

# REZONING REPORT

▶ **FILE #:** 1-B-26-RZ

**AGENDA ITEM #:** 21

**AGENDA DATE:** 1/8/2026

▶ **APPLICANT:** GEORGE EWART

OWNER(S): Karen Claussen

TAX ID NUMBER: 95 00203

[View map on KGIS](#)

JURISDICTION: County Commission District 1

STREET ADDRESS: 0 RIVERSIDE DR

▶ **LOCATION:** Southside of Riverside Dr, west of Holston Hills Rd

▶ **APPX. SIZE OF TRACT:** 64.82 acres

GROWTH POLICY PLAN: Urban Growth Area (Outside City Limits)

ACCESSIBILITY: Access is via Riverside Drive, a minor collector with a pavement width of 18 ft within a 45-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knox-Chapman Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Tennessee River

▶ **PRESENT ZONING:** RB (General Residential)

▶ **ZONING REQUESTED:** RP (Rural Preservation)

▶ **EXISTING LAND USE:** Water, Agriculture/Forestry/Vacant Land

EXTENSION OF ZONE: This would not be an extension.

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Agriculture/forestry/vacant land, single family residential, rural residential - RB (General Residential)

South: H2O - F (Floodway)

East: Public/quasi public land (university land) - RB (General Residential), A (Agricultural)

West: Agriculture/forestry/vacant land - RB (General Residential)

NEIGHBORHOOD CONTEXT: This area is comprised of forested and agricultural land with limited residential uses. The Vulcan materials quarry is to the west of the subject site. The subject parcel is bisected by railroad right-of-way.

**STAFF RECOMMENDATION:**

▶ **Approve the RP (Rural Preservation) zone because it is consistent with the Comprehensive Plan and the subject property's function and surroundings.**

**COMMENTS:**

PURSUANT TO THE KNOX COUNTY ZONING ORDINANCE, ARTICLE 6.30.01, THE FOLLOWING CONDITIONS MUST BE MET FOR ALL REZONINGS (must meet all of these):

THE PROPOSED AMENDMENT SHALL BE NECESSARY BECAUSE OF SUBSTANTIALLY CHANGED OR CHANGING CONDITIONS IN THE AREA AND DISTRICTS AFFECTED, OR IN THE CITY/COUNTY GENERALLY:

1. The subject property is established agricultural and forested land that is almost entirely within the FEMA floodplain of the Tennessee River. It is accessed by Riverside Drive, which is a narrow and winding minor collector street with limited sight distance around wooded bends to the west.
2. The intensity of the multifamily intent under the property's existing RB (General Residential) zone is inappropriate in this context, and the requested RP (Rural Preservation) zone is more aligned with the rural and remote surroundings.

THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH THE INTENT AND PURPOSE OF THE APPLICABLE ZONING ORDINANCE:

1. The RP zone is intended to ensure the continued production of agricultural commodities by encouraging preservation of productive agricultural lands and the open space, wildlife habitat, and scenic corridor value that agricultural lands provide. Uses allowed within the district are intended to be limited to uses which are compatible with the long-term agricultural productivity of lands. The general intent of the district is to encourage farming without undue burden on the landowner. Applications for Rural Preservation zoning shall be reviewed for preservation of agricultural and forest lands and activities; water supply protection; and/or conservation of natural, scenic or historic resources.
2. The subject property possesses all three aspects that are to be considered with an RP rezoning application. It is mostly comprised of farmland that also provides a natural and scenic asset to the area along the river shoreline. The subject property directly aligns with the purpose statement of the RP zone.

PROPOSED AMENDMENT SHALL NOT ADVERSELY AFFECT ANY OTHER PART OF THE COUNTY, NOR SHALL ANY DIRECT OR INDIRECT ADVERSE EFFECTS RESULT FROM SUCH AMENDMENT:

1. There are no adverse impacts anticipated to occur with the proposed rezoning. This rezoning will provide land use regulations and protections that are more compatible with the environmental sensitivities of the subject property and its natural surroundings.

THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH AND NOT IN CONFLICT WITH THE COMPREHENSIVE PLAN OF KNOX COUNTY, INCLUDING ANY OF ITS ELEMENTS, MAJOR ROAD PLAN, LAND USE PLAN, COMMUNITY FACILITIES PLAN, AND OTHERS:

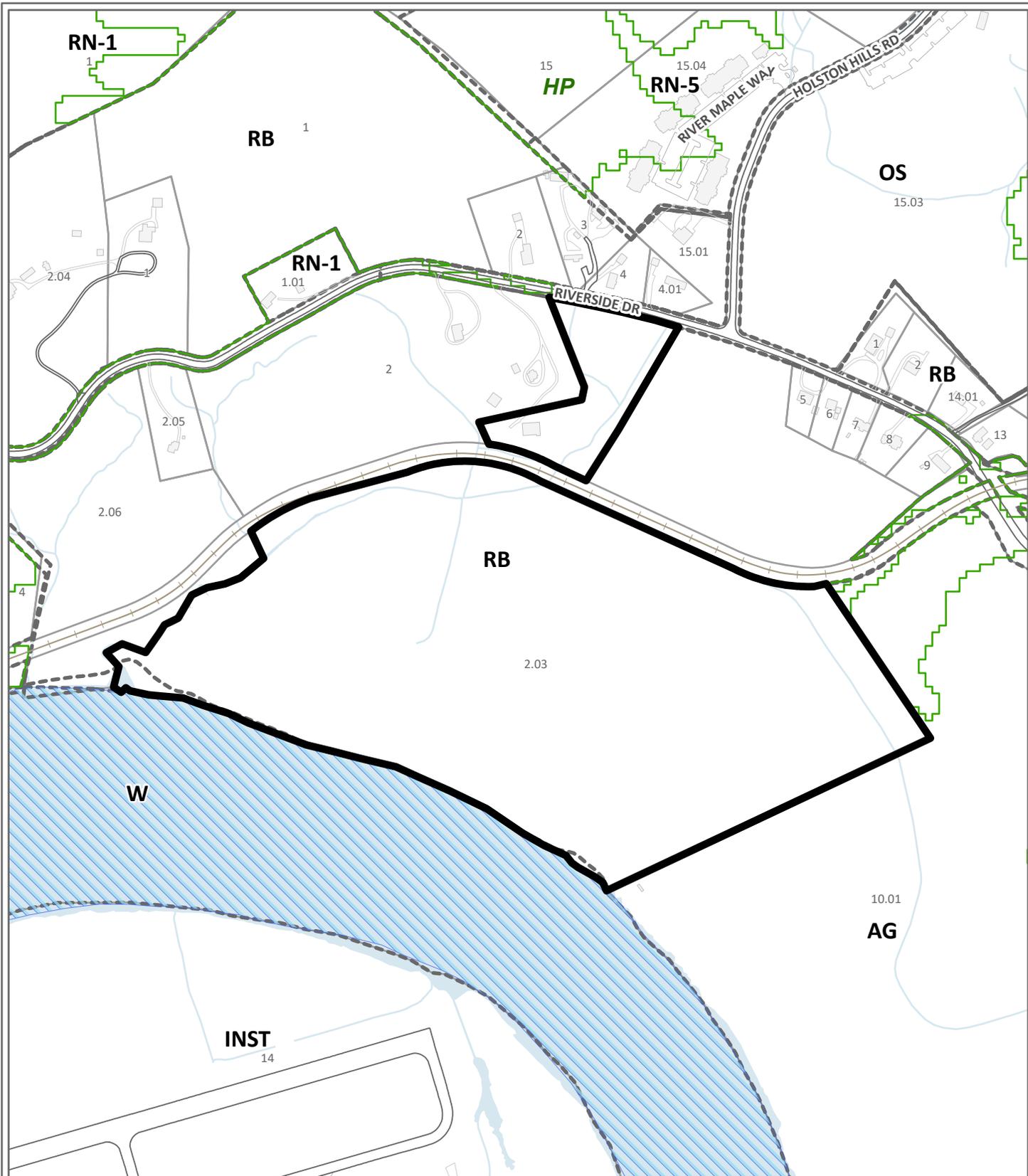
1. The RP zone will bring the property's zoning into compliance with the future land use classification, which is the RC (Rural Conservation) place type in the Knox County Comprehensive Plan. The stated objective of the RC place type is to conserve forested areas, ridges, wetlands and other significant natural areas. Although RP is listed as an indirectly related zone to this place type, it directly supports the purpose of the RC place type and should be approved for this reason.
2. This downzoning is aligned with the limited street infrastructure and utility capacity of this more isolated and wooded area.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

Schools affected by this proposal: Sarah Moore Greene Magnet, Vine Middle Magnet, and Austin East High.

