



# DEVELOPMENT PLAN REPORT

▶ **FILE #:** 4-B-26-DP

**AGENDA ITEM #:** 50

**AGENDA DATE:** 4/9/2026

▶ **APPLICANT:** BREANNA WILLIAMS

OWNER(S): Faith Promise Church

TAX ID NUMBER: 89 22301

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10740 FAITH PROMISE LN

▶ **LOCATION:** East side of Pellissippi Parkway, south side of Horseshoe Bend Ln

▶ **APPX. SIZE OF TRACT:** 60.6 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Pellissippi Parkway, a four-lane expressway within a right-of-way which varies between 288 ft and 415 ft. Access is also available via Horseshoe Bend Lane, a local street with a 45-ft pavement width within a 50-ft right-of-way, and Faith Promise Lane, a local street with a 35-ft pavement width within a 50-ft right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

FIRE DISTRICT: Karns Fire Department

WATERSHED: Beaver Creek

▶ **ZONING:** BP (Business and Technology Park), TO (Technology Overlay), F (Floodway)

PLACE TYPE: CI (Civic and Institutional), SP (Stream Protection), HP (Hillside Ridgetop Protection)

▶ **EXISTING LAND USE:** Public/Quasi Public Land (Church Campus)

▶ **PROPOSED USE:** Child Care Center Expansion

HISTORY OF ZONING: This property was part of a larger rezoning to SP (Scientific Production) in 1983 (12-V-83-RZ). The SP zone was later changed to the BP (Business and Technology Park) zone with the TO (Technology Overlay).

SURROUNDING LAND USE AND ZONING: North: Agriculture/forestry/vacant land, office - BP (Business and Technology Park), OB (Office, Medical, and Related Services), TO (Technology Overlay)

South: Single family residential, public/quasi-public land (school), agriculture/forestry/vacant land, rural residential - PR(k) (Planned Residential) with conditions up to 3.5 du/ac, BP (Business and Technology Park), TO (Technology Overlay)

East: Agriculture/forestry/vacant land, water (Beaver Creek) - A (Agricultural), F (Floodway)

West: Pellissippi Parkway Right-of-way

NEIGHBORHOOD CONTEXT: The subject property is situated between the Horseshoe Bend Business Park to the north and Mill Creek Elementary School and the Coward Mill single-family subdivision to the south. Pellissippi Parkway and a densely wooded right-of-way are to the west, and Beaver Creek runs along the eastern property line.

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**STAFF RECOMMENDATION:**

► **Approve the development plan for a new child care center building in the BP (Business and Technology Park) zone as depicted on the site plan, subject to 4 conditions.**

- 1) Meeting all other applicable requirements of the Knox County Zoning Ordinance.
- 2) Meeting all requirements of the Knox County Department of Engineering and Public Works.
- 3) Installing all required landscaping as shown on the landscape plan within 6 months of obtaining a certificate of occupancy.
- 4) Obtaining a Technology Overlay Certificate of Appropriateness from Planning staff for any proposed signage.

With the noted conditions, this plan meets the requirements for approval in the BP zone and the criteria for approval of a development plan.

**COMMENTS:**

This proposal is for a new child care center building with an approximate gross floor area of 24,000 sq ft on an existing 60.96-acre church campus located on the north side of Pellissippi Parkway. The new structure will be located on the east side of the campus in the grassy area abutting the existing child care building and children's playground.

The landscape plan proposes removing existing vegetation on the north and east sides of the grassy area, which will be replaced with a mix of evergreen and non-evergreen shrubs and trees of varying sizes. New landscaping will be added along the south side of the building between the existing playground and the façade. A sidewalk will be installed leading from the parking lot to the front lobby entrance and around the east side of the building.

The child care center requires 48 parking spaces. The plan proposes utilizing the existing parking on the church campus, which has been approved for 1,247 spaces (6-I-11-UR/6-C-11-TOB). Twenty parking spaces located across from the proposed building, just south of the playground, would be designated as off-street loading spaces for the children. The parking provided meets the minimum required for the multi-use church campus under the zoning ordinance.

**DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL).**

In exercise of its administrative judgement, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

**1) ZONING ORDINANCE**

BP (Business and Technology Park), TO (Technology Overlay)

A. The BP zoning district is intended to provide for a wide range of land uses which are generally categorized in business, industrial, and/or office classifications of use, whether in the public or private sectors. The permitted land uses are intended to include those businesses which require building spaces characterized by offices, research and development, manufacturing, and/or a combination of such uses. The proposed development supports the intent of the BP zone.

B. The intended and desired effect of the BP zone's site regulations is to create an attractive park-like setting for the businesses which are located within the park. The proposed building will be landscaped with a mix of trees, shrubs, and evergreens of varying sizes that complement the campus's existing landscaping.

C. The administrative procedures for the BP zone require the Planning Commission to approve the development plan before a building or structure can be erected or altered (Article 5, Section 5.50.12).

D. All development in the TO zone must adhere to the TTCDA Design Guidelines, which regulate landscaping, building, and site design. A COA was approved on 04-01-2026 (2-B-26-TOB).

**2) KNOX COUNTY COMPREHENSIVE PLAN – FUTURE LAND USE MAP**

A. The subject property has the CI (Civic and Institutional) place type on the Future Land Use Map, which is intended for areas used for existing or future schools, government sites, hospitals, college campuses, and large semi-public facilities.

B. Development in the CI place type is often unique to each area but generally features buildings of 1 to 5 stories with varying setbacks and parking that is typically large surface lots that are clustered to serve many buildings/uses. The proposed development plan aligns with the intent of the CI place type.

3) KNOX COUNTY COMPREHENSIVE PLAN – IMPLEMENTATION POLICIES

A. The proposed development plan is consistent with Implementation Policy 3, to encourage infill development of underutilized commercial land. The proposed development would be a minor expansion of an existing child care center on an established church campus.

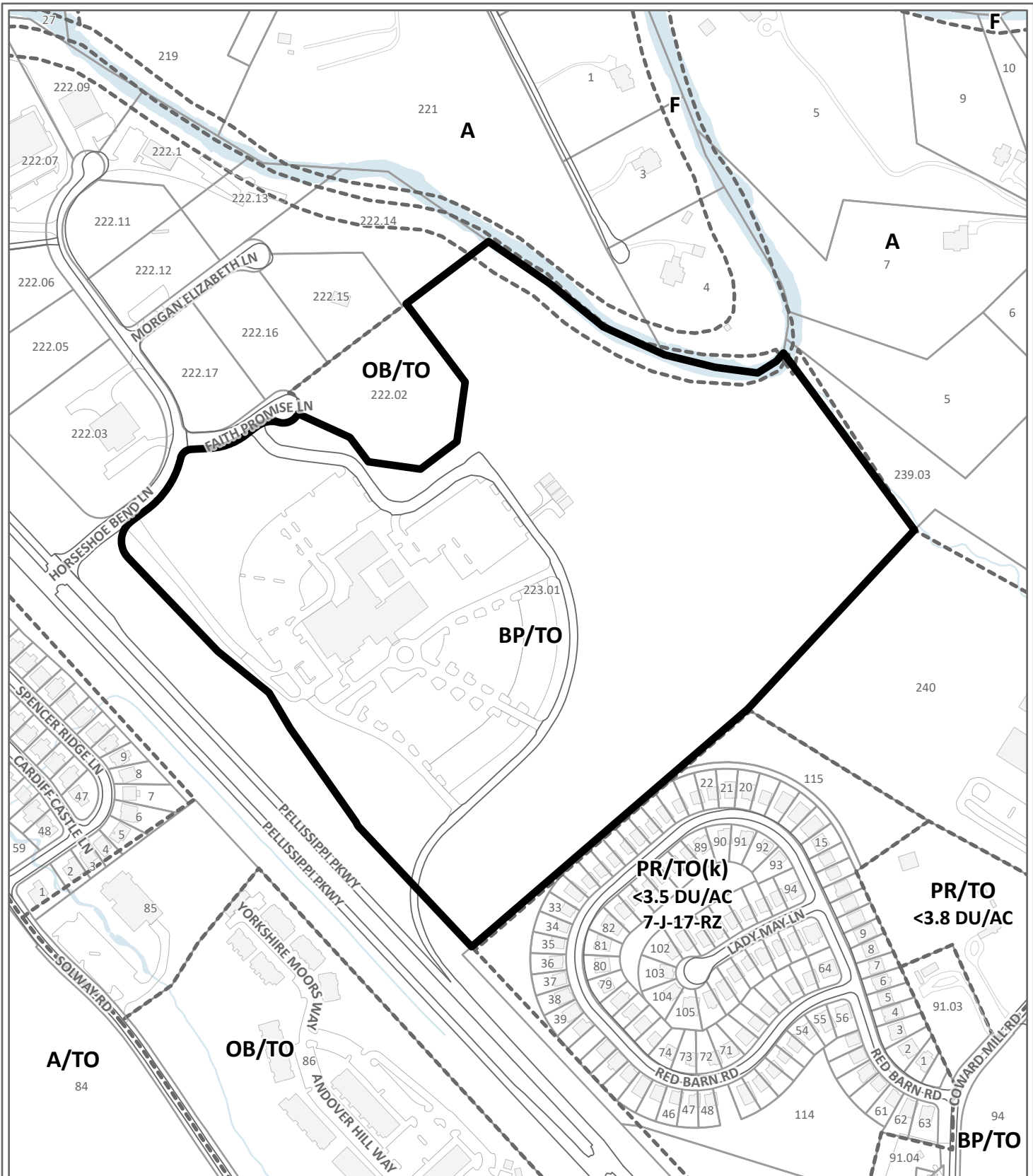
4) KNOXVILLE – FARRAGUT – KNOX COUNTY GROWTH POLICY PLAN

A. The property is within the Planned Growth Area of the Growth Policy Plan. The purpose of the Planned Growth Area is to encourage a reasonably compact pattern of development and promote the expansion of the Knoxville-Knox County economy. The development plan aligns with these goals.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed. For more information on the appeal process, contact Knoxville-Knox County Planning.



