



# SUBDIVISION REPORT - CONCEPT

▶ **FILE #:** 3-SE-26-C **AGENDA ITEM #:** 16  
 POSTPONEMENT(S): 3/5/26 **AGENDA DATE:** 4/9/2026

▶ **SUBDIVISION:** W MARTIN MILL PIKE SUBDIVISION DEVELOPMENT

▶ **APPLICANT/DEVELOPER:** JACOB MESSINA

OWNER(S): Futura Technology Corp

TAX IDENTIFICATION: 123 H F 020 [View map on KGIS](#)  
 JURISDICTION: City Council District 1  
 STREET ADDRESS: 4720 W MARTIN MILL PIKE

▶ **LOCATION:** East side of Martin Mill Pike, south of Hialeah Dr

SECTOR PLAN: South City  
 GROWTH POLICY PLAN: N/A (Within City Limits)  
 FIRE DISTRICT: Knoxville Fire Department  
 WATERSHED: Goose Creek

▶ **APPROXIMATE ACREAGE:** 5.26 acres

▶ **ZONING:** RN-1 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Single family subdivision

SURROUNDING LAND USE AND ZONING: North: Single family residential, multifamily residential - RN-1 (Single-Family Residential Neighborhood), RN-5 (General Residential Neighborhood), HP (Hillside Protection Overlay)  
 South: Rural residential - RN-1 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)  
 East: Agriculture/forestry/vacant land - RN-1 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay), (C) (Former Planned District)  
 West: Single family residential - RN-1 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)

▶ **NUMBER OF LOTS:** 16

SURVEYOR/ENGINEER: Ethan McCutcheon SJ Engineering Consultants, LLC

ACCESSIBILITY: Access is via Gayview Drive, an unstriped local street with a proposed 20 ft of pavement width within a proposed 40-ft right-of-way.

▶ **SUBDIVISION VARIANCES REQUIRED:** None.

### STAFF RECOMMENDATION:

- ▶ **Approve the concept plan for up to 16 lots, subject to 6 conditions.**
- 1) Connecting to sanitary sewer and meeting other relevant utility provider requirements.

- 2) Providing street names consistent with the Uniform Street Naming and Addressing System within Knox County (County Ord. 91-1-102).
- 3) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
- 4) Meeting all applicable requirements of the City of Knoxville Engineering.
- 5) Before recording the final plat for the subdivision, establishing a property owners association or other legal entity responsible for maintaining common facilities, such as common areas, amenities, private roads, and/or stormwater drainage systems.
- 6) Meeting the land disturbance limitations of the HP (Hillside Protection Overlay) zone district and adding the disturbance limitation line on the final plat(s) for the subdivision. Planning staff can review and approve adjustments to the disturbance limitation line provided the overall development does not exceed the maximum allowed land disturbance.

**COMMENTS:**

This proposal is for a 17-lot residential subdivision on this 5.260-acre property. The property is zoned RN-1 (Single-Family Residential Neighborhood) and is in the HP (Hillside Protection Overlay). The RN-1 zone requires a minimum lot size of 10,000 sq ft. The proposed lot sizes range from 10,000 sq ft to 27,930 sq ft and are generally equivalent to lots in the adjacent neighborhoods. The public road, Gayview Dr, will be extended to a dead end with a cul-de-sac turnaround.

The front setback of the single family homes must be within 10 ft of the average of the blockface. The first houses developed on the newly extended road will create a setback range for the other houses developed along that street. The plan shows the minimum 25 ft setback, allowing homes to be built within the 25-35 ft range.

The entirety of the property is within the HP (Hillside Protection Overlay) zone, and there are steep slopes on the property, forested with mature trees. Grading is kept to a concentrated area closer to the streets, preserving slopes around most of the perimeter of the property. The projected disturbance of the site is 3.91 acres, which is in compliance with the permitted disturbance of 3.93 acres according to the slope analysis conducted to enforce the Hillside Protection overlay. There is a condition for the final plat to include the maximum disturbance limitation line. Each lot must be allocated a certain amount of land disturbance to ensure the development complies with the HP overlay standards over time. The HP Overlay functions separately from the Tree Protection Ordinance, which specifies that a minimum of 6 trees per acre must be saved or be replaced at a rate of 8 trees per acre, at least half of which must be species capable of reaching a mature height of 50ft or greater.

