



USE ON REVIEW REPORT

▶ **FILE #:** 1-A-26-UR

AGENDA ITEM #: 35

AGENDA DATE: 1/8/2026

▶ **APPLICANT:** MICHAEL SEEMER

OWNER(S): Michael Seemer

TAX ID NUMBER: 132 J D 029

[View map on KGIS](#)

JURISDICTION: County Commission District 3

STREET ADDRESS: 9501 EAST AIKEN LN

▶ **LOCATION:** East side of East Aiken Ln, north of George Williams Rd

▶ **APPX. SIZE OF TRACT:** 1.14 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via East Aiken Lane, an unstriped local street with a cul-de-sac and 50-80 ft of pavement width within a right-of-way width that varies from 75-120 ft.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Sinking Creek

▶ **ZONING:** RA (Low Density Residential)

PLACE TYPE: SR (Suburban Residential), HP (Hillside Ridgetop Protection)

▶ **EXISTING LAND USE:** Single Family Residential

▶ **PROPOSED USE:** Garage apartment

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Single family residential - RA (Low Density Residential)

South: Single family residential - RA (Low Density Residential)

East: Single family residential - RA (Low Density Residential)

West: Single family residential - RA (Low Density Residential)

NEIGHBORHOOD CONTEXT: The subject property is in a residential area predominantly featuring single family houses, with multifamily developments to the northeast. West Valley Middle School is one mile to the southeast. There are commercial uses along Kingston Pike to the north.

STAFF RECOMMENDATION:

▶ **Approve the request for a garage apartment in the RA (Low Density residential) zone, subject to 3 conditions.**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.

2. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
3. If, during plat approval or construction of the development, it is discovered that unforeseen off-site improvements within the right-of-way are necessary as caused by this development, the developer will either enter into a Memorandum of Understanding with the County for these improvements or reimburse the County for their direct expenses (if completed by County crews) to make corrections deemed necessary.

COMMENTS:

This request is for a garage apartment on a 1.14-acre lot that currently accommodates a two-story house. A garage apartment is defined as a dwelling unit above a private garage. The structure is proposed on the north side of the existing house, 21.8 ft away from the nearest property boundary.

DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10, SECTION 2)

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE COMPREHENSIVE PLAN OF KNOX COUNTY.

- A. The SR (Suburban Residential) place type of the property, as defined in the Knox County Comprehensive Plan, recommends single family residential as a “primary use” and attached residential as a “secondary use”. A garage apartment is an alternative residential dwelling type that is consistent with the SR area’s intent to provide a range of housing sizes and styles. The proposed structure also conforms to the recommended form attributes of the SR place type (i.e., maximum building height of 2 stories and setbacks of 20-30 ft).
- B. The proposed garage apartment is consistent with the Comprehensive Plan’s Implementation Policy 6 to promote attainable housing that meets the needs of future and current residents.
- C. The proposed development is also compatible with the subject property’s location in the Planned Growth Area of the Growth Policy Plan, which encourages a reasonably compact pattern of development offering a wide range of housing choices.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.

- A. The RA zone is intended to provide for residential areas with low population densities. The proposed garage apartment is permitted via the Use on Review process. The lot meets the minimum lot size requirement of 12,000 sf for a garage apartment in the RA zone.
- B. The structure meets the minimum side and rear setback requirements for a dwelling as well as for an accessory structure.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATIONS OF BUILDINGS IN THE VICINITY.

- A. The houses in the States View subdivision are predominantly 2-story, including the house on the subject lot. The proposed 2-story structure is comparable in size and scale to the surrounding structures.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC CONGESTION OR OTHER IMPACTS WHICH MAY DETRACT FROM THE IMMEDIATE ENVIRONMENT.

- A. No adverse impacts are anticipated. The proposed garage apartment is considered a low-density residential use and is compatible with other low-density residential uses in the area.
- B. As mentioned before, the garage apartment is proposed 21.8 ft away from the northern property boundary. There is an approximate 100-ft distance between the proposed structure and the nearest existing house to the north.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

- A. A garage apartment would be a minor increase in density for the area and would not significantly impact traffic on any residential streets.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

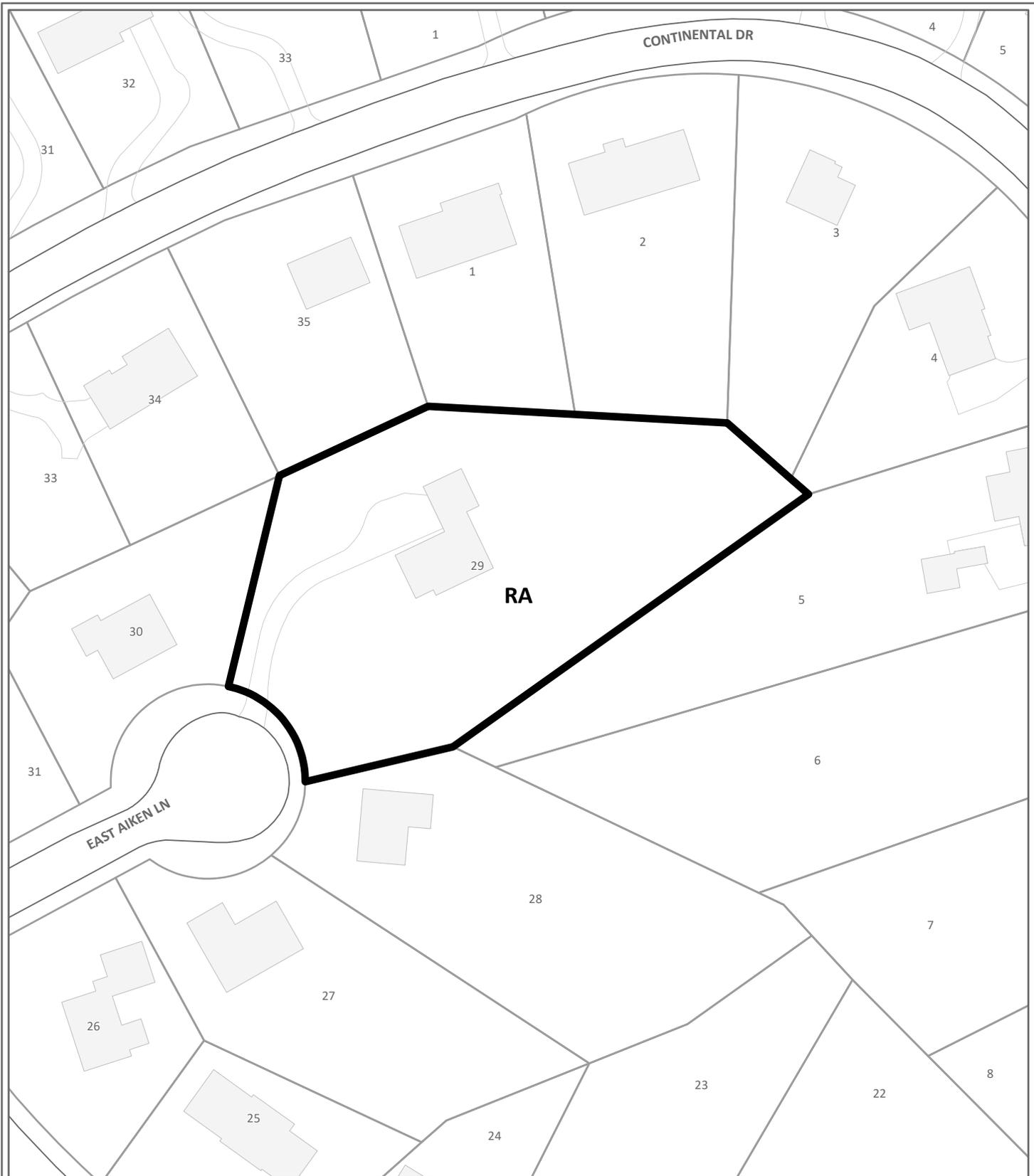
- A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed residential use.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

Schools affected by this proposal: A. L. Lotts Elementary, West Valley Middle, and Bearden High.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to a court of competent jurisdiction within thirty (30) days of the Planning Commission's decision.