**DEVELOPMENT PLAN**

**4-B-26-DP**

**Petitioner:** Breanna Williams



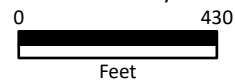
Child Care Center in BP (Business and Technology Park), TO (Technology Overlay), F (Floodway)

**Original Print Date:** 3/9/2026

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

**Map No:** 89

**Jurisdiction:** County



# Exhibit A. Contextual Images

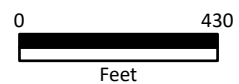


**AERIAL MAP**

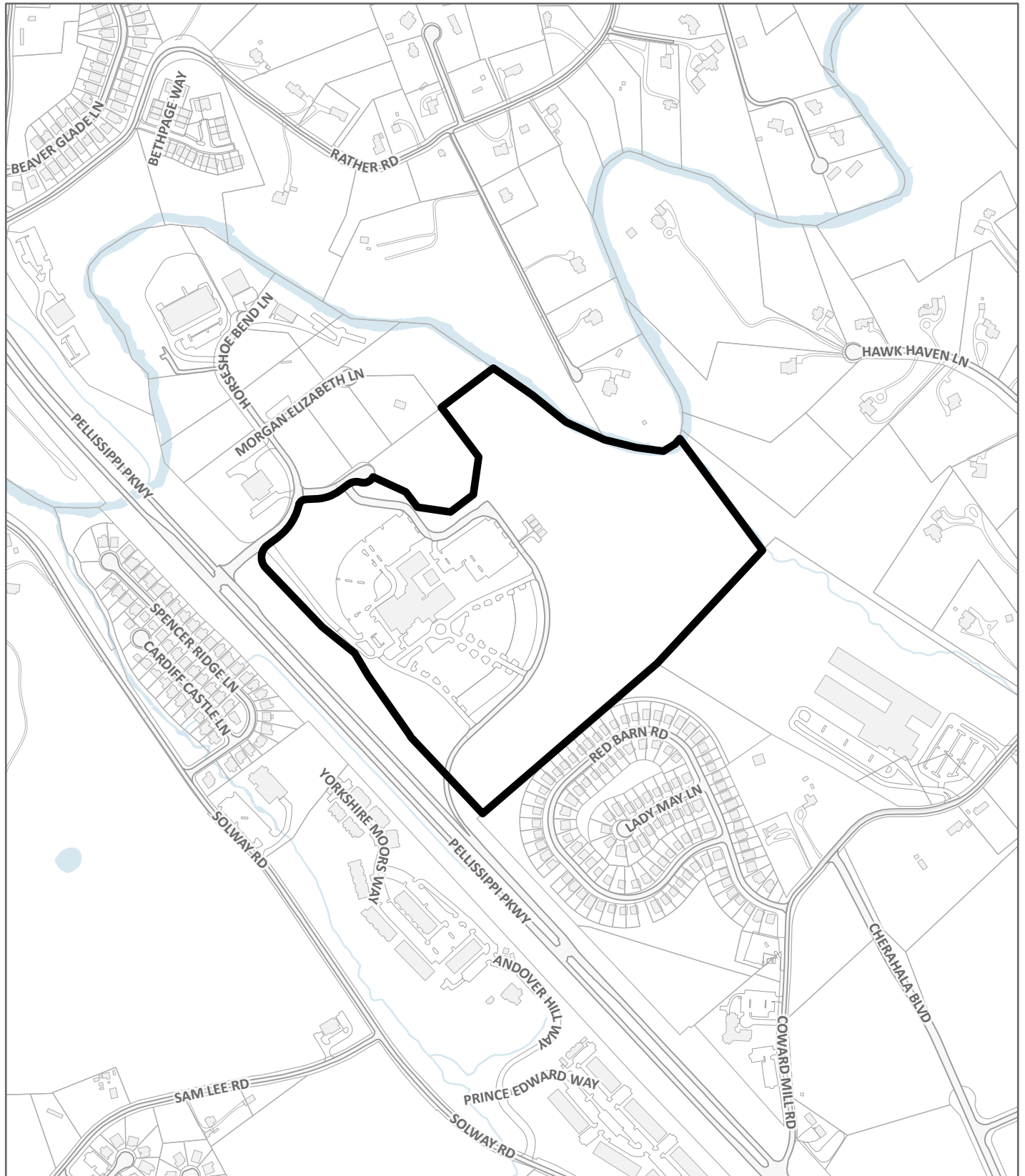
**2-B-26-TOB**



Case boundary



# Exhibit A. Contextual Images



**LOCATION MAP**

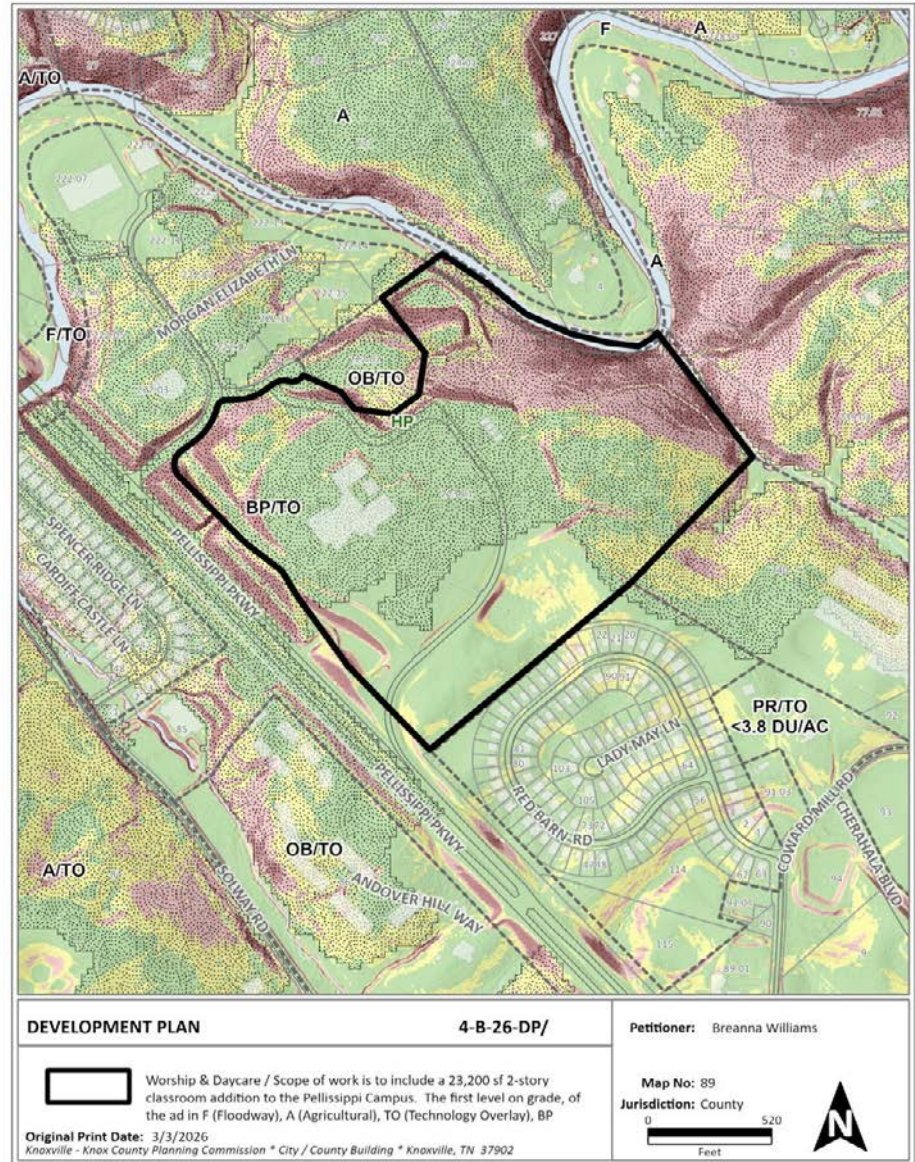
**4-B-26-DP**



Case boundary



CATEGORY	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Acres)
<b>Total Area of Site</b>	<b>60.60</b>		
Non-Hillside	14.54	N/A	
0-15% Slope	26.32	100%	26.32
15-25% Slope	5.80	50%	2.90
25-40% Slope	7.96	20%	1.59
Greater than 40% Slope	5.98	10%	0.60
Ridgetops			
<b>Hillside Protection (HP) Area</b>	46.06	Recommended disturbance budget within HP Area (acres)	<b>31.41</b>
		Percent of HP Area	<b>68.2%</b>



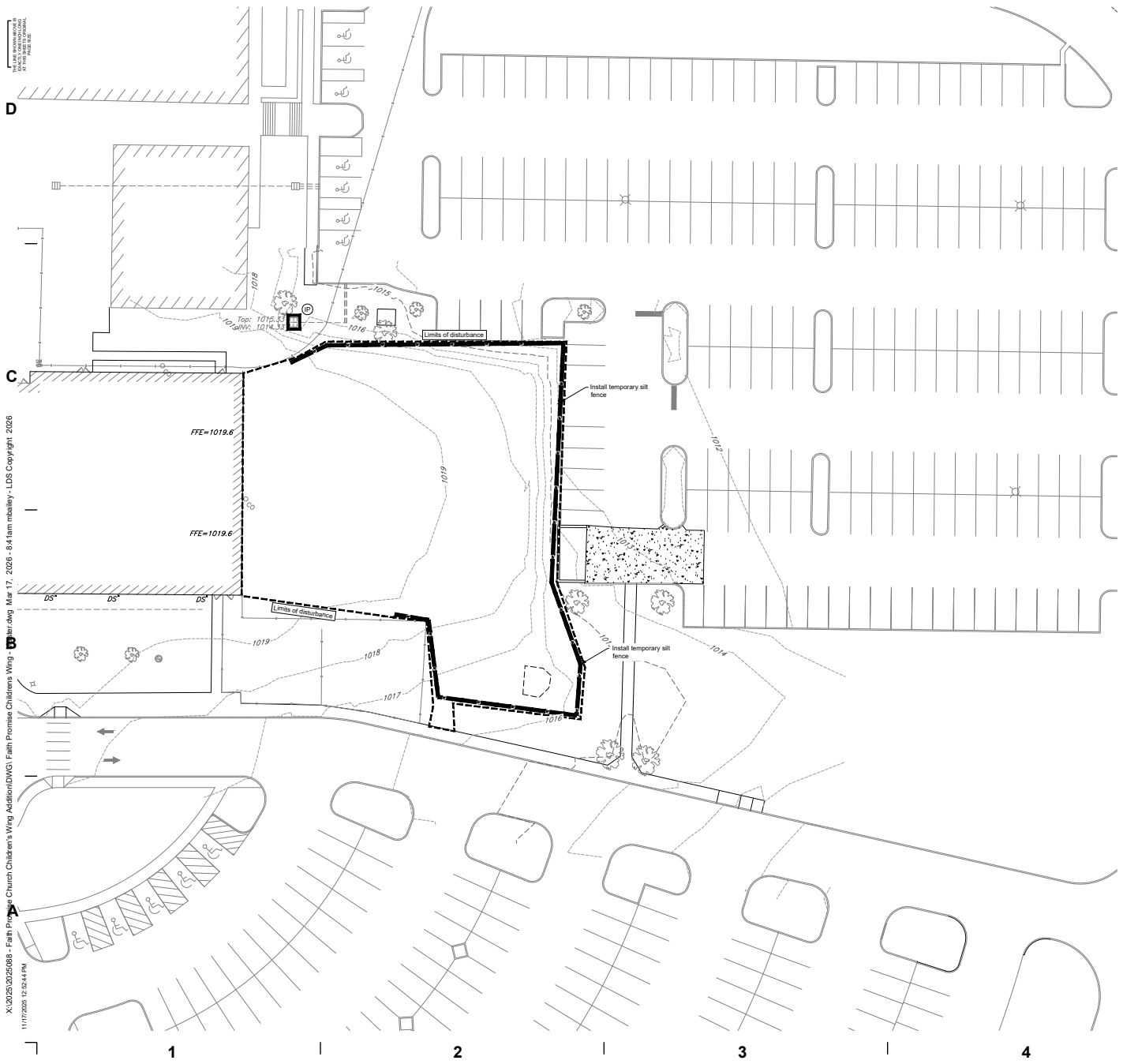








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- ### Erosion Control Notes
- Total disturbed area = 0.42 acres ±.
  - The contractor shall maintain all temporary erosion control devices indicated on the drawings and as required during construction operations to comply with Knox County and State of Tennessee Erosion Control Ordinances.
  - Contractor shall maintain construction entrances to prevent dirt and mud from tracking onto street. Pavement shall be inspected daily and any dirt, mud and/or loose stone shall be cleaned off immediately.
  - Contractor shall remove and dispose of all temporary erosion control devices after establishment of permanent vegetation.
  - Erosion control devices shall be monitored during and after rainfall with any modifications and/or repair made as soon as conditions permit.
  - Construct sediment trap at start of earthwork and direct runoff from construction activities to the trap.
  - Storm Water Pollution Prevention Plan (SWPPP) shall be followed at all times. Any deviations from the SWPPP or the drawings shall be coordinated with Knox County Stormwater Division and the owner.