ESTIMATED TRAFFIC IMPACT: 187 (average daily vehicle trips)

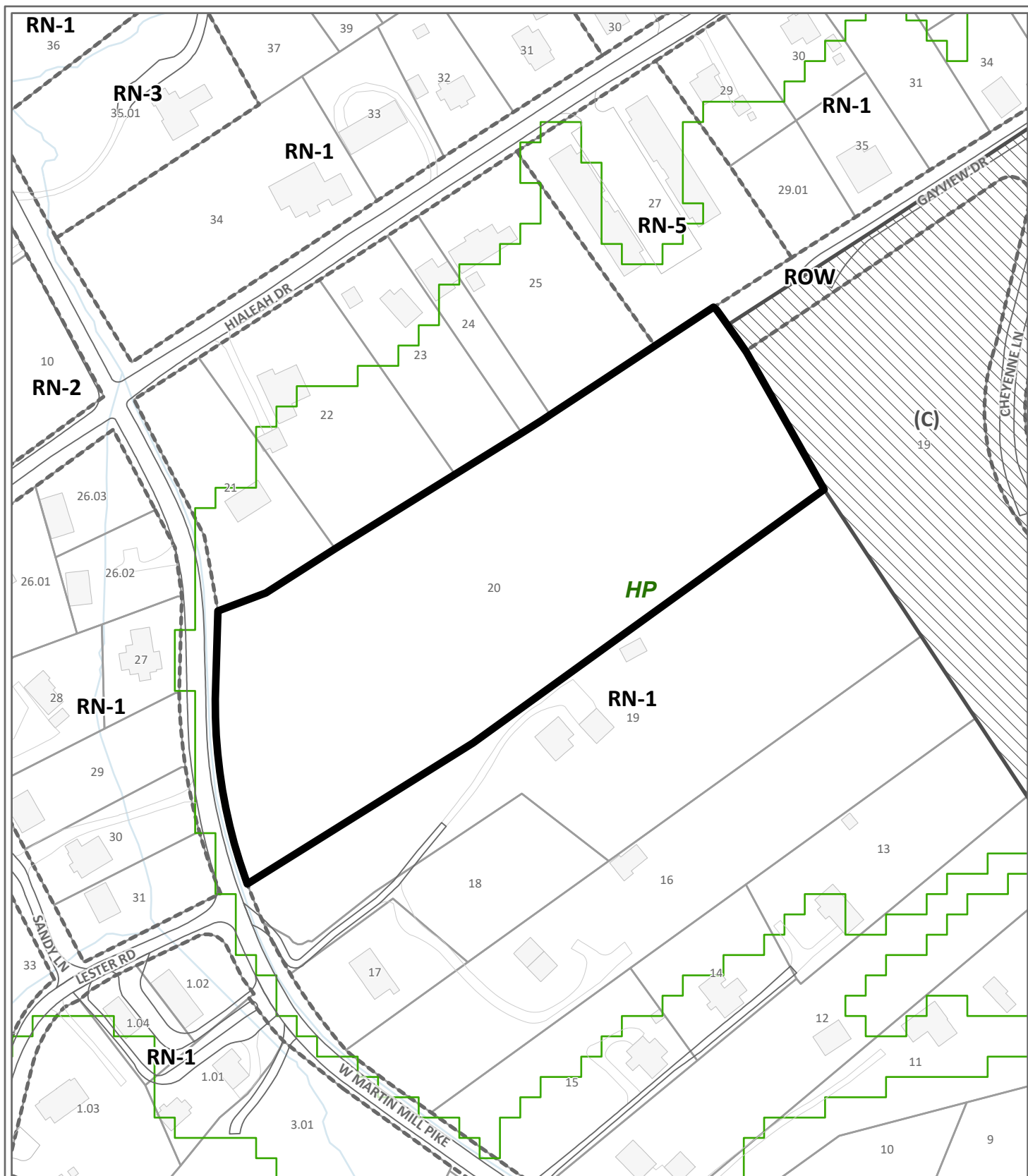
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 3 (public school children, grades K-12)

Schools affected by this proposal: Mooreland Heights Elementary, South Doyle Middle, and South Doyle High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed. For more information on the appeal process, contact Knoxville-Knox County Planning.



**CONCEPT PLAN**

**3-SE-26-C**

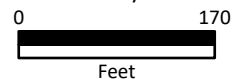
**Petitioner:** Jacob Messina



Single family subdivision in RN-1 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)

