



SPECIAL USE REPORT

▶ **FILE #:** 2-B-26-SU

AGENDA ITEM #: 14

AGENDA DATE: 2/12/2026

▶ **APPLICANT:** ZACH TAYLOR
OWNER(S): William Rounds 119 Moody Oasis, LLC

TAX ID NUMBER: 109 P K 026, 027, 028 [View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 109 W MOODY AVE (115, 121 W MOODY AVE)

▶ **LOCATION:** North side of W Moody Ave, east of W Martin Mill Pike

▶ **APPX. SIZE OF TRACT:** 0.97 acres

SECTOR PLAN: South City

GROWTH POLICY PLAN: N/A (Within the City limits)

ACCESSIBILITY: Access would be via Moody Avenue, a local street with a pavement width of 20 ft within a right-of-way which varies from 25 ft to 40 ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: Goose Creek

▶ **ZONING:** RN-2 (Single-Family Residential Neighborhood)

▶ **EXISTING LAND USE:** Multifamily Residential, Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** 4-lot duplex subdivision

HISTORY OF ZONING: The subject properties were part of a rezoning request that was tabled and never acted upon

SURROUNDING LAND USE AND ZONING: North: Single family residential, agriculture/forestry/vacant land - C-G-2 (General Commercial)

South: Single family residential - RN-2 (Single Family Residential Neighborhood), RN-4 (General Residential Neighborhood)

NEIGHBORHOOD CONTEXT: East: Single family residential - RN-2 (Single Family Residential Neighborhood)

West: Single family residential, office - C-G-2 (General Commercial)

This area is comprised of a mix of single family dwellings on small suburban lots and multifamily dwellings. There are limited office uses along W Martin Mill Pike and number of commercial and office uses concentrated on Chapman Highway. The Vestal Gateway Park and Mary Vestal Greenway are located nearby to the southwest.

STAFF RECOMMENDATION:

▶ **Approve the request for a four-lot duplex subdivision subject to 2 conditions.**

- 1) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
- 2) Meeting all applicable requirements of the City of Knoxville Engineering Department.

COMMENTS:

This request is for a four-lot duplex subdivision for a total of 8 residential units on W Moody Avenue near the intersection with W Martin Mill Pike. The existing vacant single-family home on site would be demolished for the development.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The subject property is in the LDR (Low Density Residential) land use classification, which includes duplexes as part of its description in the One Year Plan and Sector Plan.

B. The proposed development of the four duplexes at this location is consistent with the General Plan's Development Policy 8.1 to develop infill housing on vacant lots and redevelopment parcels that is compatible with neighboring residences in scale, design and layout. Two of the parcels included in the subject property have remained vacant for many decades. The elevations provided reflect an architectural style that is similar to existing and newly developed homes along W Moody Avenue.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The Principal Use Standards for a duplex in Article 9.3.J have all been met with the proposed site plan and elevations. This includes front façade and off-street parking design requirements. The site plan also indicates that all dimensional standards for duplexes in the RN-2 (Single-Family Residential Neighborhood) district have been met. This proposed development is aligned with the zoning code intent and requirements.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. In addition to a compatible design, the location of the duplexes provides an appropriate transition of land use intensity at this location. While it is part of a predominantly single-family residential neighborhood to the east, to the west it abuts a corridor of commercial zoning with multifamily and office land uses along W Martin Mill Pike. The location and appearance of the duplexes is compatible with surrounding development.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. There are no significant adverse impacts anticipated to occur with the proposed duplex development, which should not create any noxious impacts to neighbors.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The creation of 8 units on this local residential street is not anticipated to cause a substantial addition to traffic congestion in the Vestal neighborhood.

ESTIMATED TRAFFIC IMPACT: 99 (average daily vehicle trips)

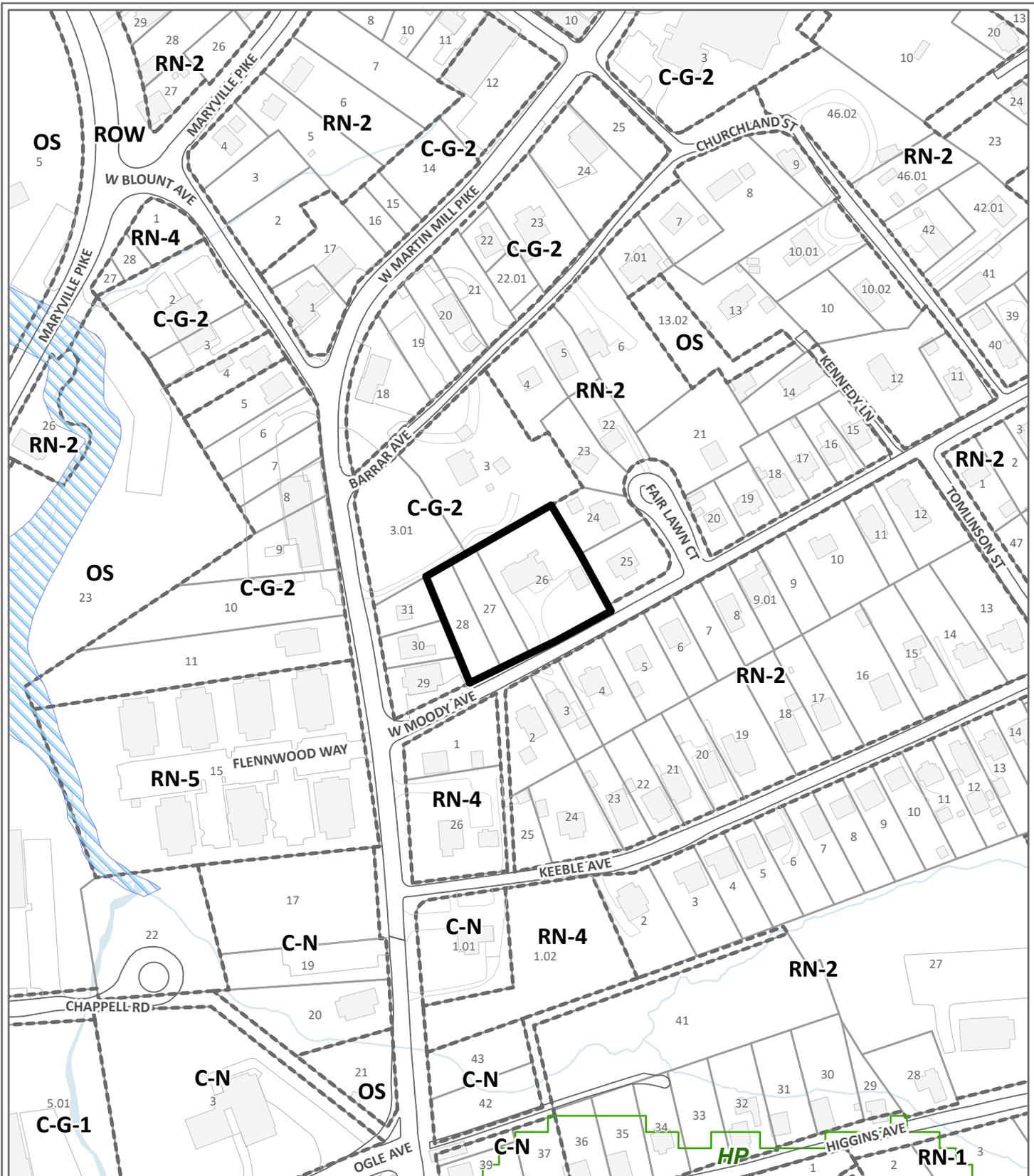
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 0 (public school children, grades K-12)