If approved, this item will be forwarded to Knox County Commission for action on 2/17/2026. If denied, Knoxville-Knox County Planning Commission's action is final, unless the action to deny is appealed to Knox County Commission. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



**REZONING**

**1-B-26-RZ**

**Petitioner: George Ewart**



**From:** RB (General Residential)

**To:** RP (Rural Preservation)

**Map No:** 95

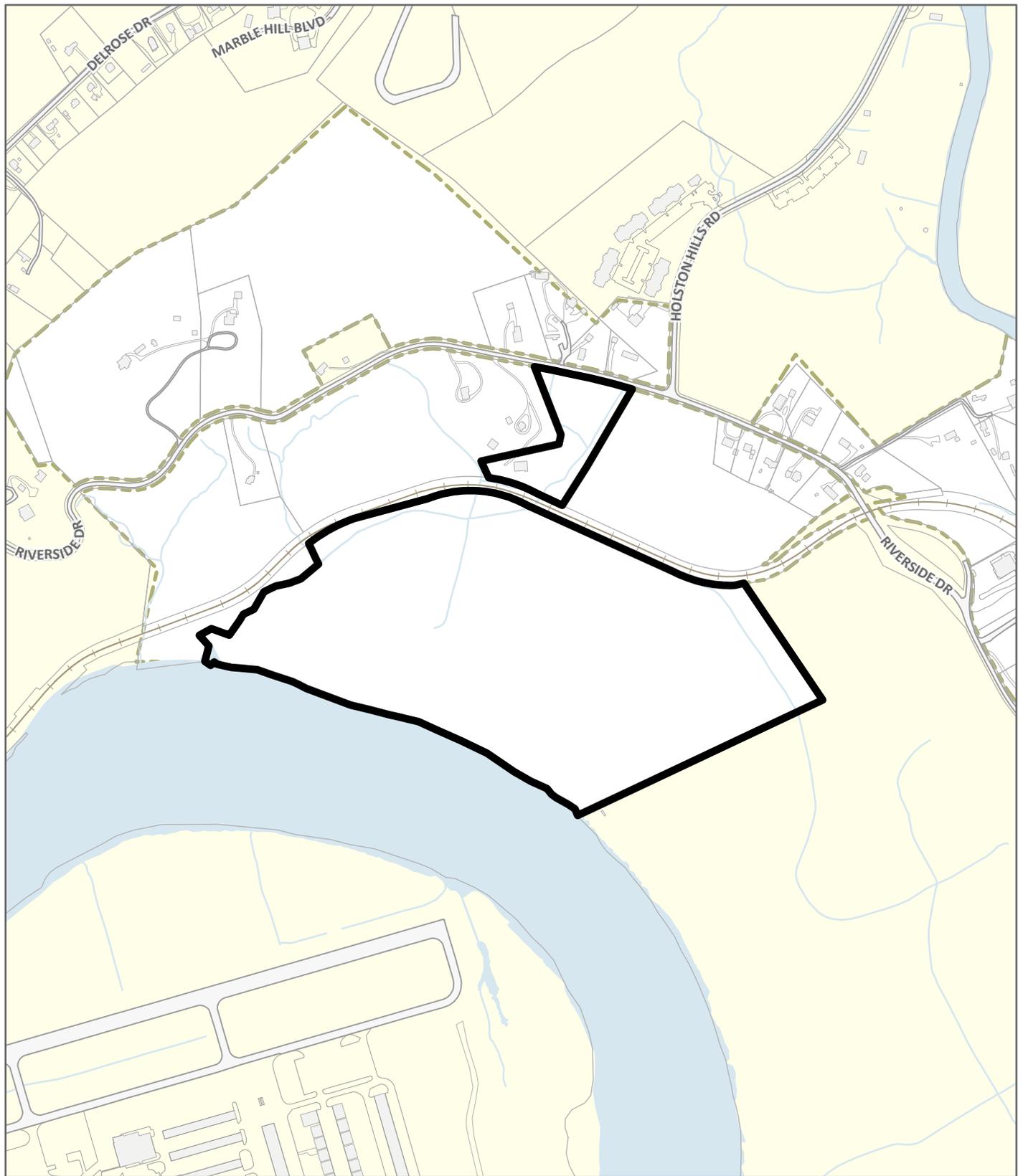