**Map No:** 123

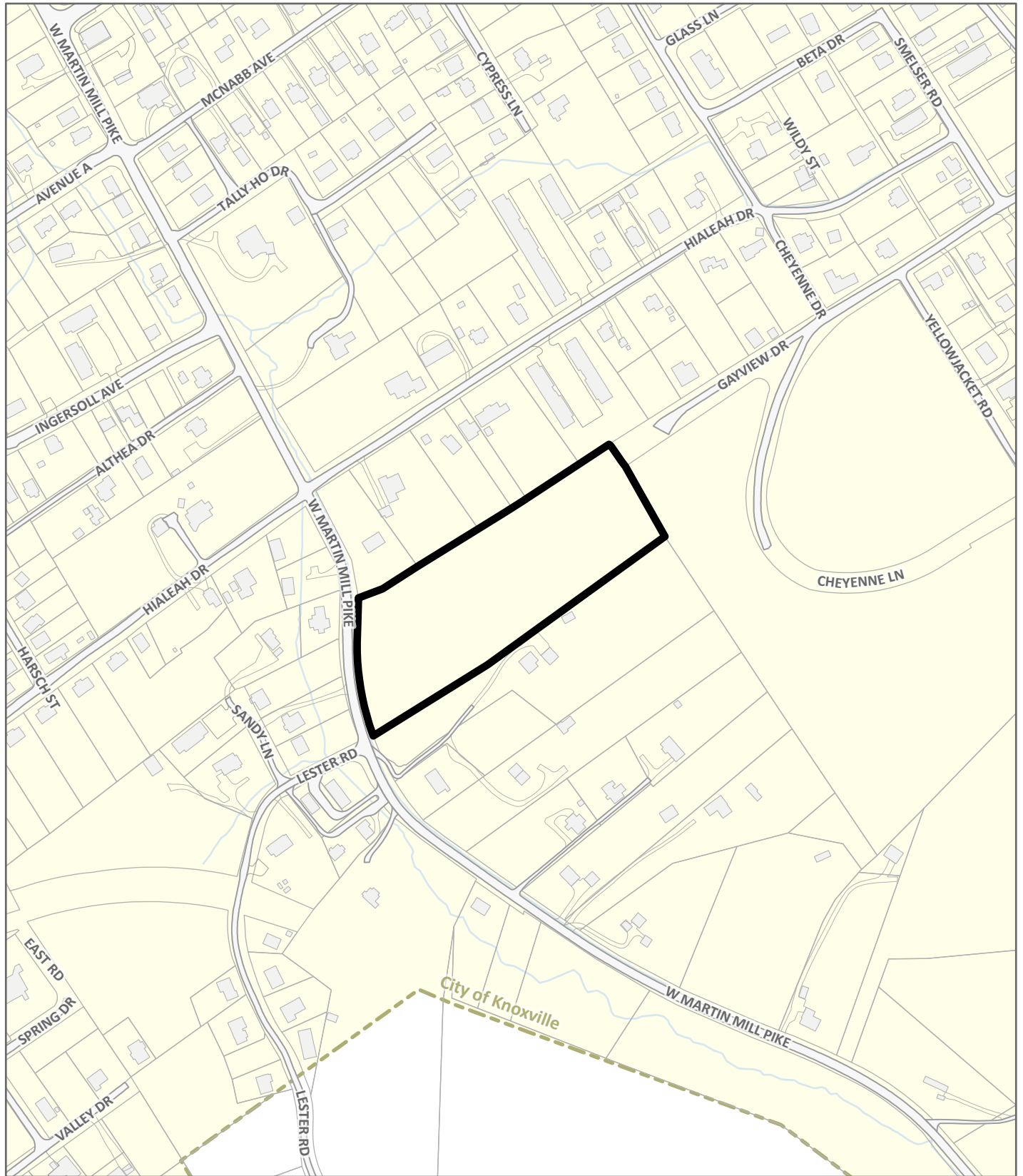
**Jurisdiction:** City



**Original Print Date:** 1/27/2026

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

# Exhibit A. Contextual Images

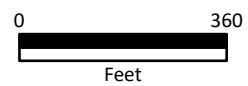


**LOCATION MAP**

**3-SE-26-C**



Case boundary



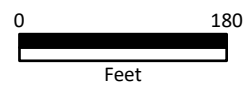
# Exhibit A. Contextual Images



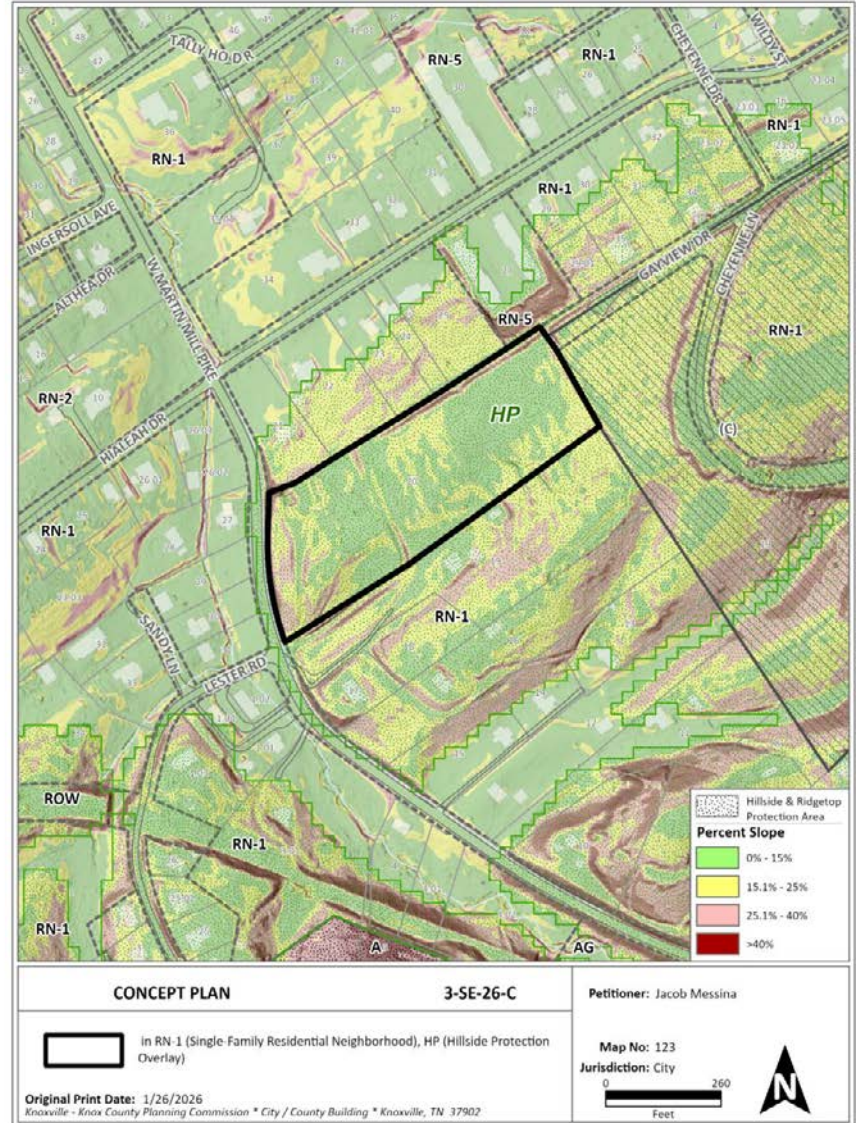
## AERIAL MAP

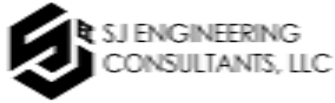


Case boundary



CATEGORY	SQFT	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Sqft)	DISTURBANCE AREA (Acres)
<b>Total Area of Site</b>	<b>227,307.2</b>	<b>5.22</b>			
Non-Hillside	0.0	0.00	N/A		
0-15% Slope	131,761.6	3.02	100%	131,761.6	3.0
15-25% Slope	69,467.6	1.59	50%	34,733.8	0.8
25-40% Slope	18,985.6	0.44	20%	3,797.1	0.1
Greater than 40% Slope	7,092.4	0.16	10%	709.2	0.0
Ridgetops					
<b>Hillside Protection (HP) Area</b>	227,307.2	5.22	Recommended disturbance budget within HP Area	<b>171,001.8</b>	<b>3.9</b>