Schools affected by this proposal: Dogwood Elementary, South Doyle Middle, and South Doyle High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

2-B-26-SU

Petitioner: Zach Taylor



4-lot duplex subdivision in RN-2 (Single-Family Residential Neighborhood)

Original Print Date: 1/6/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 109

Jurisdiction: City

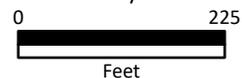
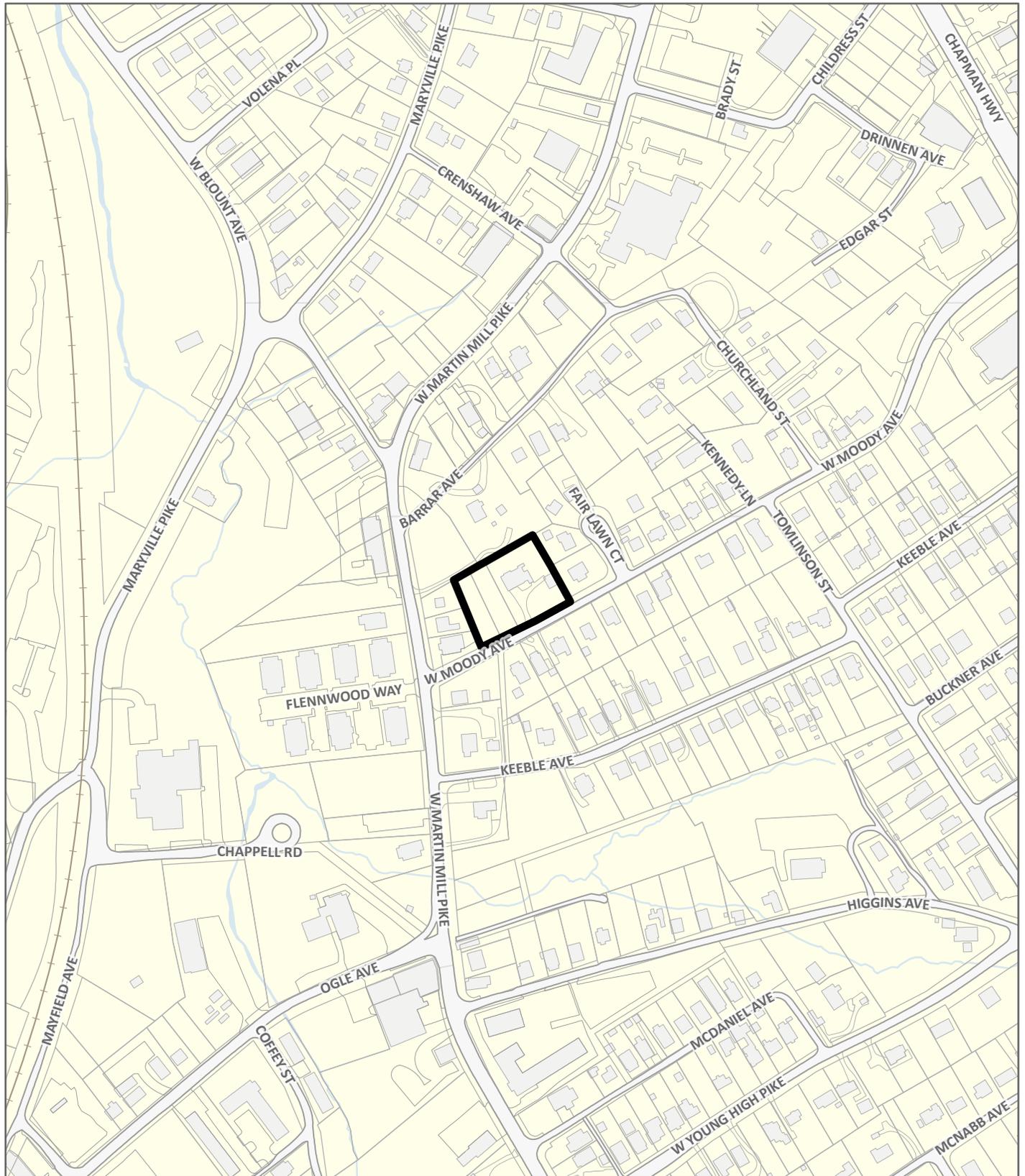


Exhibit A. Contextual Images



LOCATION MAP

2-B-26-SU



Case boundary

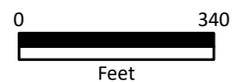


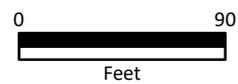
Exhibit A. Contextual Images



AERIAL MAP



Case boundary



Site Calculations

- Lot 4R: Impervious- 38.5%
Building Coverage- 12.5%
- Lot 5R: Impervious- 39%
Building Coverage- 12%
- Lot 22R-1: Impervious- 38%
Building Coverage- 12%
- Lot 22R-2: Impervious- 39%
Building Coverage- 12%