USE ON REVIEW

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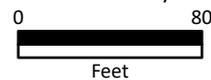
Petitioner: Michael Seemer



Garage apartment in RA (Low Density Residential)

Map No: 132

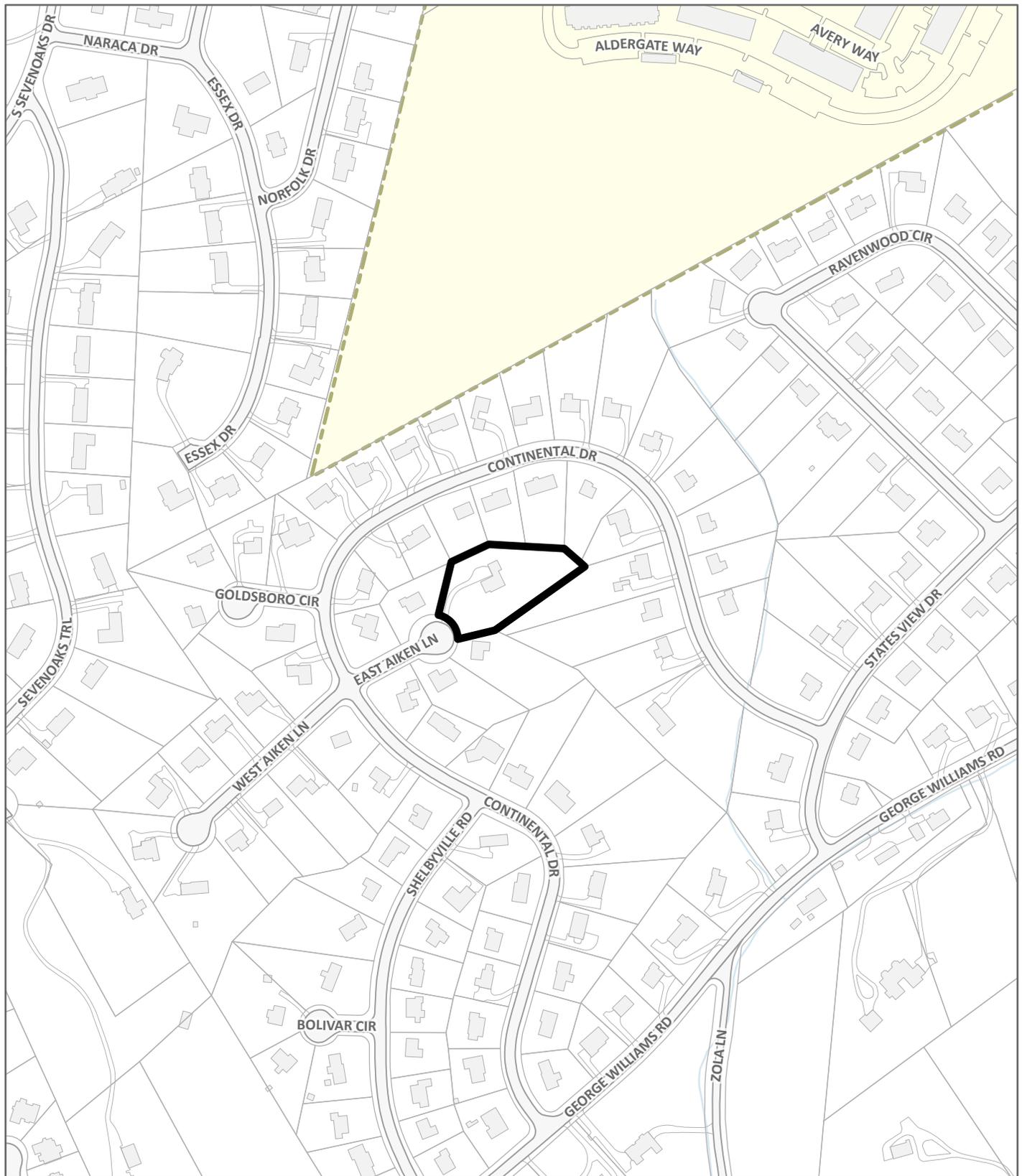
Jurisdiction: County



Original Print Date: 12/2/2025

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Exhibit A. Contextual Images



LOCATION MAP

1-A-26-UR



Case boundary

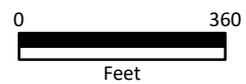


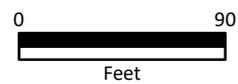
Exhibit A. Contextual Images



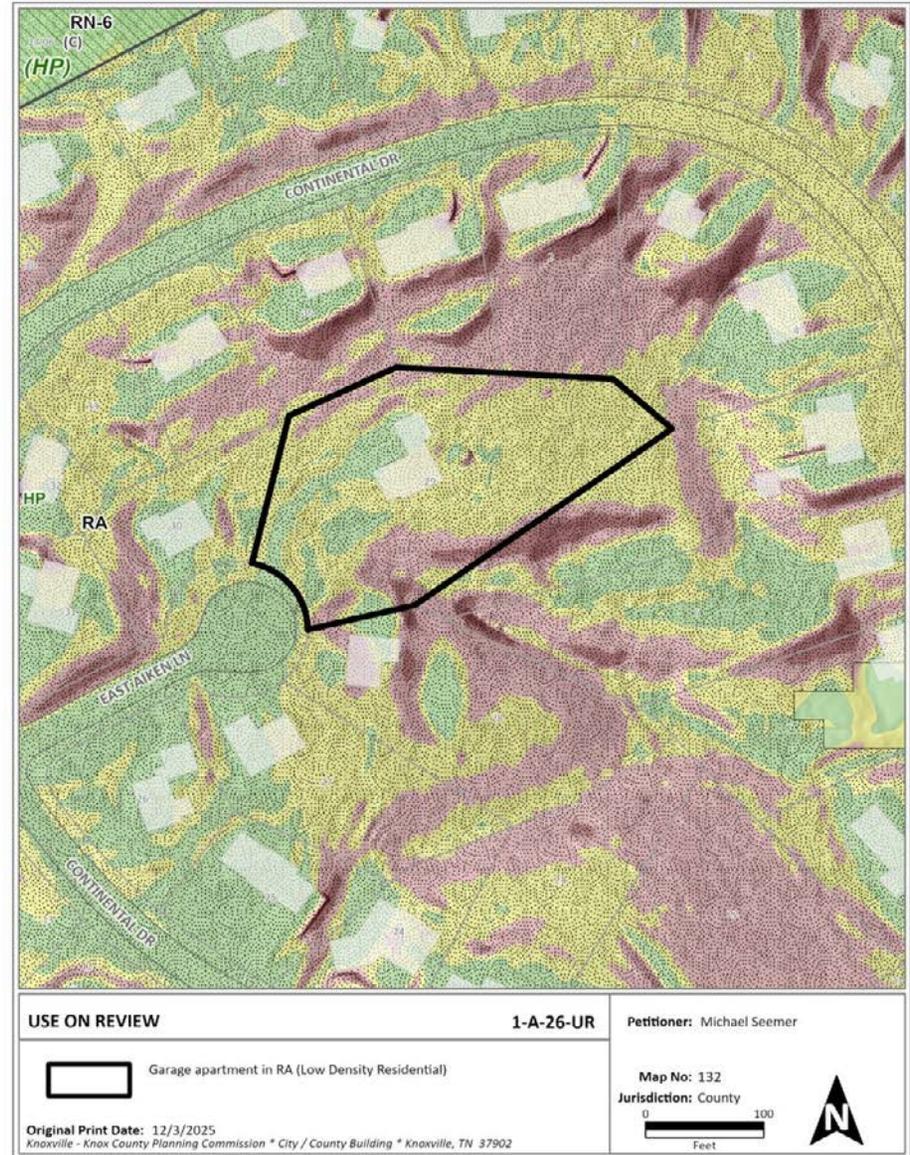
AERIAL MAP

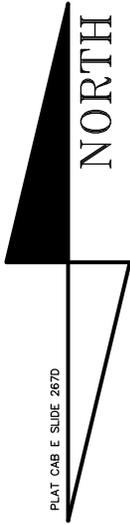


Case boundary



CATEGORY	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Acres)
Total Area of Site	1.14		
Non-Hillside	0.00	N/A	
0-15% Slope	0.17	100%	0.17
15-25% Slope	0.76	50%	0.38
25-40% Slope	0.18	20%	0.04
Greater than 40% Slope	0.02	10%	0.00
Ridgetops			
Hillside Protection (HP) Area	1.14	Recommended disturbance budget within HP Area (acres)	0.59
		Percent of HP Area	52.0%

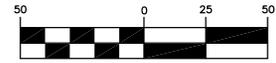




NOTES:

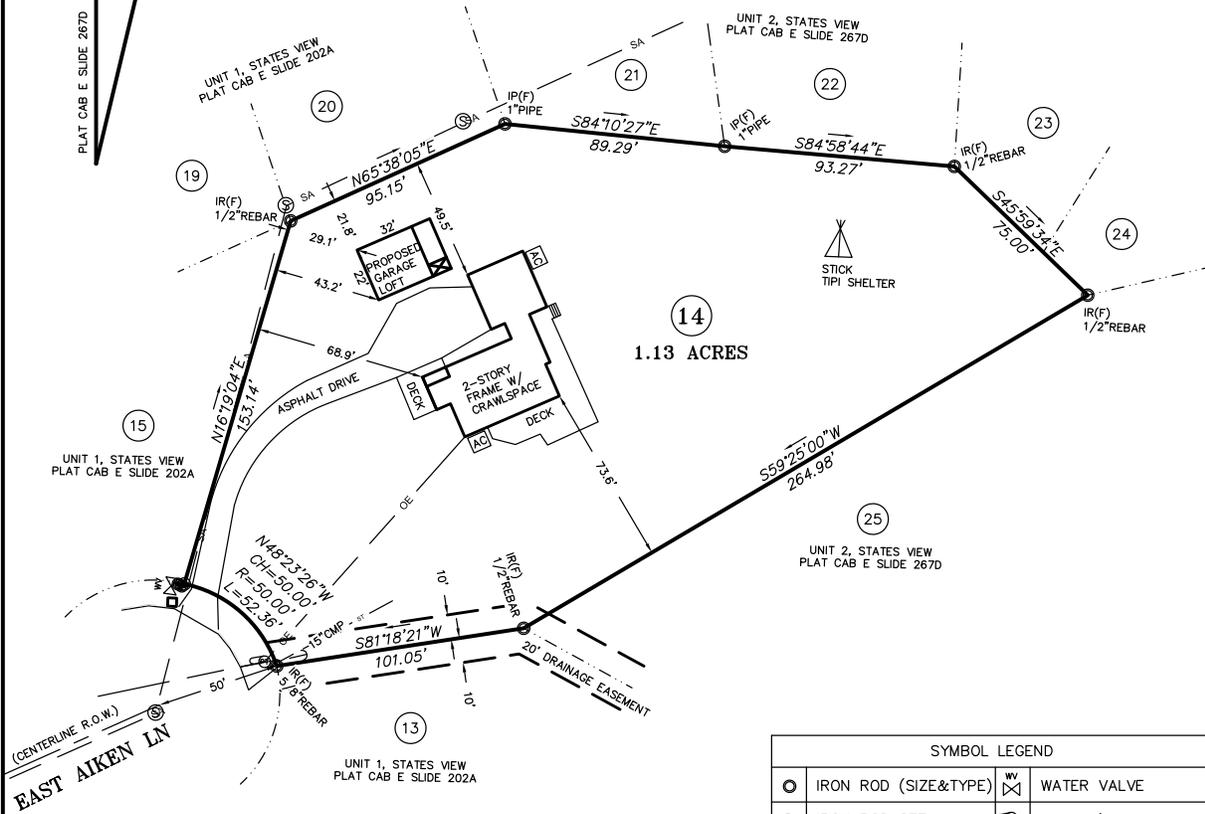
1. GARAGE AREA: 704 SQ. FT.
4. THIS PROPERTY IS ZONED RA
5. THIS PROPERTY DOES NOT LIE WITHIN A 100/500 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 47093C0263F & 47093C0264F EFFECTIVE DATE: MAY 2, 2007
6. ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE CONSIDERED APPROXIMATE.

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

1-A-26-UR
submitted 11/21/2025



SYMBOL LEGEND			
○	IRON ROD (SIZE&TYPE)	⊗	WATER VALVE
●	IRON ROD SET	⊕	POWER/TELE. POLE
⊙	SANITARY MANHOLE	↖	GUY WIRE
⊗	WATER METER	AC	HVAC
□	MAILBOX		

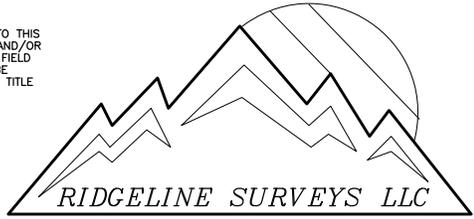
LINE LEGEND		
— w —	WATER LINE	
— SA —	SEWER LINE	
— ST —	STORM SEWER LINE	
— OE —	POWER/TELE. LINE	

FOR:
FRANCO IRAKOZE
1327 W BAXTER AVE
KNOXVILLE, TENNESSEE 37921
PHONE: 865-548-5023

THIS SURVEY WAS DONE UNDER AUTHORITY OF TCA 62-18-126. THIS SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-07.

NOTE:
NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.

PLOT PLAN OF:
Lot 14
Unit I
States View
9501 East Aiken Lane
Knoxville, Tennessee 37922

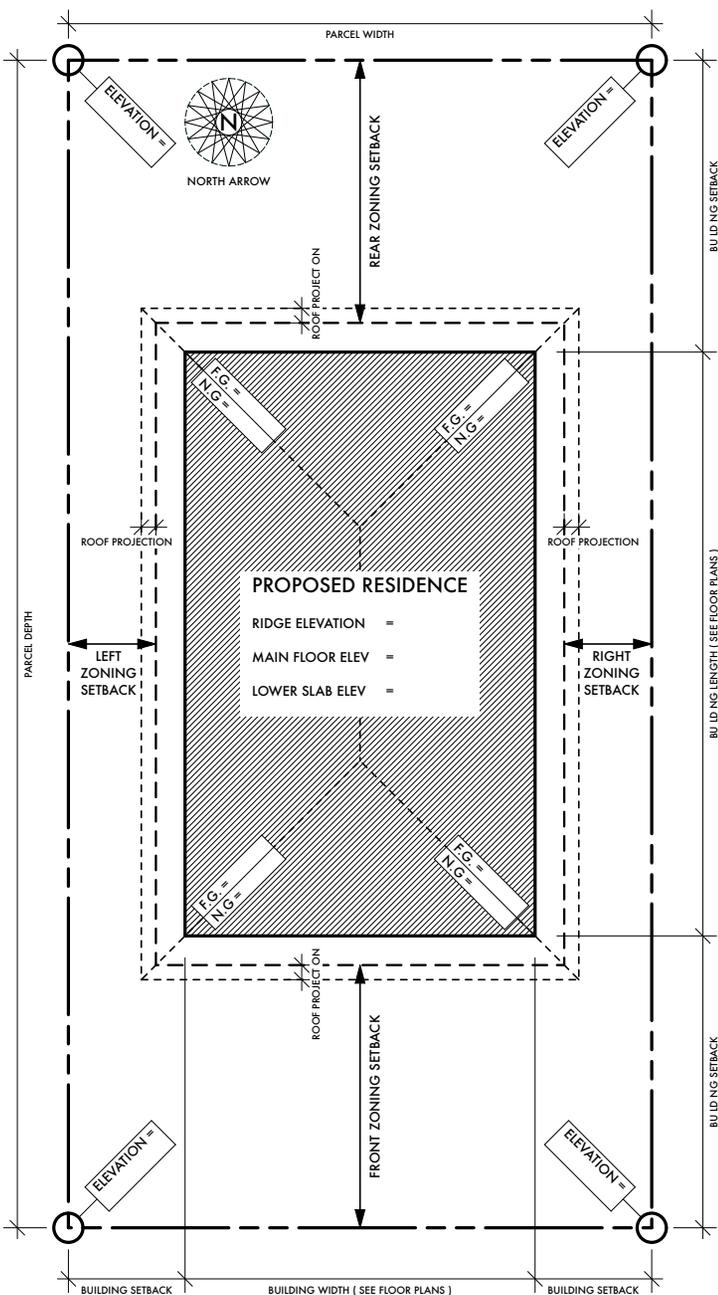


5607 TENNYSON DRIVE
KNOXVILLE, TENNESSEE 37909
865.771.7917
OFFICE@RIDGELINESURVEYS.COM

Ward	—	City	—
District	6	County	KNOX
Plat Bk:	E	Page	267D
CLT #	132J "D"	Parcel	029
Scale	1"=50'	Date	11/17/2025
Deed Inst.	202509100014962	City Block	—
Project #	89-1	Drawn By	C. VITKUS



FILLABLE SITE PLAN (NOT TO SCALE) / PROPERTY ZONING = ()