			Percent of HP Area	<b>75.2%</b>	





INDEX OF DRAWINGS

G-001	COVER PAGE
V-101	EXISTING CONDITIONS
CD101	SITE DEMOLITION AND CLEARING PLAN
C-101	SITE LAYOUT CONCEPT PLAN
C-102	SITE LAYOUT CONCEPT PLAN
C-401	ROAD PROFILE
CG101	SITE GRADING CONCEPT PLAN



KNOXVILLE, TN

# CONCEPT PLAN OF TULIP HILLS SUBDIVISION

TRUeline LAND SURVEYING, LLC  
855 BAYLOR CIRCLE, KNOXVILLE TN  
(865)418-7483



**DEVELOPER:**  
KNOX MOB  
(865)399-2482  
EDUBA@KNOXMOB.COM

**CORRESPONDENCE:**  
TRUeline LAND SURVEYING  
(865)418-7483  
INFO@TRUELINELS.COM

**DESIGNER OF RECORD:**  
ETHAN MCCUTCHEON  
(423)244-8903  
ETHAN.SJGROUP@GMAIL.COM

DATE	03-10-26
REVISION NO.	A
REVISION DESCRIPTION	CONCEPT PLAN TULIP HILLS SUBDIVISION

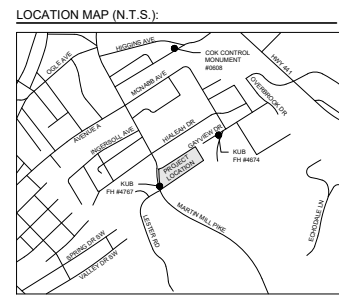
CLIENT:	TRUeline LAND SURVEYING, LLC
ISSUE DATE:	MARCH 2026
DESIGNED BY:	E. MCCUTCHEON
DRAWN BY:	E. MCCUTCHEON
CHECKED BY:	V. EVANS
SUBMITTED BY:	E. MCCUTCHEON
SHEET SIZE:	22X34"