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Client Phone

Signature _____

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Sheet Name
Site Plan

Sheet no.
1

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Property Details

119 W Moody Ave, Knoxville, TN 37920, USA
APN: 109PK026

Design
Moody Duplexes

Scale
1" = 40'@A3

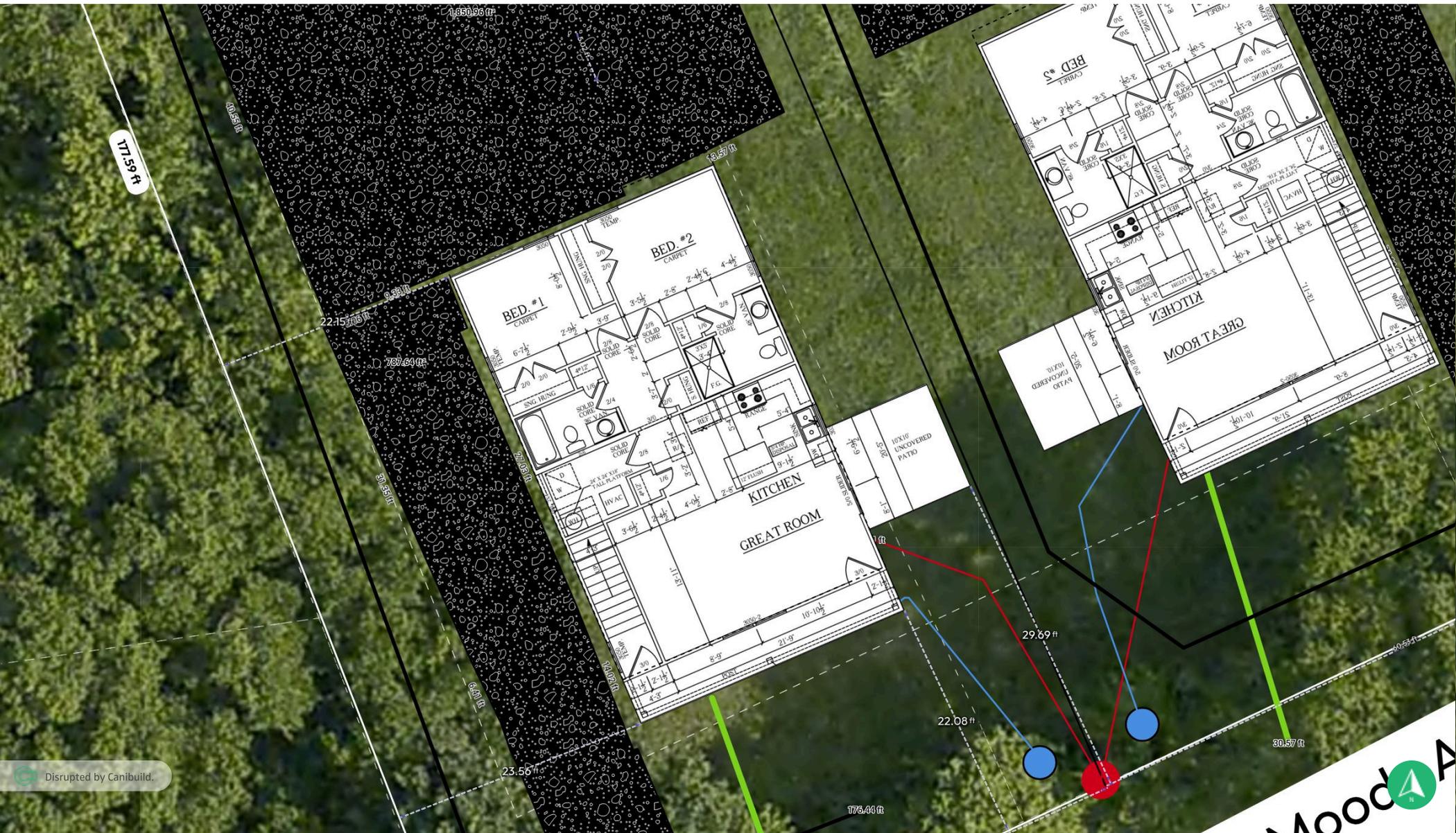
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8/26/2025

Current version date:
1/15/2026

Version #
4



2-B-26-SU
Received 1/20/2026

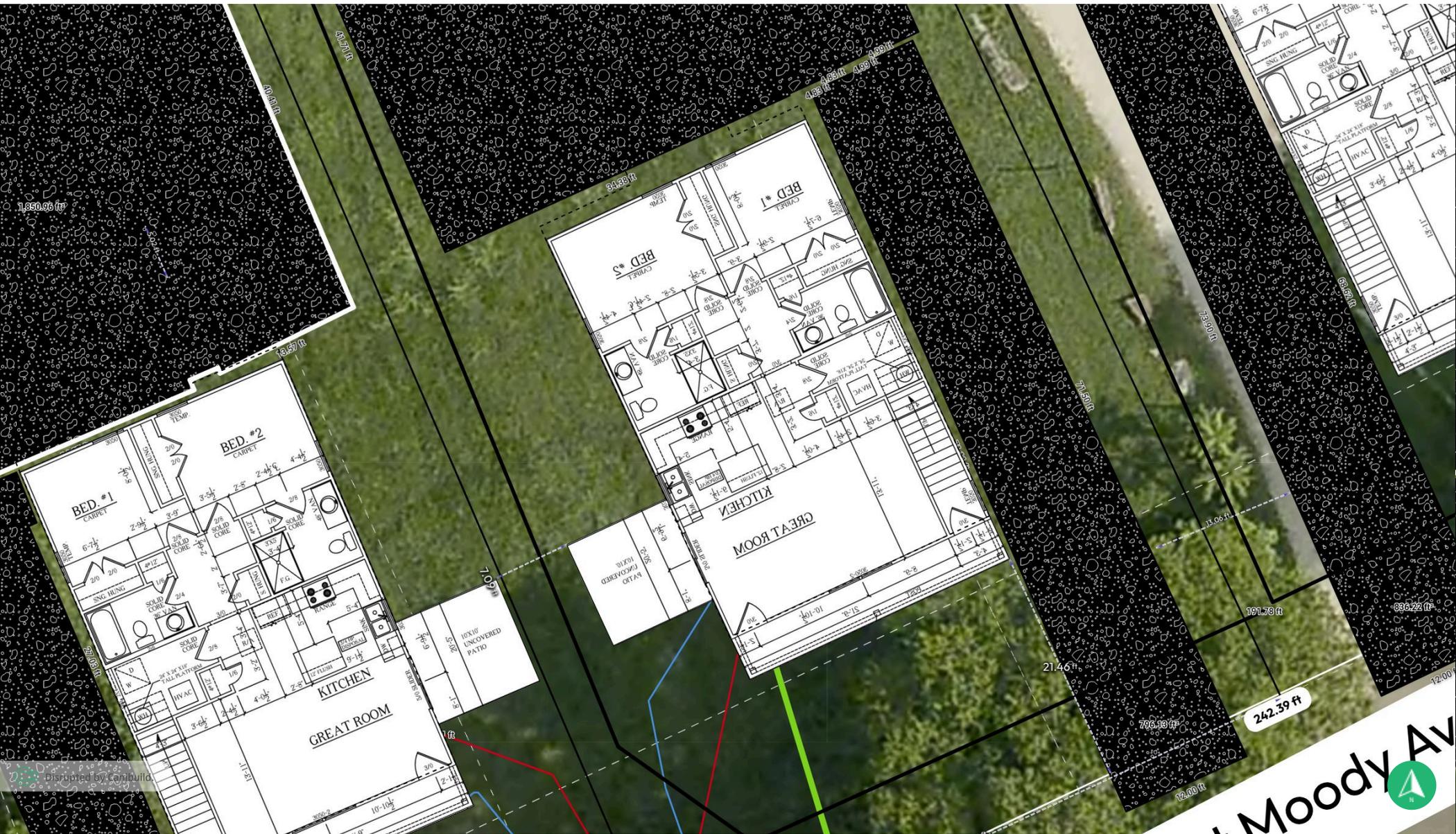


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						<p>1st version date: 8/26/2025</p>		<p>Current version date: 1/15/2026</p>		<p>Version # 4</p>