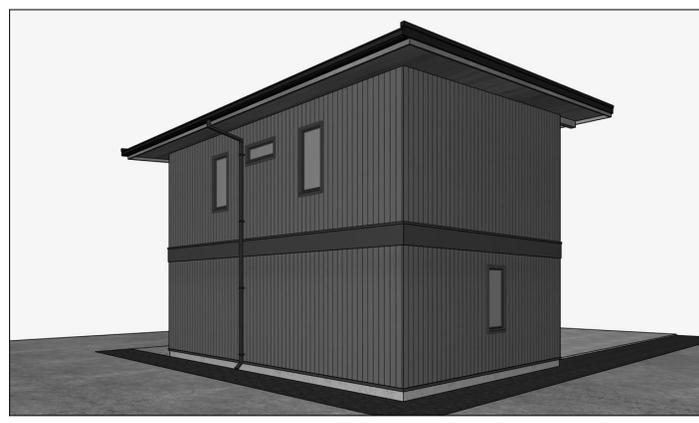


* IMPORTANT - READ CAREFULLY BEFORE COMMENCING WORK *

1. THE PROCEEDING DRAWINGS COMPOSE A HOUSE DESIGN ONLY & HAVE NOT BEEN ISSUED AS A HOW TO GUIDE FOR BUILDING CONSTRUCTION.
2. WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN PREPARING THIS PLAN, THE DESIGNER DOES NOT GUARANTEE AGAINST HUMAN ERROR.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH & SHALL CONFORM TO THE LATEST EDITION OF THE B.C.B.C./A.B.C./O.A./N.B.C./C.C./I.B.C./I.R.C./U.B.C. [WHICHEVER TAKES PRECEDENCE IN THE AREA OF CONSTRUCTION] PLUS LOCAL CODES, BYLAWS & REGULATIONS WHERE THESE TAKE PRECEDENCE.
4. READ THESE PLANS IN CONJUNCTION WITH ALL DOCUMENTS ISSUED BY ENGINEERS, HVAC, PLUMBING, ELECTRICAL OR OTHER REQUIRED CONSULTANTS.
5. THE GENERAL CONTRACTOR (OR OWNER / BUILDER) SHALL BE RESPONSIBLE FOR ALL RELEVANT PERMITS & CALL FOR ALL REQUIRED INSPECTIONS.
6. THE GENERAL CONTRACTOR (OR OWNER / BUILDER) MUST CHECK THIS DOCUMENT IN ITS ENTIRETY & TAKE RESPONSIBILITY FOR ANY ADDITIONAL DOCUMENTATION OR NEEDED PLAN ALTERATIONS BEFORE APPLYING FOR PERMIT, ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
7. THE GENERAL CONTRACTOR (OR OWNER / BUILDER) SHALL FOLLOW NATIONAL STANDARDS TO ENSURE PUBLIC SAFETY THROUGHOUT CONSTRUCTION.
8. THE GENERAL CONTRACTOR (OR OWNER / BUILDER) SHALL ENSURE THAT ALL WORK IS DONE ACCORDING TO THE ACCEPTED PRACTICE OF THE DAY.
9. ALL MATERIALS SHALL BE NEW, THE BEST OF THEIR RESPECTIVE KIND & CONFORM TO ALL CSA, ANSI, ASTM STANDARDS (AS APPLICABLE IN YOUR REGION).
10. ALL FITURES, MECHANICAL COMPONENTS & APPLIANCES SHALL BE NEW & CONFORM TO ALL CSA, ANSI, ASTM STANDARDS (PER YOUR JURISDICTION).
11. ALL SITE DIMENSIONS, CALCULATIONS & SETBACKS ARE TO BE GOVERNED & APPROVED BY MUNICIPAL AUTHORITIES BEFORE STARTING CONSTRUCTION.
12. ANYTHING NOT COVERED IN THESE PLANS WILL BE OPEN FOR NEGOTIATION BETWEEN THE GENERAL CONTRACTOR, THE OWNER & THE MUNICIPALITY.



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PERMIT COPY		STAMPS:
PERMIT NUMBER:		
CIVIC ADDRESS:		
LEGAL ADDRESS:		
OWNER / CONTACT:		

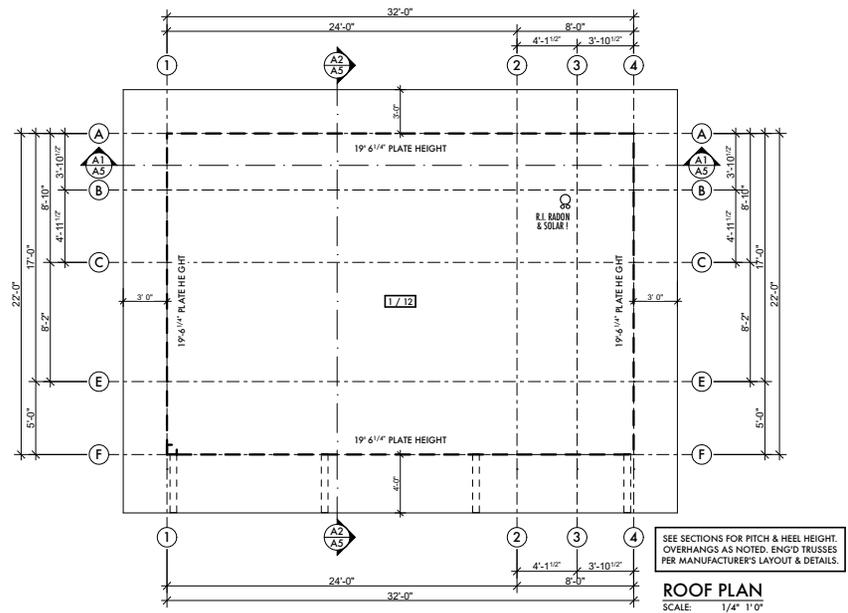
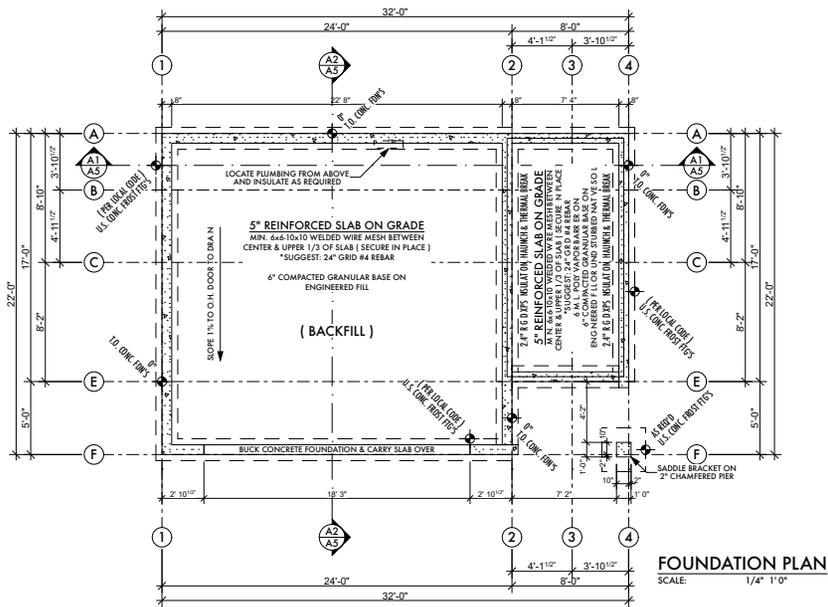
- LIST OF DRAWINGS:**
- A1 SITE PLAN, PERSPECTIVES & NOTES
 - A2 MAIN & UPPER FLOOR PLANS
 - A3 FOUNDATION & ROOF PLANS
 - A4 BUILDING ELEVATIONS
 - A5 BUILDING & WALL SECTIONS
 - E1 ELECTRICAL LAYOUTS

GENERAL NOTES:

1. SITE WORK:
 - 1.1 Building location and site elevations shall be established by a surveyor licensed by a surveying profession.
 - 1.2 Slope all finished grades away from the building or a minimum of 2% to facilitate the runoff of surface water.
 - 1.3 Do not drain surface water onto adjacent properties. Provide swales and catch basins as required.
 - 1.4 Grades shall not exceed the maximum angle of repose for the material being used unless approved by a geotechnical engineer.
 - 1.5 Builder shall review final grades and floor elevations prior to excavation.
2. EXCAVATION:
 - 2.1 The contractor shall engage a geotechnical engineer or soils consultant to determine bearing conditions and soil stability.
3. FOOTINGS AND FOUNDATIONS:
 - 3.1 Details bearing shall be below frost penetration.
 - 3.2 Footing depths as shown on this plan may need to be revised depending on the potential frost depth in your area.
 - 3.3 30" x 30" spread foundations and 18" x 18" piers shall be used.
 - 3.4 Install a perimeter drain & drain the ground foundation and concrete to storm sewer or rock pits as required.
 - 3.5 Confirm opening to be used for drainage on required project plans.
 - 3.6 Install 8" long, 5/8" anchor bolts every 4 feet for wall panels. Install rebar every 4 feet (18" long).
 - 3.7 Install 2" x 2" x 20' bars, 12M for walls, 12M for columns, 12M for columns, 12M for columns.
 - 3.8 Confirm opening to be used for drainage on required project plans.
 - 3.9 If required, see structural engineer's specifications and details to confirm concrete dimensions and rebar placement.
 - 3.10 Insulated concrete forms (ICF) shall be used for exterior walls.
 - 3.11 Minimum concrete strength: walls and footings min 15MPa; grade min 20MPa and basement slabs min 20MPa.
 - 3.12 Install wall tie pins to tie exterior walls to interior walls.
4. BACKFILL:
 - 4.1 Perimeter backfill shall be installed to slope away from building at 2% minimum slope. Leave 8 inches of concrete exposed.
 - 4.2 Do not backfill before foot finish and install area approved by a geotechnical engineer.
 - 4.3 Do not backfill under slabs with granular material and shall be compacted to 95% standard proctor density. Max 28" lifts.
5. FRAMING:
 - 5.1 Engineered roof trusses @ 24" o.c. with provision for solar panels as required (see engineered layout by manufacturer).
 - 5.2 2x12 ceiling sheathing, outside concrete foundation. Dimensions are taken from grid lines to edge of interior framing.
 - 5.3 All window headers up to 6'2" in length shall be 2x11, 2 x 8". Consult engineer or truss company for spans greater than 6'2".
 - 5.4 Exterior wall studs shall be 2 x 4, 15" o.c. with top and bottom plates as required by code with all gables.
 - 5.5 All interior walls shall be 2x4 with top and bottom plates as required by code with all gables.
 - 5.6 Floor joists shall be manufactured I-beams with all required bridging and blocking. See manufacturer's shop drawings for details.
 - 5.7 Insulated foam side and corners shall be as specified for framing. See manufacturer's shop drawings for details.
 - 5.8 Lumber grades and species shall follow engineering drawings and Building Codes and are to be No. 1&2 or minimum.
 - 5.9 Exposed lumber and lighter touching concrete shall be pressure treated or protected with an approved preservative.
 - 5.10 Engineered steel specifications and connection details per engineer's drawings.
6. SHEATHING:
 - 6.1 7/16" T&G plywood roof sheathing or 1/2" O.S.B.
 - 6.2 7/16" Plywood gable sheathing or 1/2" O.S.B. with 1/8" separation gaps.
 - 6.3 5/8" T&G plywood floor decking (do not use O.S.B.)
7. ROOFING & SOFFITS:
 - 7.1 Roofing shall be torch on waterproof membrane unless otherwise shown (torch on membrane slopes under 4 in 12).
 - 7.2 Color shall be determined by owner. All roof vents and flashing to match roofline vents to any roof on the front elevation.
 - 7.3 All roof vents shall be installed to side and rear gables. Do not install roof vents on front elevation.
 - 7.4 Soffits to be manufactured I-beams with all required bridging and blocking. See manufacturer's shop drawings for details.
 - 7.5 Soffits to be installed over finished ceiling. Any protrusions shall provide a minimum of 2" concrete reinforcement at eave.
 - 7.6 Soffits that projects to within 48" (or 1.2m) of any property line must be non-combustible and non-vented for fire safety.
8. EAVES TRIMMINGS & DOWNSPOUTS:
 - 8.1 Eave trimmings shall be 4" x 2" aluminum profiled, color to match roof. Install stoppers at downslops to prevent entry of debris.
 - 8.2 Downslops shall be in obscure corners as indicated on elevations. Advise 30' foot maximum between downslops.
9. WINDOWS:
 - 9.1 Windows shall be double-pane vinyl with 5/8" S.D.L. lens (if shown) and open as specified by owner.
 - 9.2 Windows to have a minimum thermal value of U.S.I. 2.0 / U.S. 28 per B.C.C. Zone 6 (unless per region).
 - 9.3 Windows must meet egress requirements per Code. Minimum 24" x 36" unobstructed opening advised if no higher than 48".
 - 9.4 Egress windows shall be installed to side and rear gables. Do not install egress windows on front elevation.
 - 9.5 Window supplier shall provide window samples and/or product information including brand names and warranties.
 - 9.6 All exterior window and door frames shall be finished to match exterior finish of Building Code Residential Standards.
 - 9.7 Unprotected opening (spatial separation) calculations to be provided by the General Contractor (or Owner/Builder) as req'd.
10. EXTERIOR DOORS:
 - 10.1 Safety glass is required in all exterior doors.
 - 10.2 Front entrance door to meet NFPA requirements. Minimum thermal value of U.S.I. 2.0 / U.S. 28. 3-point flash for slabs per 5.11.
 - 10.3 Garage floor opens to be installed metal or fiberglass with electric and drain of 2" or greater. Minimum thermal value of U.S.I. 1.1.
 - 10.4 All exterior wall penetrations shall be finished, sealed and insulated per current Building Code Residential Standards.
11. INTERIOR DOORS:
 - 11.1 To be determined by owner. Solid core doors advisable. Bedroom doors must be underlaid by 1/2" for cross ventilation.
12. EXTERIOR FINISH:
 - 12.1 Exterior finish to be James Hardie product or equivalent per elevations, color to be determined. Finish as required.
 - 12.2 Stone shall be 2" natural stone facing on wire lattice and scratch coat. Finish as required.
13. THERMAL INSULATION AND VAPOR BARRIERS:
 - 13.1 Permit application to provide R-5.1 calculations for assemblies as required by code. R24 walls / R48 roof advised as a minimum.
 - 13.2 Poly vapor barrier to underlaid of roof trusses.
 - 13.3 Insulate over exterior walls outside of insulation for a minimum of 2 inches clearance for unobstructed roof ventilation.
 - 13.4 Insulate under exterior wall plates, around electrical boxes and where plumbing and wiring penetrate the vapor barrier.
 - 13.5 Insulate under all other wall plates.
 - 13.6 Insulate under all other wall plates.
 - 13.7 Install 2" rigid insulation around inside foundation walls to frost depth and 1" for wall to slab thermal break per local code.
 - 13.8 Insulate and poly vapor barrier over all foundation walls. See manufacturer's shop drawings for details.
 - 13.9 2" rigid insulation required under all insulation required under all insulation required under all insulation required in this case.
 - 13.10 2" rigid insulation required under all insulation required under all insulation required under all insulation required in this case.
14. GYPSUM BOARD:
 - 14.1 Ceiling board (if any) shall be 1/2" unless otherwise noted as 5/8" type for fire separation.
 - 14.2 Ceilings shall be 1/2" CD board and prepared for a painted, lightly textured finish.
 - 14.3 1/2" rigid insulation required under all insulation required under all insulation required under all insulation required in this case.
 - 14.4 Install square corner beads throughout.
15. STAIRWAYS & RAILINGS:
 - 15.1 Per current local Building Code Residential Standards.
16. CABINETS:
 - 16.1 See plan for general layout and appliance locations. Cabinet maker shall contact owners for cabinet finishes and details.
 - 16.2 Cabinet maker shall supply shop drawings with sample finishes and hardware, including drawer slides and accessories.
17. INTERIOR PAINTING AND FINISHING:
 - 17.1 Contact interior designer / owner for painting, finishes, flooring, window coverings, plumbing and lighting fixtures.
18. PLUMBING:
 - 18.1 Do not install any plumbing in exterior walls without adequate insulation for freeze protection.
 - 18.2 Plumbing fixtures, faucets, and plumbing accessories shall be selected by owners.
 - 18.3 Paper holders, towel bars, and vanity mirrors shall be selected by owners.
 - 18.4 Install increase exterior hose bibs per plan.
 - 18.5 Install a connection for an irrigation system.
 - 18.6 The hot water tank shall be installed in an unheated area.
 - 18.7 The hot water tank shall be installed in an unheated area.
 - 18.8 Install floor drains in unheated areas and under hot water tanks.
19. HEATING AND VENTILATION:
 - 19.1 As required by regional codes, the HVAC contractor shall supply and install furnace and A/C systems, mixtures or electric baseboard heaters that will adequately heat the building (regional heating and cooling loads plus ventilation requirements).
 - 19.2 Confirm the general contractor to confirm all duct chases and plenum location Code and Residential Standards.
 - 19.3 Furnace proper heating and ventilation (or one cover space per Code and Building Code Residential Standards).
 - 19.4 Any duct openings shall be sealed and insulated to meet exterior wall insulation requirements.
 - 19.5 Install screened covers to all vents, ducts, extractors, designed to prevent entry of debris insects, birds or rain.
 - 19.6 Install fire plates, fan and wall manufacturer's specs with proper clearances and non-combustible materials as required.
 - 19.7 Principal exhaust fan must be designed to run continuously 24/7 and the air flow rate must comply with the current Code.
 - 19.8 Installation of a Heat Recovery Ventilator (HRV) unit is highly recommended even if not required by Building Code.
20. ELECTRICAL:
 - 20.1 Electrical layout intended only as a guide. Election to initiate a "walkthrough" with owner to confirm needs / future locations.
 - 20.2 Fixtures, switches and outlets shall be approved by owner. The electrical contractor shall not install and ungrounded devices.
 - 20.3 The electrical contractor shall supply and install all electrical wiring in the country to properly supply power to electrical load.
 - 20.4 Smoke and CO sensor / alarms shall be direct wired and conform to local Building Code Residential Standards.
 - 20.5 Install wiring for cable TV, internet and telephone. Install CO/200V fire charger in garage. Confirm locations with owner on site.
 - 20.6 Install electrical conduit for driveway lamp and landscape lighting. Confirm locations with owner on site.
 - 20.7 Provide multiple grounds for sound system and security system. See owner for system specifications.
 - 20.8 Consult owner regarding any need for a back-up generator, solar power, geothermal power or other alternative power systems.
21. FIRE SAFETY:
 - 21.1 Install smoke and CO sensor / alarms as required. It is advised for these to be installed in each sleeping room, even if not req'd.
 - 21.2 Dwelling may require fire extinguishers, that will be installed in the kitchen, living and bedrooms.
 - 21.3 Unprotected opening (spatial separation) calculations to be provided by the General Contractor (or Owner/Builder) as req'd.
22. BUILT-IN VACUUM:
 - 22.1 Confirm installation of a built in vacuum system complete with kitchen dustbin with the owner.
23. LANDSCAPING:
 - 23.1 Landscaping design, irrigation system and installation shall be completed by others.
24. FINAL CLEANUP:
 - 24.1 The contractor shall examine and adjust all operating doors and windows, hardware and equipment
 - 24.2 to leave all in perfect working order.
 - 24.3 Remove all construction debris, rubble, debris, tools, and equipment from all areas.
 - 24.4 Clean and polish all glass including mirrors.
 - 24.5 Remove all construction debris, rubble, debris, tools, and equipment from all areas.
 - 24.6 Enquire and clean all plumbing and electrical fixtures to produce pleasing appearance and function.
25. SUBSTITUTIONS:
 - 25.1 Substitutions and alternatives shall be authorized by the owner or general contractor.
 - 25.2 Suppliers shall provide product samples and/or product information including warranties for proposed substitutions.
26. RESPONSIBILITIES & LIABILITIES:
 - 26.1 The General Contractor (or Owner/Builder) is responsible to ensure that all local and regional codes, bylaws, and construction safety standards are met. This includes procuring all required structural, geotechnical, seismic, hurricane, building envelope, fire suppression, specific or any other engineering or code consultation or any related to completed construction documents.
 - 26.2 The Designer is not responsible to confirm or verify any of the above, having been compensated only for the ideas for the home.
 - 26.3 By commencing work the General Contractor (or Owner/Builder) accepts all responsibilities as outlined in these notes.
27. INTELLECTUAL PROPERTY RIGHTS:
 - 27.1 Intellectual property rights associated with the attached plans remain the exclusive right of Jeremy Newell Design Inc.
 - 27.2 These plans have been created for the permit application and construction of ONE BUILDING ONLY unless written permission has been submitted to the appropriate municipal authority in the form of an official license agreement for the use of these plans.
 - 27.3 Municipal authorities granting permits for multiple buildings without proof of an official license agreement will be held culpable.
28. PRINT FORMAT: 24 X 36

