



# DEVELOPMENT PLAN REPORT

▶ **FILE #:** 7-A-26-DP

**AGENDA ITEM #:** 48

**AGENDA DATE:** 7/9/2026

▶ **APPLICANT:** BENCHMARK ASSOCIATES, INC.

OWNER(S): Premier Land Holdings, LLC

TAX ID NUMBER: 162 04709

[View map on KGIS](#)

JURISDICTION: County Commission District 5

STREET ADDRESS: 12712 VERITAS WAY

▶ **LOCATION:** Southeast side of Veritas Wy, east of Harvey Rd

▶ **APPX. SIZE OF TRACT:** 5.4 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Veritas Way, a private unstriped local street with 20-21 ft of pavement width within a right-of-way width that varies from 30-78 ft.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Turkey Creek

▶ **ZONING:** PR (Planned Residential) up to 2 du/ac, F (Floodway)

PLACE TYPE: SR (Suburban Residential), SP (Stream Protection)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Single family detached lots

HISTORY OF ZONING: In 2015 a request to rezone the property from A (Agricultural) to PR (Planned Residential) up to 4 du/ac was withdrawn at County Commission (6-F-15-RZ). In 2016 a request to rezone the property from A to PR up to 2 du/ac was denied at County Commission (8-B-16-RZ). In 2018 the property was rezoned from A to PR up to 2 du/ac (1-F-18-RZ).

SURROUNDING LAND USE AND ZONING:  
North: Railroad right-of-way  
South: Single family residential - PR (Planned Residential) up to 2.4 du/ac, F (Floodway)  
East: Rural residential, agriculture/forestry/vacant land - PR (Planned Residential) up to 2 du/ac, F (Floodway)  
West: Commercial, transpiration/communications/utilities - PR (Planned Residential) up to 3 du/ac

NEIGHBORHOOD CONTEXT: The subject property is in an area near Fort Loudon Lake that has been developed with single-family and multifamily subdivisions interspersed with vacant land, with the exception of a convenience store directly to the west. The Town of Farragut is on the other side of the railroad tracks abutting this property to the north.

**STAFF RECOMMENDATION:**

► **Approve the development plan for up to two detached residential lots, subject to 3 conditions.**

- 1) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 2) Meeting all requirements of the Knox County Department of Engineering and Public Works.
- 3) If during permitting or construction, it is discovered that unforeseen off-site improvements within the right-of-way are necessary as caused by this development, the property owner will either enter into a memorandum of understanding (MOU) with the County for these improvements or reimburse the County for their direct expenses (if completed by County crews) to make corrections deemed necessary.

With the noted conditions, this plan meets the requirements for approval in the PR district and the criteria for a development plan.

**COMMENTS:**

This request is to subdivide this 5.4-acre property into two lots: one for a house currently under construction on lot 1R1 comprising approximately 2.25 acres, and the remainder of the property on lot 1R comprising approximately 3.15 acres. Both properties are accessed off of Veritas Way.

The site is constrained with 100- and 500-year floodplains along the southeastern lot lines, but the lots have sufficient buildable area outside of the floodplains.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL) In exercising its administrative judgment, the Planning Commission shall determine whether the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE PR (Planned Residential) up to 2 du/ac:

- A. The proposed 2-lot subdivision on the subject property yields a density of approximately 0.37 du/ac, which is well below the maximum allowed density.
- B. The PR zone allows houses as a permitted use.
- C. The setbacks of the house under construction meet the PR zone requirements. Setbacks for a structure on the vacant lot would be evaluated at the time of development according to the zoning in place at that time.

2) KNOX COUNTY COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES

- A. The proposed house lot and larger lots are compatible with the other residences along Veritas Way, consistent with Implementation Policy 2, to ensure that development is sensitive to existing community character.

3) KNOX COUNTY COMPREHENSIVE PLAN - PLACE TYPE

- A. The property is classified as the SR (Suburban Residential) place type and is partially in the SP (Stream Protection) area. Single-family residential is the primary use in the SR (Suburban Residential) place types. No disturbance is proposed within the SP area.

- 4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN A. The property is within the Planned Growth Boundary. The purposes of the Planned Growth Boundary designation include encouraging a reasonably compact pattern of development, offering a wide range of housing choices, and coordinating the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage, and other public facilities and services. This proposal aligns with these goals.

ESTIMATED TRAFFIC IMPACT: 28 (average daily vehicle trips)

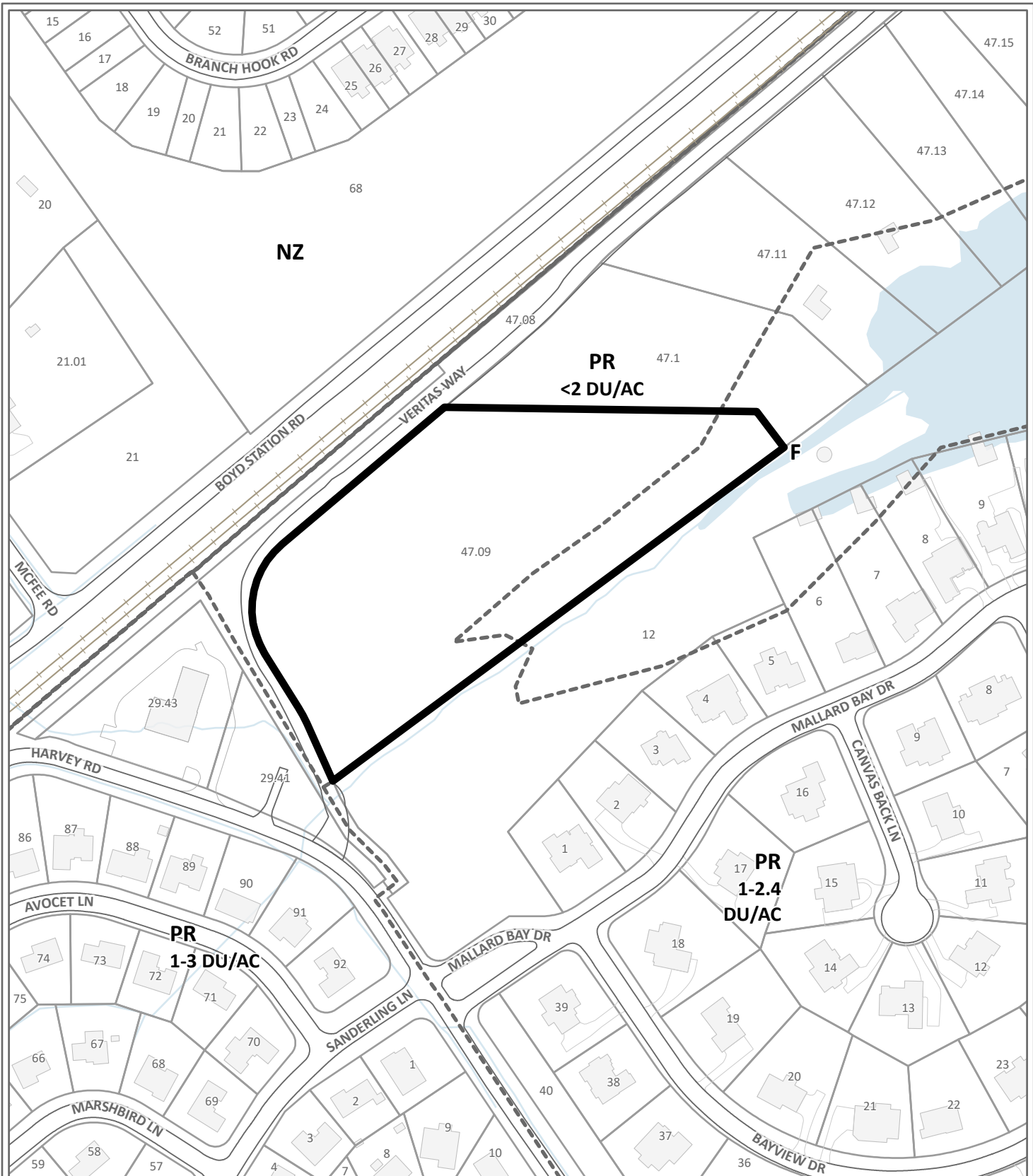
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 1 (public school children, grades K-12)

Schools affected by this proposal: Farragut Primary/Intermediate, Farragut Middle, and Farragut High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed. For more information on the appeal process, contact Knoxville-Knox County Planning.



**DEVELOPMENT PLAN**

**7-A-26-DP**

**Petitioner:** Benchmark Associates, Inc.



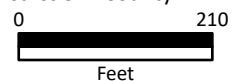
Create one additional residential lot in F (Floodway), PR (Planned Residential), <2 DU/AC

**Original Print Date:** 5/29/2026

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

**Map No:** 162

**Jurisdiction:** County



# Exhibit A. Contextual Images



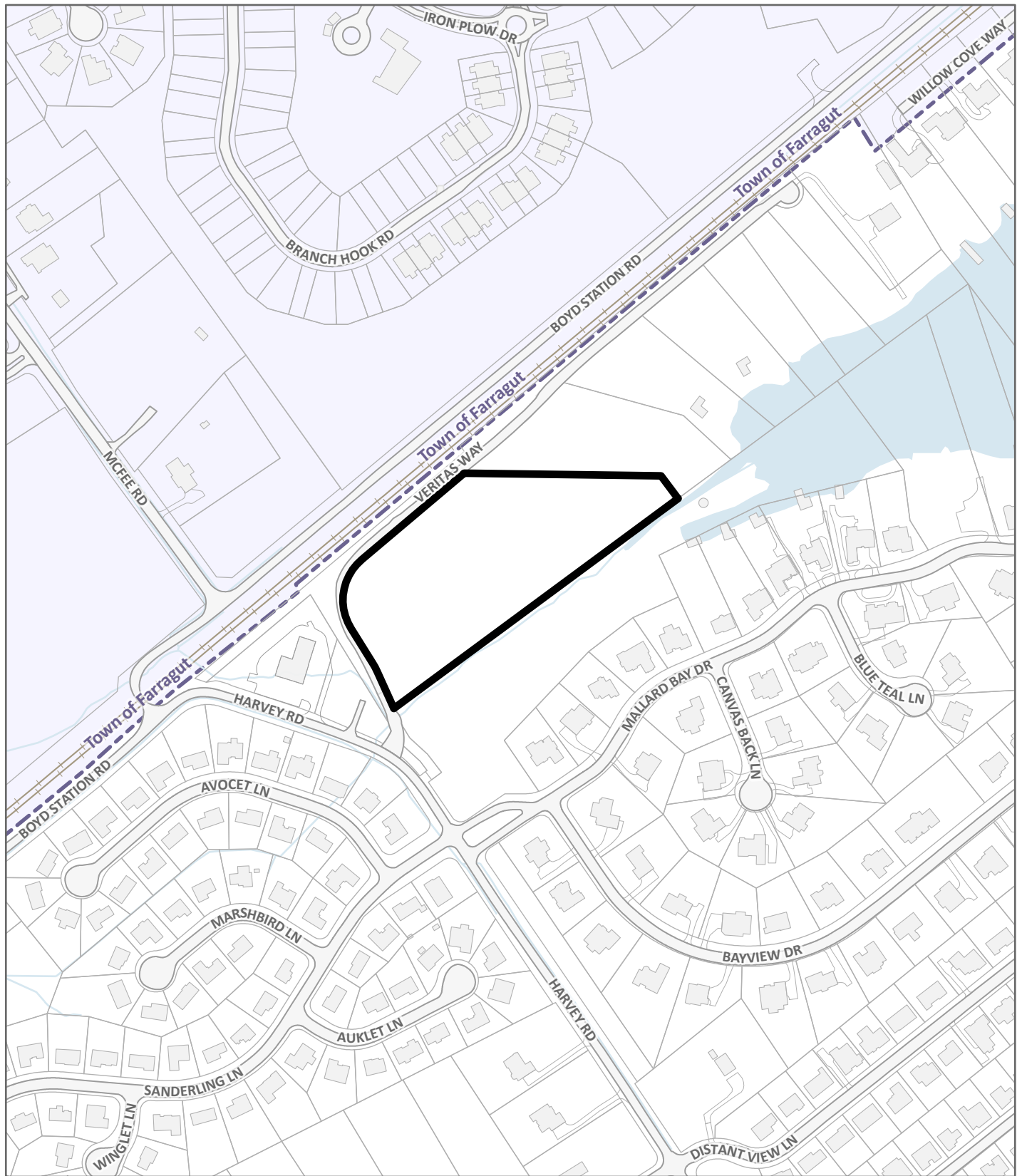
## AERIAL MAP



Case boundary



# Exhibit A. Contextual Images

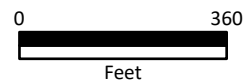


**LOCATION MAP**

**7-A-26-DP**



Case boundary



**NOTES**

1) **SECOND INFORMATION AS FOLLOWS:**  
 MAP 162 PARCEL 047.09  
 OWNER: PREMIER LAND HOLDINGS LLC  
 DEED: INST. #20180622007599  
 PLAT: "CORNERSTONE COVE"  
 LOT 1  
 RECORD: INST. #201806220075997  
 ALL OF THE RECORDS OF THE SIXTH COUNTY, TENNESSEE.

2) THE PURPOSE OF THIS PLAT IS TO RESUBDIVIDE LOT 1 OF CORNERSTONE COVE INTO TWO NEW LOTS CORRECTING 5.4048 ACRES AND TO RELOCATE A 20' DRAINAGE EASEMENT ALONG EXISTING STORM STRUCTURES.

3) **NORTH NOTE:**  
 TENNESSEE COORDINATE SYSTEM OF 1983  
 HORIZONTAL DATUM/GEOD. DATUM/STATION: PM11(A11)/M11  
 VERTICAL DATUM/GEOD: NAVD83/2003

**OWNER'S INFORMATION**  
 PREMIER LAND HOLDINGS LLC  
 PO BOX 263  
 JEFFERSON CITY, TENNESSEE 37360

**REGISTERED LAND SURVEYOR** RLS: DATE:

**REGISTRATION OF Public Utility System - Minor Subdivision**  
 This is to certify that the subdivision shown herein is approved subject to the installation of public utility systems and treatment facilities, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of sanitary sewers in the vicinity of the lot(s) and to pay for the installation of the required connections.

**FIRST UTILITY DISTRICT** DATE:

**REGISTRATION OF Public Water System - Minor Subdivision**  
 This is to certify that the subdivision shown herein is approved subject to the installation of a public water system, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the utility provider the availability of water system in the vicinity of the lot(s) and to pay for the installation of the required connections.

**FIRST UTILITY DISTRICT** DATE:

**Owner's Declaration for Public Sewer and Water Service - Minor Subdivision**  
 I, the undersigned owner(s) of the property shown herein, understand that it is our responsibility to verify with the utility provider the availability of public sewer and water systems in the vicinity of the lot(s) and to pay for the installation of the required connections.

**PREMIER LAND HOLDINGS LLC (OWNER)** DATE:  
 Knox County Department of Engineering and Public Works  
 The Knox County Department of Engineering and Public Works hereby approves this plan on this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

**ENGINEERING DIRECTOR** DATE:  
**Trava and Assessments**  
 This is to certify that all property taxes and assessments due on this property have been paid.

**KNOX COUNTY TRUSTEE** DATE:  
 Zoning Shown on Official Map \_\_\_\_\_

**ZONING REPRESENTATIVE** DATE:  
 Addressing Department Certification  
 I, the undersigned, hereby certify that the subdivision name and all of street names conform to the Knoxville or Knox County Street Naming and Addressing Ordinance, the Addressing Guidelines and Procedures, and these regulations.

**ADDRESSING REPRESENTATIVE** DATE:

**Planning Staff Certification of Approval for Recording - Final Plat**  
 This is to certify that the subdivision plat shown herein has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat, and that the record has been heretofore approved for recording in the office of the Knox County Register of Deeds. Pursuant to Section 13-3-402 of Tennessee Code Annotated the approval of this plat by the Planning Commission shall not be deemed to constitute or affect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

**PLANNING STAFF REPRESENTATIVE** DATE:

**PROPERTY CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD DISTANCE
C1	200.00'	27.15'	N 27°33'12" W	27.15'
(C1)	(200.00)	-----	(N) 24°53'27" W	(27.15)
C2	130.00'	185.92'	N 91°16'5" E	170.47'
(C2)	(130.00)	-----	(N) 12°59'53" E	(170.38)

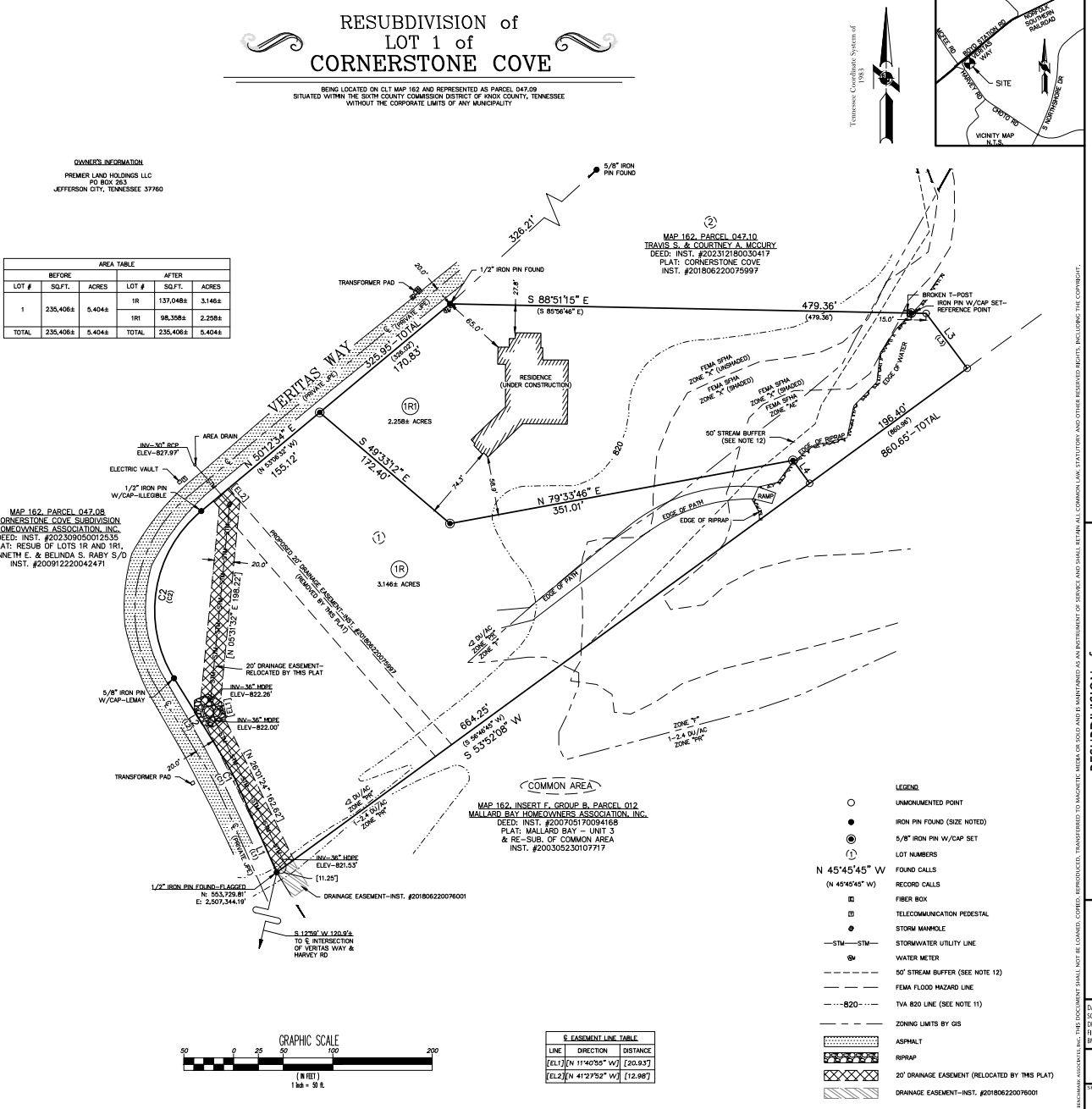
**PROPERTY LINE TABLE**

LINE	DIRECTION	DISTANCE
L1	N 23°59'53" W	97.44'
(L1)	(N) 21°00'08" W	(97.45)
L2	N 31°46'31" W	97.00'
(L2)	(N) 28°46'46" W	(97.01)
L3	S 36°47'59" E	69.00'
(L3)	(S) 33°33'22" E	(69.02)
L4	S 36°07'52" E	28.54'

**GRAPHIC SCALE**  
 (IN FEET)  
 1 in = 50 ft

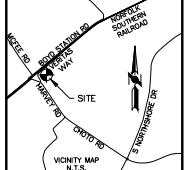
**EASEMENT LINE TABLE**

LINE	DIRECTION	DISTANCE
E[1]	N 11°40'55" W	[20.93]
E[2]	N 41°27'52" W	[12.98]



# RESUBDIVISION of LOT 1 of CORNERSTONE COVE

BEING LOCATED ON CL MAP 162 AND REPRESENTED AS PARCEL 047.09 SITUATED WITHIN THE SIXTH COUNTY COMMISSION DISTRICT OF KNOX COUNTY, TENNESSEE WITHOUT THE CORPORATE LIMITS OF ANY MUNICIPALITY.



**BENCHMARK ASSOCIATES, INC.**  
 Land Surveyors  
 Land Planners  
 Professional Surveyors of Tennessee  
 10308 Hudson Valley Road  
 Knoxville, TN 37922  
 Phone: 865.974.4990  
 Fax: 865.974.4991

**RESUBDIVISION of LOT 1 of CORNERSTONE COVE**  
 SITE ADDRESS: VERTITAS WAY  
 KNOXVILLE, TENNESSEE 37922

**LEGEND**

- UNMANNED POINT
- IRON PIN FOUND (SIZE NOTED)
- 5/8" IRON PIN W/ CAP SET - REFERENCE POINT
- ① LOT NUMBERS
- FOUND CALLS
- RECORD CALLS
- FIBER BOX
- TELECOMMUNICATION PEDESTAL
- STORM MANHOLE
- STW—STW— STORMWATER UTILITY LINE
- W—W— WATER METER
- S---S--- 50' STREAM BUFFER (SEE NOTE 12)
- F---F--- FEMA FLOOD HAZARD LINE
- 820--- TVA 820 LINE (SEE NOTE 11)
- Z---Z--- ZONING LIMITS BY GIS
- ASPHALT
- RRRAP
- 20' DRAINAGE EASEMENT (RELOCATED BY THIS PLAT)
- DRAINAGE EASEMENT-INST. #201806220076001

DATE: 11MAR2026  
 SCALE: 1"=50'  
 DRAWN BY: DC  
 FILE NAME: 25121-C  
 PROJECT NO.: 26-11

**RESUBDIVISION PLAT**

1 of 1

# Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

## Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

**Planning staff will post the required sign.** If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

### Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

### Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

### Acknowledgement

**By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.**

6/27/26

7/10/26

05/26/2026

06/27/2026

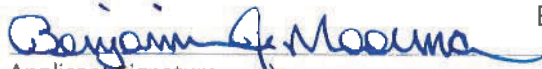
Date to be Posted

Date to be Removed

**Have you engaged the surrounding property owners to discuss your request?**

Yes  No

No, but I plan to prior to the Planning Commission meeting

  
Applicant Signature

Benjamin J. Moorman  
Applicant Name

14 May 2026  
Date