Moody Av

Client Name _____ Client Email _____ Client Phone _____ Signature _____

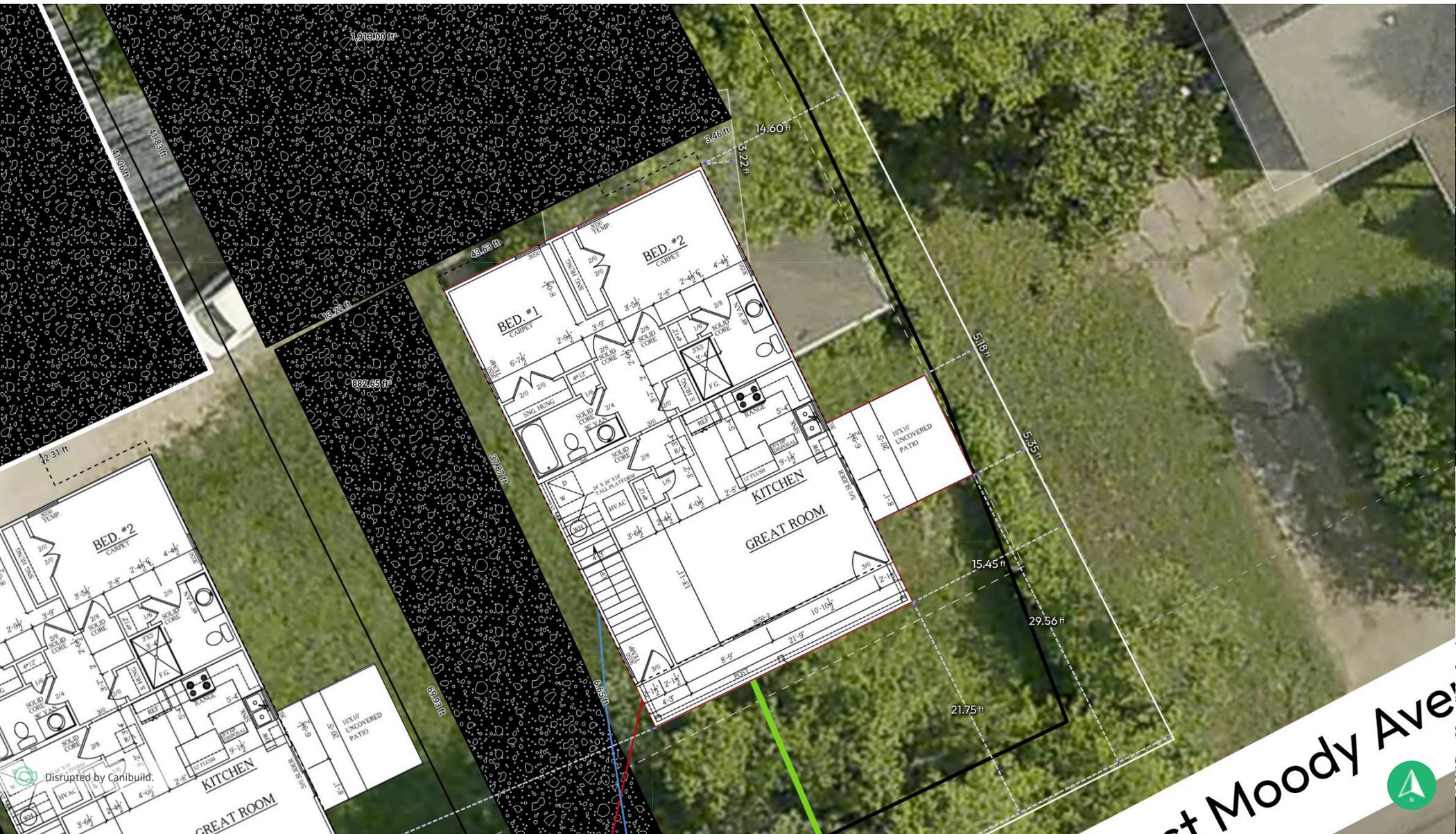
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		Property Details 119 W Moody Ave, Knoxville, TN 37920, USA APN: 109PK026		Design Moody Duplexes	Scale 1" = 8'@A3
1st version date: 8/26/2025		Current version date: 1/15/2026		Version # 4	





Client Name

Client Email

Client Phone

Signature

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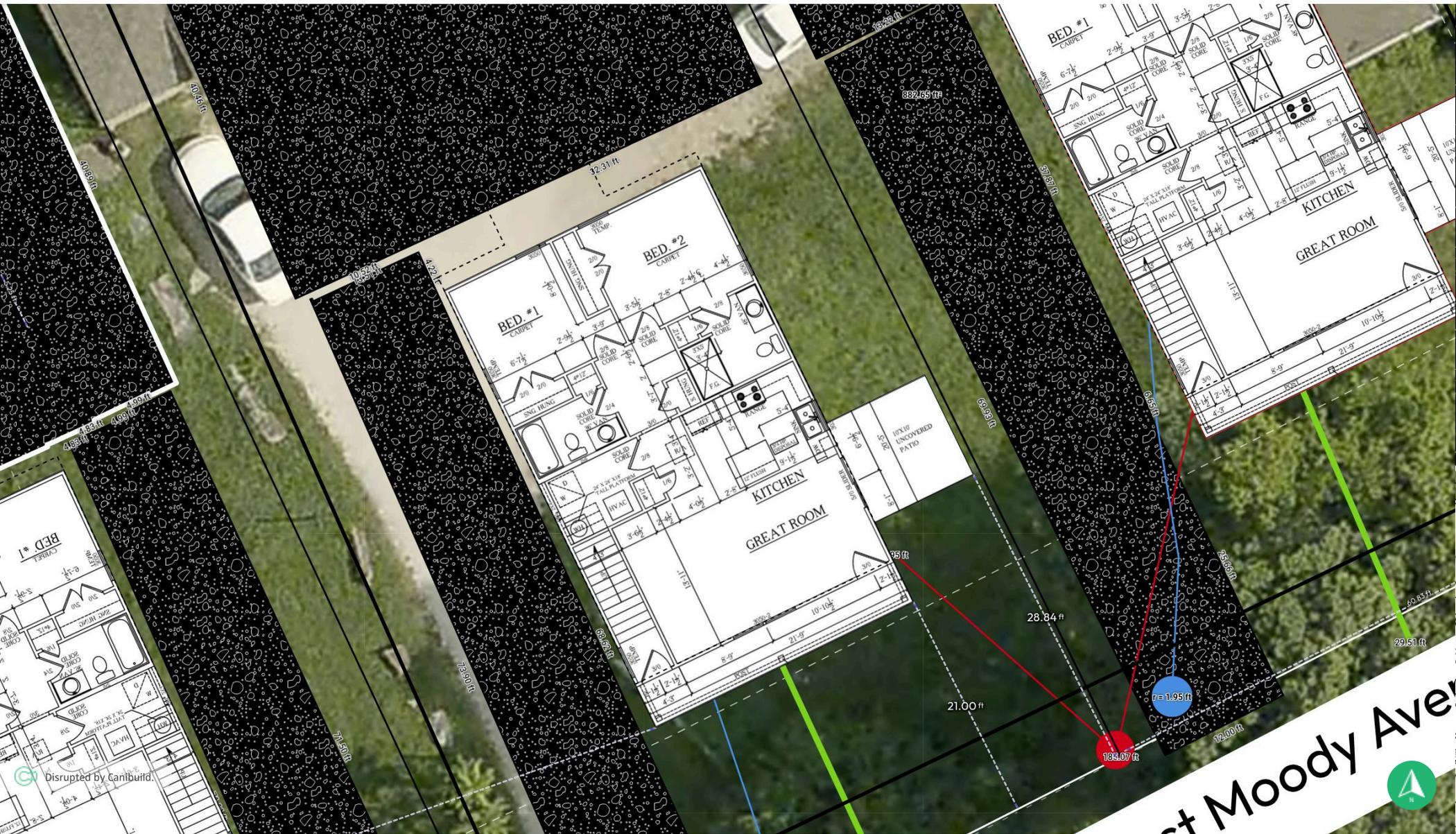
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Moody Avenue