PROJECT TITLE	ISSUED FOR BUILDING PERMIT
JEREMY NEWELL DESIGN INC.	
CIVIC ADDRESS:	
SHEET TITLE	
SITE PLAN, PERSPECTIVES & NOTES	
SCALE	
NOT TO SCALE	
DATE	
2022.03.07	

READ ORIGINAL NOTES - ON PAGE 1 BEFORE COMMENCING ANY WORK. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE BUILDING CODES AND MUNICIPAL BYLAWS THAT GOVERN THE LOCAL AREA OF WORK. NO PORTION OF WORK FALLING OUTSIDE OF STANDARD ACCEPTED BUILDING PRACTICE SHALL BE CONSIDERED AS A LICENSED PROFESSIONAL ENGINEER'S DESIGN. THESE PLANS ARE THE PROPERTY OF JEREMY NEWELL DESIGN INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JEREMY NEWELL DESIGN INC. © 2021



PROJECT TITLE
PROPOSED RESIDENCE

CIVIC ADDRESS:

SHEET TITLE
FOUNDATION & ROOF PLANS

ISSUED FOR BUILDING PERMIT

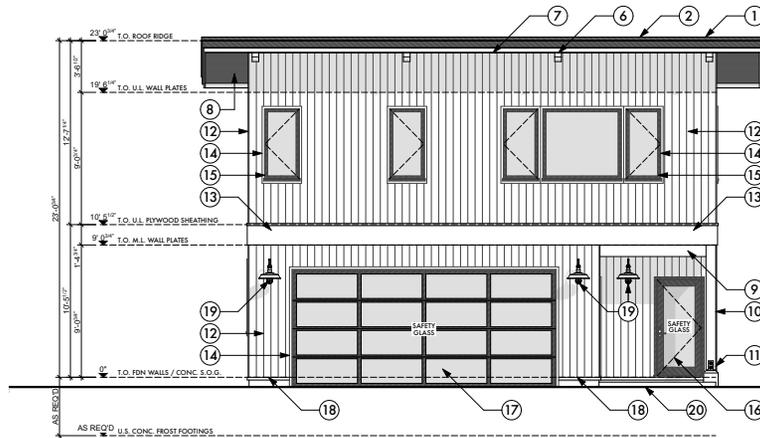
LEGAL ADDRESS:

DATE
11/11/23

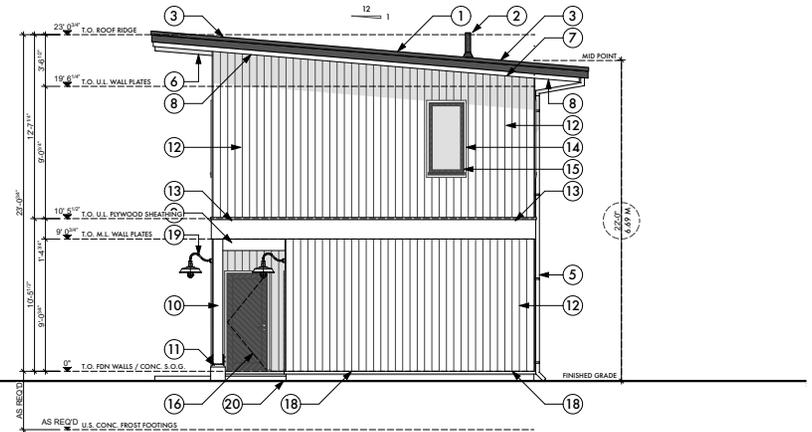
SCALE
1/4" = 1'-0"