**ARCHITECT:**  
 STUDIO FOUR DESIGN  
 A MICHAEL GRUBBS COMPANY  
 18 Emory Place, Suite 100  
 Knoxville, TN 37917  
 T 865.523.5261  
 STUDIOFOURDESIGN.COM

**CIVIL ENGINEER**  
 LAND DEVELOPMENT SOLUTIONS  
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**STRUCTURAL ENGINEER**  
 ELAM STRUCTURAL ENGINEERING, LLC  
 P.O. BOX 30192  
 38001 RP, TN 37897

**MEP ENGINEER**  
 PROFICIENT ENGINEERING  
 4112 SUTHERLAND AVENUE  
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 (605) 499-2150



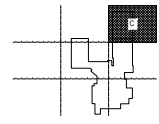
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**CHILDREN'S WING  
 ADDITION AT  
 FAITH PROMISE CHURCH**  
 10740 FAITH PROMISE LANE  
 KNOXVILLE, TENNESSEE 37931

PROJECT: 25055

DATE	DESCRIPTION



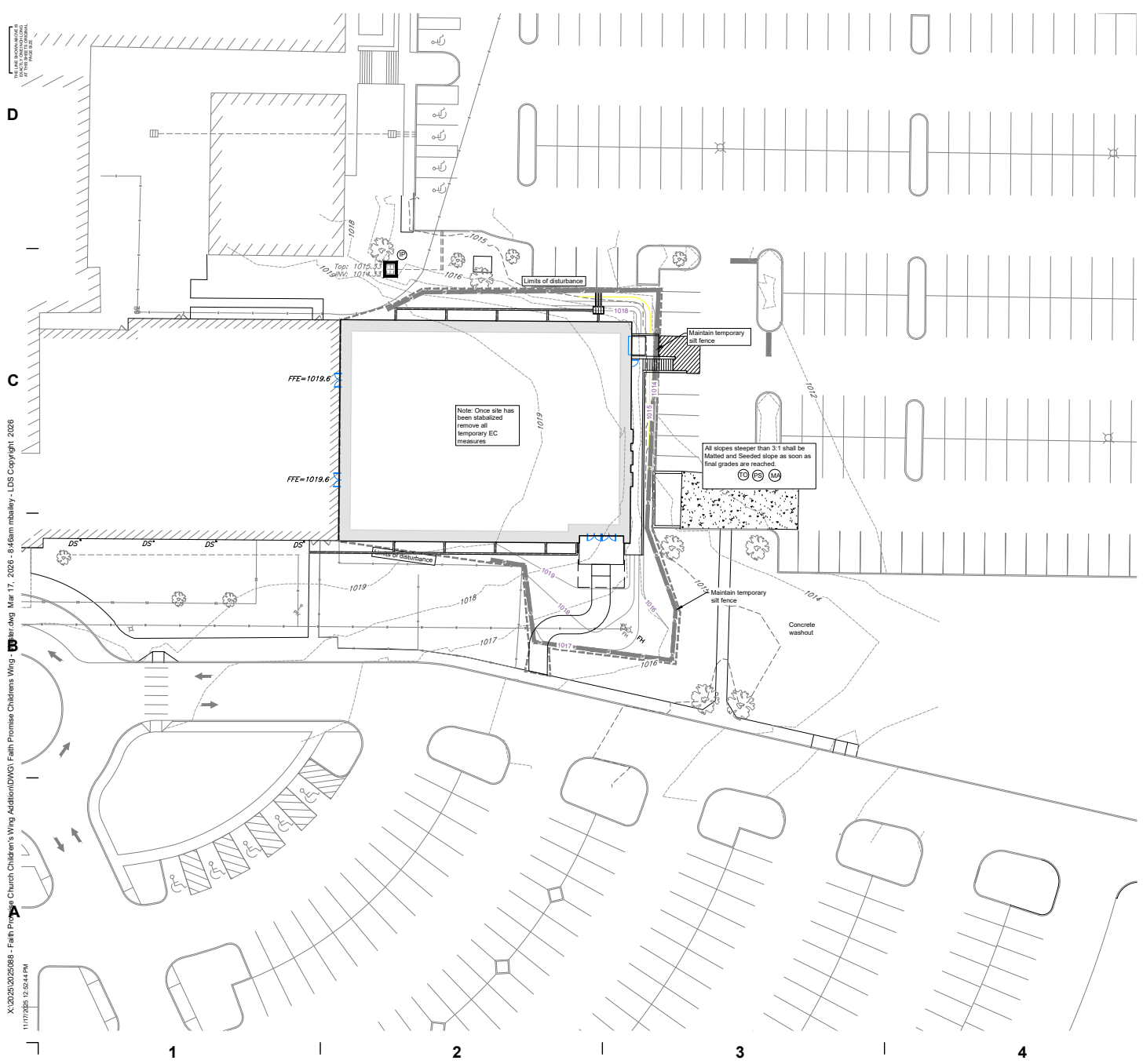
SHEET NAME:  
 Initial EPSC

ORIG SUBMISSION: 1/29/26  
 CURRENT: 3/12/2026

SHEET:  
C301

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ARCHITECT:  
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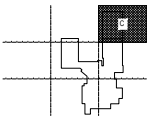


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2

**CHILDREN'S WING  
ADDITION AT  
FAITH PROMISE CHURCH**  
10740 FAITH PROMISE LANE  
KNOXVILLE, TENNESSEE 37931

PROJECT: 25055

NO.	DATE	DESCRIPTION



SHEET NAME:  
Final EPSC

ORIG SUBMISSION: 1/29/26  
CURRENT: 3/12/2026

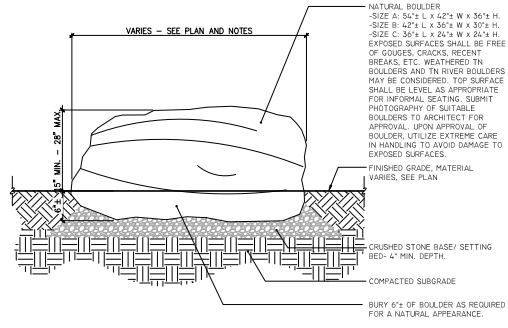
SHEET:  
**C302**







QUANTITY	SYMBOL	COMMON NAME (1 denotes evergreen species)	BOTANICAL NAME	ROOTS	MIN. SIZE @ INSTALLATION	REMARKS	NATURE SIZE (HT. x WIDTH) +/- spreading
<b>SHADE TREES</b>							
2	ABD	October Glory Red Maple	<i>Acer rubrum</i> 'October Glory'	B&B	2" Cal.	Specimen	45' x 30'
3	AFB	Asian Loblolly Elm	<i>Ulmus parviflorus</i> 'Emerald Alice'	B&B	2" Cal.	Specimen	55' x 35'
<b>ORNAMENTAL TREES</b>							
3	ACA	Appalachian Spring Dogwood	<i>Cornus Florida</i> 'Appalachian Spring'	B&B	0" @ 18" Ht.	Matched Specimen	18" x 18"
3	MVA	Mingyou Sweetbay Magnolia (STO)	<i>Magnolia virginiana</i> 'Jim Wilson'	B&B	2" Cal.	Matched Specimen, Standard (Single Trunk)	50' x 15'
<b>EVERGREEN TREES</b>							
3	CH	Heister Juniper*	<i>Juniperus chinensis</i> 'Heister Columnaris'	B&B	2" Cal.	Full to Ground @ 3' O.C.	13.5' x 4.5'
12	TCF	Emerald Green Arborvitae*	<i>Thuja occidentalis</i> 'Emerald Green'	Cont.	48" Ht.	Full to Ground @ 18" O.C.	12' x 15'
<b>SHRUBS</b>							
28	AGR	Rose Creek Abelia*	<i>Abelia grandiflora</i> 'Rose Creek'	Cont.	3 Gal.	Full Plants @ 48" O.C.	48" x 60"
5	CSJ	October Magic Camellia*	<i>Camellia sasanqua</i> 'October Magic'	Cont.	3 Gal.	Full Plants @ 48" O.C.	48" x 60"
12	VH	Henry's Garnet Sweetgum	<i>Liquidambar styraciflua</i> 'Henry's Garnet'	Cont.	3 Gal.	Full Plants @ 48" O.C.	60" x 60"
13	JPS	Sea Green Juniper*	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Cont.	3 Gal.	Full Plants @ 30" O.C.	30" x 36"
65	NDP	Irish Drift Rose	<i>Rosa hybrid</i> 'Mingau'	Cont.	3 Gal.	Full Plants @ 30" O.C.	48" x 40"
<b>GROUND COVERS &amp; PERENNIALS</b>							
78	ASB	The River Iris*	<i>Iris sibirica</i> 'Big Blue'	Cont.	1 Gal.	Full Plants @ 18" O.C.	30" x 38"
10	KCA	PNK Milky Grass	<i>Muhlenbergia capillaris</i>	Cont.	1 Gal.	Full Plants @ 36" O.C.	30" x 30"
12	PWH	Heavy Metal Switchgrass	<i>Panicum virgatum</i> 'Heavy Metal'	Cont.	3 Gal.	Full Plants @ 36" O.C., see plan	34" x 24"
24	PAH	Hamamelis Pencilcane	<i>Penstemon alpinus</i> 'Pencilcane'	Cont.	1 Gal.	Full Plants @ 30" O.C.	30" x 30"
<b>WALLS</b>							
1225		Redwood Lvs. - Escoba Wood		Soil	1/2"	See Notes and Specifications	



LANDSCAPE BOULDER EXAMPLES THE ARCHITECT AND LANDSCAPE ARCHITECT SHALL REVIEW AND APPROVE THE FINAL LOCATIONS/ ORIENTATIONS OF EACH BOULDER.

**TTODA NOTES:**

- PROPOSED IMPROVEMENTS INCLUDE A BUILDING EXPANSION AND PROPOSED SIDEWALKS. THE PROPOSED IMPROVEMENTS SHALL UTILIZE EXISTING PARKING WHICH IS NOT VISIBLE FROM THE PUBLIC R.O.W.
- TTODA GUIDELINES 3.1.1: AT LEAST 25% OF PROPOSED/EXISTING TREES SHALL BE EVERGREEN. 63% OF THE PROPOSED TREES ARE EVERGREEN.
- TTODA GUIDELINES 3.1.5: FOR DEVELOPMENT SITES, AT LEAST 10 LARGE MATURING TREES ARE REQUIRED PER ACRE OF YARD SPACE. 10 = 3 (MIN) 1 LARGE TREE.
- REQUIRED. 3 LARGE MATURING TREES ARE PROPOSED IN YARD SPACE OPEN AREAS.
- TTODA GUIDELINES 3.1.7: EVERGREEN PLANT MATERIAL SHOULD BE USED TO SCREEN PARKING AND TO PROVIDE TRANSITIONS BETWEEN LAND USES. EVERGREEN SHRUBS ARE PROPOSED TO SCREEN PARKING.
- TTODA GUIDELINES 3.3.3: AREAS AROUND THE BUILDINGS EQUAL TO AT LEAST 50% OF EACH FRONT AND SIDE ELEVATIONS SHALL BE LANDSCAPED WITH ORNAMENTAL TREES, SHRUBS AND BEDDING PLANTS.
- TTODA GUIDELINES 3.3.6: LANDSCAPING SHOULD BE USED TO SCREEN MECHANICAL EQUIPMENT AND OTHER UNDESIRABLE BUILDING ELEMENTS. EVERGREEN SHRUBS ARE PROPOSED TO SCREEN THE DUMPSTER ENCLOSURES AND MECHANICAL EQUIPMENT.
- TTODA GUIDELINES 3.4.1: PARKING AREAS SHOULD BE SCREENED FROM PUBLIC RIGHTS-OF-WAY.
- TTODA GUIDELINES 3.4.1: TREES SHALL BE REQUIRED AT THE RATE OF ONE (1) MEDIUM OR LARGE MATURING CANOPY TREE FOR EVERY TEN PARKING SPACES PROVIDED.
- TTODA GUIDELINES 3.4.4: IN ADDITION TO THE PLANTING OF REQUIRED CANOPY TREES, PLANTING AREAS FOR ORNAMENTAL TREES, SHRUBBERY AND BEDDING PLANTS SHALL BE NO LESS THAN FIVE (5) PERCENT OF THE SURFACE AREA DEVOTED TO PARKING.

**LANDSCAPE NOTES:**

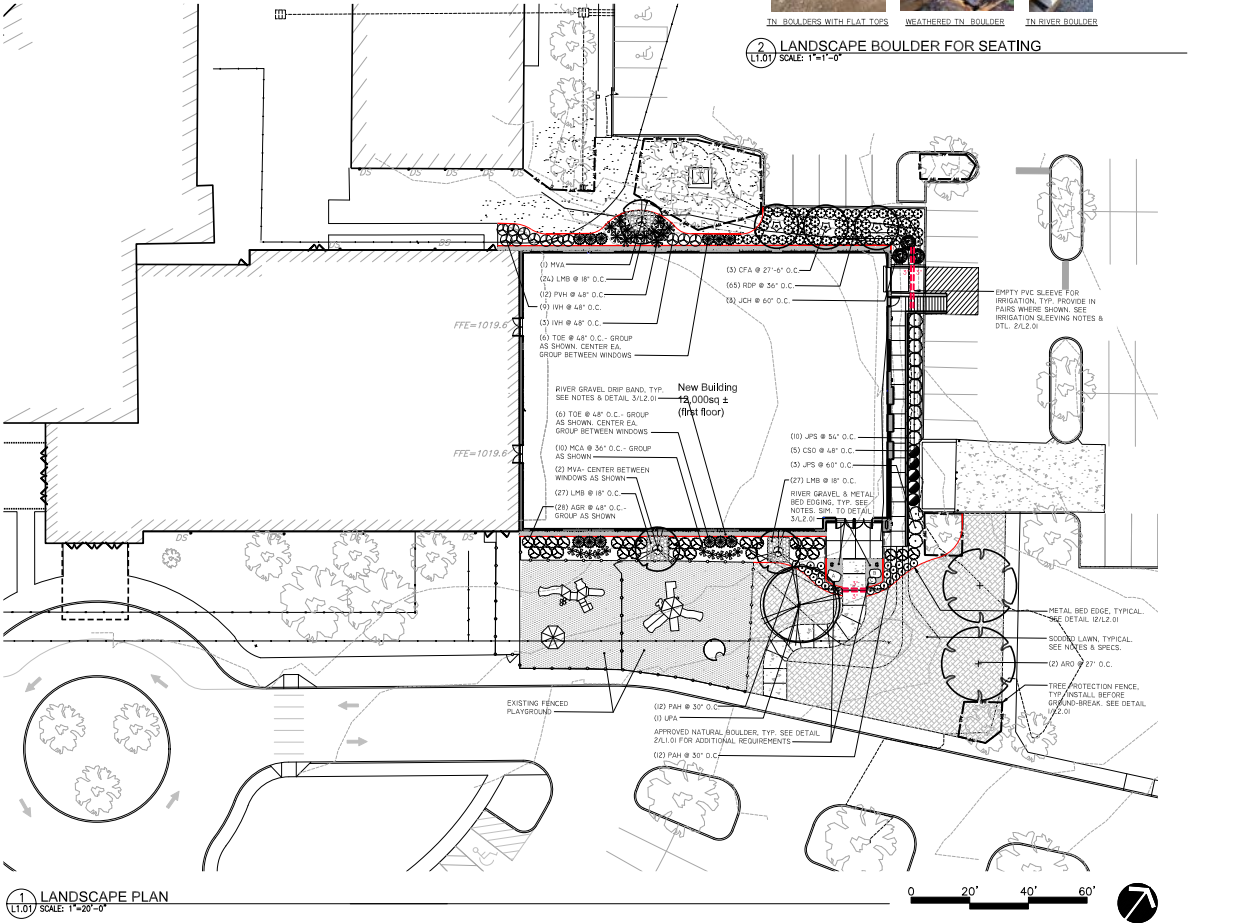
- PRIOR TO GROUND BREAK, COORDINATE PROTECTION OF EXISTING TREES TO BE PRESERVED WITH GENERAL CONTRACTOR. SEE SPECIFICATIONS AND TREE PRESERVATION DETAIL.
- THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH OCCUR TO THE SATISFACTION OF THE OWNER.
- HALF TONE IMAGES ARE EXISTING CONDITIONS INCLUDED FOR REFERENCE. PROTECT FROM DAMAGE.
- NO PLANTING SHALL OCCUR UNTIL LANDSCAPE SUBMITTALS HAVE BEEN SUBMITTED AND APPROVED. SEE SPECIFICATIONS.
- TOPSOIL SHALL BE APPROVED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL AREAS OF MASS PLANTING SHALL RECEIVE 4" OF APPROVED TOPSOIL. SEEDED LAWNS SHALL RECEIVE 4" OF APPROVED TOPSOIL. SOODED LAWNS SHALL RECEIVE 3" OF APPROVED TOPSOIL. SEE SPECIFICATIONS.
- DO NOT MAKE SUBSTITUTIONS WITHOUT WRITTEN APPROVAL. SEE SPECIFICATIONS.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC. PLANT MATERIAL DELIVERED TO THE SITE THAT DOES NOT MEET THE REQUIREMENTS STATED HEREIN MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- THE LOCATION OF ALL TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE BEFORE THE DIGGING OF PITS. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- AT START OF CONSTRUCTION OPERATIONS IDENTIFY AREAS OF GRASS TO BE KILLED. COMPLETELY ERADICATE ALL GRASS IN AREAS SHOWN TO BE WITHIN A MULCH BED.
- PROTECT EXISTING GRASS AREAS TO REMAIN. SEED ALL AREAS WITHIN AND ADJOINING PROJECT LIMITS DISTURBED AS A RESULT OF CONSTRUCTION OPERATIONS WHICH ARE NOT OTHERWISE SHOWN TO BE PLANTED.
- ESTABLISH SMOOTH CURVILINEAR MOWING/BED LINES WHERE LAWN MEETS MULCHED SHRUB OR GROUND COVER MASS. BED LINE LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE BEGINNING BED PREPARATION.
- DO NOT ASSUME TRUNK FLARE WILL BE EXPOSED AT NURSERY. PRIOR TO PLANTING, CONTRACTOR SHALL EXPOSE ROOT FLARES. TREE PLANTING DEPTH SHALL BE DETERMINED BY INSTALLING ROOT FLARES 1" MIN. TO 2" MAX ABOVE FINISHED GRADE. SEE PLANTING DETAILS.
- PERCOLATION TESTS ARE REQUIRED FOR ALL TREES. SEE SPECIFICATIONS.
- SOIL ALL AREAS SHOWN WITH SOIL MATCH PATTERNS. SEE SPECIFICATIONS.
- SEED ALL AREAS SHOWN WITH STIPPLE MATCH PATTERNS. SEE SPECIFICATIONS.
- SCALE: FOOTAGE OF SEED AND SOO QUANTITIES SHOWN ON LANDSCAPE PLAN LIST IS APPROXIMATE. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO PURCHASE AND INSTALLATION.
- MULCH ALL AREAS OF TREE, SHRUB AND GROUND COVER MASS PLANTING WITH 3" OF SHREDED HARDWOOD BARK MULCH AS SPECIFIED.
- PROVIDE 4" DIAMETER MULCH RINGS FOR SHADE TREES AND EVERGREEN TREES. PROVIDE 3" DIAMETER MULCH RINGS FOR ORNAMENTAL TREES. IF EVERGREEN TREES ARE SPECIFIED AS FULL TO GROUND, EXTEND MULCH RING 12" MIN. BEYOND EDGE OF PLANT. SEE PLANTING DETAILS.
- SUBMIT SAMPLES OF RIVER GRAVEL, SAND OR RIVER ROCK FOR ANALYSIS TO BE INSTALLED AT AREAS INDICATED ON LANDSCAPE PLAN AT 3" MIN. - 4" DEPTH AS APPROPRIATE FOR THE AGGREGATE/ ROCK SIZE APPROVED.
- FURNISH AND INSTALL METAL BED EDGING AT ALL BEDLINES SHOWN ON THE DRAWINGS. SEE DETAIL.
- CONTRACTOR TO PROVIDE ONE YEAR WARRANTY FOR ALL MATERIAL FROM THE DATE OF SUBSTITUTIONAL COMPLETION. SEE SPECIFICATIONS.