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FRONT ELEVATION
SCALE: 1/8" = 1'-0"

16% Front Elevation Transparency

GENERAL BUILDG NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3/16" UNO
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER UNO
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER
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13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

NOTE: ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

FIRST FLOOR HEATED & COOLED AREA	1040
SECOND FLOOR HEATED & COOLED AREA	1006
TOTAL HEATED & COOLED AREA	2046
COVERED ENTRY	104
TOTAL UNDER BEAM	2150

STREET ADDRESS:
X

CITY & STATE:
X

ZIP:
X

COUNTY:
X

DRAFTING PHASES:
PRELIMINARY 09/15/2025 PJM
PERM 10/05/2025 PJM
PERM II 10/23/2025 PJM

Front Elevation

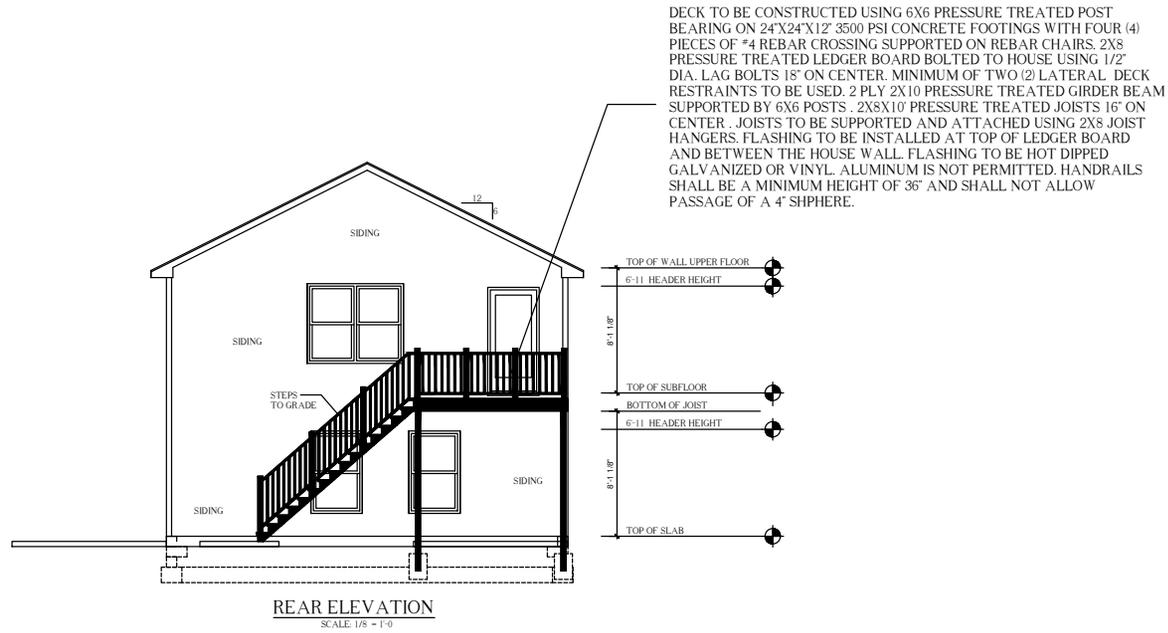
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2-B-26-SU
Received 1/20/26



DECK TO BE CONSTRUCTED USING 6X6 PRESSURE TREATED POST BEARING ON 24"X24"X12' 3500 PSI CONCRETE FOOTINGS WITH FOUR (4) PIECES OF #4 REBAR CROSSING SUPPORTED ON REBAR CHAIRS. 2X8 PRESSURE TREATED LEDGER BOARD BOLTED TO HOUSE USING 1/2" DIA. LAG BOLTS 18" ON CENTER. MINIMUM OF TWO (2) LATERAL DECK RESTRAINTS TO BE USED. 2 PLY 2X10 PRESSURE TREATED GIRDER BEAM SUPPORTED BY 6X6 POSTS. 2X8X10 PRESSURE TREATED JOISTS 16" ON CENTER. JOISTS TO BE SUPPORTED AND ATTACHED USING 2X8 JOIST HANGERS. FLASHING TO BE INSTALLED AT TOP OF LEDGER BOARD AND BETWEEN THE HOUSE WALL. FLASHING TO BE HOT DIPPED GALVANIZED OR VINYL. ALUMINUM IS NOT PERMITTED. HANDRAILS SHALL BE A MINIMUM HEIGHT OF 36" AND SHALL NOT ALLOW PASSAGE OF A 4" SPHERE.

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11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
12. LOCAL, STATE, & NATIONAL BUILDING CODES TAKE PRECEDENCE OVER DRAWINGS.
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

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TOTAL HEATED & COOLED AREA	2046
COVERED ENTRY	104
TOTAL UNDER BEAM	2150

STREET ADDRESS:

X

CITY & STATE:

X

ZIP:

X

COUNTY:

X

DRAFTING PHASES:

PRELIMINARY: 09/18/2025 P.M.
PERM: 10/05/2025 P.M.
PERM II: 10/23/2025 P.M.

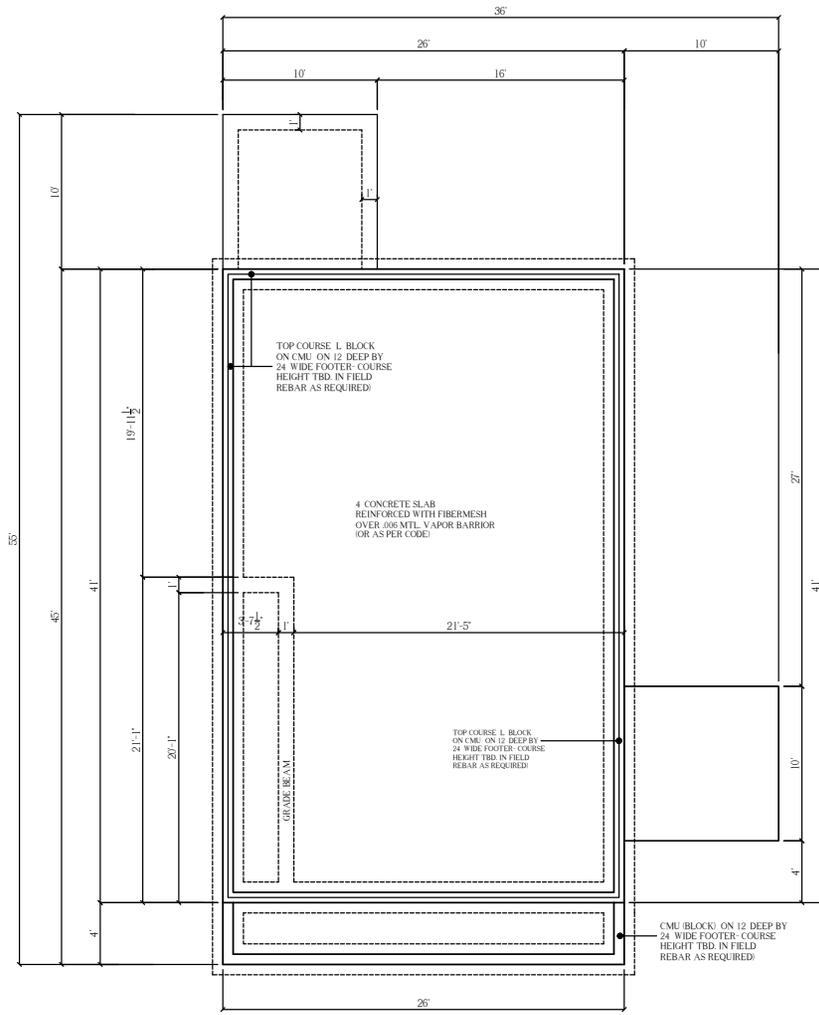
Rear Elevation

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BLOCK & FILL FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