SHEET NUMBER
A3

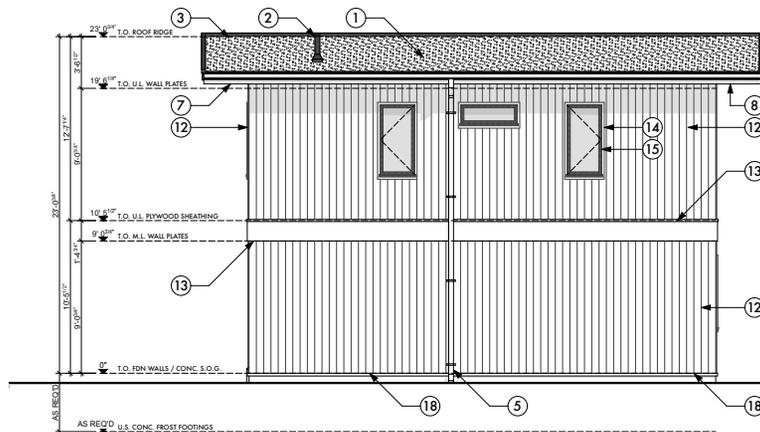
READ GENERAL NOTES ON PAGE A1 BEFORE COMMENCING ANY WORK. ALL WORK IS TO BE DONE IN COMPLIANCE WITH THE BUILDING CODES AND MIN. CITY LAWS THAT GOVERN THE LOCAL JURISDICTION OF THE BUILD. ANY PORTION OF WORK FALLING OUTSIDE OF STANDARD ACCEPTED BUILDING PRACTICE SHALL BE DESIGNATED BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THESE PLANS AND ANY REVISIONS THEREON ARE THE PROPERTY OF JEREMY NEWELL DESIGN, INC. © 2023



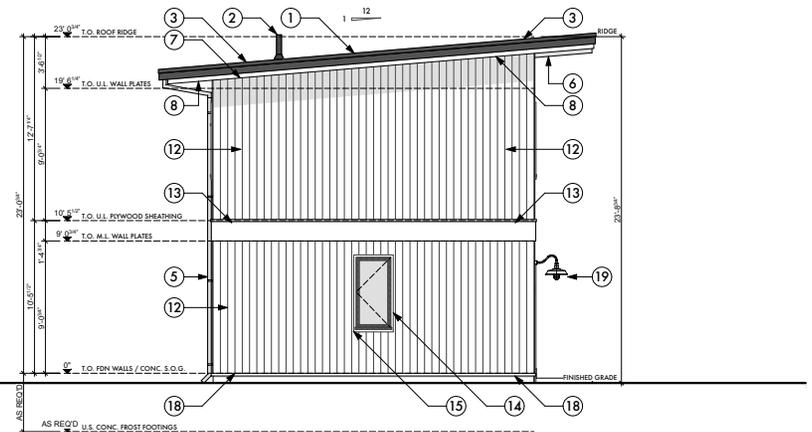
FRONT - ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT - ELEVATION
SCALE: 1/4" = 1'-0"



REAR - ELEVATION
SCALE: 1/4" = 1'-0"

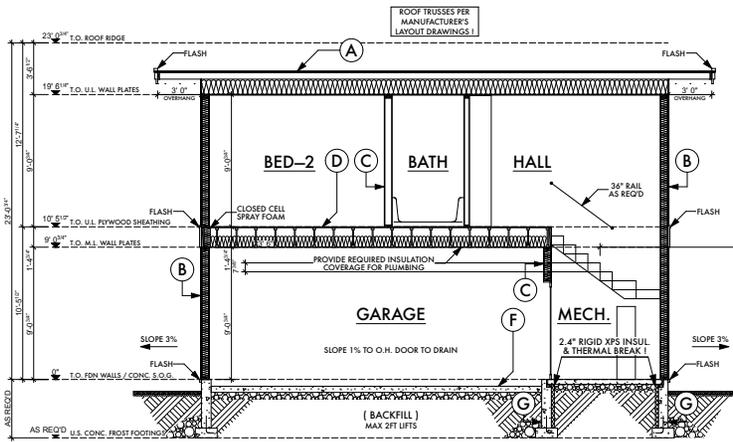


LEFT - ELEVATION
SCALE: 1/4" = 1'-0"

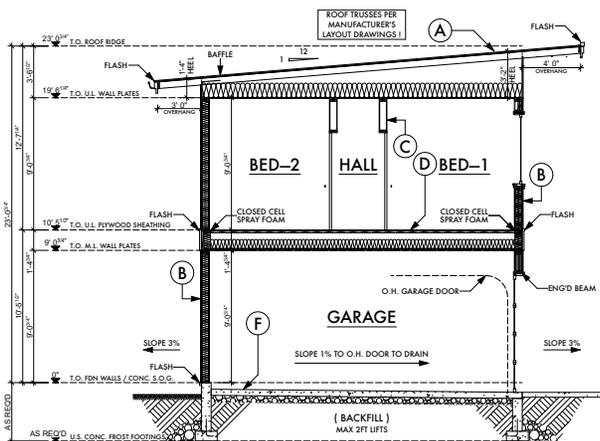
- 1 TORCH ON ROOFING (BLACK)
NOTE: DECORATIVE STANDING SEAM METAL AT LOWER ROOF
- 2 PRE FINISHED ROOF VENTS (BLACK)
- 3 FLASH CURB AT ROOF EDGE (BLACK)
- 4 PROFILED ALUMINUM GUTTER WITH REQ'D FLASHING
- 5 DOWNSPOUT TO ROCK PIT
- 6 5/4" X 7/16" FALSE RAFTER TAILS (STAIN GRADE WOOD)
- 7 5/4 X 5/12" PAINTED COMPOSITE FASCIA (BLACK) OVER 1 1/2" X 5/16" STAIN GRADE LAYERED FASCIA, FLASH
- 8 STAIN GRADE T&G SOFFITS WITH 2" CONTINUOUS VENT STRIP AT EAVE
- 9 STAIN GRADE ENGINEERED WOOD PATIO BEAM
- 10 STAIN GRADE 8" X 8" PATIO POST
- 11 EXPOSED SADDLE BRACKET OVER 12" X 12" CONCRETE PIER, CHAMFERED TO 8" X 8"
- 12 PAINTED FIBER CEMENT VERTICAL SHIPLAP SIDING (SQUARE NOTCH / BLACK), 6" EXPOSURE
- 13 1 1/2" X 12" PAINTED COMPOSITE BELLY BAND WITH REQUIRED FLASH NG
- 14 5/4" X 2 1/8" PAINTED COMPOSITE BRICK MOLDS
- 15 VINYL WINDOWS, DOUBLE PANE, ARGON FLASHED AS REQUIRED
- 16 GLAZED ENTRY DOOR PER OWNER
- 17 STEELCRAFT "ESTEEM" O.H. GARAGE DOOR (OR EQUIVALENT)
- 18 FLASH UNDER SIDING / OVER FOUNDATION
- 19 FARMHOUSE STYLE SCONCE LIGHTS
- 20 FINISHED CONCRETE PATIO FINISH T.B.D.
- 21 OPTION

<p>JEREMY NEWELL DESIGN NC</p> <p>www.jeremynewell.com</p>	PROJECT TITLE PROPOSED RESIDENCE	LEGAL ADDRESS:	SCALE 1/4" = 1'-0"
	CIVIC ADDRESS:	DATE 2/22/20 03 07	SHEET TITLE A4
	BUILDING ELEVATIONS		ISSUED FOR BUILDING PERMIT

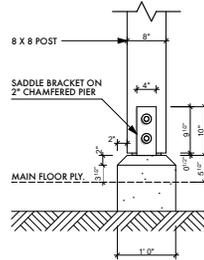
READ ORIGINAL NOTES ON PAGE 1 BEFORE COMMENCING ANY WORK. ALL WORK IS TO BE DONE IN COMPLIANCE WITH THE BUILDING CODES AND MUNICIPAL ORDINANCES THAT GOVERN THE LOCAL JURISDICTION OF THE PROJECT. ANY PORTION OF WORK FALLING OUTSIDE OF THE STANDARD ACCEPTED BUILDING PRACTICE SHALL BE DESIGNATED BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THESE DRAWINGS ARE THE PROPERTY OF JEREMY NEWELL DESIGN, INC. AND SHALL REMAIN THE PROPERTY OF JEREMY NEWELL DESIGN, INC. © 2020