**LAWN NOTES:**

- SEED ALL LAWN AREAS AND ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS WITH APPROVED FESCUE BLEND.
- VERIFY SUBGRADE IS AT PROPER LEVELS FOR TOPSOIL AND SOO OR SEED INSTALLATION. WORKING WITH AND COMPLETE LAWN AND GRASSES AS RAPIDLY AS PORTIONS OF SITE BECOME AVAILABLE. PROCEED WITHIN SEASONAL LIMITATIONS.
- FOR NEW LAWNS, PREPARE SOIL BY TILLING TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LUMPS, CLODS OR STONES LARGER THAN 2" IN GREATEST DIMENSION. ROOTS OF OTHER EXTRANEOUS MATERIAL TO A DEPTH OF NOT LESS THAN 4" ELIMINATING LOWER AREAS AND LOW SPOTS. REMOVING FOREIGN MATERIALS, SPREADING TOPSOIL TO A 4" MINIMUM DEPTH FOR SEEDS LAWNS OR TO A 3" MINIMUM DEPTH FOR SOODED LAWNS.
- IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED. ENSURE THAT TOPSOIL IS FERTILIZABLE, NATURAL LIQUID, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH; TAKEN FROM WELL-DRAINAGE SITE, FREE OF STONES, CLAY LUMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION. PLANTS, WEEDS, AND ROOTS; HAVING PH VALUE OF 5.5 MINIMUM AND 7.0 MAXIMUM; CONTAINING 6 PERCENT MINIMUM ORGANIC MATTER. AERATE TOPSOIL WITH FERTILIZER AND/OR LIME AS REQUIRED TO PROMOTE VIGOROUS LAWN GROWTH.
- REFURBISH EXISTING LAWNS TO REMAIN WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION. INCLUDE CORE AND/OR OVERSEEDING, STRAW AT THIN OR BARE AREAS AND FERTILIZER AS REQUIRED.
- WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE SEEDING OR SOODING. DO NOT CREATE A MUDDY CONDITION. DO NOT SEED OR SOO WHEN THE GROUND IS FROZEN.
- FOR SOODED AREAS:
  - COMPLY WITH AMERICAN SOO PRODUCERS ASSOCIATION'S "GUIDELINE SPECIFICATIONS FOR SOODING" FOR HARVESTING AND INSTALLING SOO.
  - THE SOO DELIVERY SO THAT IT WILL BE PLACED WITHIN 24 HOURS AFTER STRIPPING. PROTECT SOO AGAINST DRYING AND BREAKING.
- PROVIDE STRONGLY ROOTED CULTIVATED GRASS SOO, NOT LESS THAN 1 YEAR OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES PRINCIPALLY COMPOSED OF 40% THERMAL BLUE OR SIF-O-BLUE GRASS, 20% MONET TALL FESCUE, 20% VAN GOGH TALL FESCUE AND 20% PARE TALL TALL FESCUE. BROKEN PADS OR PADS WITH LAESEN ENDS WILL NOT BE ACCEPTABLE. SOO PADS INCHABLE OR SUPPORTING THEIR OWN WEIGHT.
- MAINTAIN LAWNS UNTIL GRASS IS WELL ESTABLISHED AND EXHIBITS A VIGOROUS GROWING CONDITION AND NOT LESS THAN 60 DAYS FROM DATE OF SUBSTITUTIONAL COMPLETION. IF SEEDING IN FALL, CONTINUE MAINTENANCE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.
- WARRANTY LAWNS FOR ONE YEAR FROM THE DATE OF SUBSTITUTIONAL COMPLETION.
- SEE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

**IRRIGATION NOTES:**

- CONTRACTOR SHALL DESIGN AND PROVIDE A COMPLETE LANDSCAPE IRRIGATION SYSTEM. COORDINATE AS REQUIRED WITH EXISTING IRRIGATION SYSTEM.
- PROVIDE A DEDICATED WATER METER FOR IRRIGATION. COORDINATE AS REQUIRED.
- PRIOR TO IRRIGATION DESIGN, THE CONTRACTOR SHALL DISCUSS THE LIMITS OF THE IRRIGATION SYSTEM WITH THE OWNER AND THE CONTRACTOR SHALL SUBMIT A WRITTEN AND/OR GRAPHIC REPRESENTATION OF THE LIMITS OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUBMIT AN IRRIGATION SLEEVING PLAN AND IRRIGATION PLAN FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE DETAIL 2AL2.0 FOR IRRIGATION SLEEVING. POTENTIAL SLEEVE ROUTING IS ILLUSTRATED ON THE LANDSCAPE PLANS.
- COORDINATE INSTALLATION OF IRRIGATION SLEEVES WITH THE GENERAL CONTRACTOR PRIOR TO INSTALLATION OF PAVING.
- SEE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



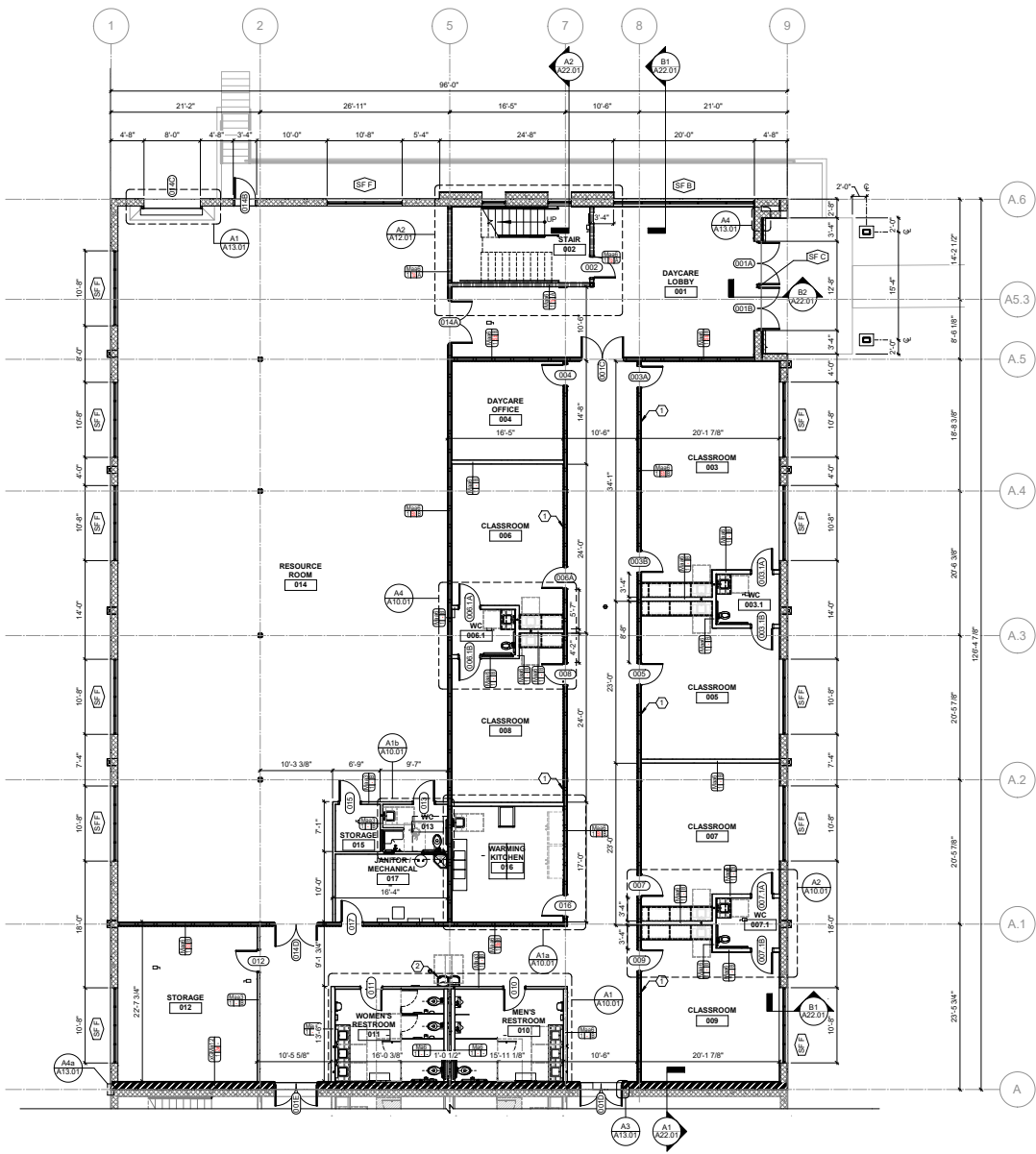
ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS INDICATED OTHERWISE

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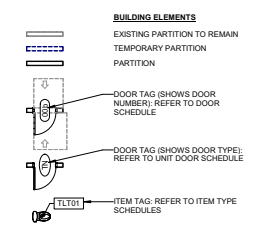


FLOOR PLAN NOTES	
NUM.	NOTE
1	CORRIDOR WALLS TO BE SMOKE BARRIERS PER NFPA 101, SECTION 8.4.
2	CORRIDOR WALLS TO BE SMOKE BARRIERS PER NFPA 101, SECTION 8.4.
3	ADA CANE DETECTION REQUIRED.

### GENERAL NOTES- FLOOR PLANS

- DIMENSIONS TO FACE OF PARTITIONS ARE TO FINISH FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A1.1.
- FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.
- PROVIDE MOISTURE-RESISTANT GYPSUM BOARD IF WALL FACE CONTAINS A PLUMBING FIXTURE, IS LOCATED IN A RESTROOM, OR IS WITHIN 2' OF A PLUMBING FIXTURE.
- PROVIDE CEMENT BACKERBOARD IN LIEU OF GYPSUM BOARD WHERE TILE FINISH IS SPECIFIED.
- ALL NON-BEARING WALL FRAMING TO BE 16" OC. SEE STRUCTURAL FOR BEARING WALL FRAMING.
- PROVIDE BLOCKING AS NEEDED TO MOUNT SHOWN HANDRAILS, FIXTURES, AND ACCESSORIES.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, CONTRACTOR SHALL OBTAIN CLARIFICATION, IN WRITING, FROM THE ARCHITECT.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES, REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION.
- CONSTRUCTION MATERIALS SPECIFIED AND NOTED ON THE DRAWINGS ARE REPRESENTATIVE OF THE GENERAL DESIGN INTENT.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS, CONTACT ARCHITECT IMMEDIATELY.
- WHERE A DETAIL IS SHOWN OR A NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, WALKS, ETC. DURING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED AS A RESULT.
- CONTRACTOR TO COORDINATE LOCATION OF TEMPORARY CONSTRUCTION BARRIERS WITH OWNER. MEANS OF EGRESS EXIT ACCESS ROUTES MUST REMAIN OPEN AND ACCESSIBLE TO ALL OCCUPANTS.
- DOORS AT CORNERS TO BE 4" - 6" U.O.N.