GENERAL BLDG NOTES

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 PERM: 10/03/2025 PJM
 PERM II: 10/23/2025 PJM

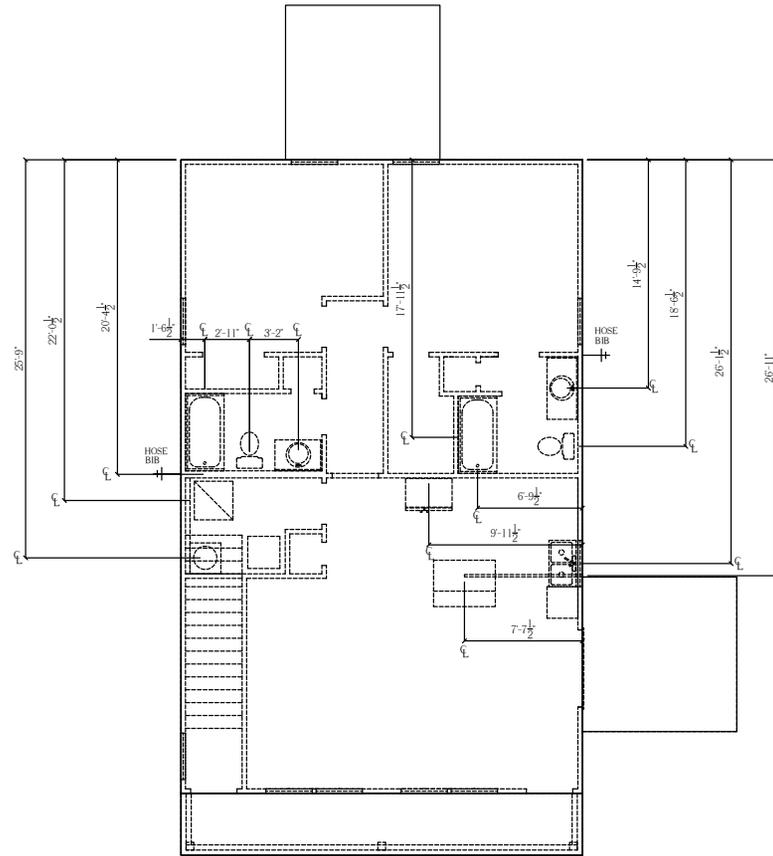
FOUNDATION

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FOUNDATION PLUMBING
SCALE: 1/8" = 1'-0"

GENERAL BLDG NOTES

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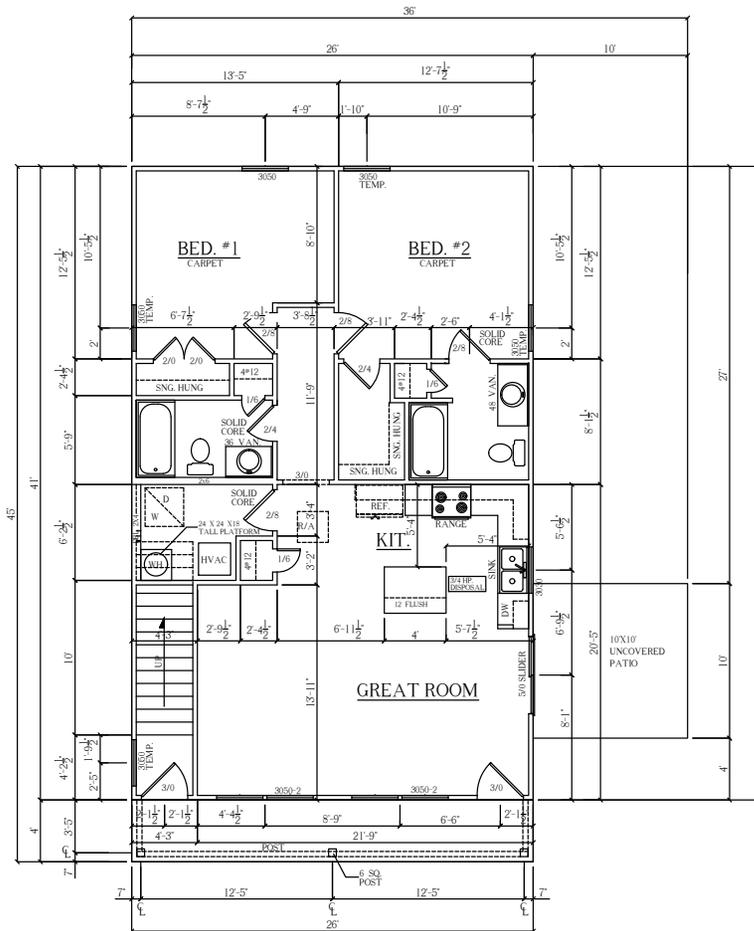
PLUMBING

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FIRST FLOOR UNIT
SCALE 1/8" = 1'-0"

NOTE: SINGLE LAYER 5/8" TYPE X DRYWALL ON ALL FIRST FLOOR EXTERIOR WALLS, STAIRWAY AND ANY LOAD BEARING WALLS

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9. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES
12. TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

NOTE: ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS

FIRST FLOOR HEATED & COOLED AREA	1066
SECOND FLOOR HEATED & COOLED AREA	1006
TOTAL HEATED & COOLED AREA	2072
COVERED ENTRY	104
TOTAL UNDER BEAM	2176

STREET ADDRESS:

X

CITY & STATE:

X

ZIP:

X

COUNTY:

X

DRAFTING PHASES:

UNIT 1 & 2 FLOOR PLAN

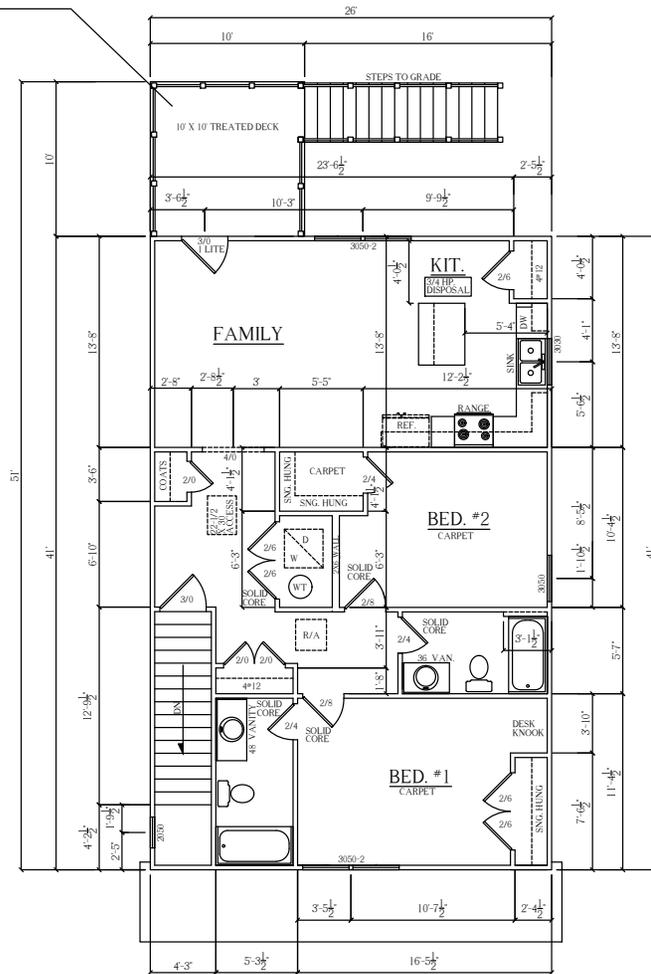
TWINPLEX
"SPEC lot 5R"



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KNOXVILLE, TN.

TWINPLEX

DECK TO BE CONSTRUCTED USING 6X6 PRESSURE TREATED POST BEARING ON 24"X24"X12' 3500 PSI CONCRETE FOOTINGS WITH FOUR (4) PIECES OF #4 REBAR CROSSING SUPPORTED ON REBAR CHAIRS. 2X8 PRESSURE TREATED LEDGER BOARD BOLTED TO HOUSE USING 1/2" DIA. LAG BOLTS 18" ON CENTER. MINIMUM OF TWO (2) LATERAL DECK RESTRAINTS TO BE USED. 2 PLY 2X10 PRESSURE TREATED GIRDER BEAM SUPPORTED BY 6X6 POSTS. 2X8X10' PRESSURE TREATED JOISTS 16" ON CENTER. JOISTS TO BE SUPPORTED AND ATTACHED USING 2X8 JOIST HANGERS. FLASHING TO BE INSTALLED AT TOP OF LEDGER BOARD AND BETWEEN THE HOUSE WALL. FLASHING TO BE HOT DIPPED GALVANIZED OR VINYL. ALUMINUM IS NOT PERMITTED. HANDRAILS SHALL BE A MINIMUM HEIGHT OF 36" AND SHALL NOT ALLOW PASSAGE OF A 4" SPHERE.



SECOND FLOOR UNIT
SCALE: 1/8" = 1'-0"

GENERAL BUILDG NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 1/2" UNLESS NOTED OTHERWISE
4. ALL ANGLES TO BE DRAWN AT 90 OR 45 UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER UNLESS NOTED OTHERWISE
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
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11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES
12. LOCAL, STATE, & NATIONAL BUILDING CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

NOTE: ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

FIRST FLOOR HEATED & COOLED AREA	1066
SECOND FLOOR HEATED & COOLED AREA	1006
TOTAL HEATED & COOLED AREA	2072
COVERED ENTRY	104
TOTAL UNDER BEAM	2176

STREET ADDRESS:

X

CITY & STATE:

X

ZIP:

X

COUNTY:

X

DRAFTING PHASES:

PRELIMINARY: 09/18/2025 PJM
 PERM 10/03/2025 PJM
 PERM II: 10/23/2025 PJM

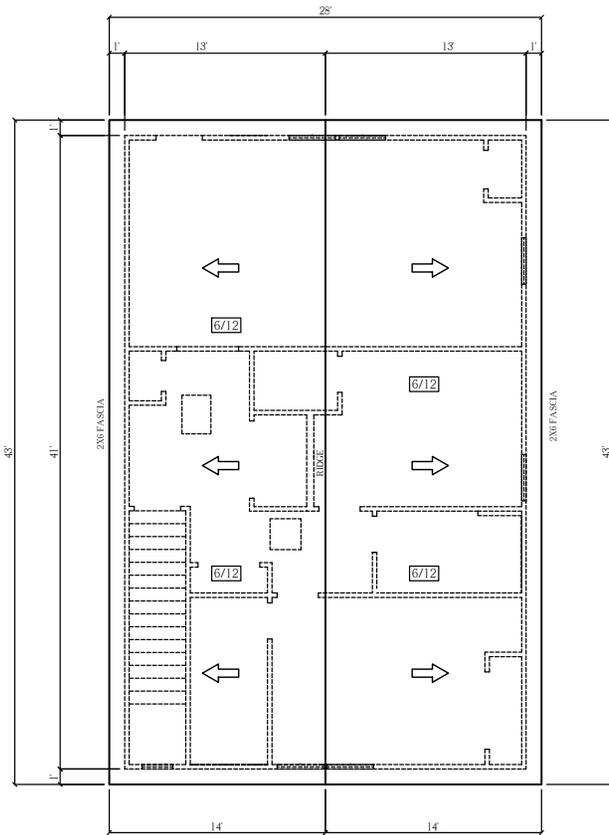
SECOND FLOOR UNIT #2

TWINPLEX
 "SPEC lot 5R"

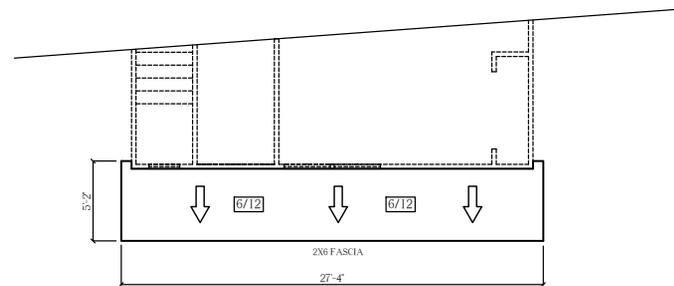


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TWINPLEX



ROOF PLAN
SCALE: 1/8" = 1'-0"



GENERAL BUILDG NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3/16" UNO
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER UNO
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
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12. LOCAL, STATE, & NATIONAL BUILDING CODES TAKE PRECEDENCE OVER DRAWINGS.
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

FIRST FLOOR HEATED & COOLED AREA	1040
SECOND FLOOR HEATED & COOLED AREA	1006
TOTAL HEATED & COOLED AREA	2046
COVERED ENTRY	104
TOTAL UNDER BEAM	2150

STREET ADDRESS:

X

CITY & STATE:

X

ZIP:

X

COUNTY:

X

DRAFTING PHASES:

PRELIMINARY: 09/15/2025 PJM
PERM: 10/03/2025 PJM
PERM II: 10/23/2025 PJM

ROOF PLAN

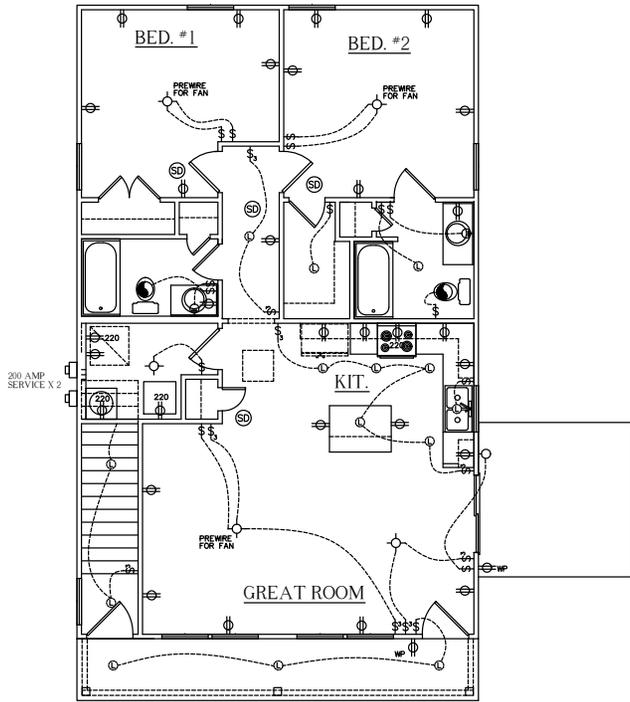
TWINPLEX
"SPEC lot 5R"



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KNOXVILLE, TN.