CONCEPT PLAN OF TULIP HILLS SUBDIVISION  
KNOXVILLE, TN  
TRUeline LAND SURVEYING, LLC  
855 BAYLOR CIRCLE  
KNOXVILLE, TN 37892  
CONCEPT COVER SHEET

PROJECT NO.  
24110  
SHEET  
**G-001**

000 - PLANNING CONCEPT REV 1.DWG  
March 25, 2026





- GENERAL NOTES:**
1. RETAIN AND PROTECT ITEMS ALL ITEMS NOT MARKED FOR DEMOLITION.
  2. NECESSARY EROSION CONTROL MEASURES SHALL BE ESTABLISHED PRIOR TO CLEARING AND GRUBBING OPERATIONS. COORDINATE WITH STORM WATER POLLUTION PREVENTION PLAN SHEETS.
  3. CLEARING AND GRUBBING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH TDEC AND LOCAL JURISDICTION SPECIFICATIONS AND REQUIREMENTS.
  4. PROJECT SITE IS WITHIN CITY OF KNOXVILLE HILLSIDE PROTECTION. CONTRACTOR SHALL MAKE EVERY EFFORT TO REDUCE AREA OF DISTURBANCE AND ONLY DISTURB AREAS NEEDED FOR PROPOSED FEATURES.
  5. LIMITS OF DISTURBANCE SHALL BE MARKED WITH HIGH-VISIBILITY FENCING PRIOR TO CONSTRUCTION ACTIVITIES.

- KEYED NOTES:**
1. APPROXIMATE LOCATION OF TREES AND FOLIAGE TO BE CLEARED AND GRUBBED. EROSION CONTROL PLAN FACILITIES TO BE ESTABLISHED PRIOR TO CLEARING OPERATIONS. COORDINATE CLEARING AND GRUBBING OPERATIONS WITH PROPOSED PLANS.
  2. SAW CUT CLEAN LINES IN ACCORDANCE WITH PROPOSED PLANS TO MATCH WIDTH OF PROPOSED ASPHALT AND FOR UTILITY TRENCHING OPERATIONS. DISPOSE ON DEBRIS IN ACCORDANCE WITH CITY OF KNOXVILLE REQUIREMENTS.
  3. SAW CUT CLEAN LINES IN ACCORDANCE WITH PROPOSED PLANS FOR SANITARY SEWER MAIN TRENCHING OPERATIONS. EXISTING 6\"/>

ITEM TO BE REMOVED	QUANTITY
TREE/FOLIAGE CLEARING AND GRUBBING	4.06 ACRE
ASPHALT REMOVAL	1,100 SQFT


\*QUANTITIES OF REQUIRED DEMOLITION ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE PER FIELD CONDITIONS.

HILLSIDE PROTECTION BUDGET	
RECOMMENDED (COK)	QUANTITY
3.93 ACRE	3.91 ACRE
75.2% OF LOT AREA	74.3% OF LOT AREA

\*RECOMMENDED TARGET VALUES PROVIDED BY A CITY OF KNOXVILLE SLOPE ANALYSIS

**DEMOLITION AND CLEARING LEGEND:**

	CLEARING/GRUBBING
	ASPHALT DEMOLITION
	LIMITS OF DEVELOPER DISTURBANCE
	EXISTING CONTOUR
	PROPERTY BOUNDARY



1053 NOD ST. KNOXVILLE TN 37832  
(865)315-8608

DATE	REVISION DESCRIPTION
03-10-26	CONCEPT PLAN TULIP HILLS SUBDIVISION

CLIENT: TRIELINE LAND SURVEYING, LLC  
 ISSUE DATE: MARCH 2026  
 DESIGNED BY: E. MCCUTCHEON  
 DRAWN BY: E. MCCUTCHEON  
 CHECKED BY: V. EVANS  
 SUBMITTED BY: E. MCCUTCHEON  
 SHEET SIZE: 22X34"