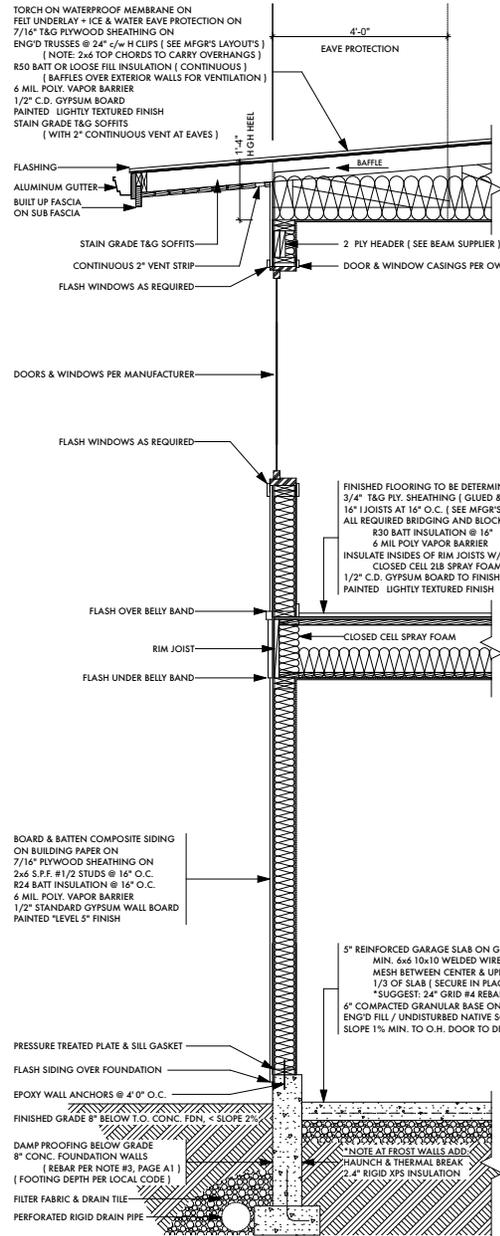
SECTION - A1
SCALE: 1/4" = 1'-0"



SECTION - A1
SCALE: 1/4" = 1'-0"



CONCRETE PIER DETAIL
SCALE: 1" = 1'-0"



TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

SECTION	CONSTRUCTION	QTY	UNIT	PRICE	TOTAL		
A	ROOF CONSTRUCTION:						
	TORCH ON WATERPROOF MEMBRANE ON FELT UNDERLAY + ICE & WATER EAVE PROTECTION ON 7/16" T&G PLYWOOD SHEATHING ON ENG'D TRUSSES @ 24" c/w H CLIPS (SEE MFG'S LAYOUTS) [NOTE: 2x6 TOP CHORDS TO CARRY OVERHANGS]	0.03	(AIR FILM)				
	R50 BATT OR LOOSE-FILL INSULATION (CONTINUOUS) [BAFFLES OVER EXTERIOR WALLS FOR VENTILATION]	8.81					
	6 MIL POLY. VAPOR BARRIER	0.08					
	1/2" C.D. GYPSUM BOARD PAINTED - LIGHTLY TEXTURED FINISH STAIN GRADE T&G SOFFITS [WITH 2" CONTINUOUS VENT AT EAVES]	0.11	(AIR FILM)				
	STAIN GRADE T&G SOFFITS	9.03	(8.67 - MIN)				
	FLASHING						
	ALUMINUM GUTTER BUILT UP FASCIA ON SUB FASCIA						
	2 PLY HEADER (SEE BEAM SUPPLIER)						
	DOOR & WINDOW CASINGS PER OWNER						
B	EXTERIOR WALL CONSTRUCTION:						
	PAINTED FIBER CEMENT VERTICAL SHIPLAP SIDING ON BUILDING PAPER ON 7/16" PLYWOOD SHEATHING ON 2x6 S.P.F. #1/2 STUDS @ 16" O.C. R24 BATT INSULATION @ 16" O.C.	2.74					
	6 MIL POLY. VAPOR BARRIER	0.08					
	1/2" STANDARD GYPSUM WALL BOARD PAINTED "LEVEL-5" FINISH	0.12	(AIR FILM)				
	PAINTED "LEVEL-5" FINISH	3.14	(3.08 - MIN)				
	C	INTERIOR WALL CONSTRUCTION:					
		1/2" STANDARD GYPSUM WALL BOARD EACH SIDE OF 2x4 OR 2x6 #1/2 STUDS @ 16" O.C. PAINTED "LEVEL-5" FINISH	0.03	(AIR FILM)			
		PAINTED "LEVEL-5" FINISH	0.08				
		2x6 S.P.F. #1/2 STUDS @ 16" O.C.	2.74				
		6 MIL POLY. VAPOR BARRIER	0.08				
1/2" STANDARD GYPSUM WALL BOARD PAINTED "LEVEL-5" FINISH		0.12	(AIR FILM)				
PAINTED "LEVEL-5" FINISH		3.05	(2.92 - MIN)				
D		FLOOR CONSTRUCTION:					
		FINISHED FLOORING TO BE DETERMINED 3/4" T&G PLYWOOD SHEATHING (GLUED & SCREWED) ON 16" JOISTS AT 16" O.C. (SEE MFG'S LAYOUTS) ALL REQUIRED BRIDGING AND BLOCKING	0.16	(AIR FILM)			
		R30 BATT INSULATION @ 16" 6 MIL POLY. VAPOR BARRIER INSULATE INSIDES OF RIM JOISTS W/ CLOSED CELL 2LB SPRAY FOAM TO 4 1/2" DEPTH (R28)	0.17				
	REQUIRED INSULATION COVERAGE FOR PLUMBING	5.14					
	6 MIL POLY VAPOR BARRIER	0.08					
	1/2" C.D. GYPSUM BOARD TO FINISHED AREAS PAINTED - LIGHTLY TEXTURED FINISH	0.11	(AIR FILM)				
	PAINTED - LIGHTLY TEXTURED FINISH	5.66	(4.51 - MIN)				
	E	SLAB ON GRADE CONSTRUCTION:					
		FINISHED FLOORING ON UNDERLAY ON 5" REINFORCED SLAB ON GRADE MIN. 6x6-10x10 WELDED WIRE MESH BETWEEN CENTER & UPPER 1/3 OF SLAB (SECURE IN PLACE) *SUGGEST: 24" GRID #4 REBAR	0.08				
		6 MIL POLY VAPOR BARRIER	0.08				
6" COMPACTED GRANULAR BASE ON ENGINEERED FILL OR UNDISTURBED NATIVE SOIL		2.13					
F		GARAGE FLOOR SLAB (IF APPLICABLE):					
		5" REINFORCED CONCRETE SLAB ON GRADE 6" GRANULAR BASE STRUCTURAL FILL (MAX. 2FT LIFTS) [SLOPE AT 1% MIN. TO O.H. DOOR FOR DRAINAGE]	2.19	(1.96 - MIN)			
		G	FOUNDATION WALL CONSTRUCTION:				
			DAMP-PROOFING BELOW GRADE 8" CONCRETE FOUNDATION WALLS [SEE ENG FOR DETAILS & SPECS]	0.08			
			2" RIGID XPS INSULATION THERMAL BREAK (FOOTING DEPTH PER LOCAL CODE)	2.19	(1.96 - MIN)		
			H	PATIO CONSTRUCTION:			
	EXPOSED AGGREGATE OR STAMPED CONCRETE FINISH [CONSULT OWNER]						
	5" REINFORCED SLAB ON GRADE (SLOPE 2% TO DRAIN) MIN. 6x6-10x10 WELDED WIRE MESH BETWEEN CENTER & UPPER 1/3 OF SLAB (SECURE IN PLACE) *SUGGEST: 24" GRID #4 REBAR						
	6 MIL POLY VAPOR BARRIER ON 4" COMPACTED GRANULAR BASE ON ENGINEERED FILL OR UNDISTURBED NATIVE SOIL						

JEREMY NEWELL DES INC. NC.
www.jeremynewell.com

PROJECT: PROPOSED RESIDENCE
CIVIC ADDRESS:
SHEET TITLE: BUILDING & WALL SECTIONS

ISSUED FOR BUILDING PERMIT
LEGAL ADDRESS:
DATE: 03/23/23

AS NOTED
DATE: 03/23/23

A5

READ GENERAL NOTES ON PAGE 1 BEFORE COMMENCING ANY WORK. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE BUILDING CODE AND MIN. CITY BYLAWS THAT GOVERN THE LOCAL JURISDICTION OF THE BUILD. ANY PORTION OF WORK FALLING OUTSIDE OF STANDARD ACCEPTED BUILDING PRACTICE SHALL BE PERFORMED BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THESE DRAWINGS ARE THE PROPERTY OF JEREMY NEWELL DES INC. AND SHALL BE KEPT IN CONFIDENCE. THESE DRAWINGS ARE NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF JEREMY NEWELL DES INC. © 2023

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

~~12/25/25~~ 12/26/2025 1/9/26

Date to be Posted

Date to be Removed



Michael seemer

Applicant Signature

Applicant Name

Date

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting