

SPECIAL USE REPORT

► **FILE #:** 3-G-25-SU

AGENDA ITEM #: 21

AGENDA DATE: 3/13/2025

► **APPLICANT:** JIM HATFIELD

OWNER(S): Jim Hatfield Knoxville's Community Development Corporation

TAX ID NUMBER: 94 B C 00405

[View map on KGIS](#)

JURISDICTION: City Council District 6

STREET ADDRESS: 0 REED ST

► **LOCATION:** Northeast side of Reed St, northwest side of W Oldham Ave, southeast side of W Oak Hill Ave

► **APPX. SIZE OF TRACT:** 3.98 acres

SECTOR PLAN: Central City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Reed Street, an unstriped local street with a pavement width that varies from 20 ft to 37 ft within a 64-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: East Fork, Second Creek

► **ZONING:** C-N (Neighborhood Commercial), RN-5 (General Residential Neighborhood), HP (Hillside Protection Overlay)

► **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

► **PROPOSED USE:** Eating and drinking establishment in C-N

HISTORY OF ZONING: In 2021 the property was rezoned from RN-5 (General Residential Neighborhood)/HP (Hillside Protection Overlay) to C-N (Neighborhood Commercial)/HP (Hillside Protection Overlay) (10-H-23-RZ).

SURROUNDING LAND USE AND ZONING: North: Agriculture/forestry/vacant land - C-N (Neighborhood Commercial), HP (Hillside Protection Overlay)

South: Multifamily residential - RN-5 (General Residential Neighborhood)

East: Public/quasi public land (Head Start childcare) - RN-5 (General Residential Neighborhood)

West: Multifamily residential - C-N (Neighborhood Commercial)

NEIGHBORHOOD CONTEXT: This property is part of the Transforming Western Heights project, which features a large multifamily residential neighborhood. The neighborhood surrounding this development is predominantly composed of single family homes in a grid pattern. Beaumont Magnet Academy lies to the east, and Dayspring Christian Academy lies to the northeast.

STAFF RECOMMENDATION:

- **Approve the request for an eating and drinking establishment with approximately 13,500 sqft of floor area in the C-N (Neighborhood Commercial) district, subject to 3 conditions.**

- 1) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
- 2) Meeting all applicable requirements of the City of Knoxville Engineering Department.
- 3) Meeting all applicable requirements of the City of Knoxville Plans Review and Inspections Department.

With the conditions noted, this plan meets the requirements for approval in the C-N District and the criteria for approval of a special use.

COMMENTS:

This proposal is for an eating and drinking establishment within the Western Heights Connections Building, located at the intersection of W. Oak Hill Avenue and Reed Street, in the core of the Western Heights development. There will be a public open space and park to the south and east of the building. The eating and drinking establishment is located on the entire second floor (ground level access is from W. Oak Hill Avenue). The building's first floor will have a community non-profit space and will have loading for the second-floor restaurants.

The restaurant's operation is not yet determined, but the plan assumes part of the space will be utilized for eating and drinking in a casual setting similar to a café or food hall. Another part of the space will likely incorporate a full-service bar that may also include food options from the adjacent café eating space. The kitchen will also likely be used to prepare to-go/delivery food that would be consumed off-site.

The subject building is located in the KCDC (Knoxville's Community Development Corporation) Western Heights community and is part of the Transforming Western Heights redevelopment project. The new internal transportation network is under construction, including two-way roads with on-street parking, planting strips, and sidewalks on both sides of the street.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The One Year Plan and Central City Sector Plan designation for this site are MU-NC (Mixed Use Neighborhood Center), which is intended for medium density mixed use development with housing densities of 6 to 12 dwelling units per acre. The buildings of these centers should be designed with a residential character and scale to serve as a complement to the surrounding neighborhoods. The subject 2-story, non-residential, mixed-use building has a commercial design character, which is common for non-residential uses in neighborhood settings. While the building is two stories, it is only one full story along the W. Oak Hill Avenue street elevation.

B. The restaurant (eating and drinking establishment) is envisioned to have multiple smaller users and different business hours. This will extend the hours of operation while not significantly impacting any single time of the day.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The C-N (Neighborhood Commercial) District is intended to provide for an environment of integrated residential development and small-scale commercial and service uses, predominantly serving nearby residential neighborhoods. Low-intensity mixed-use is encouraged within the C-N District, with dwellings permitted above the ground floor, as well as multi-family and townhouse development located alongside select commercial uses.

B. The proposed eating and drinking establishment, by providing space for multiple small-scale restaurants, is compatible with the intent of the C-N zone.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The small-scale eating and drinking establishments are compatible with the character and size of location of proposed buildings in the vicinity. The proposed structure on the north side of W. Oak Hill Avenue is a 4-story, mixed-use structure with non-residential uses on the ground floor and residential above.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM

THE IMMEDIATE ENVIRONMENT.

A. No adverse impacts are expected on adjacent properties resulting from this approval.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The proposed eating and drinking establishment is within the master planned, mixed-use Western Heights redevelopment project known as Transforming Western Heights. The anticipated impacts of the proposed non-residential uses have been taken into consideration with the new street design, which includes on-street parking, sidewalks on both sides of the street, planting strips, and speed humps to control traffic speed.