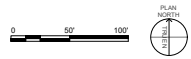
CONCEPT PLAN OF TULIP HILLS SUBDIVISION

KNOXVILLE, TN  
 TRIELINE LAND SURVEYING, LLC  
 805 PATENT AVENUE, SUITE 100  
 KNOXVILLE, TN 37912

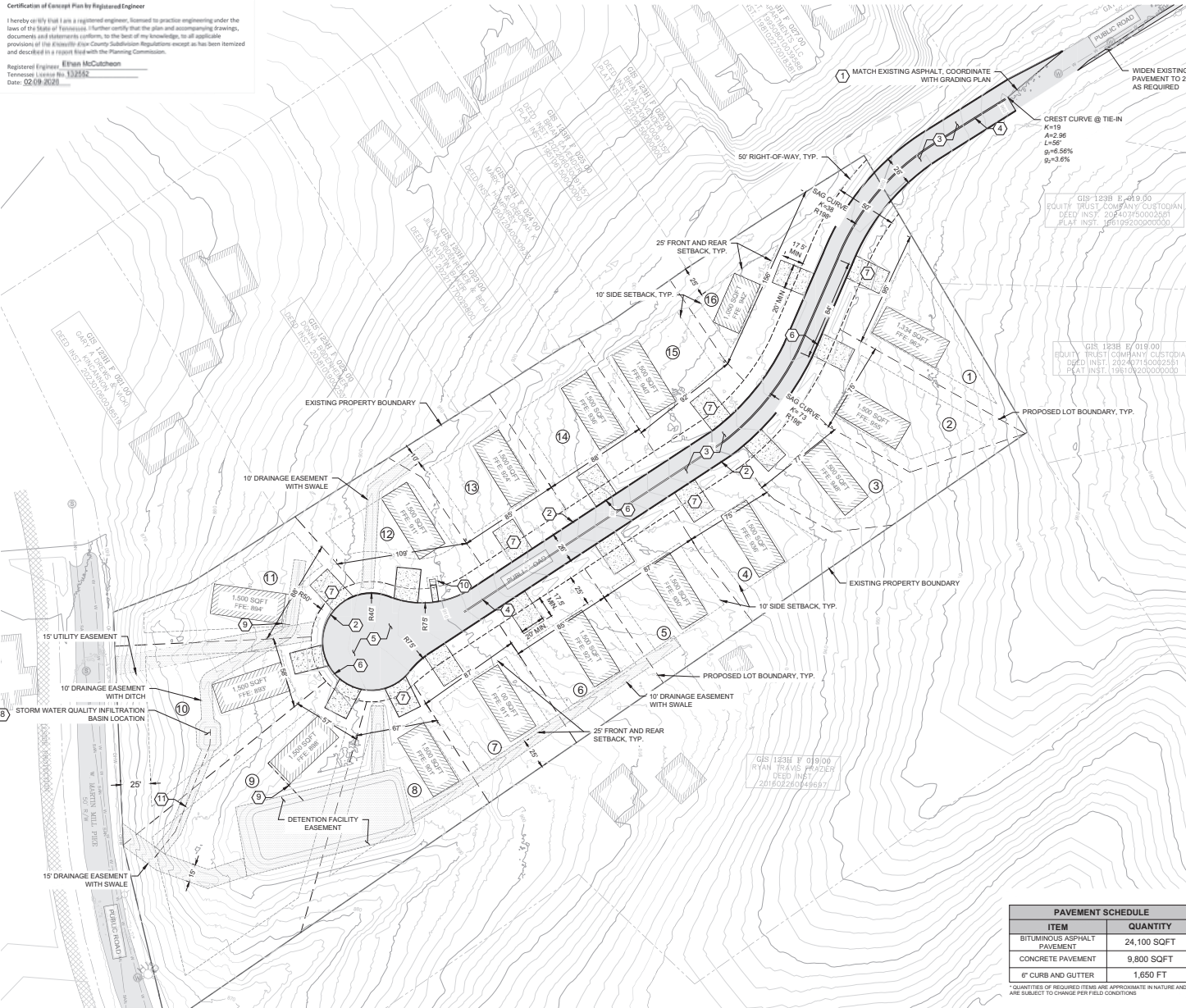
**SITE DEMOLITION AND CLEARING PLAN**

PROJECT NO. <b>24110</b>
SHEET <b>CD101</b>

**2 SITE DEMOLITION AND CLEARING PLAN**  
 SCALE: 1"=50'



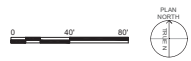
**Certification of Concept Plan by Registered Engineer**  
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to the best of my knowledge to all applicable provisions of the Knoxville Area County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.  
Registered Engineer: **Ethan McCutcheon**  
Tennessee License No. 132252  
Date: 02/09/2025



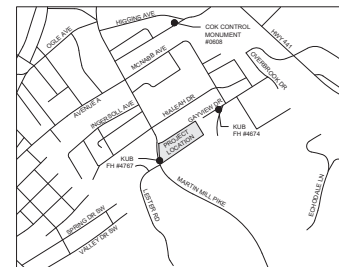
3 SITE LAYOUT CONCEPT PLAN  
SCALE: 1"=40'

PAVEMENT SCHEDULE	
ITEM	QUANTITY
BITUMINOUS ASPHALT PAVEMENT	24,100 SQFT
CONCRETE PAVEMENT	9,800 SQFT
6" CURB AND GUTTER	1,650 FT

QUANTITIES OF REQUIRED ITEMS ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE PER FIELD CONDITIONS



**LOCATION MAP (N.T.S.):**



**GENERAL NOTES:**

1. ALL BITUMINOUS ASPHALT SHALL MEET OR EXCEED TDOT SPECIFICATIONS.
2. ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL MEET OR EXCEED MUTCD STANDARDS.
3. ROADWAY SHALL BE A MINIMUM OF 20'-0" IN WIDTH WITH A MINIMUM PUBLIC R.O.W. WIDTH OF 47' PER CITY OF KNOXVILLE REQUIREMENTS.
4. SUBDIVIDED LOTS SHALL HAVE 25' FRONT AND REAR SETBACKS ALONG WITH 10' SIDE SETBACKS, TYP.
5. TOTAL NUMBER OF PROPOSED LOTS IS 17 AT APPROXIMATELY 0.23 ACRES PER LOT (SEE TABLE FOR SPECIFIC AREAS).