TWINPLEX

ELECTRICAL LEGEND	
	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, L.E.D. SURFACE MOUNT
	LIGHT, PENDANT
	LIGHT, COACH / VANITY
	LIGHT, UNDER WALL CABINET
	LIGHT, OUTDOOR FLOOD
	EXHAUST FAN
	SMOKE DETECTOR
	SMOKE / CARBON DETECTOR
	THERMOSTAT
	CEILING FAN WITH LIGHT
	CEILING FAN PRE-WIRE AT LIGHT
	RECEPTACLE, PHONE
	RECEPTACLE, CAT CABLE
	RECEPTACLE, T.V. CABLE
	ELECTRICAL PANEL
	METER BASE
	CHIME BELL DOOR
	EAVE LIGHT
ELECTRICAL NOTES	
1.	ALL ELECTRICAL TO MEET N.E.C.
2.	PROVIDE 200 AMP SINGLE PHASE SERVICE
3.	PROVIDE ALL COPPER WIRING
4.	CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES
5.	CONTRACTOR TO HAVE A VALID LICENSE TO DO ELECTRICAL WORK
6.	PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL
7.	PROVIDE AND INST. ALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
8.	PROVIDE AND INST. ALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
9.	UNLESS OTHERWISE INDICATED, INST. ALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE FINISHED FLOOR
10.	PROVIDE AFCIS (ARC-FAULT CIRCUIT INTERRUPTERS) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS IN ALL DWELLING UNITS PER NEC 210.12
	SWITCHES 42"
	OUTLETS 14"
	TELEPHONE 14"
	TELEVISION 14"



FIRST FLOOR UNIT ELECTRICAL

SCALE: 1/8" = 1'-0"

NOTE: SMOKE ALARM / NOTIFICATION APPLIANCES SHALL BE INTERCONNECTED BETWEEN UNITS

NOTE: USE STEEL ELECTRICAL BOXES NOT EXCEEDING 16" SQUARE AND THE AGGREGATE AREA OF OPENINGS SHOULD NOT EXCEED 100' IN 100 SQUARE FEET. THE DRYWALL MEMBRANE SHALL BE CUT TO FIT THE BOX TIGHT WITH GAPS NOT TO EXCEED 1/8". BOXES ON OPPOSING SIDES OF THE WALL SHALL BE SEPARATED BY NO LESS THAN 24" OR OTHER APPROVED METHODS PER IRC R302.4.2

GENERAL BUILDG NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3/16" UNLESS NOTED OTHERWISE
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER UNLESS NOTED OTHERWISE
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER
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SQUARE FOOTAGE CHART

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COVERED ENTRY	104
TOTAL UNDER BEAM	2176

STREET ADDRESS:

X

CITY & STATE:

X

ZIP:

X

COUNTY:

X

DRAFTING PHASES:

UNIT 1 & 2 FLOOR PLAN

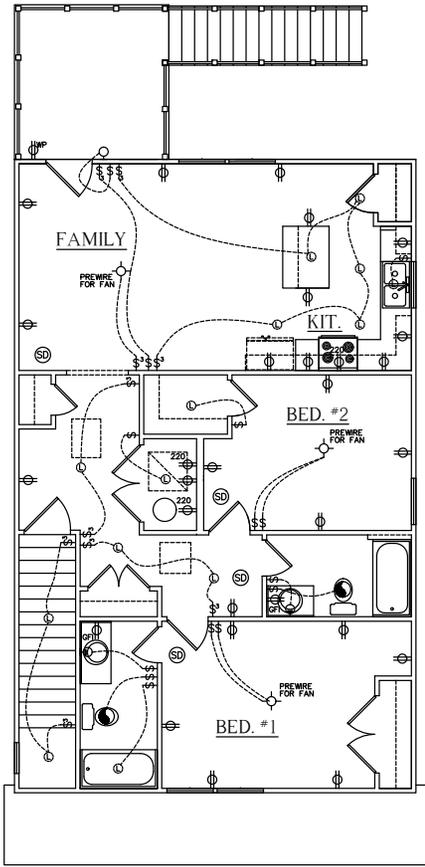
TWINPLEX
"SPEC lot 5R"



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TWINPLEX

ELECTRICAL LEGEND	
	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, L.E.D. SURFACE MOUNT
	LIGHT, PENDANT
	LIGHT, COACH / VANITY
	LIGHT, UNDER WALL CABINET
	LIGHT, OUTDOOR FLOOD
	EXHAUST FAN
	SMOKE DETECTOR
	SMOKE / CARBON DETECTOR
	THERMOSTAT
	CEILING FAN WITH LIGHT
	CEILING FAN PRE-WIRE AT LIGHT
	RECEPTACLE, PHONE
	RECEPTACLE, CAT CABLE
	RECEPTACLE, T.V. CABLE
	ELECTRICAL PANEL
	METER BASE
	CHIME BELL DOOR
	EAVE LIGHT
ELECTRICAL NOTES	
<ol style="list-style-type: none"> ALL ELECTRICAL TO MEET N.E.C. PROVIDE 200 AMP SINGLE PHASE SERVICE PROVIDE ALL COPPER WIRING CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE FINISHED FLOOR. <ul style="list-style-type: none"> SWITCHES 42" OUTLETS 14" TELEPHONE 14" TELEVISION 14" PROVIDE AFCIS (ARC-FAULT CIRCUIT INTERRUPTERS) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS IN ALL DWELLING UNITS PER NEC210.12 	



SECOND FLOOR ELECTRICAL
SCALE: 1/8" = 1'-0"

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GENERAL BUILDG NOTES	
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SQUARE FOOTAGE CHART	
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TOTAL HEATED & COOLED AREA	2046
COVERED ENTRY	104
TOTAL UNDER BEAM	2150
STREET ADDRESS:	
X	
CITY & STATE:	
X	
ZIP:	
X	
COUNTY:	
X	
DRAFTING PHASES:	
PRELIMINARY 09/15/2025 PJM PERM 10/03/2025 PJM PERM II 10/23/2025 PJM	
ELECTRICAL UNIT 1 & 2	
TWINPLEX "SPEC lot 5R"	
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TWINPLEX	

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

01/31/2026

Date to be Posted

02/13/2026

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting

Zach Taylor

Digitally signed by Zach Taylor
Date: 2025.12.29 16:09:36
-05'00'

Zach Taylor

12/29/2025

Applicant Signature

Applicant Name

Date