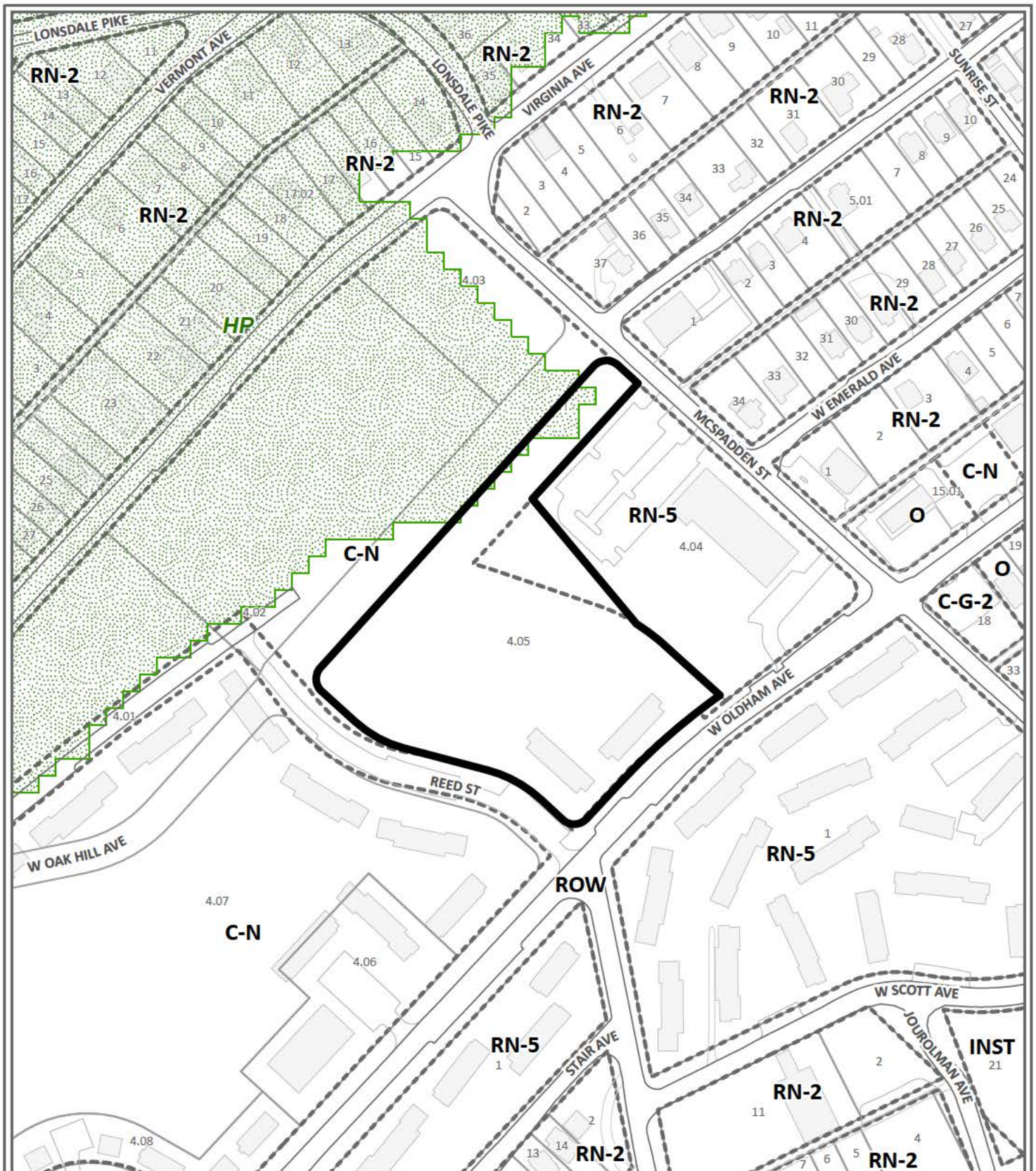
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed uses within the development.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

3-G-25-SU

Petitioner: Jim Hatfield



Eating and drinking establishment on the C-N zoned portion of the lot in C-N (Neighborhood Commercial), RN-5 (General Residential Neighborhood), HP (Hillside Protection Overlay)

Original Print Date: 1/31/2025

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 94

Jurisdiction: City

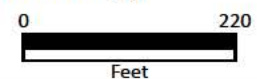
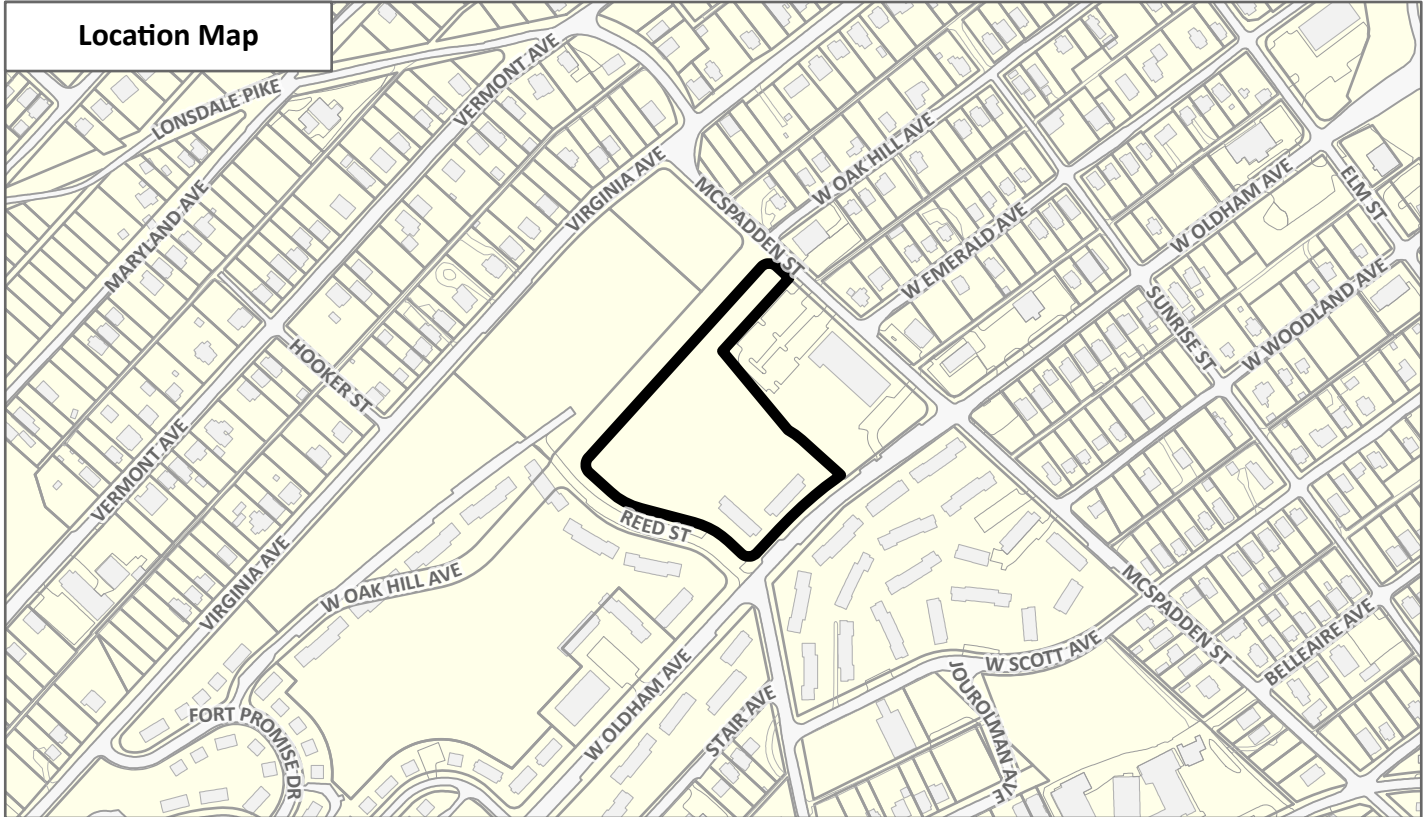


Exhibit A. Contextual Images

Location Map



Aerial Map

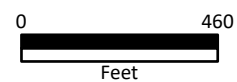


CONTEXTUAL MAPS 1

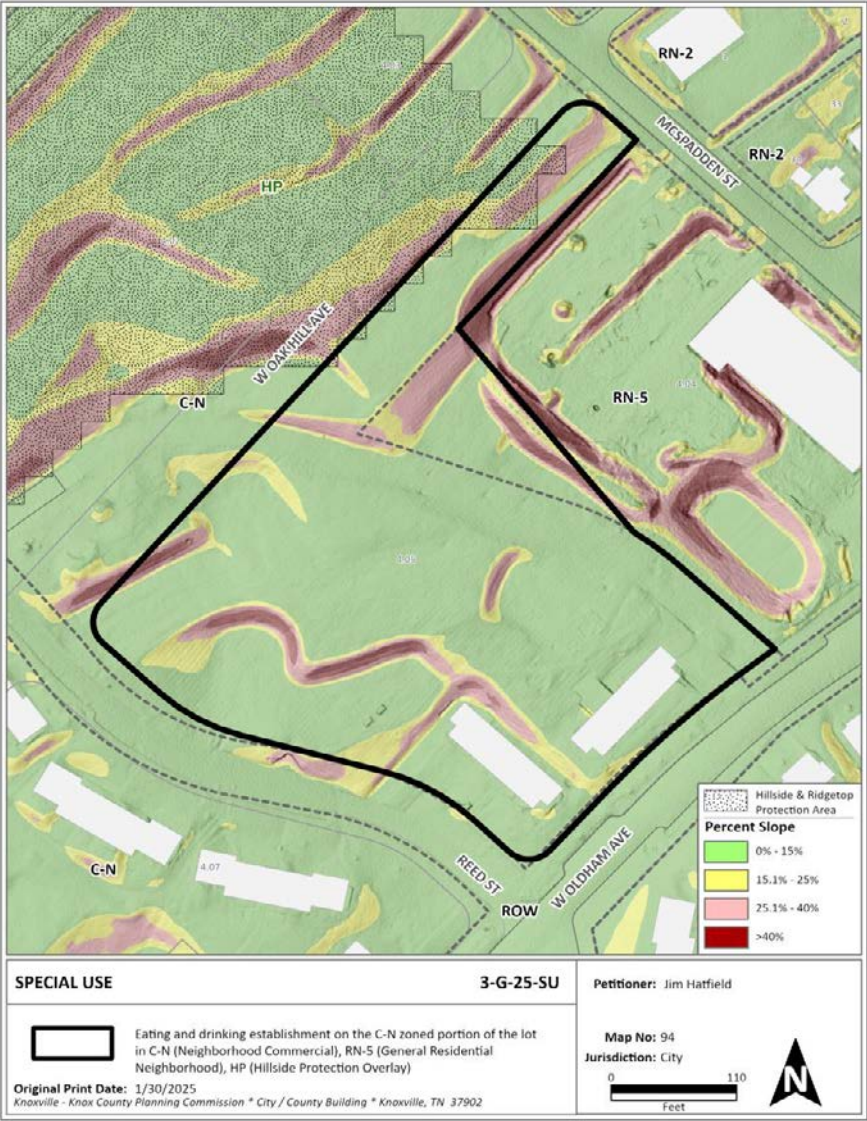
3-G-25-SU



Case boundary



CATEGORY	SQFT	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Sqft)	DISTURBANCE AREA (Acres)
Total Area of Site	173,415.8	3.98			
Non-Hillside	168,795.8	3.88	N/A		
0-15% Slope	1,683.4	0.04	100%	1,683.4	0.04
15-25% Slope	1,195.7	0.03	50%	597.9	0.01
25-40% Slope	1,730.1	0.04	20%	346.0	0.01
Greater than 40% Slope	10.7	0.00	10%	1.1	0.00
Ridgetops					
Hillside Protection (HP) Area	4,620.0	0.11	Recommended disturbance budget within HP Area	2,628.4	0.06
			Percent of HP Area	56.9%	

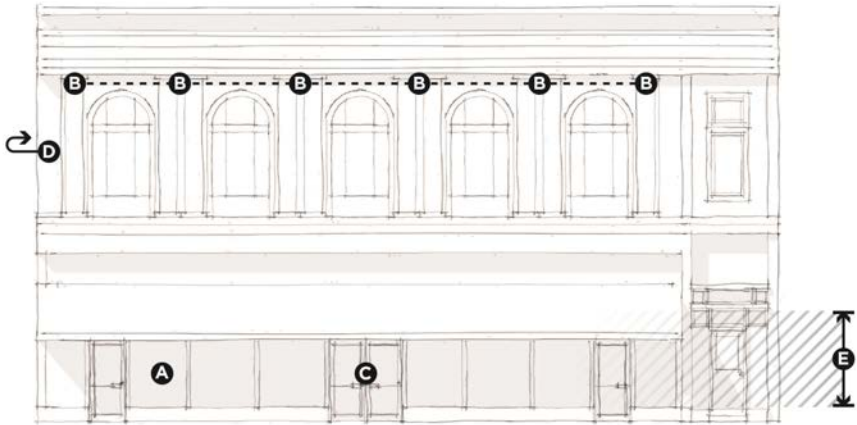


SITE, ZONING & BUILDING CODE REQUIREMENTS

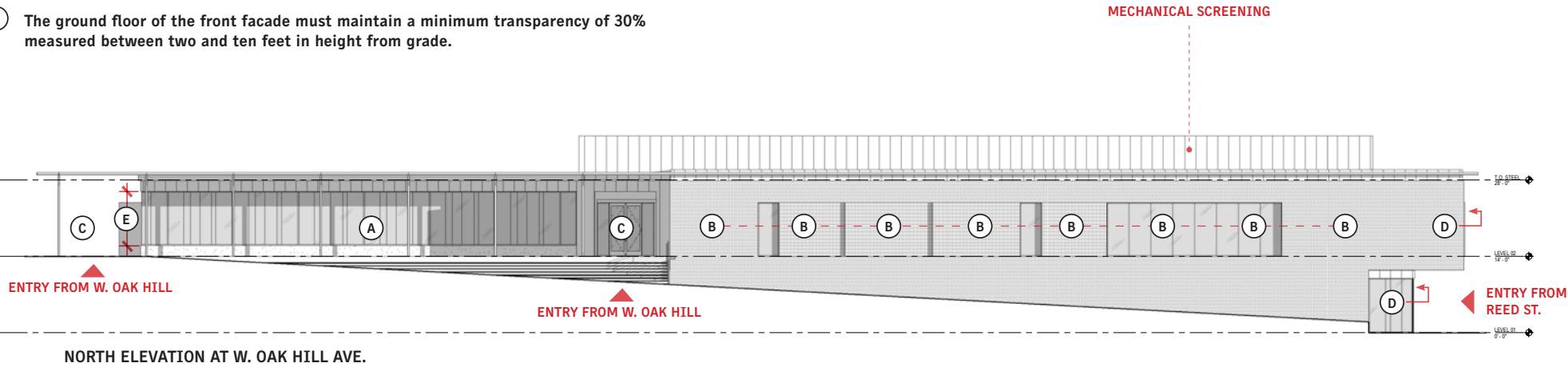
SCALE: N.T.S.

C-N ZONING DESIGN STANDARDS

- Ⓐ Building facades that abut a public right-of-way must not contain blank wall areas that exceed 30 linear feet, measured per story parallel to the street.
- Ⓑ Building facades in excess of 100 linear feet that abut a public right-of-way must include a repeating pattern with no less that two of the following elements: texture change, material module, or a wall articulation change of no less than 2 feet in depth.
- Ⓒ All buildings must have a public entrance from the sidewalk along the primary building frontage.
- Ⓓ Building materials and visual elements used on the primary building frontage must continue on all building facades that are visible from a public right-of-way.
- Ⓔ The ground floor of the front facade must maintain a minimum transparency of 30% measured between two and ten feet in height from grade.



ARTICLE 5; 5.4B C-N DISTRICT DESIGN STANDARDS



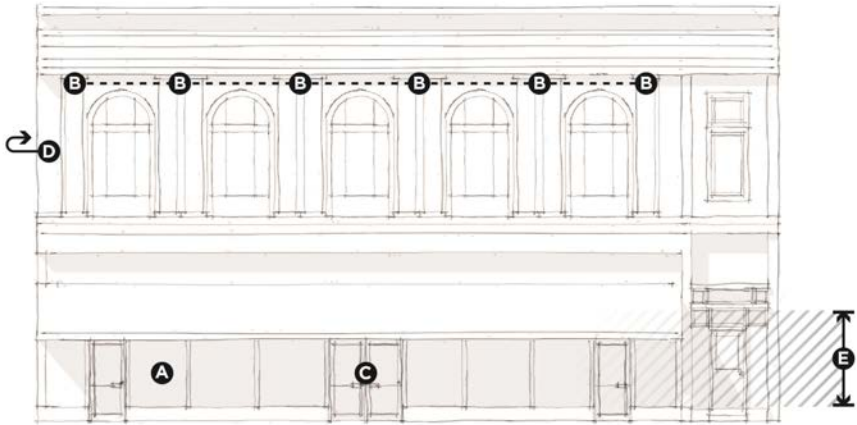
3-G-25-SU
Revised: 2/19/2025

SITE, ZONING & BUILDING CODE REQUIREMENTS

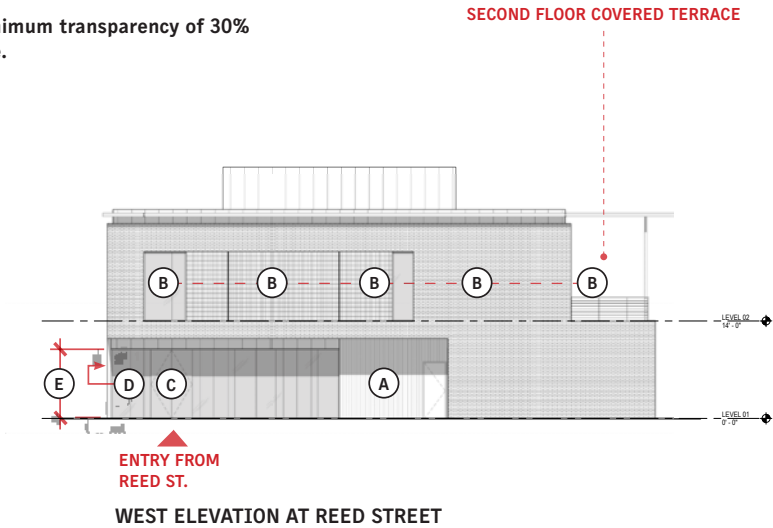
SCALE: N.T.S.