### LEGEND- FLOOR PLANS



**ARCHITECT:**  
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A MICHAEL GRAVES COMPANY  
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LAND DEVELOPMENT SOLUTIONS  
100 WARRIORS ROAD, SUITE 4  
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**STRUCTURAL ENGINEER:**  
ELAM STRUCTURAL ENGINEERING, LLC  
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**MEP ENGINEER:**  
PROSPECT ENGINEERING  
4110 SOUTH HOLLAND AVENUE  
KNOXVILLE, TN 37918  
(865) 629-5755



COREY BOSS  
107508

**CHILDREN'S WING  
ADDITION AT  
FAITH PROMISE CHURCH  
10740 FAITH PROMISE LANE  
KNOXVILLE, TENNESSEE 37931**

PROJECT: 25955

A.	DATE	DESCRIPTION
1	2026.01.29	CD DRAWING SET

SHEET NAME:  
FLOOR PLAN- LEVEL 01

ORIG SUBMISSION: 2026.01.30  
CURRENT: 2026.01.29  
CD DRAWING SET

SHEET:  
**A1.00**

3/17/2026 4:25:44 PM

A1  
A1.00 FLOOR PLAN- LEVEL 01



1/8" = 1'-0"

1 2 3 4 5

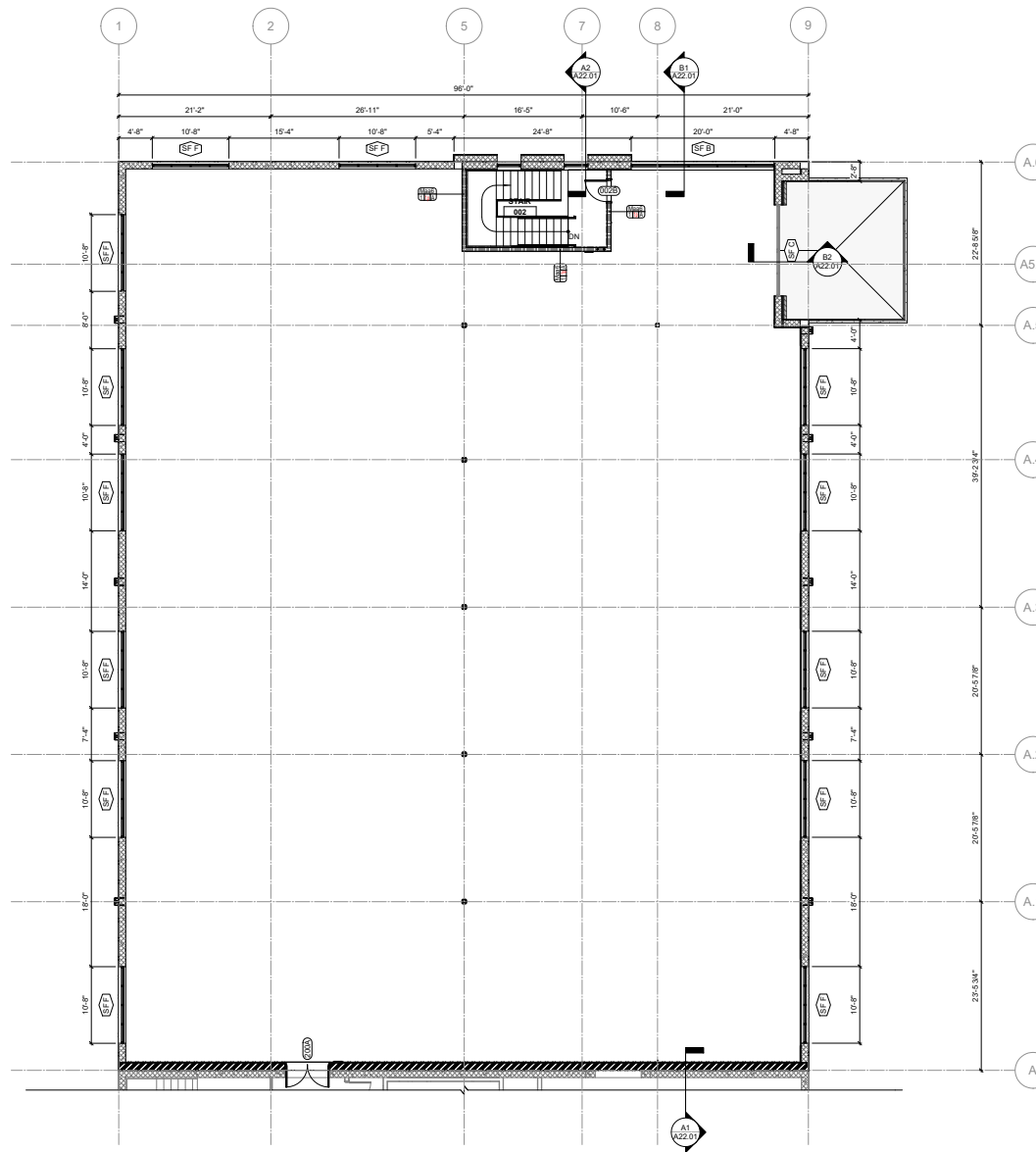
ALL DIMENSIONS UNLESS OTHERWISE NOTED TO BE TO FACE UNLESS INDICATED OTHERWISE

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A



**FLOOR PLAN NOTES**

NUM.	NOTE
1	CORRIDOR WALLS TO BE SMOCK BARRIERS PER NFPA 101, SECTION 8.4.
1	CORRIDOR WALLS TO BE SMOKE BARRIERS PER NFPA 101, SECTION 8.4.
2	AAA CANE DETECTION REQUIRED.



ARCHITECT:  
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KNOXVILLE, TN 37919  
(865) 420-9795



COREY BOSS  
107508

4-B-26-DP

**FIRE CODES NFPA:**

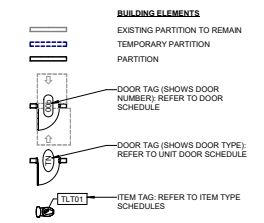
RESPONDING FIRE DEPARTMENT:  
FIRE CHIEF: DARON LONG  
RESPONDING FIRE STATION: KARRIS FIRE DEPARTMENT  
MAILING ADDRESS: 3224 MCGUIRE LANE  
PHONE NUMBER: 865.491.1333  
EMAIL: CONTACT@KARRISFIRE.ORG

FIRE CODES NFPA QUESTIONNAIRE:  
NUMBER OF CLIENTS FOR WHICH LICENSED: 162  
STATE LICENSING AGENCY: CHILD AND ADULT LICENSING, 227 FRENCH  
LANDING DRIVE, NASHVILLE, TN 37228-8915  
517.5648 (CO RACHAEL ROGUE)  
CLIENTS AGE 2 1/2 YEARS OR LESS: 90  
CLIENTS AGE OLDER THAN 2 1/2: 72

**GENERAL NOTES- FLOOR PLANS**

- DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES ON A0.11. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON OVERALL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.
- REFER TO PARTIAL PLANS FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PARTIAL PLANS.

**LEGEND- FLOOR PLANS**

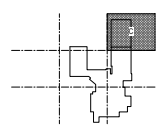


**CHILDREN'S WING  
ADDITION AT  
FAITH PROMISE CHURCH  
10740 FAITH PROMISE LANE  
KNOXVILLE, TENNESSEE 37931**

PROJECT: 25955

A.	DATE	DESCRIPTION
1	2028.01.29	CD DRAWING SET
2	2028.03.19	REVISION 01

A.	DATE	DESCRIPTION
1	2028.01.29	CD DRAWING SET
2	2028.03.19	REVISION 01



SHEET NAME:  
**FLOOR PLAN- LEVEL 02**

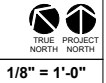
ORIG SUBMISSION: 2028.01.30  
CURRENT: 2028.03.19

REVISION 01

SHEET:

**A1.01**

A1  
A1.01 FLOOR PLAN- LEVEL 02



1/8" = 1'-0"

1

2

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D

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A1  
A1.R1 ROOF PLAN

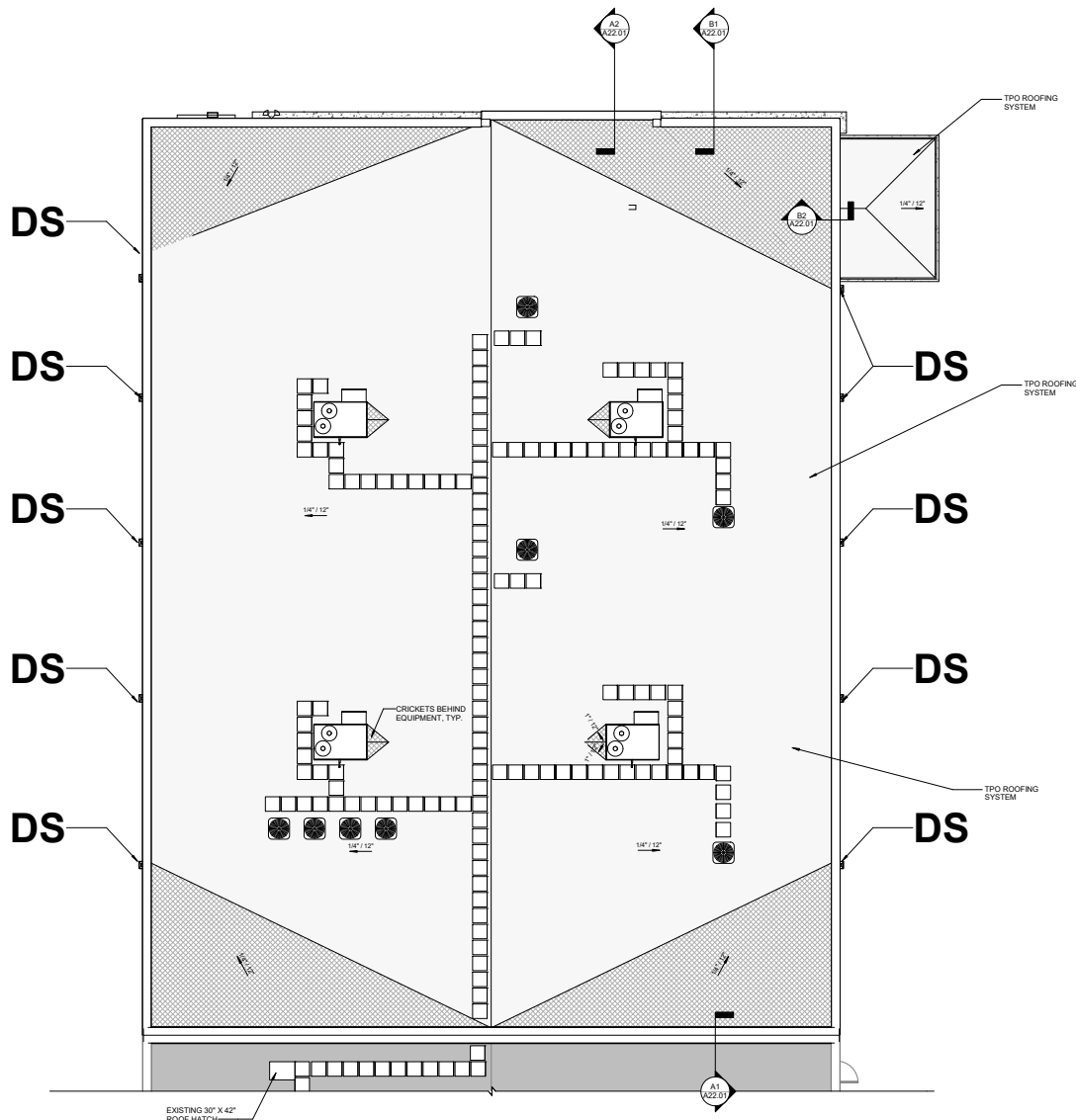
1

2

3

4

1/8" = 1'-0"



**ROOF PLAN NOTES**

NUM.	NOTE
------	------



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PROICIENT ENGINEERING  
4110 SOUTHERLAND AVENUE  
KNOXVILLE, TN 37918  
(865) 400-2715



COREY BOSS  
107508  
**4-B-26-DP**

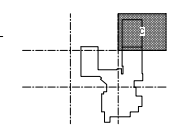
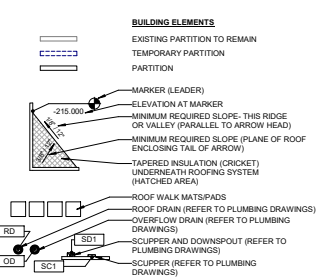
**CHILDREN'S WING  
ADDITION AT  
FAITH PROMISE CHURCH  
10740 FAITH PROMISE LANE  
KNOXVILLE, TENNESSEE 37931**

PROJECT: 25955

**GENERAL NOTES- ROOF PLANS**

- ITEMS FROM MECHANICAL, PLUMBING, AND ELECTRICAL SCOPES MAY BE SHOWN FOR REFERENCE AND COORDINATION ONLY. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS, AND OTHER ITEMS ON THE ROOF SURFACE.
- ALL ROOF FLASHING TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
- CONTRACTOR TO PROVIDE ADEQUATE SCREENING FOR ROOFTOP MECHANICAL EQUIPMENT PER AHJ REQUIREMENTS.
- WALKING PADS/PROTECTION FROM MAINTENANCE ACCESS TO ROOF TOP EQUIPMENT TO BE PROVIDED PER MANUFACTURERS RECOMMENDATIONS.

**LEGEND- ROOF PLANS**

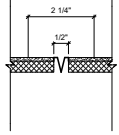


**SHEET NAME:**  
ROOF PLAN

**ORIG SUBMISSION:** 2026.01.30  
**CURRENT:** 2026.03.19  
**REVISION 01**

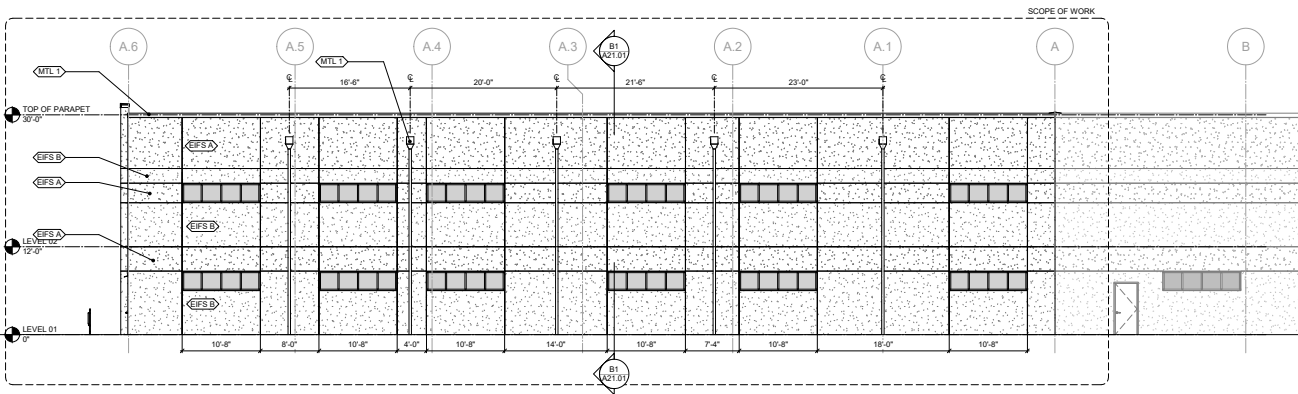
**SHEET:**  
**A1.R1**

D



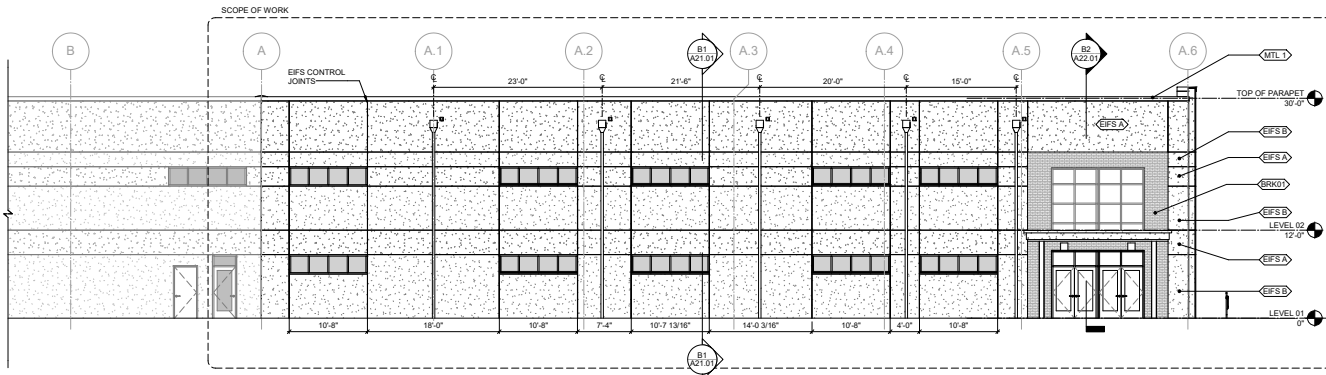
C1  
A20.01 Detail EIFs Joint 6" = 1'-0"

C



B1  
A20.01 ELEVATION- EXTERIOR- WEST 1/8" = 1'-0"

A



A1  
A20.01 ELEVATION- EXTERIOR- EAST 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

NUM.	NOTE
------	------



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KNOXVILLE, TN 37919  
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COREY BOSS  
107508  
4-B-26-DP

MATERIAL LEGEND (EXTERIOR)

TAG	MATERIAL DESCRIPTION
AL 1	
BRK01	"SABLE SMOOTH" BY CAROLINA CERAMICS BRICK COMPANY
EIFS A	STO #93330 "CHAMPAGNE"
EIFS B	STO #10612 "AUTUMN WHEAT"
GL 1	
MTL 1	METAL COPINGS, DOWNSPOUTS, AND SCUPPERS

CHILDREN'S WING  
ADDITION AT  
FAITH PROMISE CHURCH  
10740 FAITH PROMISE LANE  
KNOXVILLE, TENNESSEE 37931

PROJECT: 25955

1. DATE	DESCRIPTION
2026.01.29	CD DRAWING SET
2026.03.19	REVISION 01

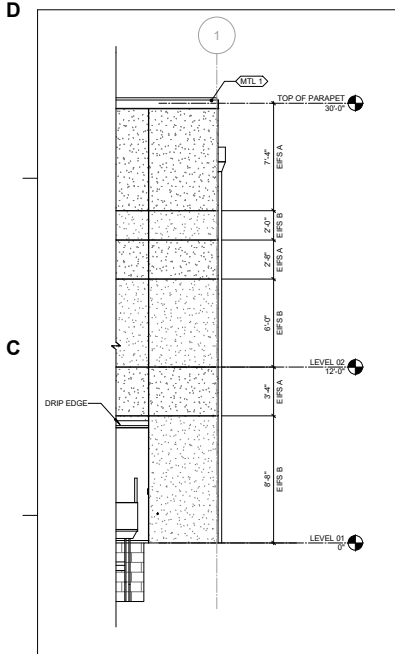
SHEET NAME:  
EXTERIOR ELEVATIONS

ORIG SUBMISSION:	2026.01.30
CURRENT:	2026.03.19
	REVISION 01

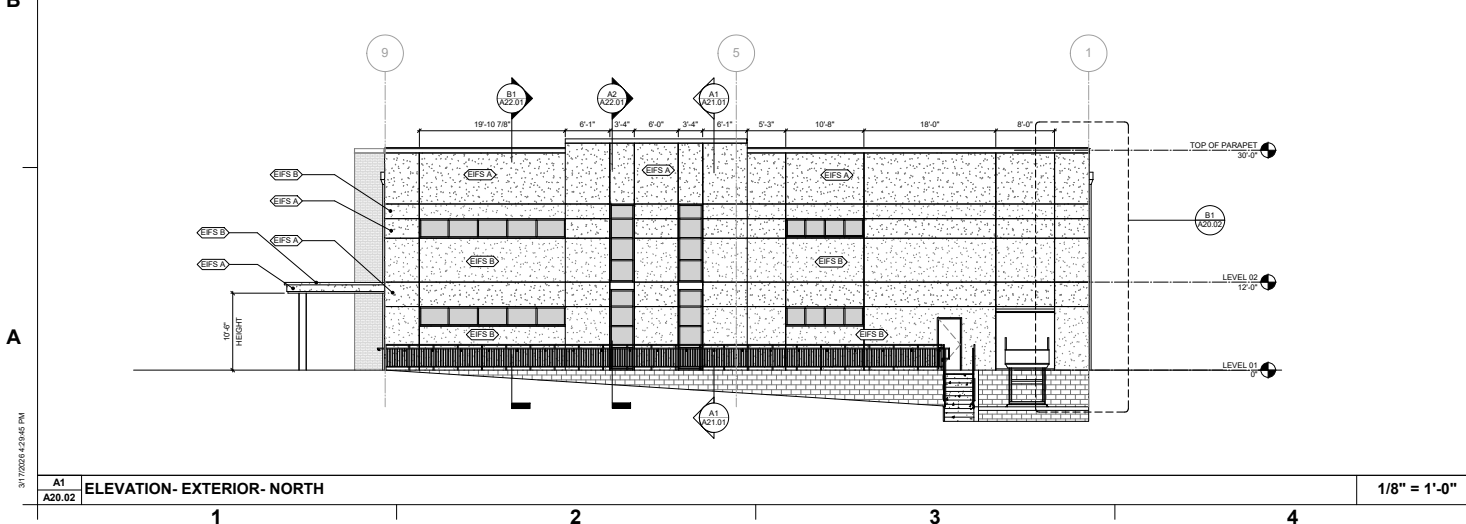
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A20.01

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ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE.



**B1**  
**A20.02** Elevation -EIFS-Typ. 1/4" = 1'-0"



**A1**  
**A20.02** ELEVATION- EXTERIOR- NORTH 1/8" = 1'-0"

**EXTERIOR ELEVATION NOTES**  
 NUM. NOTE



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 STUDIOFOURDESIGN.COM  
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 LAND DEVELOPMENT SOLUTIONS  
 210 S.W. 10TH AVENUE, SUITE 4  
 MIAMI, FL 33130  
 (800) 871-1234  
**STRUCTURAL ENGINEER:**  
 ELAM STRUCTURAL ENGINEERING, LLC  
 P.O. BOX 10727  
 KNOXVILLE, TN 37931  
**MEP ENGINEER:**  
 PROFICIENT ENGINEERING  
 4110 SOUTHERLAND AVENUE  
 KNOXVILLE, TN 37918  
 (800) 400-8785

MATERIAL LEGEND (EXTERIOR)	
TAG	MATERIAL DESCRIPTION
AL 1	
BRK01	"SABLE SMOOTH" BY CAROLINA CERAMICS BRICK COMPANY
EIFS A	STO #R3330 "CHAMPAGNE"
EIFS B	STO #T0612 "AUTUMN WHEAT"
GL1	
MTL 1	METAL COPING, DOWNSPOUTS, AND SCUPPERS



COREY BOSS  
 107508

**4-B-26-DP**

**CHILDREN'S WING  
 ADDITION AT  
 FAITH PROMISE CHURCH  
 10740 FAITH PROMISE LANE  
 KNOXVILLE, TENNESSEE 37931**  
 PROJECT: 25955

1.	DATE	DESCRIPTION
1	2026.01.29	CD DRAWING SET
2	2026.03.19	REVISION 01

**SHEET NAME:**  
 EXTERIOR ELEVATIONS

**ORIG SUBMISSION:** 2026.01.30  
**CURRENT:** 2026.03.19  
**REVISION 01**

**SHEET:**  
**A20.02**

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE

D

C

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A

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735 W. MARKET STREET, SUITE 4  
KNOXVILLE, TN 37902  
(865) 871-1238

STRUCTURAL ENGINEER: ELAM STRUCTURAL ENGINEERING, LLC  
P.O. BOX 30789  
MEMPHIS, TN 38187

MEP ENGINEER: PROFICIENT ENGINEERING  
4110 Sutherland Avenue  
Knoxville, Tennessee 37919  
(865) 409-5735



2026.01.29  
ARCH NAME: ARCH-#

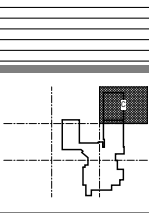


PROFICIENT ENGINEERING  
4110 Sutherland Avenue  
Knoxville, Tennessee 37919  
865.409.5735

CHILDREN'S WING  
ADDITION AT  
FAITH PROMISE CHURCH  
10740 FAITH PROMISE LANE  
KNOXVILLE, TENNESSEE 37931

PROJECT: 25065

A. DATE DESCRIPTION  
A. 2025.10.31 DD DRAWING SET  
B. 2025.12.30 50% CD DRAWING SET  
C. 2026.01.29 100% CD DRAWING SET



SHEET NAME: SCHEDULES

ORIG SUBMISSION: 2026.01.29

CURRENT: 2026.01.29

100% CD DRAWING SET

SHEET: E0.03

GENERAL EQUIPMENT SCHEDULE table with columns: CALLOUT, VOLTS, LOAD, BREAKER, CIRCUIT, WIRE CALLOUT, DISCONNECT DESCRIPTION. Lists various electrical loads like CU-1, CU-2, CU-3, CU-4, CU-A, CU-B, EF-A, EF-B, FURN-1, FURN-2, FURN-3, FURN-4, FURN-A, FURN-B, FURN-C, FURN-D, FURN-E, RPT-1, RTU-A, RTU-B, RTU-C, RTU-D, WH-1.

LUMINAIRE SCHEDULE table with columns: CALLOUT, LAMP, DESCRIPTION, MODEL, VOLTS. Lists various lighting fixtures like A (1) 40W LED, B (1) 40W LED, C (1) 84W LED, D (1) 33W LED, F (1) 25W LED, T (2) 1.5W LED, X (2) 1.5W LED, XC (2) 1.5W LED, XR (1) 3W LED.

Panel: LC2. Supply from: LC1. Mounting: Surface. Enclosure: Type 1. AIC Rating: 22,000. Mains Type: MLO. Mains Rating: 250 A. Table with columns: CKT, Circuit Description, Trip, Poles, A, B, C, A, B, C, Poles, Trip, Circuit Description, CKT. Includes load classification table at the bottom.

Panel: LC1. Supply from: KC1. Mounting: Surface. Enclosure: Type 1. AIC Rating: 22,000. Mains Type: MCB. Mains Rating: 250 A. Table with columns: CKT, Circuit Description, Trip, Poles, A, B, C, A, B, C, Poles, Trip, Circuit Description, CKT. Includes load classification table at the bottom.

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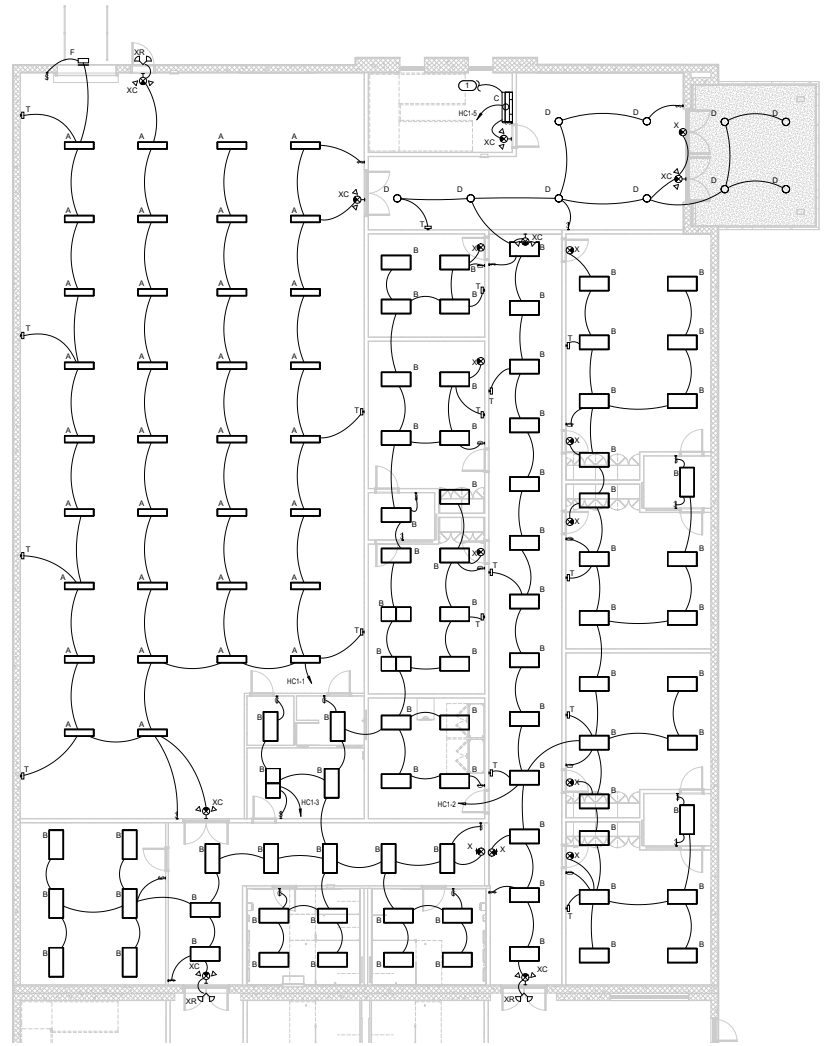
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**GENERAL NOTES**

- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES.
- PROVIDE UNSWITCHED HOT LEG OF CIRCUIT TO EMERGENCY LIGHTING AND EXIT SIGNS.
- EXTERIOR LIGHTING TO BE CONTROLLED BY PHOTOCELL AND/OR TIMER. COORDINATE EXACT REQUIREMENTS WITH OWNER AND ARCHITECT.

**KEYNOTES**

☐ CONTINUE TO LIGHT FIXTURES AND DEVICES LOCATED AT TOP OF STAIRWELL.



1 FLOOR PLAN- LEVEL 01- LIGHTING  
1/8" = 1'-0"



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KNOXVILLE, TN 37927

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PROFICIENT ENGINEERING  
4110 Sutherland Avenue  
Knoxville, TN 37919  
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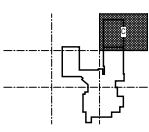
ARCH NAME  
ARCH #



**CHILDREN'S WING  
ADDITION AT  
FAITH PROMISE CHURCH**  
10740 FAITH PROMISE LANE  
KNOXVILLE, TENNESSEE 37931

PROJECT: 25055

DATE	DESCRIPTION
A 2025.10.31	DD DRAWING SET
B 2025.12.30	50% CD DRAWING SET
C 2026.01.29	100% CD DRAWING SET



SHEET NAME:  
FLOOR PLAN - LEVEL 01 - LIGHTING

ORIG SUBMISSION: 2026.01.29  
CURRENT: 2026.01.29  
100% CD DRAWING SET

SHEET:  
**E2.01**

# Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

## Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

**Planning staff will post the required sign.** If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

### Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

### Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

### Acknowledgement

**By signing below,** you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

**Have you engaged the surrounding property owners to discuss your request?**

- Yes  No  
 No, but I plan to prior to the Planning Commission meeting

Date to be Posted

Date to be Removed

Breanna Williams

Digitally signed by Breanna Williams  
DN: C=US, E=bwilliams@michaelgraves.com,  
OU=Michael Graves, CN=Breanna Williams  
Date: 2026.02.17 09:33:26-05'00'

Breanna Williams

02.17.2026

Applicant Signature

Applicant Name

Date