**Jurisdiction:** County



**Original Print Date:** 12/2/2025

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

# Exhibit A. Contextual Images

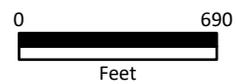


**LOCATION MAP**

**1-B-26-RZ**



Case boundary



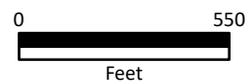
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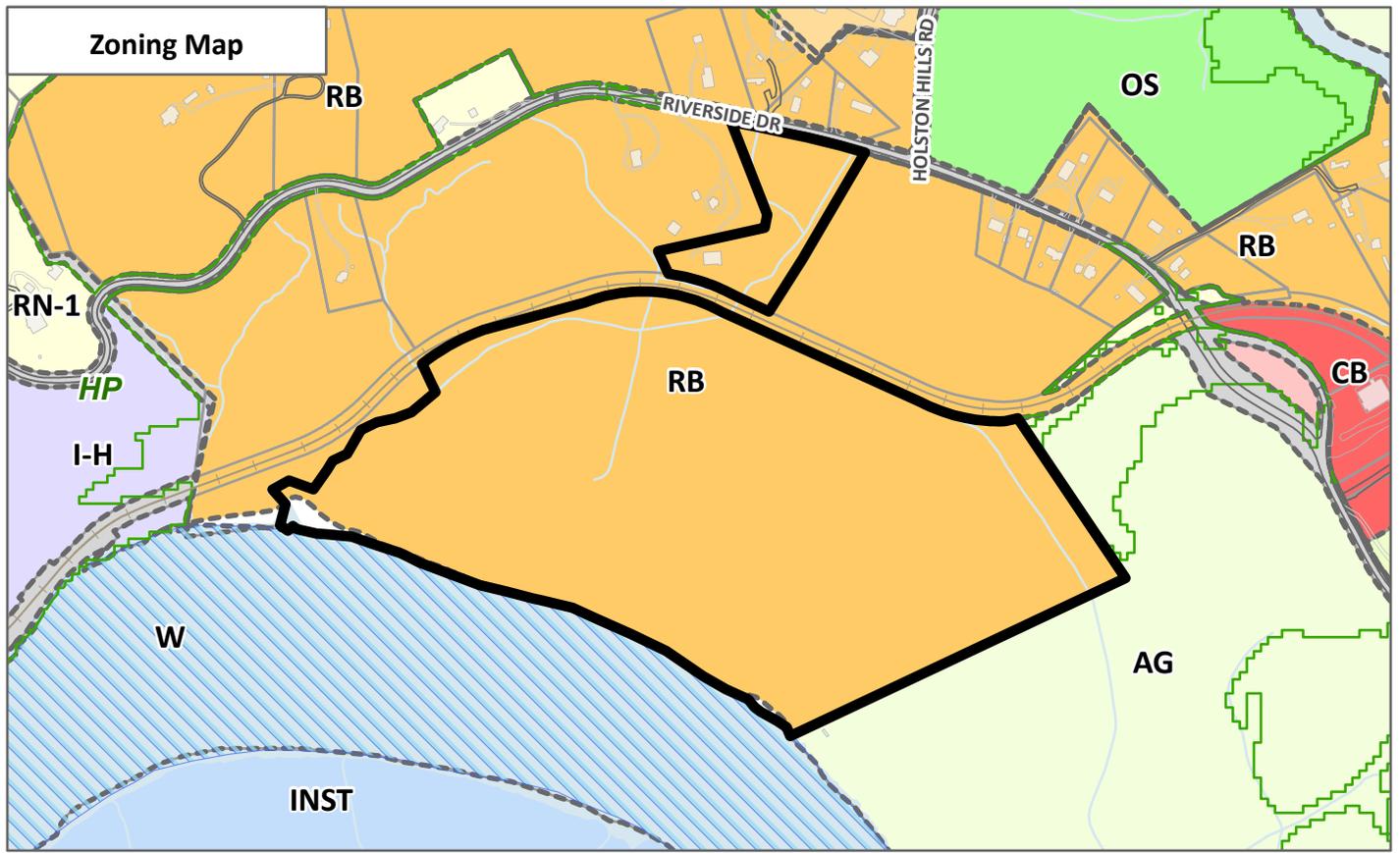
## AERIAL MAP



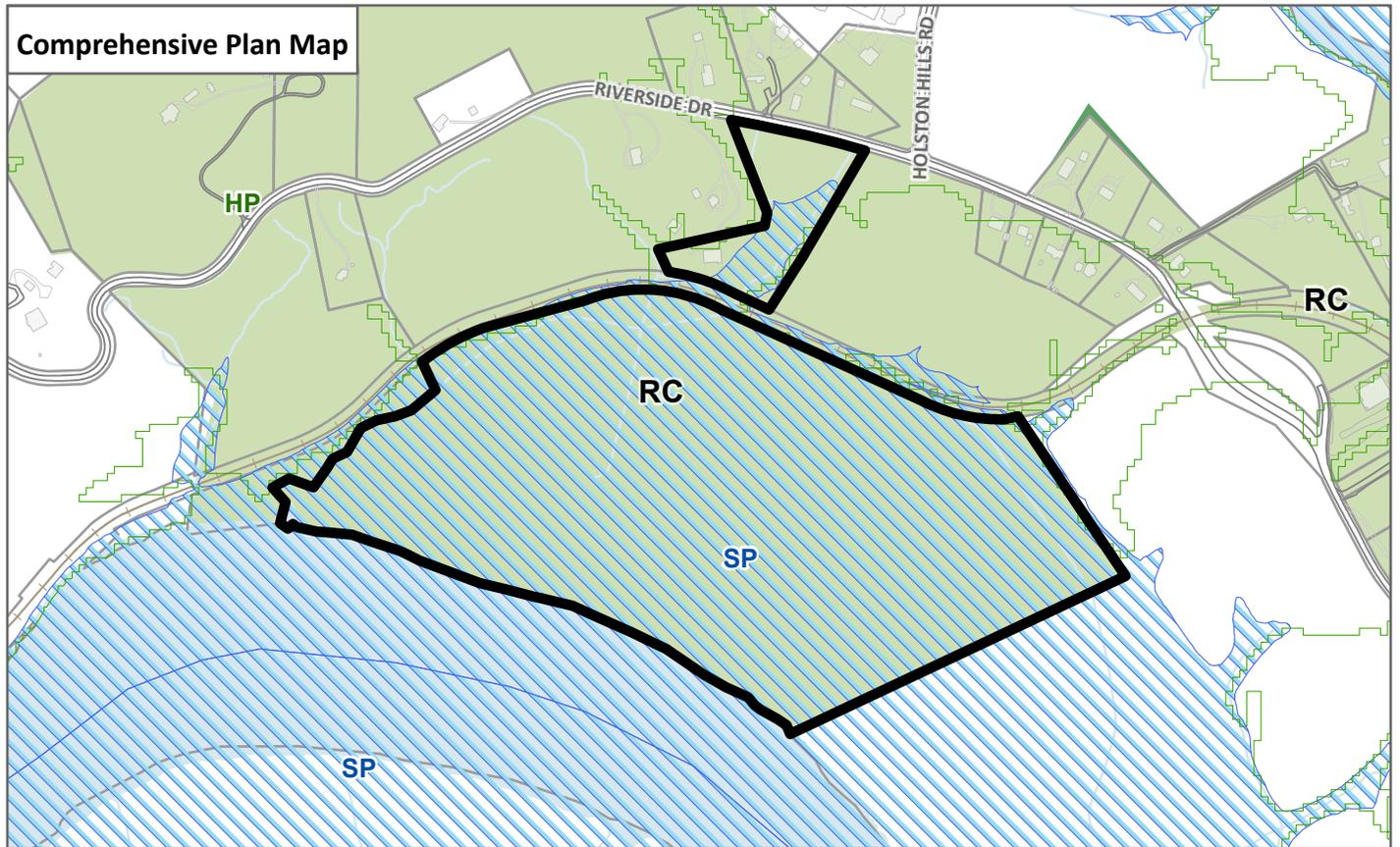
Case boundary



Zoning Map



Comprehensive Plan Map

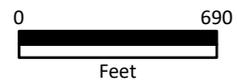


CONTEXTUAL MAPS 2

1-B-26-RZ



Case boundary



Existing Land Use Map

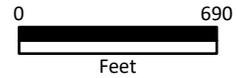


CONTEXTUAL MAPS 3

1-B-26-RZ

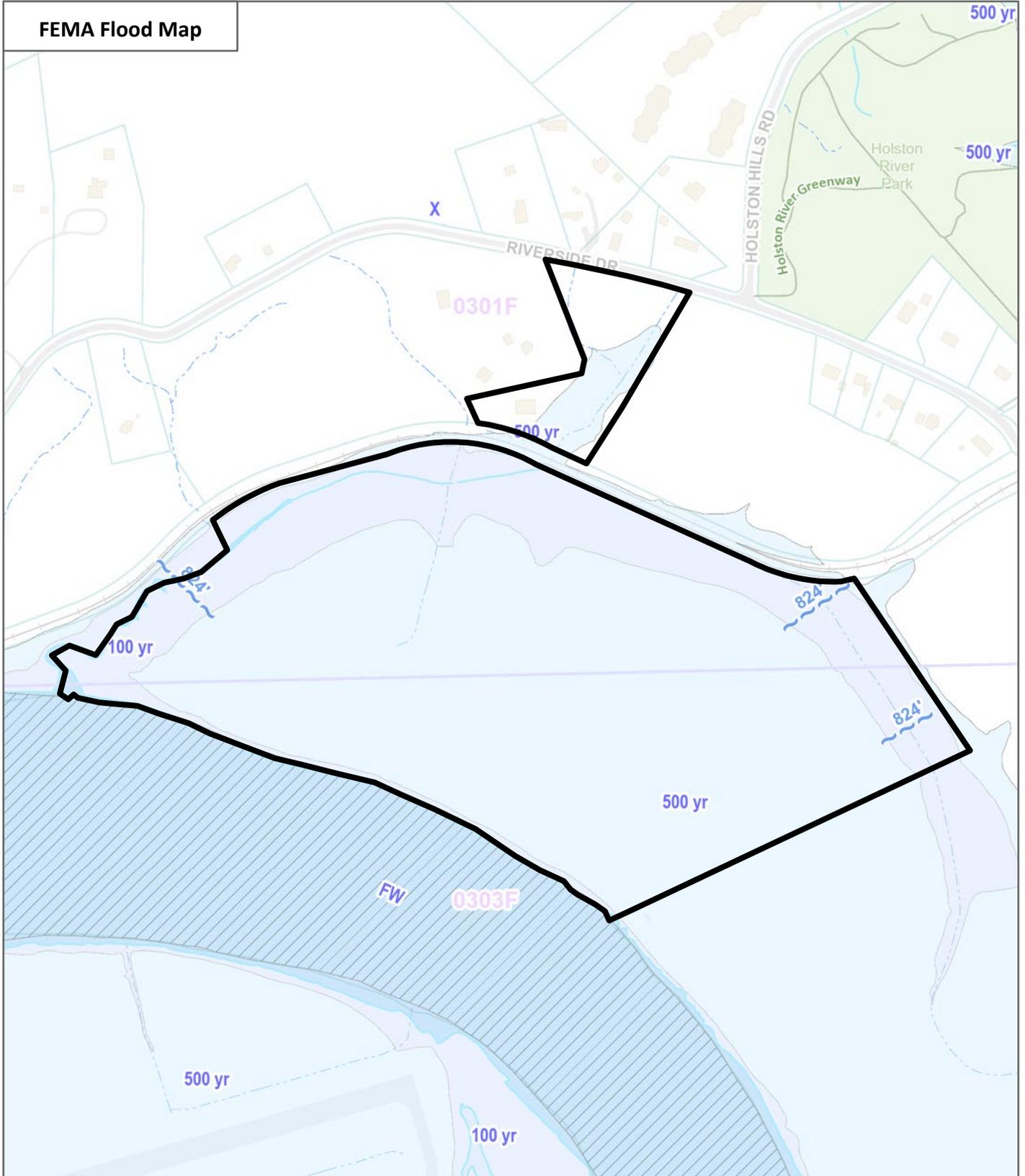


Case boundary



# Exhibit B. FEMA Flood Map

FEMA Flood Map

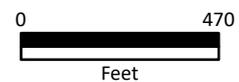


SUPPLEMENTAL MAP

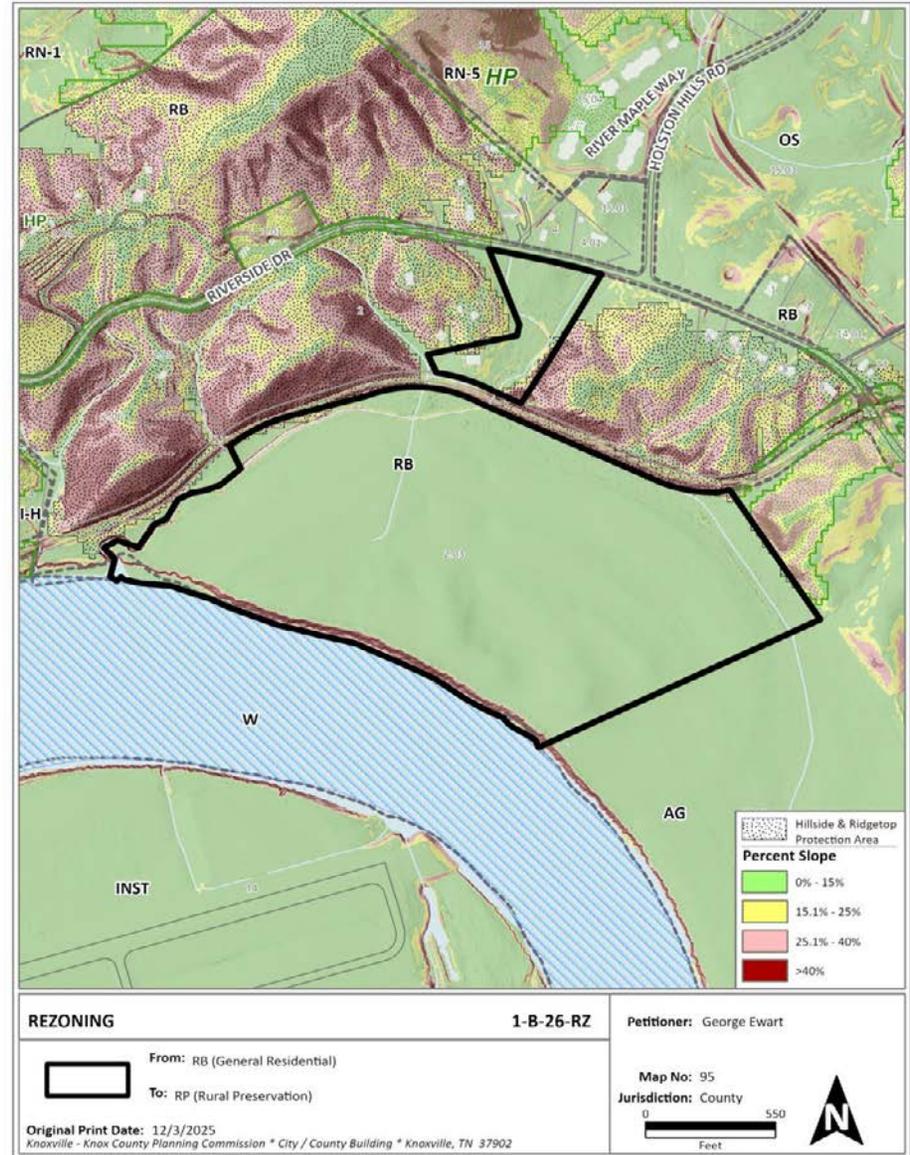
1-B-26-RZ



Case Boundary



CATEGORY	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Acres)
<b>Total Area of Site</b>	<b>64.82</b>		
Non-Hillside	63.87	N/A	
0-15% Slope	0.26	100%	0.26
15-25% Slope	0.24	50%	0.12
25-40% Slope	0.17	20%	0.03
Greater than 40% Slope	0.29	10%	0.03
Ridgetops			
<b>Hillside Protection (HP) Area</b>	0.96	Recommended disturbance budget within HP Area (acres)	<b>0.44</b>
		Percent of HP Area	<b>46.1%</b>



# Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

## Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

**Planning staff will post the required sign.** If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

### Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

### Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

### Acknowledgement

*By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.*

*A.A. Et*

**Have you engaged the surrounding property owners to discuss your request?**

- Yes  No  
 No, but I plan to prior to the