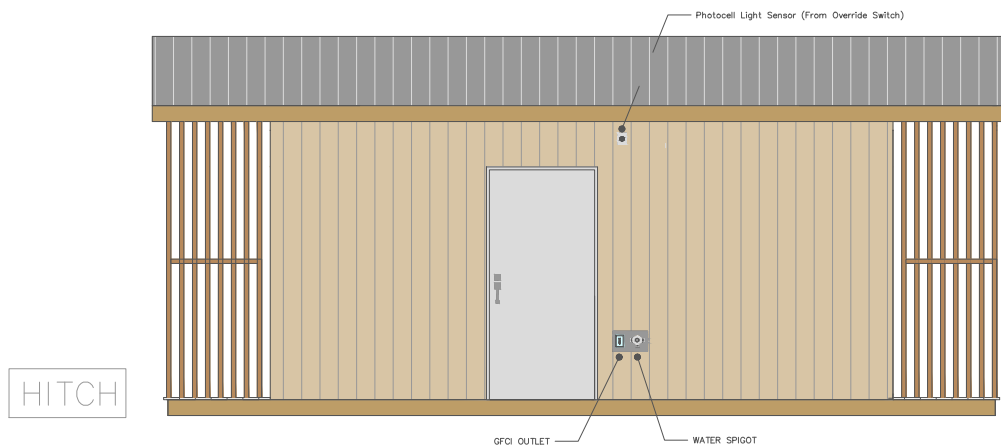
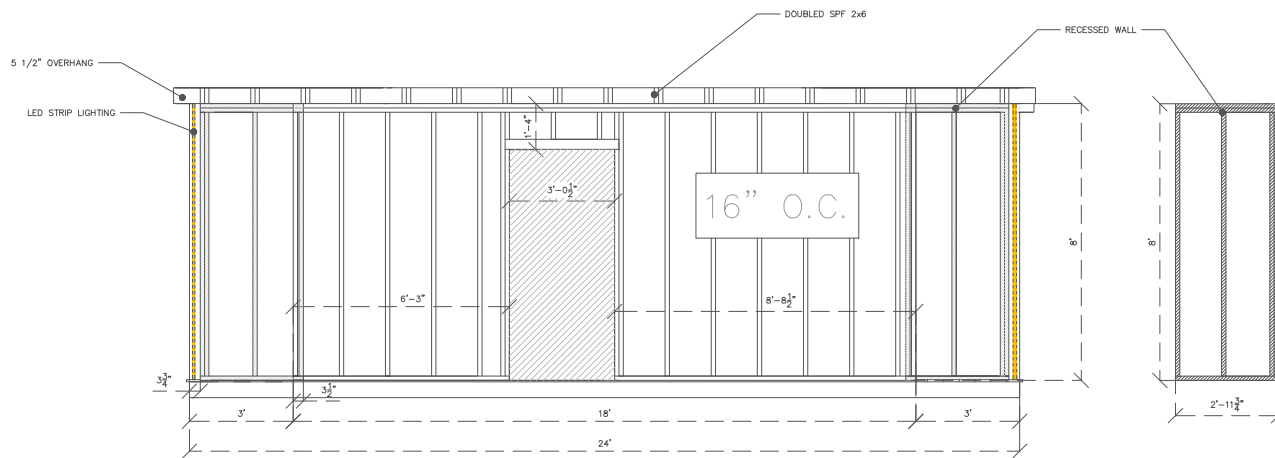
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 DRAWN BY: DW
 ISSUED: 3.20.24
 REVISED:

12x24
 BATH HOUSE

FRAMING
 LAYOUT

003

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ZOOK CABINS
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Atglen, PA 19310 USA



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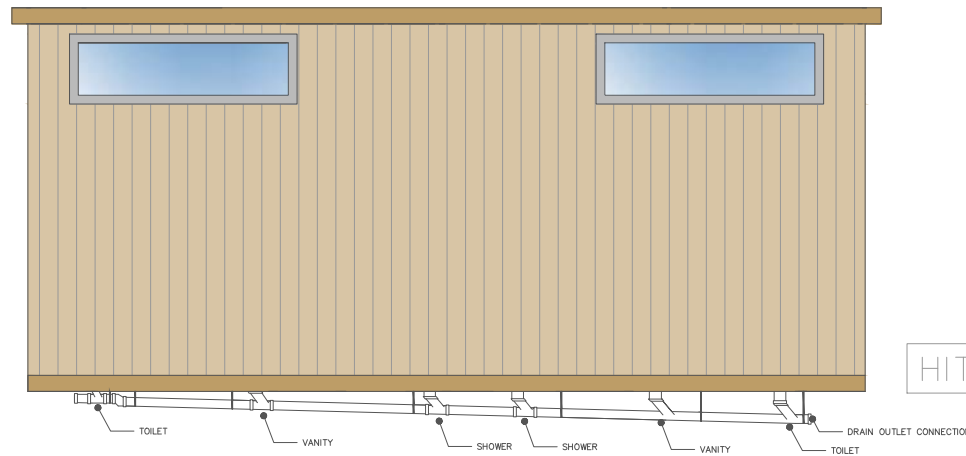
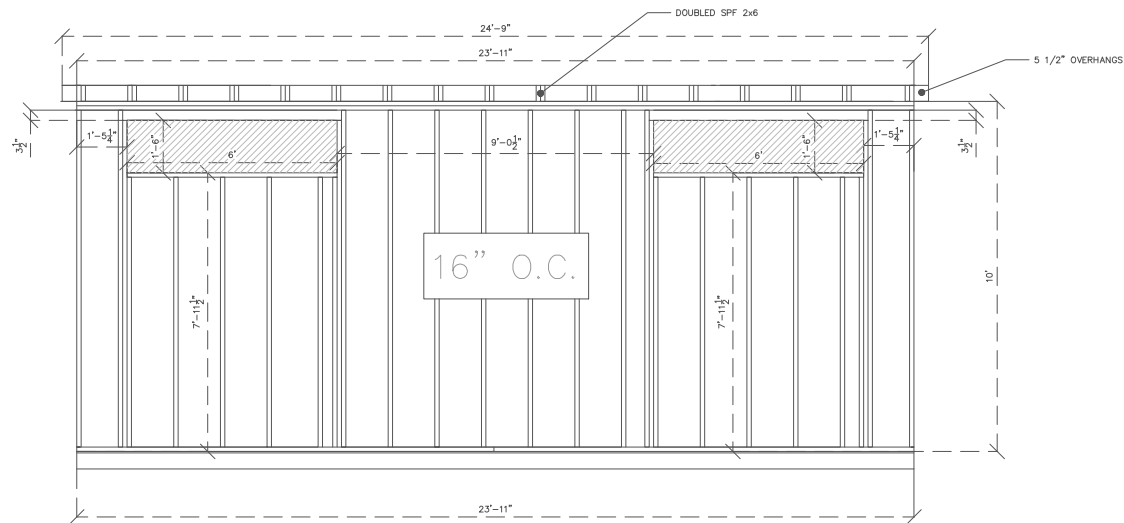
12x24
BATH HOUSE

DRIVER
FRAMING &
EXTERIOR

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TOILET VANITY SHOWER SHOWER VANITY TOILET DRAIN OUTLET CONNECTION

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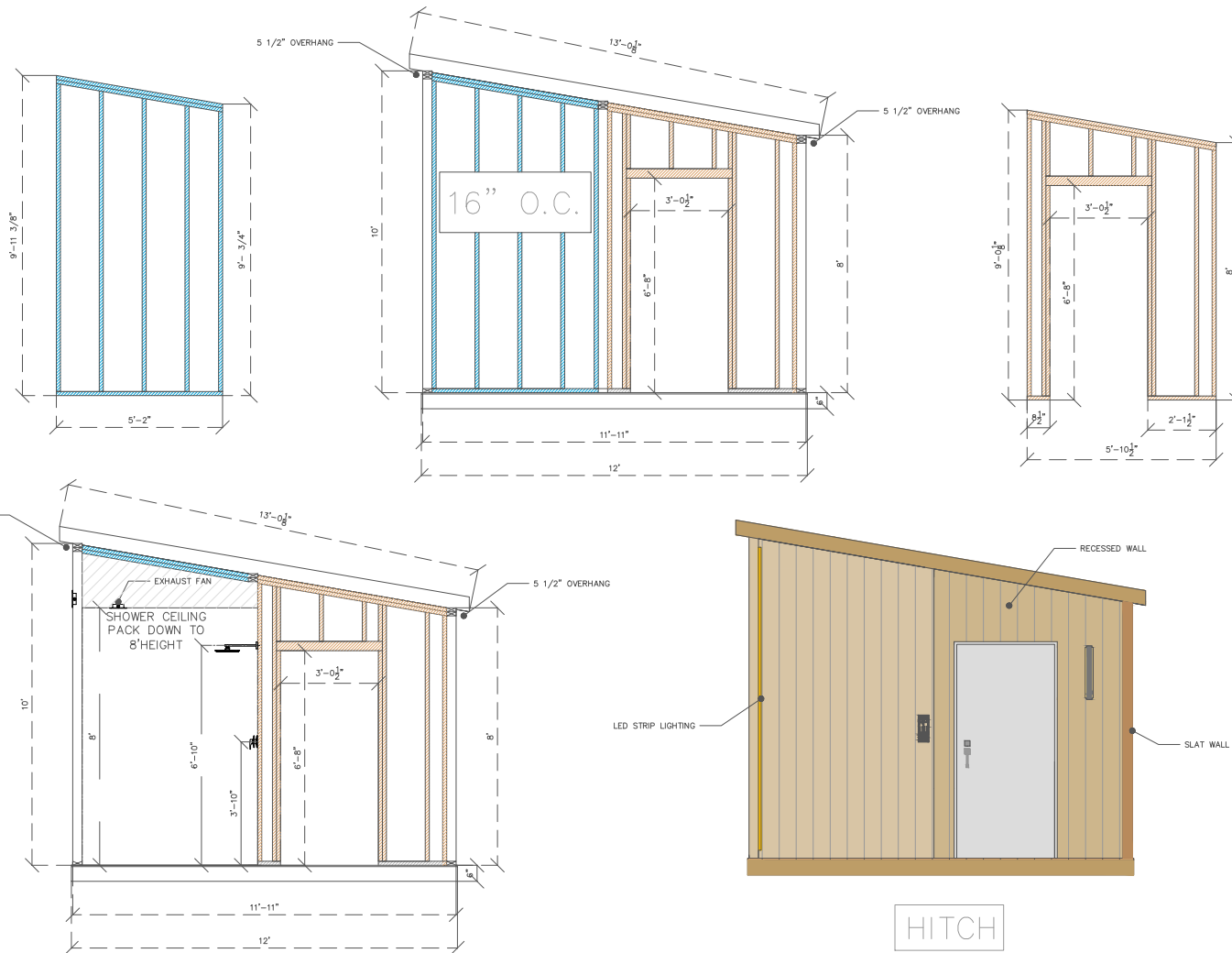


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DRAWN BY: DW
ISSUED: 3.20.24
REVISED:

12x24
BATH HOUSE

PASSENGER
FRAMING &
EXTERIOR

101



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Atglen, PA 19310 USA



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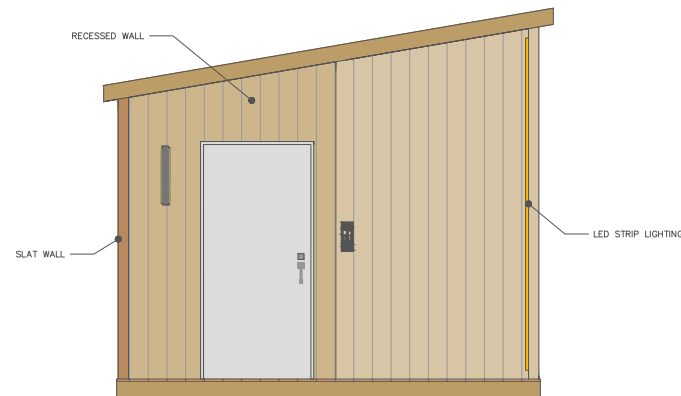
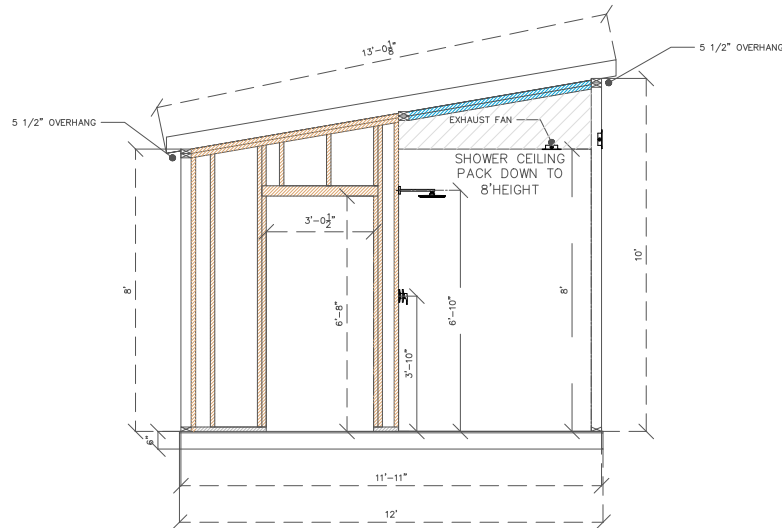
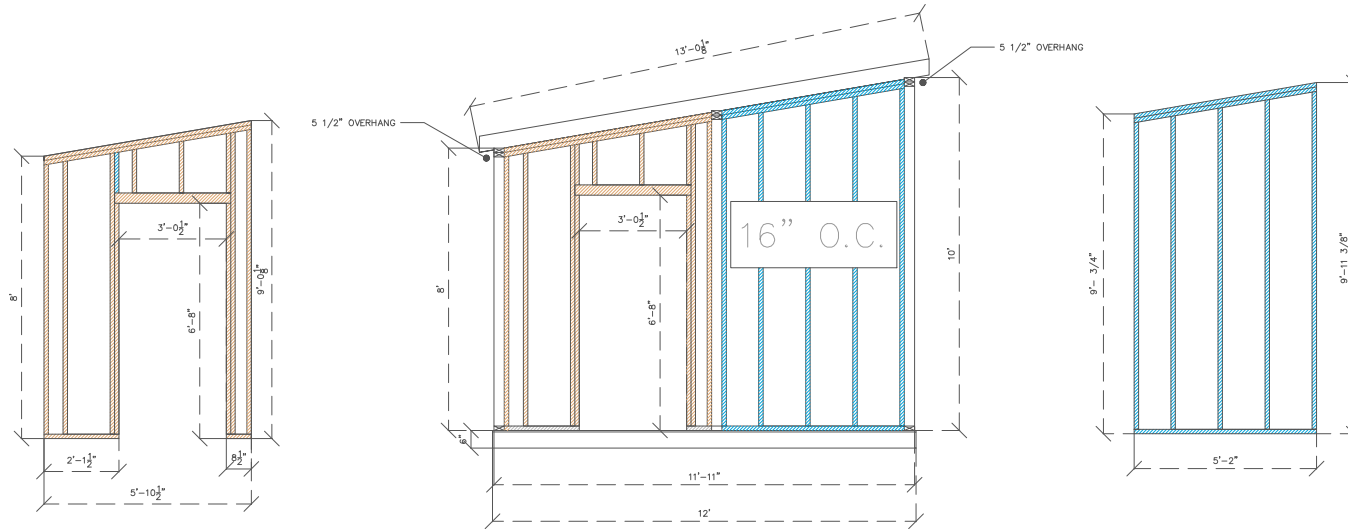
12x24
BATH HOUSE

HITCH:
FRAMING &
EXTERIOR

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102

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REAR

*SAME AS HITCH

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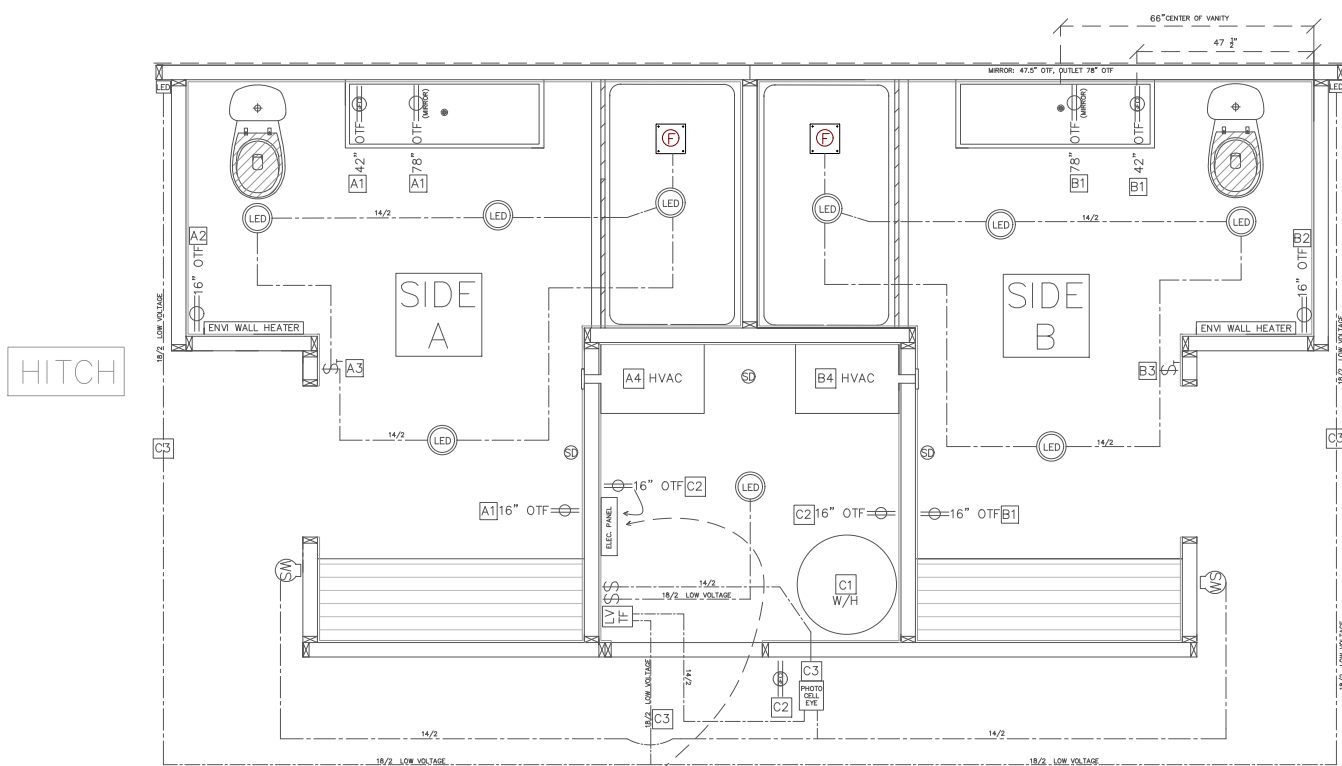


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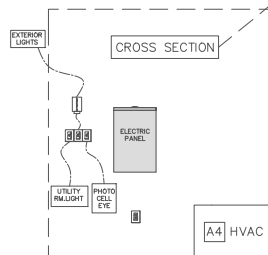
12x24
BATH HOUSE

REAR:
FRAMING &
EXTERIOR

103



LEGEND	\$	SINGLE GANG SWITCH
	\$	SINGLE GANG TIMER SWITCH
	LV	LOW VOLTAGE
	TF	TRANSFORMER
	W	WALL SCONCE
	SP	SINGLE POLE - GFCI
	OTF	OFF THE FLOOR
	LED	RECESSED LIGHT
	SD	Smoke Detector



PANEL SCHEDULE	A1	15A-14G	Interior Outlet (Wall, Vanity & Mirror)
	A2	20A-12G	ENVI WALL EHATER
	A3	15A-14G	BATHROOM LIGHTS & EXHAUST FAN
	A4	20A-12G	HVAC
	B1	15A-14G	Interior Outlet (Wall, Vanity & Mirror)
	B2	20A-12G	ENVI WALL EHATER
	B3	15A-14G	BATHROOM LIGHTS & EXHAUST FAN
	B4	20A-12G	HVAC
	C1	30A-10G	WATER HEATER
	C2	20A-12G	UTILITY RM OUTLETS
	C3	20A-12G	EXTERIOR GFCI, UTILITY LIGHTS & SENSOR

ZOOK CABINS
5075 Lower Valley Rd. Suite B
Atglen, PA 19310 USA



SCALE: $\frac{1}{4}'' = 1'0''$

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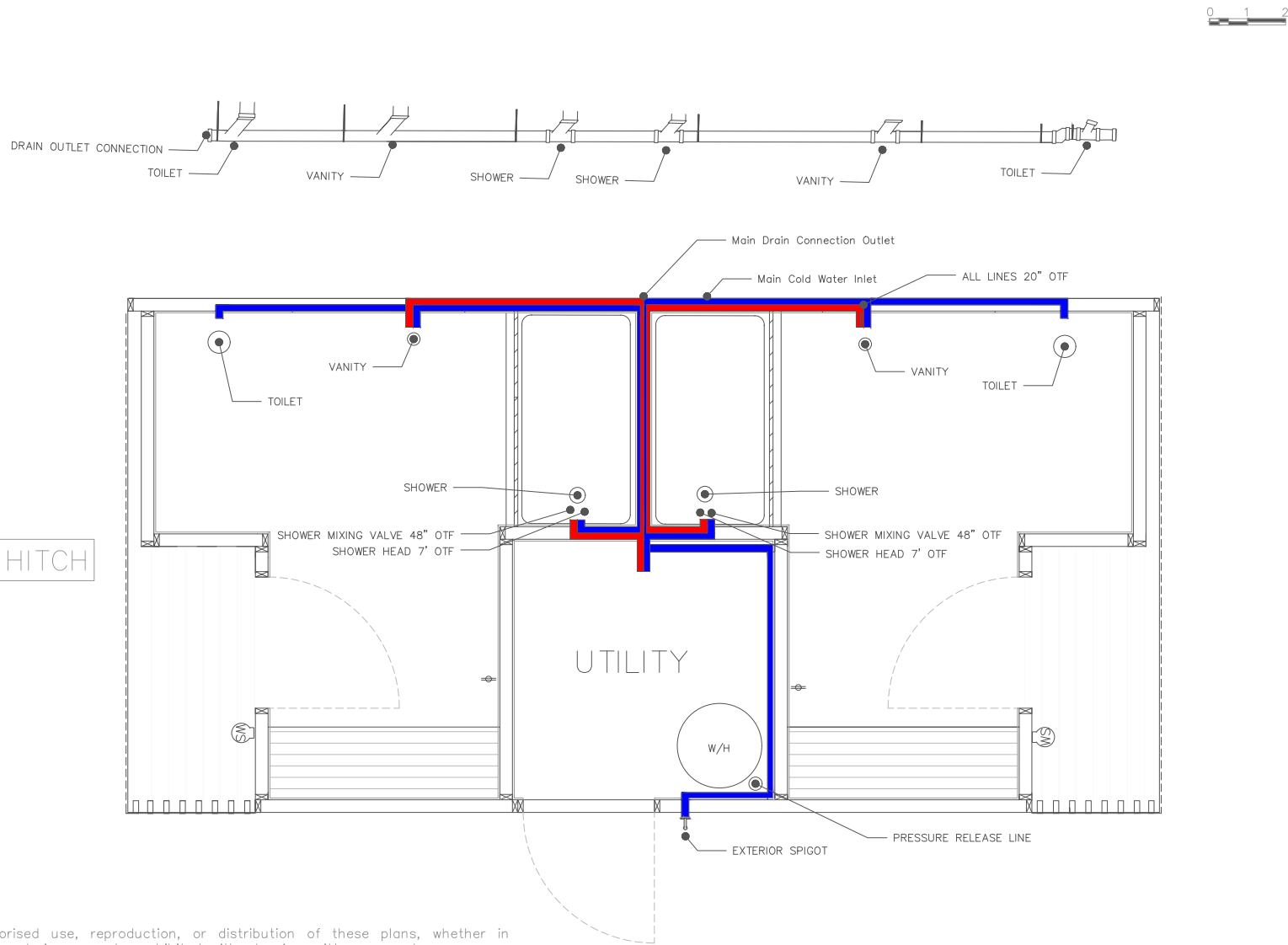
12x24
BATH HOUSE

ELECTRIC

200

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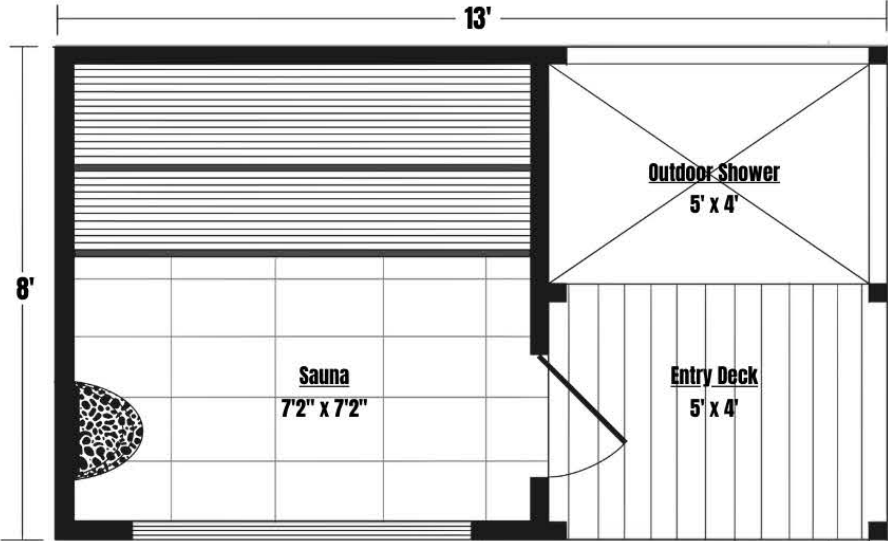
12x24
BATH HOUSE

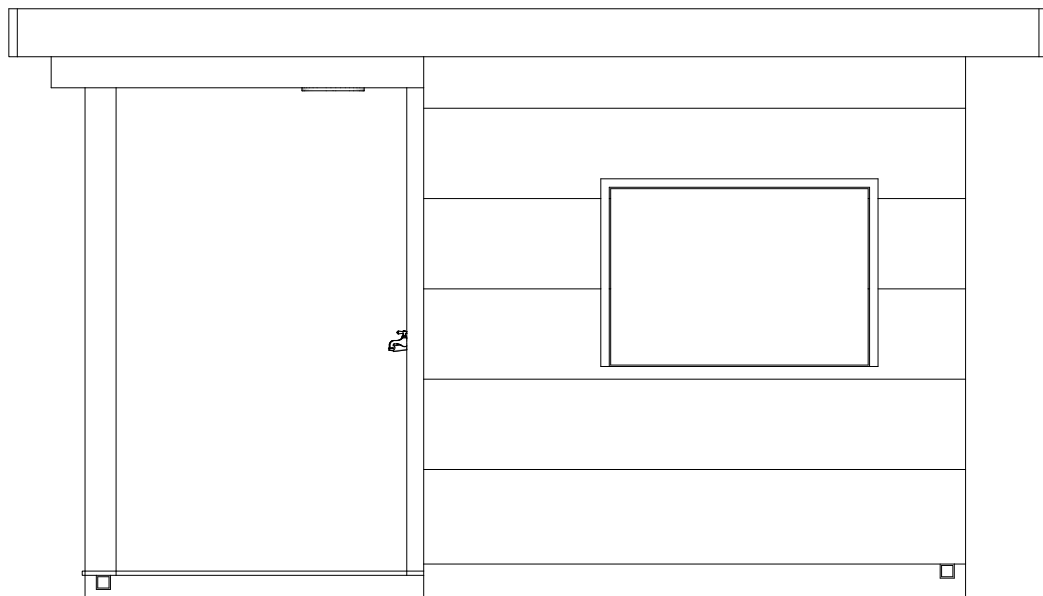
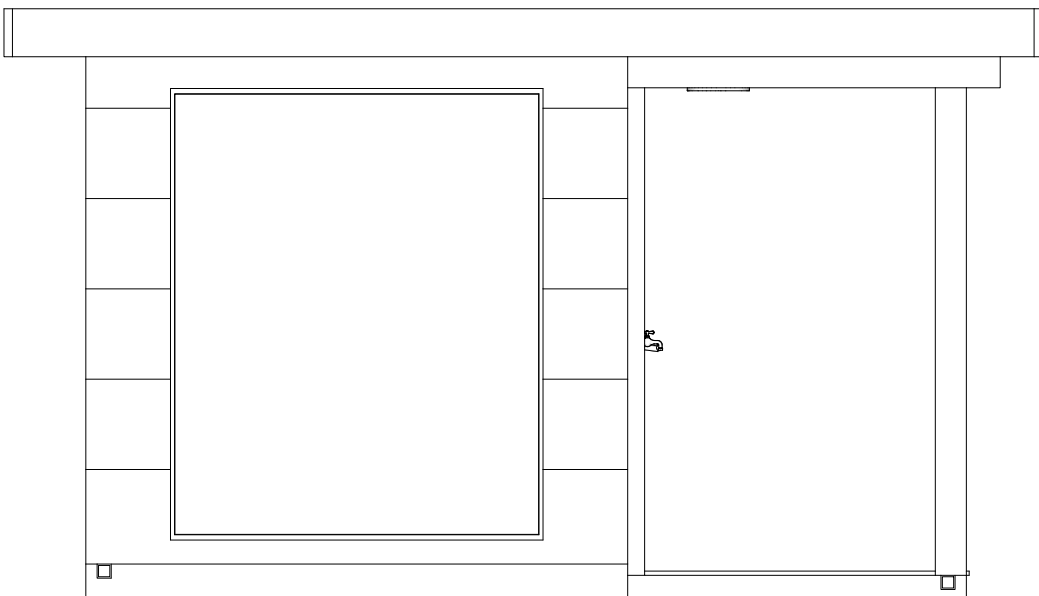
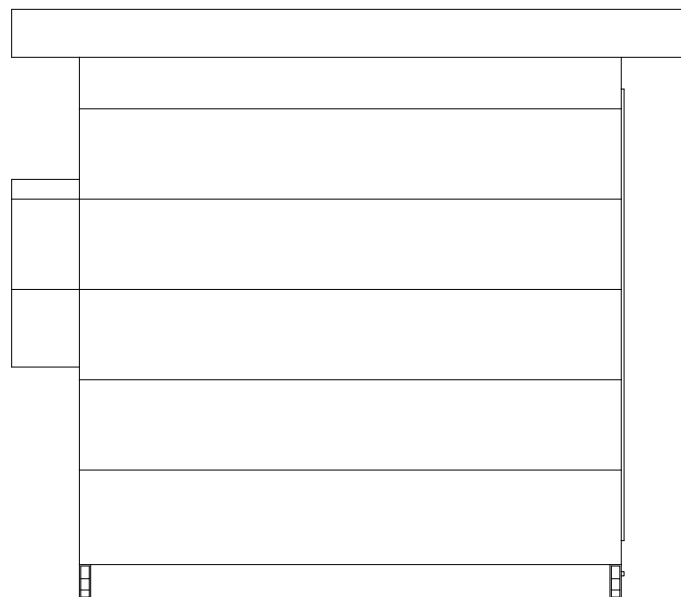
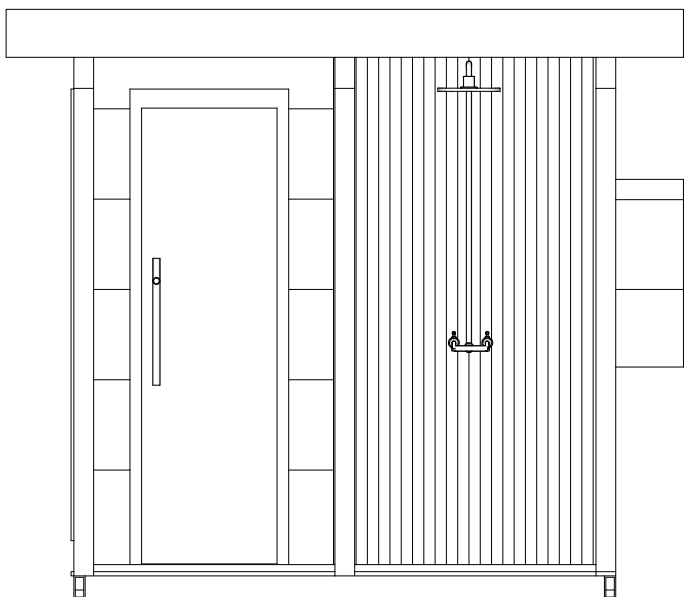
PLUMBING

300

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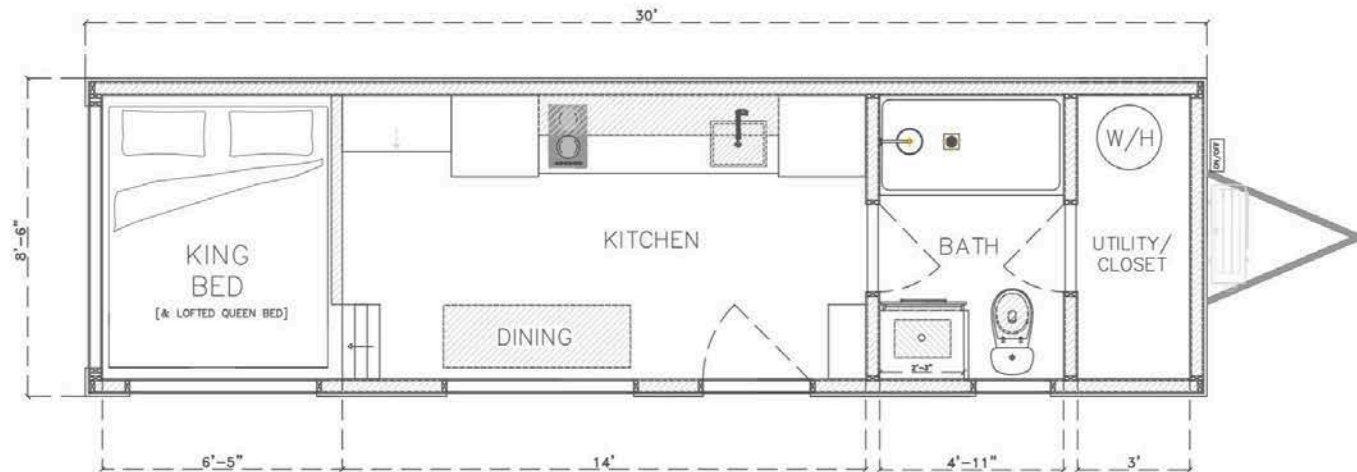
Sauna





THE NOOK

30' PARK MODEL



ZOOK CABINS
5075 Lower Valley Rd. Suite B
Atglen, PA 19310 USA



SCALE: $\frac{1}{4}" = 1'0"$
DRAWN BY: DW
ISSUED: 5.3.24
REVISED: 5.28.24

BASE

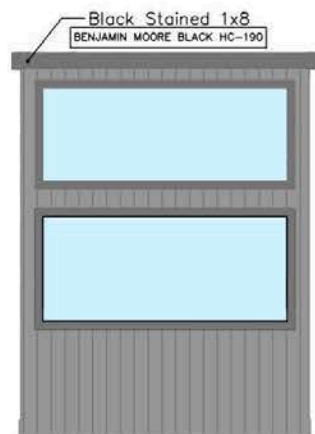
THE 30' NOOK
FLOOR PLAN V1

001

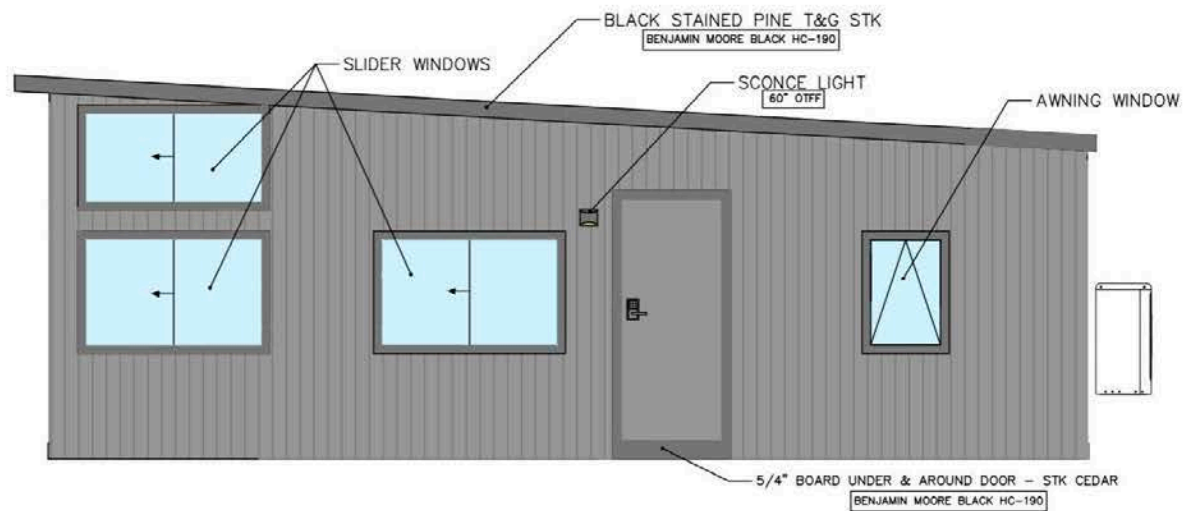
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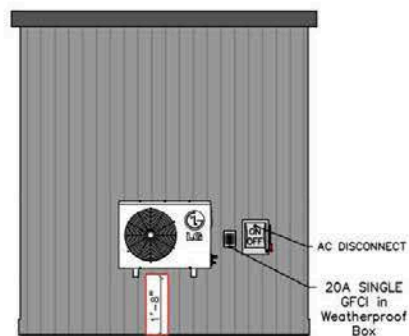
REAR - PICTURE WINDOW END



PASSENGER SIDE - SIDE WITH ENTRY DOOR

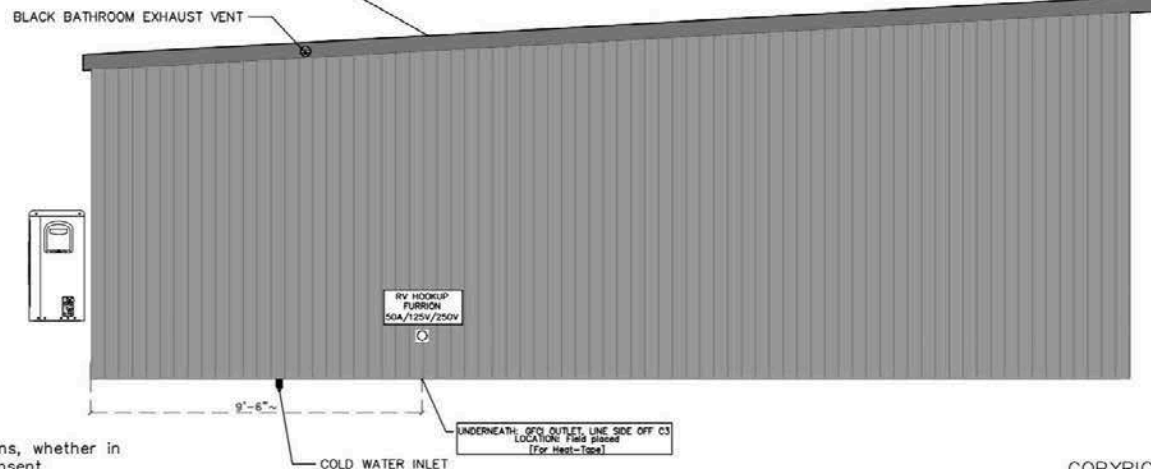


FRONT - HITCH END



HVAC CENTERED: 20" to the bottom of the HVAC Bracket, then install isolators, mounting the unit onto the isolators, giving us approx. 26" to the bottom of the HVAC unit.

BLACK STAINED T&G PINE DRIVER SIDE - BLANK WALL



V 2.6

ZOOK CABINS
5181 Lincoln Hwy,
Gap, PA 17527 USA



SCALE: $\frac{1}{4}" = 1'0"$

DRAWN BY: DW

ISSUED: 5.3.24

REVISED: 12.10.24

BASE

THE 30' NOOK

EXTERIOR
DETAILS

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THE NOOK

24' PARK MODEL



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Atglen, PA 19310 USA



SCALE: $\frac{1}{4}" = 1'0"$
DRAWN BY: DW
ISSUED: 5.3.24
REVISED: 5.28.24

BASE

THE 24' NOOK

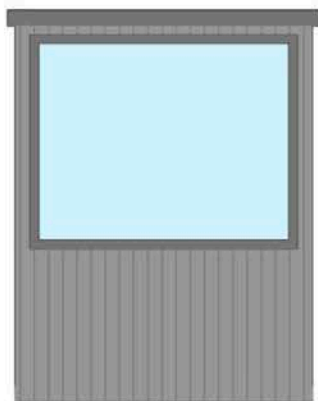
FLOOR PLAN V1

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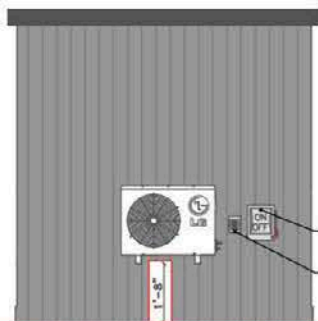
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REAR - PICTURE WINDOW END



REAR

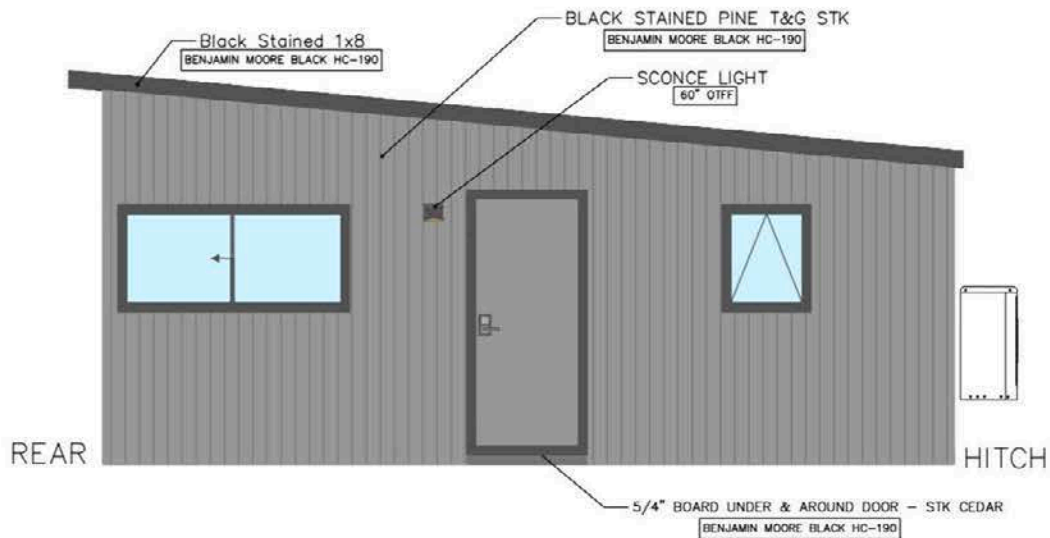
FRONT - HITCH END



HVAC CENTERED: 20" to the bottom of the HVAC Bracket, then install isolators, mounting the unit onto the isolators, giving us approx. 26" to the bottom of the HVAC unit.

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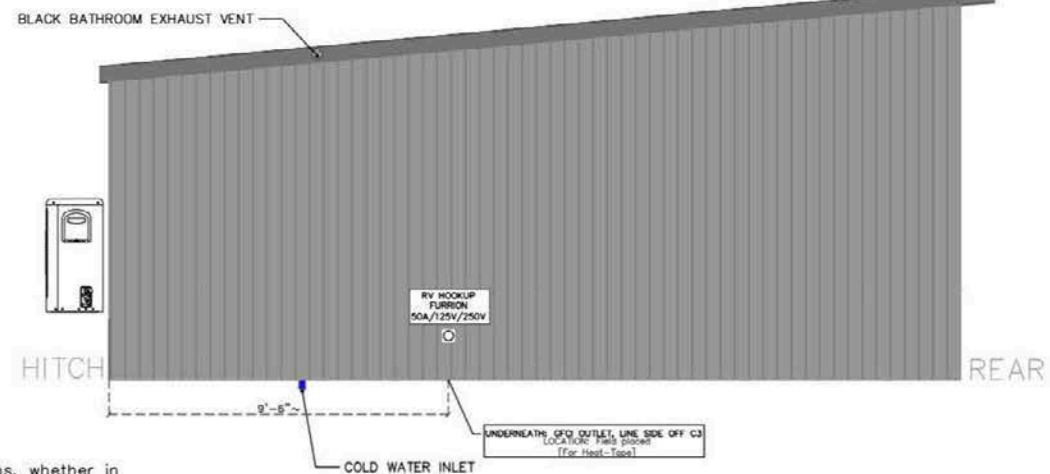
PASSENGER SIDE - SIDE WITH ENTRY DOOR



REAR

HITCH

DRIVER SIDE - BLANK WALL



HITCH

REAR



V 2.6

ZOOK CABINS
5181 Lincoln Hwy,
Gap, PA 17527 USA



SCALE: $\frac{1}{4}" = 1'0"$
DRAWN BY: DW
ISSUED: 5.3.24
REVISED: 12.10.24

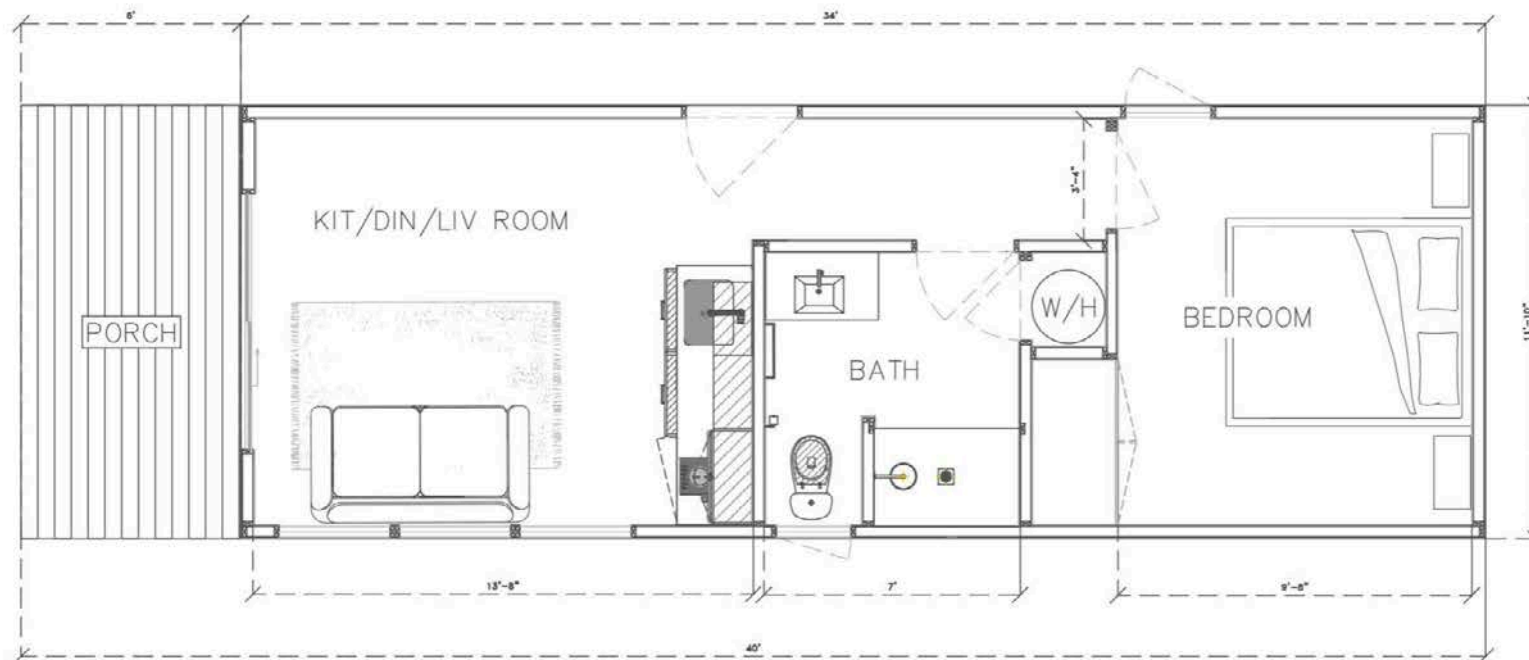
BASE

THE 24' NOOK

EXTERIOR
DETAILS

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ZOOK CABINS
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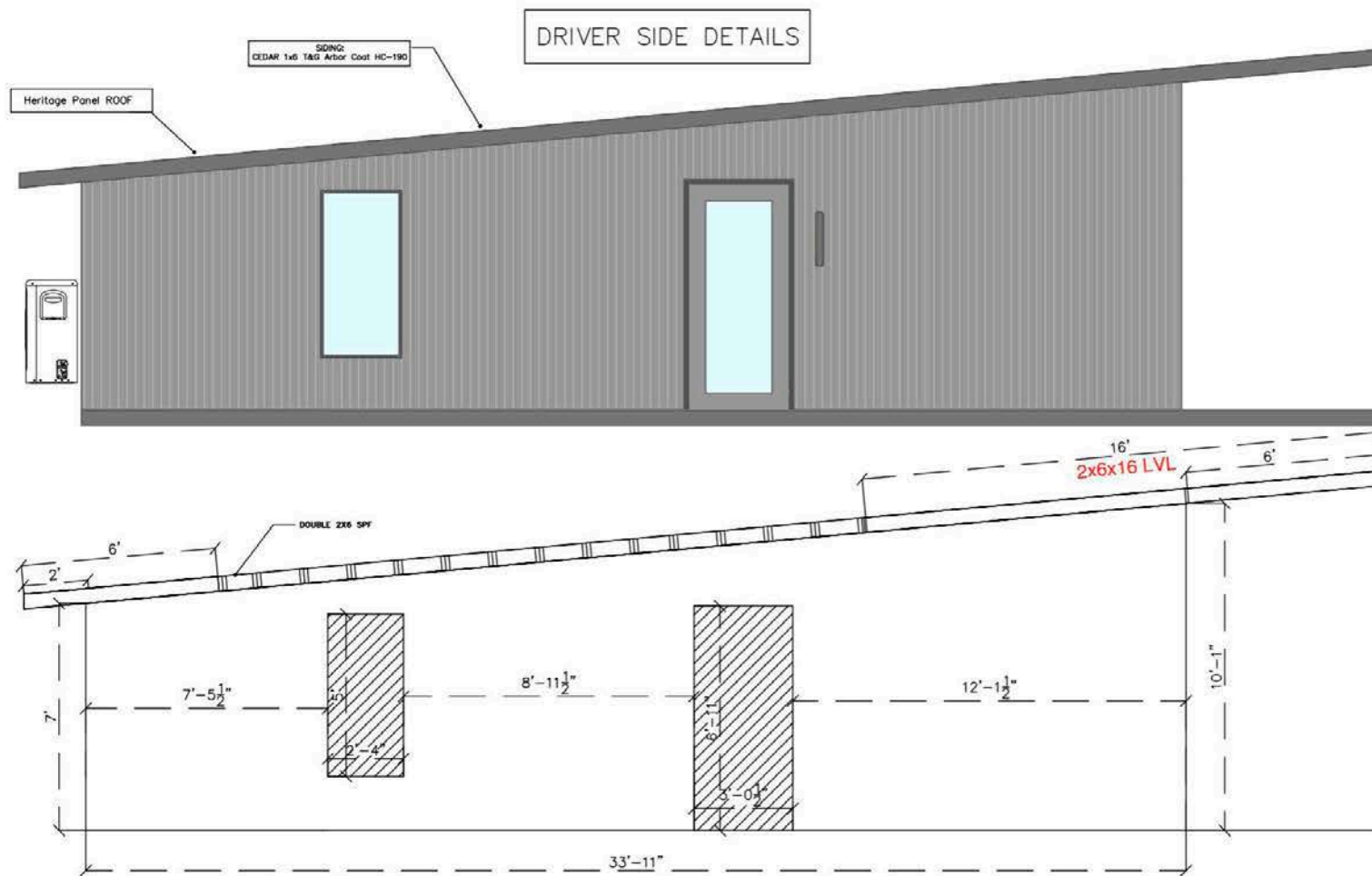
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ISSUED: 3.28.24
REVISED:

12x34
ROCKWOOD
FLOOR PLAN

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001



V. 2.6

ZOOK CABINS
5075 Lower Valley Rd. Suite B
Atglen, PA 19310 USA



SCALE: $\frac{1}{4}" = 1'0"$
DRAWN BY: DW
ISSUED: 2.21.24
REVISED: 11.12.24

12x34
ROCKWOOD

DRIVER:
FRAMING &
EXTERIOR

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SCALE: $\frac{1}{4}" = 1'0"$

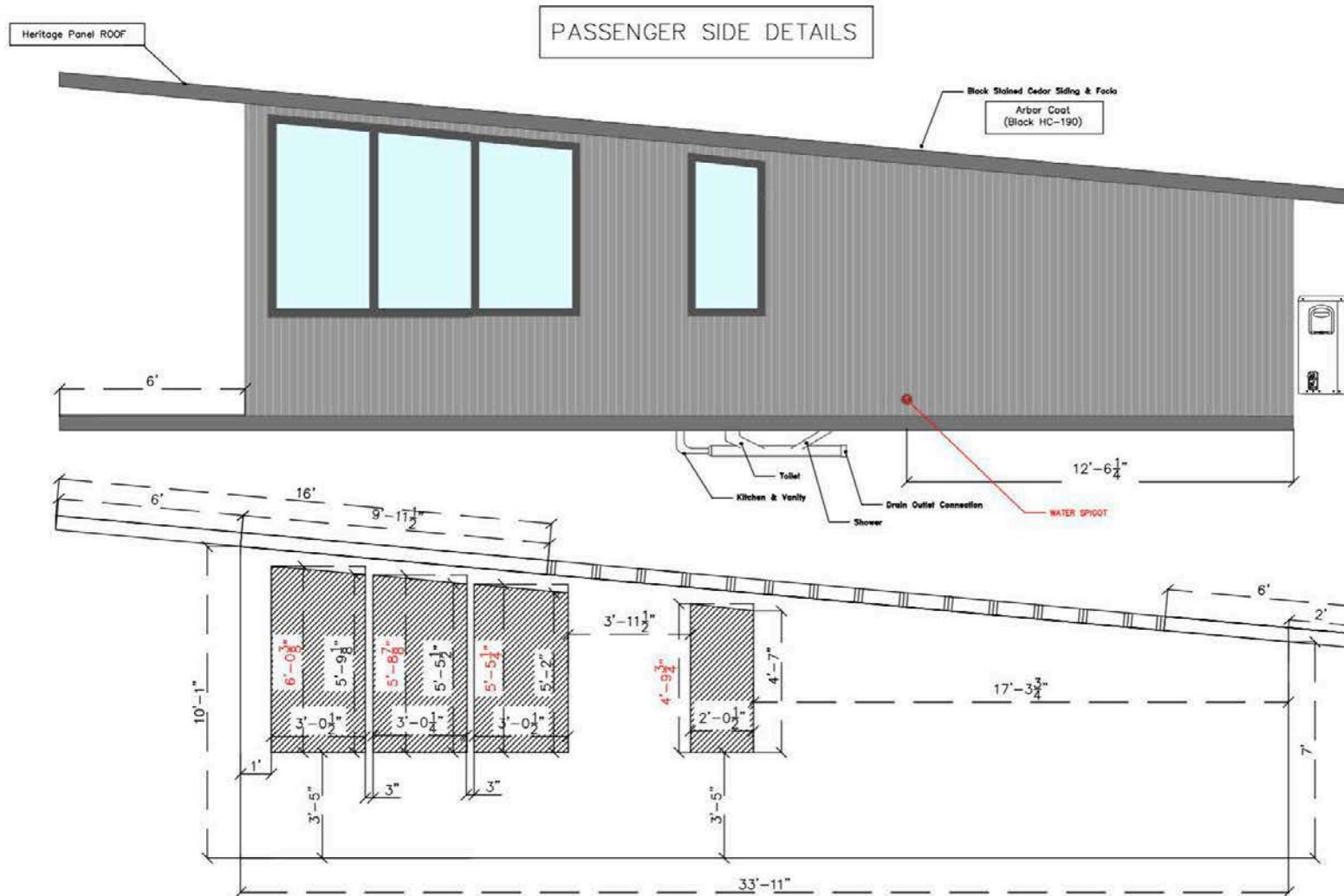
DRAWN BY: DW

ISSUED: 2.21.24

REVISED: 11.12.24

12x34
ROCKWOOD

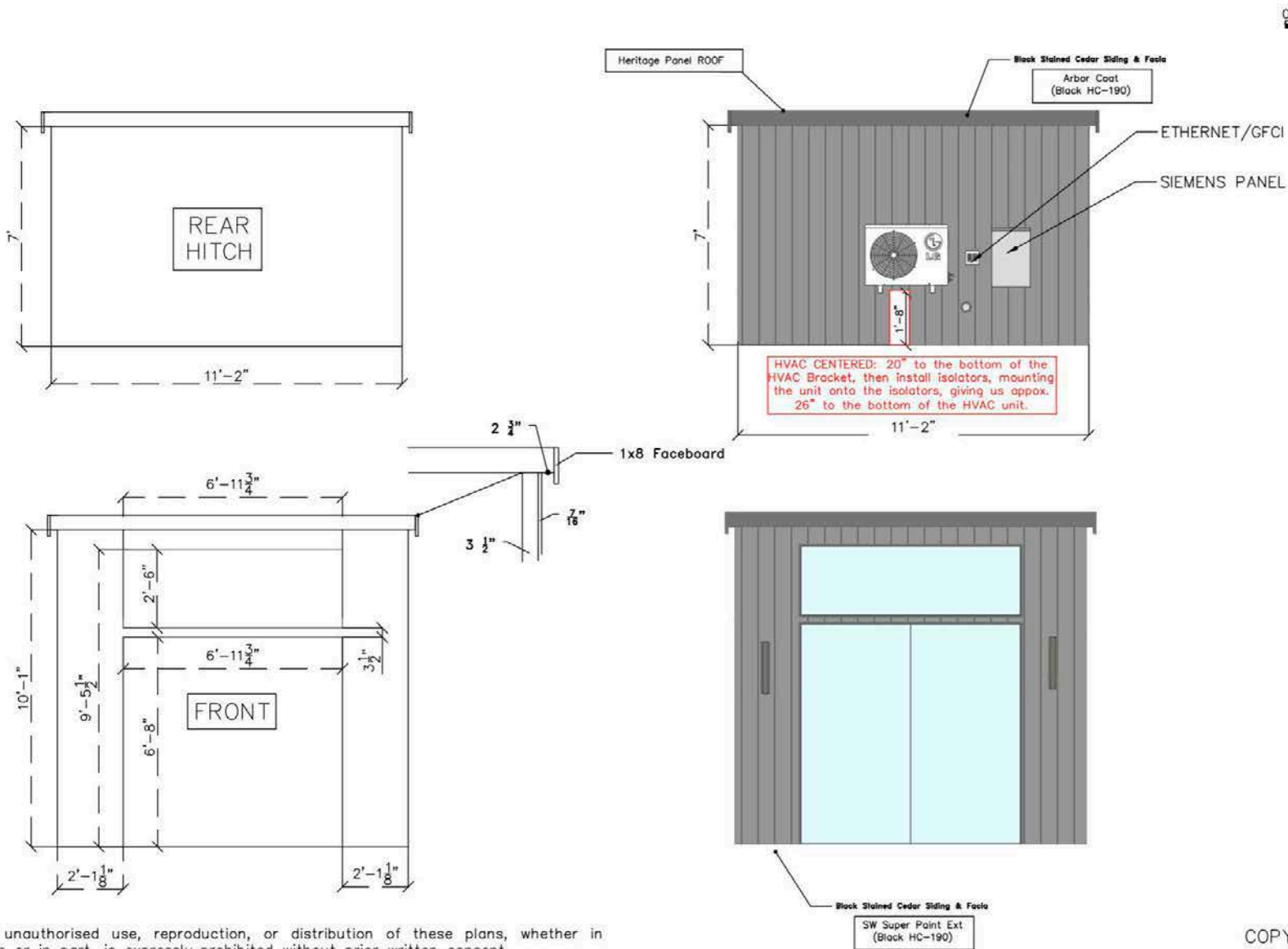
PASSENGER:
FRAMING &
EXTERIOR



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V. 2.6

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SCALE: 1/4" = 1'0"

DRAWN BY: DW

ISSUED: 2.21.24

REVISED: 11.12.24

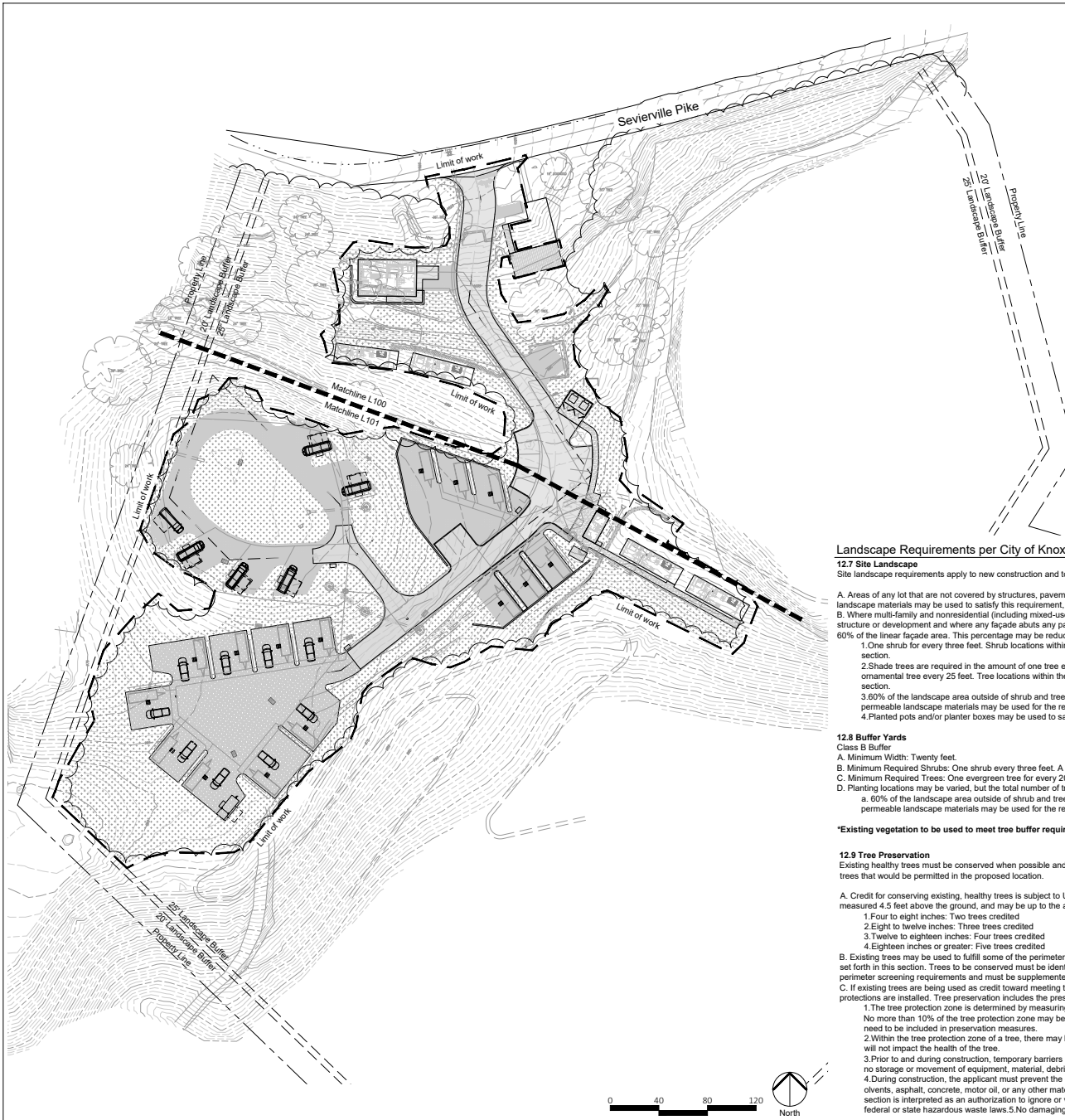
12x34
 ROCKWOOD

FRONT & REAR:
 FRAMING &
 EXTERIOR

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Alternative Landscape Design Request

12.8 Buffer Yards

Class B Buffer

- Minimum Width: Twenty feet.
- Minimum Required Shrubs: One shrub every three feet minimum of 50% of the shrubs must be evergreen.
- Minimum Required Trees: One evergreen tree for every 20 feet and one shade tree for every 30 feet.
- Planting locations may be varied, but the total number of trees must be no less than as required in this section.
- 60% of the landscape area outside of shrub and tree masses must be planted in live groundcover, perennials, or ornamental grasses. Stone, mulch, or other permeable landscape materials may be used for the remaining area.

See ALD Planting Plans and photos for existing buffer information.

Key Plan

Scale 1"= 300'



Landscape Requirements per City of Knoxville

12.7 Site Landscape

Site landscape requirements apply to new construction and to any additions to a structure existing as of the effective date of this Code of 30% or more in square footage.

- Areas of any lot that are not covered by structures, pavement, and vehicle parking areas must be planted with live landscaping. Stone, mulch, or other permeable landscape materials may be used to satisfy this requirement, but must not cover more than 40% of the landscape area.
- Where multi-family and nonresidential (including mixed-use) developments are located ten feet or more from a street lot line and no parking is located in front of the structure or development and where any facade abuts any parking area, foundation landscape must be planted as described below. This planting area is required along 60% of the linear facade area. This percentage may be reduced to accommodate entry design and other building functional operations during landscape plan review.
 - One shrub for every three feet. Shrub locations within the planting area may be varied, but the total number of shrubs must be no less than as required in this section.
 - Shade trees are required in the amount of one tree every 50 feet. Two ornamental trees may be substituted for one shade tree and must be spaced one ornamental tree every 25 feet. Tree locations within the planting area may be varied, but the total number of trees must be no less than as required in this section.
 - 60% of the landscape area outside of shrub and tree masses must be planted in live groundcover, perennials, or ornamental grasses. Stone, mulch, or other permeable landscape materials may be used for the remaining area.
 - Planted pots and/or planter boxes may be used to satisfy up to 30% of the total landscape area requirement.

12.8 Buffer Yards

Class B Buffer

- Minimum Width: Twenty feet.
- Minimum Required Shrubs: One shrub every three feet. A minimum of 50% of the shrubs must be evergreen.
- Minimum Required Trees: One evergreen tree for every 20 feet and one shade tree for every 30 feet.
- Planting locations may be varied, but the total number of trees must be no less than as required in this section.
 - 60% of the landscape area outside of shrub and tree masses must be planted in live groundcover, perennials, or ornamental grasses. Stone, mulch, or other permeable landscape materials may be used for the remaining area.

"Existing vegetation to be used to meet tree buffer requirements, see plans and site photos for existing conditions."

12.9 Tree Preservation

Existing healthy trees must be conserved when possible and will be credited toward landscaping requirements, when they are comparable in terms of species to new trees that would be permitted in the proposed location.

A. Credit for conserving existing, healthy trees is subject to Urban Forester approval. The credit approved for each conserved tree is based on a tree's diameter, measured 4.5 feet above the ground, and may be up to the amount indicated below:

- Four to eight inches: Two trees credited
- Eight to twelve inches: Three trees credited
- Twelve to eighteen inches: Four trees credited
- Eighteen inches or greater: Five trees credited

B. Existing trees may be used to fulfill some of the perimeter screening requirements, subject to approval by the Zoning Administrator. Existing trees are credited as set forth in this section. Trees to be conserved must be identified on the required landscaping plan. Conserved trees may comprise no more than 50% of the perimeter screening requirements and must be supplemented with new landscaping as required to create an effective screen.

C. If existing trees are being used as credit toward meeting the tree planting standards, a grading permit will not be issued until the following tree preservation protections are installed. Tree preservation includes the preservation of the trees root system within the tree protection zone.

- The tree protection zone is determined by measuring one foot in radius away from the trunk of the tree for every one inch in diameter at 4.5 feet in height. No more than 10% of the tree protection zone may be disturbed with fill or grading work. Any impervious area within the existing tree protection zone does not need to be included in preservation measures.
- Within the tree protection zone of a tree, there may be no cut or fill material unless a Certified Arborist has evaluated and determined that the disturbance will not impact the health of the tree.
- Prior to and during construction, temporary barriers must be erected around all protected trees with barriers a minimum of four feet in height. There may be no storage or movement of equipment, material, debris, or fill within the fenced, tree-protection zone.
- During construction, the applicant must prevent the cleaning of equipment or material or the storage and disposal of waste material, such as paints, oils, solvents, asphalt, concrete, motor oil, or any other material, potentially harmful to the tree within the drip line of any protected tree. Nothing within this section is interpreted as an authorization to ignore or violate applicable federal or state hazardous waste laws.
- No damaging attachment, wires, signs, or permits may be fastened to any protected tree.



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Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications, and site conditions shall be immediately reported to the Landscape Architect in writing. The Landscape Architect will promptly correct the same in writing. Work done by the Contractor after discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the Contractor's risk.

Drop Inn
4507 Sevierville Pike
Knoxville, TN



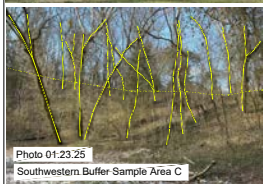
Date: 01/27/25
Job Number: 24-029
Drawn By: LGG Ck'd By: SHP

Rev	Description	Date

Sheet Name:
Alternative
Landscape Design
Site Plan

Sheet Number:

L000



Trees Identified in 50'x50' Sample Area C

- (2) 24" Box Elder
- (1) 14" Hackberry
- (1) 18" Walnut
- (1) 24" Chestnut Oak
- (3) 3-6" Red Maple
- (1) 12" Hackberry

*Privet, Tree of Heaven, and Spicebush identified as understory shrubs as well.

Western Buffer:
Existing vegetation to be used to meet buffer requirement. -The existing vegetation in the 25' perimeter buffer consists of mixed 1" - 2" caliper saplings spaced approx. 1-3' o.c. and mature trees, consisting of hickory, walnut, hackberry, and poplar.

Southern Buffer:
Existing vegetation to be used to meet buffer requirement. - The existing vegetation in the 25' perimeter buffer consists of large caliper, mature canopy trees growing on steep slopes 8'-20' apart with understory growth.

Trees Identified in 25'x25' Sample Area A:

- (3) 18" Box Elder
- (5) 3-6" Red Maple
- (8) 1-2" Red Maple
- (5) 1-3" Box Elder
- (1) 8" Red Maple
- (3) 4" Box Elder

*Privet, Tree of Heaven, and Spicebush identified as understory shrubs as well.

Trees Identified in 25'x25' Sample Area B:

- (1) 12" Box Elder
- (1) 18" Box Elder
- (1) 6-8" Box Elder
- (1) 24" Hickory
- (1) 6" Tulip Poplar
- (3) 3" Red Maple
- (4) 4-6" Red Maple

*Privet, Tree of Heaven, and Spicebush identified as understory shrubs as well.

Plant Key		
CODE	BOTANICAL NAME	COMMON NAME
EVERGREEN TREES		
GO	<i>Ilex spicata</i> 'Greenleaf'	Greensleaf American Holly
PER	<i>Unguis vulpulae</i>	Eastern Redcedar
MG	<i>Magnolia grandiflora</i> 'Claudia Wannamaker'	Claudia Wannamaker Southern Magnolia
SHADE TREES		
AR	<i>Acer rubrum</i> 'Autumn Flame'	Autumn Flame Red Maple
AR	<i>Acer saccharum</i> 'Legacy'	Legacy Sugar Maple
FG	<i>Fagus grandifolia</i>	American Beech
LI	<i>Liriodendron tulipifera</i>	Tulip Poplar
PO	<i>Platanus occidentalis</i>	American Sycamore
QU	<i>Quercus alba</i>	White Oak
PS	<i>Quercus shumardi</i>	Shumard Oak

Key Plan
Scale 1"= 300'



hedstrom
LANDSCAPE ARCHITECTURE

info@hedstromdesign.com
www.hedstromdesign.com

110 W Magnolia Ave.
Knoxville, TN 37917
865 329 0012

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Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications, and site conditions shall be immediately reported to the Landscape Architect in writing. The Landscape Architect will promptly correct the same in writing. Work done by the Contractor after discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the Contractor's risk.

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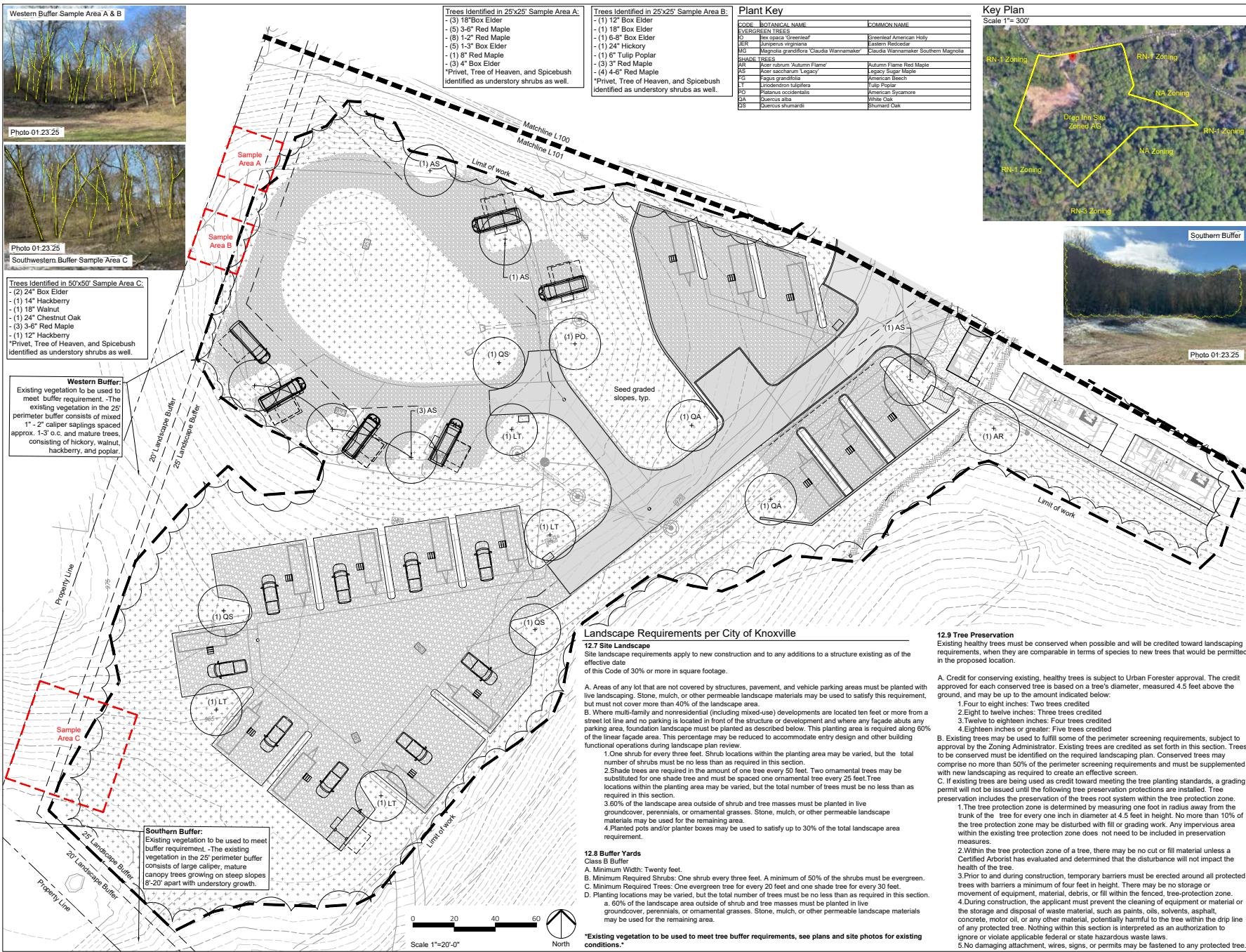


Date: 01.27.25
Job Number: 24-029
Drawn By: LGG Ck'd By: SHP

Rev	Description	Date

Sheet Name:
Alternative
Landscape Design
Site Planting Plan

L101



Landscape Requirements per City of Knoxville

12.7 Site Landscape
Site landscape requirements apply to new construction and to any additions to a structure existing as of the effective date of this Code of 30% or more in square footage.

A. Areas of any lot that are not covered by structures, pavement, and vehicle parking areas must be planted with live landscaping. Stone, mulch, or other permeable landscape materials may be used to satisfy this requirement, but must not cover more than 40% of the landscape area.

b. Where multi-family and nonresidential (including mixed-use) developments are located ten feet or more from a street lot line and no parking is located in front of the structure or development and where any façade abuts any parking area, foundation landscape must be planted as described below. This planting area is required along 60% of the linear façade area. This percentage may be reduced to accommodate entry design and other building functional operations during landscape plan review.

1. One shrub for every three feet. Shrub locations within the planting area may be varied, but the total number of shrubs must be no less than as required in this section.

2. Shade trees are required in the amount of one tree every 50 feet. Two ornamental trees may be substituted for one shade tree and must be spaced one ornamental tree every 25 feet. Tree locations within the planting area may be varied, but the total number of trees must be no less than as required in this section.

4. If a shrub or tree is placed outside of shrub and tree masses must be placed in the required planting area.

4. Planted pots and/or planter boxes may be used to satisfy up to 30% of the total landscape area requirement.

12.8 Buffer Yards
Class B Buffer
A. Minimum Width: Twenty feet

D. Planting locations may be varied, but the total number of trees must be no less than as required in this section.

*Existing vegetation to be used to meet tree buffer requirements, see plans and site photos for existing

conditions.*

12.9 Tree Preservation

Existing healthy trees must be conserved when possible and will be credited toward landscaping requirements, when they are comparable in terms of species to new trees that would be permitted in the proposed location.

A. Credit for conserving existing, healthy trees is subject to Urban Forester approval. The credit approved for each conserved tree is based on a tree's diameter, measured 4.5 feet above the ground, and may be up to the amount indicated below:

1. Four to eight inches: Two trees credited
2. Eight to twelve inches: Three trees credited
3. Twelve to eighteen inches: Four trees credited
4. Eighteen inches or greater: Five trees credited

B. Existing trees may be used to fulfill some of the perimeter screening requirements, subject to approval by the Zoning Administrator. Existing trees are credited as set forth in this section. Trees to be conserved must be identified on the required landscaping plan. Conserved trees may comprise no more than 50% of the perimeter screening requirements and must be supplemented

C. If existing trees are being used as credit toward meeting the tree planting standards, a grading permit will not be issued until the following tree preservation protections are installed. Tree preservation includes the preservation of the trees root system within the tree protection zone.

1. The tree protection zone is determined by measuring one foot in radius away from the trunk of the tree for every one inch in diameter at 4.5 feet in height. No more than 10% of the tree protection zone may be disturbed with fill or grading work. Any impervious area within the existing tree protection zone does not need to be included in preservation

2. Within the tree protection zone of a tree, there may be no cut or fill material unless a Certified Arborist has evaluated and determined that the disturbance will not impact the health of the tree.

3. Prior to and during construction, temporary barriers must be erected around all protected trees with barriers a minimum of four feet in height. There may be no storage or movement of equipment, material, debris, or fill within the fenced, tree-protection zone.

4. During construction, the applicant must prevent the cleaning of equipment or material or

the storage and disposal of waste material, such as paints, oils, solvents, asphalt, concrete, motor oil, or any other material, potentially harmful to the tree within the drip line of any protected tree. Nothing within this section is interpreted as an authorization to ignore or violate applicable federal or state hazardous waste laws.

5.No damaging attachment, wires, signs, or permits may be fastened to any protected tree.

Planting Notes

- Contractor shall verify all existing conditions in the field and report any discrepancies to the Landscape Architect or Owner's Representative prior to starting work.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Landscape Architect or Owner's Representative.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Landscape Architect or Owner's Representative. Application of insecticides/herbicides must be approved by Landscape Architect or Owner's Representative prior to use on site.
- No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See Soil Sample Notes on this sheet.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See Percolation Test Notes on this sheet.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Landscape Architect or Owner's Representative.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Landscape Architect or Owner's Representative.
- Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting detail.
- Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Stake location of all proposed trees and planting areas for approval by the Landscape Architect or Owner's Representative prior to the commencement of planting. Coordinate with the Landscape Architect or Owner's Representative prior to any changes.
- Shade trees to be planted a minimum of 5' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
- Plant beds to join walks or walls at an angle between 90° and 60°.
- All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3' around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet.
- See Civil Plans for further information regarding:
 - Erosion and sediment control
 - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas
 - Limits of Work
 - Locations of existing and proposed utilities or easements

Abbreviations:

B&B: Ball & Burlap	CAL: Caliper	CT: Clear Trunk
HGT: Height	FTG: Full to ground	GAL: Gallon
MIN: Minimum	MT: Multi-trunk	OC: On Center
DBH: Diameter at breast height		

Plant Schedule

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
EVERGREEN TREES						
IO	3	Ilex opaca 'Greenleaf'	Greenleaf American Holly	8' hgt.	B&B	FTG, full and dense
JER	3	Juniperus virginiana	Eastern Redcedar	8' hgt.	B&B	FTG, full and dense
MG	2	Magnolia grandiflora 'Claudia Wannamaker'	Claudia Wannamaker Southern Magnolia	8' hgt.	B&B	Full and dense
SHADE TREES						
AR	2	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	2" cal.	B&B	6' CT, CL, full and well branched
AS	6	Acer saccharum 'Legacy'	Legacy Sugar Maple	2" cal.	B&B	6' CT, CL, full and well branched
FG	1	Fagus grandifolia	American Beech	2" cal.	B&B	5' CT, CL, full and well branched
LT	5	Liriodendron tulipifera	Tulip Poplar	2" cal.	B&B	6' CT, CL, full and well branched
PO	1	Platanus occidentalis	American Sycamore	2" cal.	B&B	6' CT, CL, full and well branched
QA	3	Quercus alba	White Oak	2" cal.	B&B	5' CT, CL, full and well branched
QS	3	Quercus shumardii	Shumard Oak	2" cal.	B&B	5' CT, CL, full and well branched

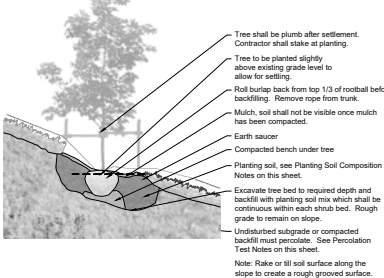
Planting Soil Composition Notes

The Landscape Subcontractor shall provide sufficient planting soil to fulfill all planting operations required of the Contract Documents. Planting soil shall comply with the following notes:

- Planting soil shall be topsoil stripped and stockpiled and meeting, or modified to meet, these notes.
- Textural Analysis of soil to be between sandy clay loam and clay loam, with a clay content between 15 and 25% and an organic content of 4% by dry weight.
- Planting soil shall be free of plants and their roots, debris and other extraneous matter. It shall be uncontaminated by salt water, foreign matter and substances harmful to plant growth. All soil to be free of all rocks, limestone, gravel, & foreign construction debris.
- Soil additives shall be used to counteract soil deficiencies as recommended by the soils analysis conducted by Waypoint Analytical. See Soil Sampling notes, this sheet.
- Soil pH target to be 6.0.
- Soil to be installed in maximum 6" lifts. Soil compaction rating to be 85%.
- Soil particle size shall have 90% passing rate on 2" screen and 100% of material shall pass 1" screen.

Percolation Test Notes

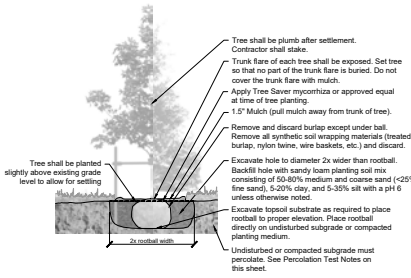
- Dig a hole 18-24" deep & a minimum of 6" wide.
- Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet over night and test the following day.
- Refill hole to within a couple inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark soil on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
- Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.



1 TREE SLOPE PLANTING

Not to Scale

P.CO-DR0-08



2 TREE PLANTING

Not to Scale

P.CO-DR0-11



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Drop Inn
4507 Sevierville Pike
Knoxville, TN



Date: 01/27/25
Job Number: 24-029
Drawn By: LGG Ck'd By: SHP

Rev	Description	Date

Sheet Name:
Plant Schedule,
Notes, & Details

Sheet Number:
L200



Development Request

DEVELOPMENT

- ☐ Development Plan
- ☐ Planned Development
- ☒ Use on Review / Special Use
- ☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
- ☐ Final Plat

ZONING

- ☐ Plan Amendment
 - ☐ SP
 - ☐ PA
- ☐ Rezoning

PIER Group LLC		Owner
Applicant Name		Affiliation
1/27/2025	March 13, 2025	File Number(s) 3-E-25-SU
Date Filed	Meeting Date (if applicable)	

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

<input checked="" type="checkbox"/> Applicant	<input checked="" type="checkbox"/> Property Owner	<input type="checkbox"/> Option Holder	<input type="checkbox"/> Project Surveyor	<input type="checkbox"/> Engineer	<input type="checkbox"/> Architect/Landscape Architect
Nadim Jubran		PIER Group LLC			
Name		Company			
121 E. Jackson Ave.		Knoxville	TN	37915	
Address		City	State	ZIP	
865-300-4748					
Phone		Email			

CURRENT PROPERTY INFO		
PIER Group LLC	6480 Kingston Pike	865-300-4748
Property Owner Name (if different)	Property Owner Address	Property Owner Phone
4507 Sevierville Pike	109LD006	
Property Address	Parcel ID	
Knoxville Utilities Board (KUB)	Knoxville Utilities Board(KUB)	N
Sewer Provider	Water Provider	Septic (Y/N)

COMMUNITY ENGAGEMENT

Sign and return the **Public Notice & Community Engagement** form with this application.

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). **We require applicants to acknowledge their role in this process.**

JULY 2024

DEVELOPMENT REQUEST

- ☐ Development Plan ☒ Use on Review / Special Use ☐ Hillside Protection COA
☐ Residential ☐ Non-Residential

Home Occupation (specify) _____

Campground - Revision to previous Special Use approval

Other (specify) _____

Related City Permit Number(s)

4-E-23-SU

SUBDIVISION REQUEST

Proposed Subdivision Name _____

Unit / Phase Number ☐ Combine Parcels ☐ Divide Parcel

Total Number of Lots Created _____

☐ Other (specify) _____

☐ Attachments / Additional Requirements

Related Rezoning File Number

ZONING REQUEST

☐ Zoning Change

Proposed Zoning _____

☐ Plan Amendment Change

Proposed Plan Designation(s) _____

Pending Plat File Number

Proposed Density (units/acre) _____

Previous Rezoning Requests _____

☐ Other (specify) _____

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☒ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request
☐ Amendment Request (*Comprehensive Plan*)

ADDITIONAL REQUIREMENTS

☐ Use on Review / Special Use (*Concept Plan*)
☐ Traffic Impact Study
☐ COA Checklist (*Hillside Protection*)

Fee 1

Total

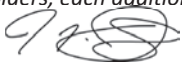
Fee 2

\$1,600.00

Fee 3

AUTHORIZATION

By signing below, I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent. If there are additional owners or options holders, each additional individual must sign the Property Owners/Option Holders Form.



Nadim Jubran (PIER Group LLC)

1/26/25

Applicant Signature

Print Name / Affiliation

Date

865-300-4748

Phone Number

Email



Nadim Jubran (PIER Group LLC)

1/27/2025, SG

Property Owner Signature

Please Print

Date Paid

Public Notice and Community Engagement

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s).

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

~~3/1/2025~~ 2/28/2025

Date to be Posted

3/14/2025

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

☐ Yes ☐ No

☐ No, but I plan to prior to the Planning Commission meeting



Applicant Signature

Nadim Jubran (PIER Group LLC)

Applicant Name

1.26.25

Date

3-E-25-SU

FILE NUMBER