**KEYED NOTES:**

1. GRADE SHALL MATCH EXISTING ASPHALT FOR A SMOOTH TRANSITION. SEE SITE GRADING PLAN SHEETS FOR PAVEMENT AND GRADING DETAILS.
2. 6" CONCRETE CURB AND GUTTER. SEE DETAIL J1C-S01.
3. STANDARD DUTY ASPHALT SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF KNOXVILLE STANDARDS AND REQUIREMENTS. ASPHALT SHALL MAINTAIN MINIMUM WIDTH OF 25' FOR A TOTAL DRIVABLE WIDTH OF 26' WITH 6" CURB/GUTTER. ASPHALT SHALL NOT SURPASS 12% IN SLOPE AT ANY GIVEN POINT.
4. DOUBLE YELLOW PAVEMENT STRIPING TO BE CENTERED ON ASPHALT PAVEMENT. PAVEMENT MARKING SHALL BE MUTCD COMPLIANT.
5. CUL-DE-SAC BUBBLES SHALL HAVE A MAXIMUM SLOPE OF 10% WITH A MAXIMUM CROSS-SLOPE OF 3% (MIN. 1%) PER CITY OF KNOXVILLE REQUIREMENTS.
6. CONCRETE VALLEY GUTTERS SHALL BE INSTALLED AT DRIVEWAY ENTRANCES. SEE DETAIL R0C-S01.
7. STANDARD DUTY CONCRETE PAVEMENT. CONTRACTOR SHALL INSTALL EXPANSION JOINTS PER BEST PRACTICE. SEE DETAIL A1C-S01. CONCRETE DRIVEWAYS SHALL NOT EXCEED 15% IN SLOPE AND 5% IN CROSS-SLOPE. MAINTAIN MINIMUM CROSS-SLOPE OF 1% FOR POSITIVE DRAINAGE. COORDINATE WITH GRADING PLAN SHEETS.
8. APPROXIMATE LOCATION FOR MICRO-BIO FACILITY WITH PERFORATED UNDER DRAIN FOR TREATMENT OF IMPERVIOUS SURFACES NOT CAPTURED BY DETENTION FACILITY. MICRO-BIOS SHALL BE SIZED PER CITY OF KNOXVILLE FIRST FLUSH REQUIREMENT. QUALITY FACILITY SHALL BE STAGGERED BETWEEN TWO BUILDABLE LOTS WITH A MAINTENANCE EASEMENT UNLESS SERVICING ONLY ONE LOT.
9. PVC STORM DRAIN LINE TO COLLECT 100% OF ALL IMPERVIOUS SURFACE RUNOFF FROM LOT DRIVEWAYS AND ROOFS. DRAIN WILL OUTFALL INTO NEAREST TREATMENT FACILITY.
10. MAILING STATION WITH DEDICATED EASEMENT AND 5' SIDEWALK.
11. STORM WATER QUALITY TREATMENT FACILITY OUTFALL PIPE WITH 10' DRAINAGE EASEMENT. DRAIN LINE SHALL DAYLIGHT INTO PROPOSED SWALE.

LOT AREAS	
LOT #	AREA (SQFT)
1	10,000
2	10,400
3	10,267
4	10,000
5	10,000
6	10,000
7	10,280
8	14,300
9	25,500
10	17,300
11	11,400
12	10,000
13	10,000
14	10,000
15	10,000
16	10,000

**LEGEND:**

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- RESIDENTIAL STRUCTURE
- 6" CURB AND GUTTER
- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- STRUCTURE SETBACK BOUNDARY
- PUBLIC RIGHT OF WAY
- LIMITS OF DEVELOPER DISTURBANCE
- UTILITY/STORM WATER EASEMENT