C-N ZONING DESIGN STANDARDS

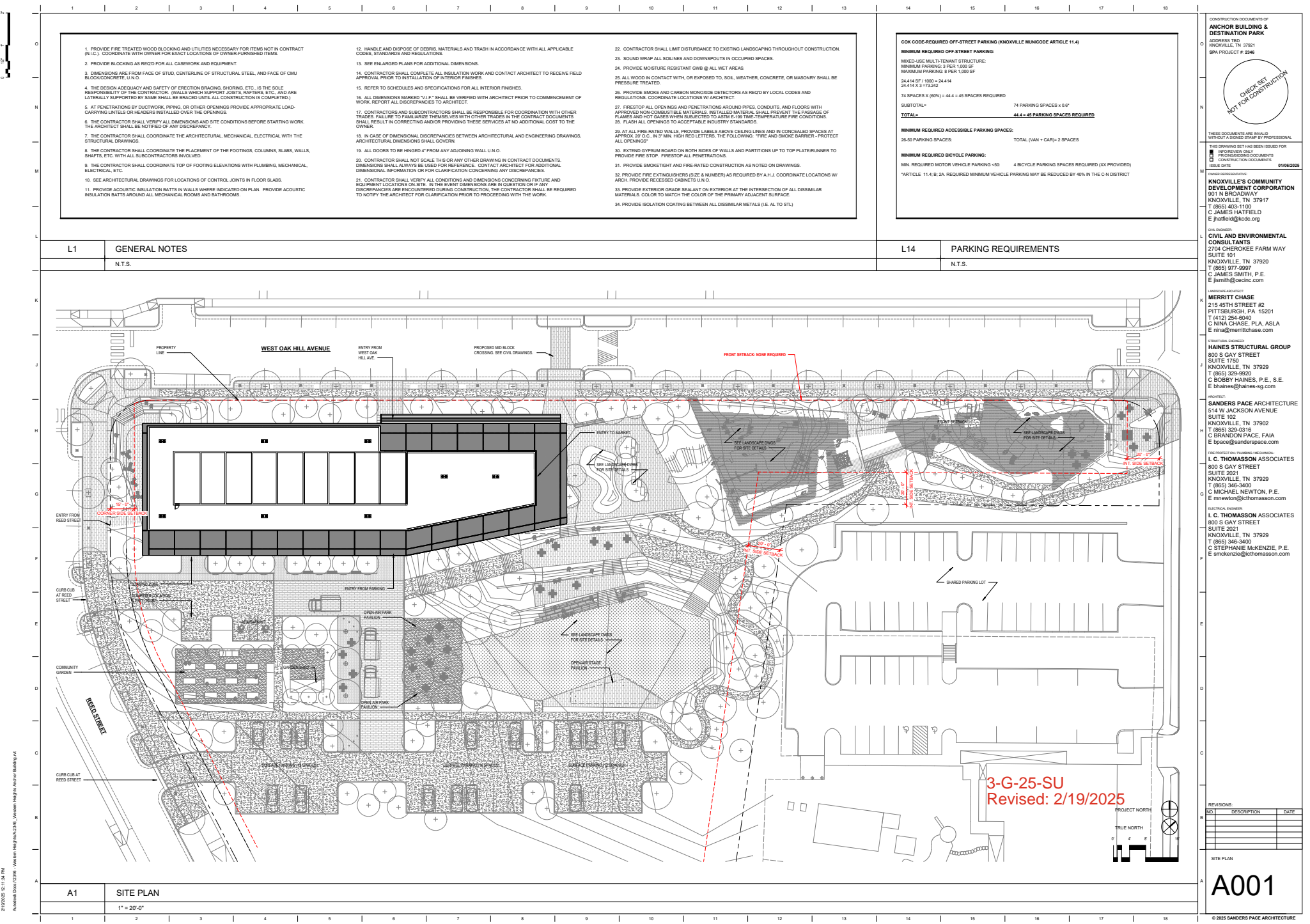
- (A) Building facades that abut a public right-of-way must not contain blank wall areas that exceed 30 linear feet, measured per story parallel to the street.
- (B) Building facades in excess of 100 linear feet that abut a public right-of-way must include a repeating pattern with no less that two of the following elements: texture change, material module, or a wall articulation change of no less than 2 feet in depth.
- (C) All buildings must have a public entrance from the sidewalk along the primary building frontage. Public entrances must be visually distinctive from the remaining portions of the facade along which they are located.
- (D) Building materials and visual elements used on the primary building frontage must continue on all building facades that are visible from a public right-of-way.
- (E) The ground floor of the front facade must maintain a minimum transparency of 30% measured between two and ten feet in height from grade.



ARTICLE 5; 5.4B C-N DISTRICT DESIGN STANDARDS



3-G-25-SU
Revised: 2/19/2025



A1 SITE PLAN
1" = 20'-0"

OK CODE REQUIRED OFF-STREET PARKING (KNOXVILLE MUNICOD ARTICLE 11.4)	
MINIMUM REQUIRED OFF-STREET PARKING: MINIMUM REQUIRED MULTI-TENANT STRUCTURE: MINIMUM PARKING: 3 PER 1,000 SF MAXIMUM PARKING: 8 PER 1,000 SF 24.414 SF / 1000 = 24.414 24.414 X 3 = 73.242 74 SPACES X (80%) = 44.4 = 45 SPACES REQUIRED SUBTOTAL = 74 PARKING SPACES X 0.5' TOTAL = 44.4 = 45 PARKING SPACES REQUIRED	
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES: 26-50 PARKING SPACES: TOTAL (VAN + CAR) = 2 SPACES MINIMUM REQUIRED BICYCLE PARKING: MIN. REQUIRED MOTOR VEHICLE PARKING <50: 4 BICYCLE PARKING SPACES REQUIRED (XX PROVIDED) *ARTICLE 11.4 E. 2A. REQUIRED MINIMUM VEHICLE PARKING MAY BE REDUCED BY 40% IN THE C-N DISTRICT	

L14 PARKING REQUIREMENTS
N.T.S.

1. PROVIDE FIRE TREATED WOOD BLOCKING AND UTILITIES NECESSARY FOR ITEMS NOT IN CONTRACT (N.I.C.). COORDINATE WITH OWNER FOR EXACT LOCATIONS OF OWNER-FURNISHED ITEMS.
2. PROVIDE BLOCKING AS REQ'D FOR ALL CASEWORK AND EQUIPMENT.
3. DIMENSIONS ARE FROM FACE OF STUD, CENTERLINE OF STRUCTURAL STEEL, AND FACE OF CMU BLOCK/CONCRETE U.N.O.
4. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. (WALLS WHICH SUPPORT JOIST, RAFTERS, ETC., AND ARE LATERALLY SUPPORTED BY SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED.)
5. AT PENETRATIONS BY DUCTWORK, PIPING, OR OTHER OPENINGS PROVIDE APPROPRIATE LOAD-CARRYING UNITS OR HEADINGS INSTALLED OVER THE OPENINGS.
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY.
7. THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, WITH THE STRUCTURAL DRAWINGS.
8. THE CONTRACTOR SHALL COORDINATE THE PLACEMENT OF THE FOOTINGS, COLUMNS, SLABS, WALLS, SHAFTS, ETC. WITH ALL SUBCONTRACTORS INVOLVED.
9. THE CONTRACTOR SHALL COORDINATE TOP OF FOOTING ELEVATIONS WITH PLUMBING, MECHANICAL, ELECTRICAL, ETC.
10. SEE ARCHITECT DRAWINGS FOR LOCATIONS OF CONTROL JOINTS IN FLOOR SLABS.
11. PROVIDE ACOUSTIC INSULATION BATTS IN WALLS WHERE INDICATED ON PLAN. PROVIDE ACOUSTIC INSULATION BATTS AROUND ALL MECHANICAL ROOMS AND BATHROOMS.
12. HANDLE AND DISPOSE OF DEBRIS, MATERIALS AND TRASH IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
13. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
14. CONTRACTOR SHALL COMPLETE ALL INSULATION WORK AND CONTACT ARCHITECT TO RECEIVE FIELD APPROVAL, PRIOR TO INSTALLATION OF INTERIOR FINISHES.
15. REFER TO SCHEDULES AND SPECIFICATIONS FOR ALL INTERIOR FINISHES.
16. ALL DIMENSIONS MARKED "V.I.P." SHALL BE VERIFIED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK. REPORT ALL DISCREPANCIES TO ARCHITECT.
17. CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION WITH OTHER TRADES. FAILURE TO FAMILIARIZE THEMSELVES WITH OTHER TRADES IN THE CONTRACT DOCUMENTS SHALL RESULT IN CORRECTING AND/OR PROVIDING THESE SERVICES AT NO ADDITIONAL COST TO THE OWNER.
18. IN CASE OF DIMENSIONAL DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, ARCHITECTURAL DIMENSIONS SHALL GOVERN.
19. ALL DOORS TO BE HINGED 4" FROM AN ADJOINING WALL U.N.O.
20. CONTRACTOR SHALL NOT SCALE THIS OR ANY OTHER DRAWING IN CONTRACT DOCUMENTS. DIMENSIONS SHALL ALWAYS BE USED FOR REFERENCE. CONTACT ARCHITECT FOR ADDITIONAL DIMENSIONAL INFORMATION OR FOR CLARIFICATION CONCERNING ANY DISCREPANCIES.
21. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING FEATURE AND EQUIPMENT LOCATIONS ON-SITE. IN THE EVENT DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
22. CONTRACTOR SHALL LIMIT DISTURBANCE TO EXISTING LANDSCAPING THROUGHOUT CONSTRUCTION.
23. SOUND WRAP ALL SOLINES AND DOWNSPOUTS IN OCCUPIED SPACES.
24. PROVIDE MOISTURE RESISTANT GWB @ ALL WET AREAS.
25. ALL WOOD IN CONTACT WITH, OR EXPOSED TO, SOIL, WEATHER, CONCRETE, OR MASONRY SHALL BE PRESURE TREATED.
26. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AS REQ'D BY LOCAL CODES AND REGULATIONS. COORDINATE LOCATIONS W/ ARCHITECT.
27. FIRESTOP ALL OPENINGS AND PENETRATIONS AROUND PIPES, CONDUITS, AND FLOORS WITH APPROVED NON-COMBUSTIBLE MATERIALS. INSTALLED MATERIAL SHALL PREVENT THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO ASTM E-199 TIME-TEMPERATURE FIRE CONDITIONS.
28. FLASH ALL OPENINGS TO ACCEPTABLE INDUSTRY STANDARDS.
29. AT ALL FIRE-RATED WALLS, PROVIDE LABELS ABOVE CEILING LINES AND IN CONCEALED SPACES AT APPROX. 20' O.C. IN 3" MIN. HIGH RED LETTERS, THE FOLLOWING: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS".
30. EXTEND GYPSUM BOARD ON BOTH SIDES OF WALLS AND PARTITIONS UP TO TOP PLASTER/RUNNER TO PROVIDE FIRE STOP. FIRESTOP ALL PENETRATIONS.
31. PROVIDE SMOKE/TOUGH AND FIRE-RATED CONSTRUCTION AS NOTED ON DRAWINGS.
32. PROVIDE FIRE EXTINGUISHERS (SIZE & NUMBER) AS REQUIRED BY A.H.J. COORDINATE LOCATIONS W/ ARCH. PROVIDE RECESSED CABINETS U.N.O.
33. PROVIDE EXTERIOR GRADE SEALANT ON EXTERIOR AT THE INTERSECTION OF ALL DISSIMILAR MATERIALS. COLOR TO MATCH THE COLOR OF THE PRIMARY ADJACENT SURFACE.
34. PROVIDE ISOLATION COATING BETWEEN ALL DISSIMILAR METALS (I.E. AL TO STL).

CONSTRUCTION DOCUMENTS OF
ANCHOR BUILDING & DESTINATION PARK
ADDRESS: 700 KNOXVILLE, TN 37901
SPA PROJECT # 2346

CHECK SET
NOT FOR CONSTRUCTION

THESE DOCUMENTS ARE MADE WITHOUT A SIGNED STAMP BY PROFESSIONAL

THIS DRAWING SET HAS BEEN ISSUED FOR:
INFORMATION ONLY
PROCEEDING DOCUMENTS
CONSTRUCTION DOCUMENTS
ISSUE DATE: 01/06/2025

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E jhatfield@kcdc.org

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CIVIL AND ENVIRONMENTAL CONSULTANTS
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C MICHAEL NEWTON, P.E.
E mnewton@icthomasson.com

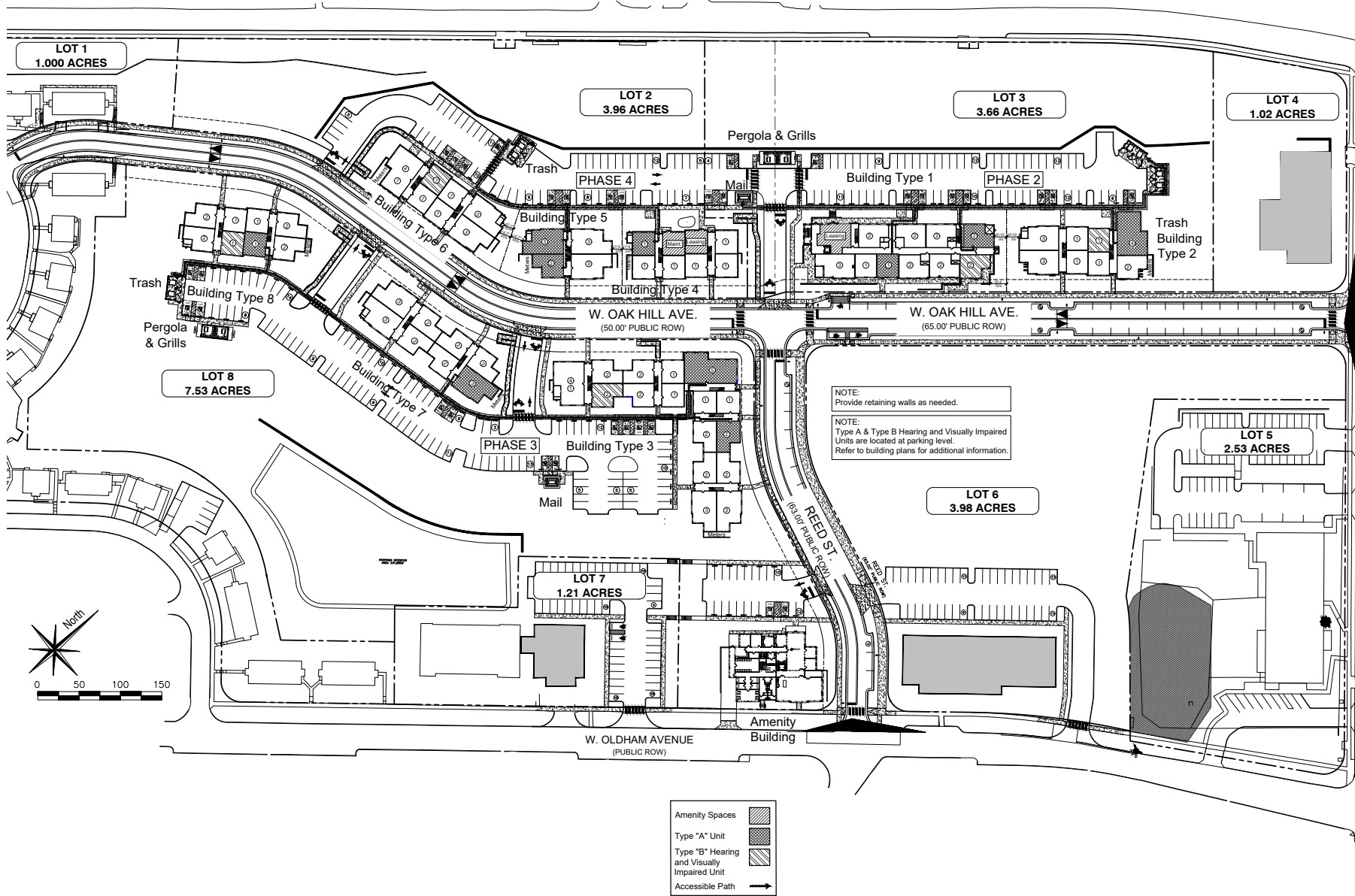
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C STEPHANIE MCKENZIE, P.E.
E smckenzie@icthomasson.com

REVISIONS:
NO. DESCRIPTION DATE

SITE PLAN

A001

© 2025 SANDERS PACE ARCHITECTURE



1 Site Plan
 Scale: 1" = 40'-0"

3-G-25-SU
 Revised: 2/19/2025

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 435 Hickory Avenue Suite 200
 Knoxville, TN 37913
 901.665.9001
 www.shapiroandco.com

CONSULTANT NAME



DEVELOPER NAME

Western Heights
 Knoxville, TN

PROJECT NAME

NO.	DESCRIPTION / REVISIONS	DATE
1	100% Construction Documents / Permit Set	07/15/2024
2	90% Construction Documents / Permit Set	07/30/2024
3	80% Construction Documents / Permit Set	08/14/2024
4	70% Construction Documents / Permit Set	08/28/2024
5	60% Construction Documents / Permit Set	09/11/2024
6		
7		
8		
9		
10		

STAMP:

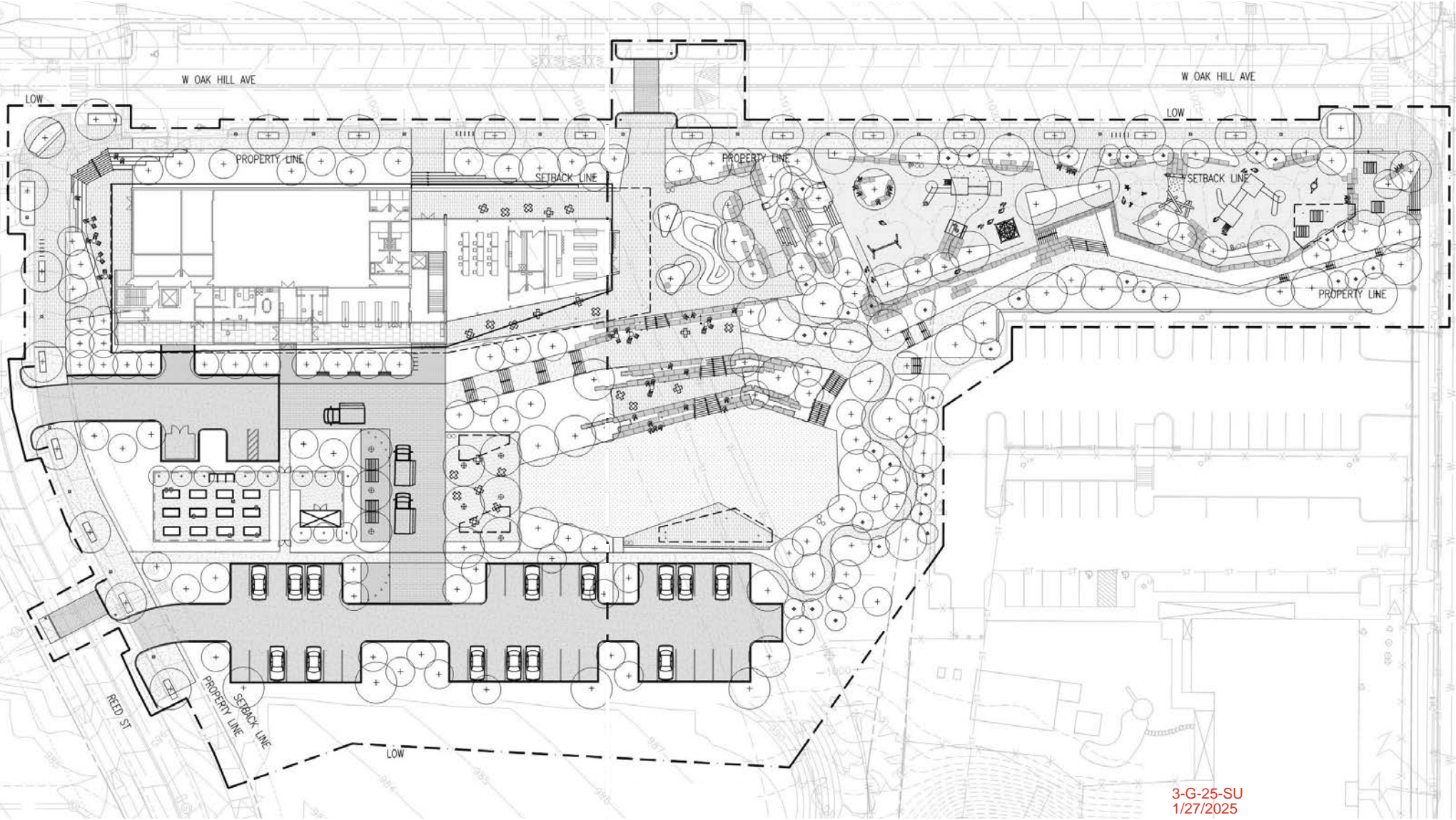


PROJECT NUMBER: 23094
 DATE: 05/29/2024

SHEET TITLE:
 Architectural Site Plan

SHEET NUMBER:
A-100

OVERALL SITE PLAN:
SCHEMATIC DESIGN





Development Request

DEVELOPMENT

- ☐ Development Plan
☐ Planned Development
☒ Use on Review / Special Use
☐ Hillside Protection COA

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ SP ☐ PA
☐ Rezoning

Jim Hatfield

Owner Rep

Applicant Name

Affiliation

1/27/25

March 13, 2025

File Number(s)

Date Filed

Meeting Date (if applicable)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☒ Property Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☐ Architect/Landscape Architect

Jim Hatfield

Knoxville's Community Development Corp (KCDC)

Name

Company

901 N Broadway

Knoxville

TN

37917

Address

City

State

ZIP

865-403-1169

Phone

Email

CURRENT PROPERTY INFO

KCDC

901 N Broadway

865-403-1169

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

0 Reed Street

094BC00405

Property Address

Parcel ID

KUB

KUB

N

Sewer Provider

Water Provider

Septic (Y/N)

COMMUNITY ENGAGEMENT

Sign and return the **Public Notice & Community Engagement** form with this application.

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). **We require applicants to acknowledge their role in this process.**

DEVELOPMENT REQUEST

- ☐ Development Plan ☒ Use on Review / Special Use ☐ Hillside Protection COA
☐ Residential ☐ Non-Residential

Home Occupation (specify) _____

Other (specify) _____

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name _____

Unit / Phase Number ☐ Combine Parcels ☐ Divide Parcel

Total Number of Lots Created _____

☐ Other (specify) _____

☐ Attachments / Additional Requirements

Related Rezoning File Number

ZONING REQUEST

☐ Zoning Change

Proposed Zoning _____

☐ Plan Amendment Change

Proposed Plan Designation(s) _____

Proposed Density (units/acre) _____

Previous Rezoning Requests _____

☐ Other (specify) _____

Pending Plat File Number

STAFF USE ONLY

PLAT TYPE

- ☐ Staff Review ☐ Planning Commission

ATTACHMENTS

- ☐ Property Owners / Option Holders ☐ Variance Request
☐ Amendment Request (*Comprehensive Plan*)

ADDITIONAL REQUIREMENTS

- ☐ Use on Review / Special Use (*Concept Plan*)
☐ Traffic Impact Study
☐ COA Checklist (*Hillside Protection*)

Fee 1

Total

Fee 2

Fee 3

AUTHORIZATION

By signing below, I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent. If there are additional owners or options holders, each additional individual must sign the Property Owners/Option Holders Form.

Applicant Signature

Jim Hatfield, Owner's REp

01.27.25

Print Name / Affiliation

Date

908-578-4257

Phone Number

Email

Property Owner Signature

Please Print

Date Paid

KCDC - Chief Dev Officer.

Public Notice and Community Engagement

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s).

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

March 1, 2025

March 14, 2025

Date to be Posted

Date to be Removed

**Have you engaged the
surrounding property owners
to discuss your request?**

☐ Yes ☒ No

☐ No, but I plan to prior to the
Planning Commission meeting

James Hatfield Digitally signed by James Hatfield
Date: 2025.01.27 11:41:52 -05'00'

James Hatfield

1/27/25

Applicant Signature

Applicant Name

Date

FILE NUMBER