**SJ ENGINEERING CONSULTANTS, LLC**  
1053 NOD ST. KNOXVILLE TN 37932  
(865)315-8608

DATE	REVISION DESCRIPTION
03-10-25 <td>CONCEPT PLAN TULIP HILLS SUBDIVISION</td>	CONCEPT PLAN TULIP HILLS SUBDIVISION

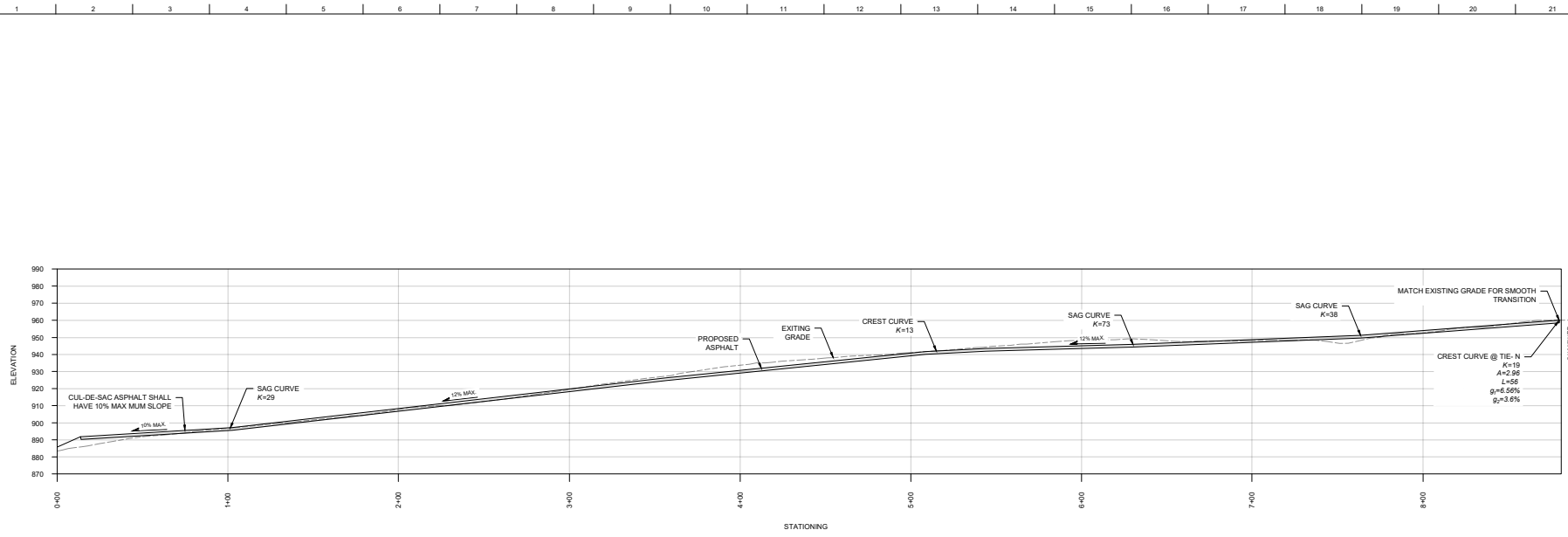
CLIENT: TRUELINE LAND SURVEYING, LLC  
ISSUE DATE: MARCH 2025  
DESIGNED BY: E. MCCUTCHEON  
DRAWN BY: E. MCCUTCHEON  
CHECKED BY: V. EVANS  
SUBMITTED BY: E. MCCUTCHEON  
SHEET SIZE: 22X34"

CONCEPT PLAN OF TULIP HILLS SUBDIVISION  
KNOXVILLE TN  
TRUELINE LAND SURVEYING, LLC  
605 BAYVIEW DRIVE, SUITE 7400  
KNOXVILLE, TN 37912-7400

PROJECT NO. 24110  
SHEET C-101



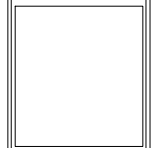
000 - PLANNING CONCEPT REV I.DWG  
 March 25, 2016



**D ROAD PROFILE**  
 1"=30'  
 0 30 60



REVISION NO.	REVISION DESCRIPTION	DATE
A	CONCEPT PLAN TULIP HILLS SUBDIVISION	03-10-26



CLIENT: TRIELINE LAND SURVEYING, LLC  
 ISSUE DATE: MARCH 2016  
 DESIGNED BY: E. MCCUTCHEON  
 DRAWN BY: E. MCCUTCHEON  
 CHECKED BY: V. EVANS  
 SUBMITTED BY: E. MCCUTCHEON  
 SHEET SIZE: 22"x34"

CONCEPT PLAN OF TULIP HILLS SUBDIVISION  
 KNOXVILLE, TN  
 TRIELINE LAND SURVEYING, LLC  
 805 PATTON ROAD  
 KNOXVILLE, TN 37912

**ROAD PROFILE**

PROJECT NO.  
**24110**

SHEET  
**C-401**



# Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

## Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

**Planning staff will post the required sign.** If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

### Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

### Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

### Acknowledgement

*By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.*

02/20/2026

Date to be Posted

03/06/2026

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes  No

No, but I plan to prior to the Planning Commission meeting

*Jacob Messina*  
Applicant Signature

Jacob Messina  
Applicant Name

1/16/2026

Date