

REZONING REPORT

▶ **FILE #:** 7-C-26-RZ

AGENDA ITEM #: 28

AGENDA DATE: 7/9/2026

▶ **APPLICANT:** LANDMARK ENGINEERS & SURVEYORS, LLC

OWNER(S): Craig Stewart

TAX ID NUMBER: 55 M A 018 (PARTIAL)

[View map on KGIS](#)

JURISDICTION: County Commission District 7

STREET ADDRESS: 7843 OLD CLINTON PIKE

▶ **LOCATION:** Southwest side of Old Clinton Pike, east of Clinton Hwy

▶ **APPX. SIZE OF TRACT:** 2.36 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Old Clinton Pike, a minor collector with a 19-ft pavement width within a right-of-way which varies between 46 ft and 50 ft.

UTILITIES: Water Source: Hallsdale-Powell Utility District

Sewer Source: Hallsdale-Powell Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Beaver Creek

▶ **CURRENT ZONING:** A (Agricultural)

▶ **REQUESTED ZONING:** RB (General Residential)

▶ **EXISTING LAND USE:** Rural Residential

▶ EXTENSION OF ZONING: Yes, this would be an extension.

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Agriculture/forestry/vacant land, single family residential - A (Agricultural)

South: Multifamily residential - RB (General Residential)

East: Rural residential - RB (General Residential), CA (General Business)

West: Commercial - CA (General Business)

NEIGHBORHOOD CONTEXT: This area is predominantly comprised of residential and commercial. Residential uses are a mix of single family dwellings on medium-sized suburban and large rural lots. Commercial uses are service, warehousing, and retail operations concentrated along Clinton Highway. Interspersed amongst residential uses are churches and a cemetery space. Powell Middle School is 0.7 miles southeast of the subject site.

STAFF RECOMMENDATION:

▶ **APPROVE** the RB (General Residential) zone because it is consistent with the Knox County Comprehensive Plan and surrounding development.

COMMENTS:

PURSUANT TO THE KNOX COUNTY ZONING ORDINANCE, ARTICLE 6.30.01, THE FOLLOWING CONDITIONS MUST BE MET FOR ALL REZONINGS (must meet all of these):

THE PROPOSED AMENDMENT SHALL BE NECESSARY BECAUSE OF SUBSTANTIALLY CHANGED OR CHANGING CONDITIONS IN THE AREA AND ZONES AFFECTED, OR IN THE COUNTY GENERALLY.

1. Development in the area has historically been residential in nature. Development in recent years has been concentrated on Old Clinton Pike as it progresses north from W Emory Rd, including a duplex complex at 7601-7609 Old Clinton Pike.
2. In 2019, a rezoning and subsequent concept/use on review approval allowed for the development of attached dwellings along Emma Grace Way to the south off of Old Clinton Pike (6-F-19-RZ, 10-SB-19-C/10-G-19-UR).
3. In 2023, rezoning and sector plan amendment approvals (5-D-23-RZ/5-A-23-SP) were followed by concept/development approvals for attached dwellings on Bisham Wood Ln, also to the south off of Old Clinton Pike (6-SA-23-C/6-A-23-DP)

THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH THE INTENT AND PURPOSES OF THE APPLICABLE ZONING ORDINANCE.

1. The RB zone is intended to provide for areas with medium population densities and is compatible with the surrounding residential uses in the area.

THE PROPOSED AMENDMENT SHALL NOT ADVERSELY AFFECT ANY OTHER PART OF THE COUNTY NOR SHALL ANY DIRECT OR INDIRECT ADVERSE EFFECTS RESULT FROM SUCH AN AMENDMENT.

1. The RA zone is a low-density residential zone. As such, it is not anticipated to negatively impact the surrounding area, which consists largely of single-family dwellings.

PROPOSED AMENDMENT SHALL BE CONSISTENT WITH AND NOT IN CONFLICT WITH THE COMPREHENSIVE PLAN OF KNOX COUNTY, INCLUDING ANY OF ITS ELEMENTS, MAJOR ROAD PLAN, LAND USE PLAN, COMMUNITY FACILITIES PLAN, AND OTHERS:

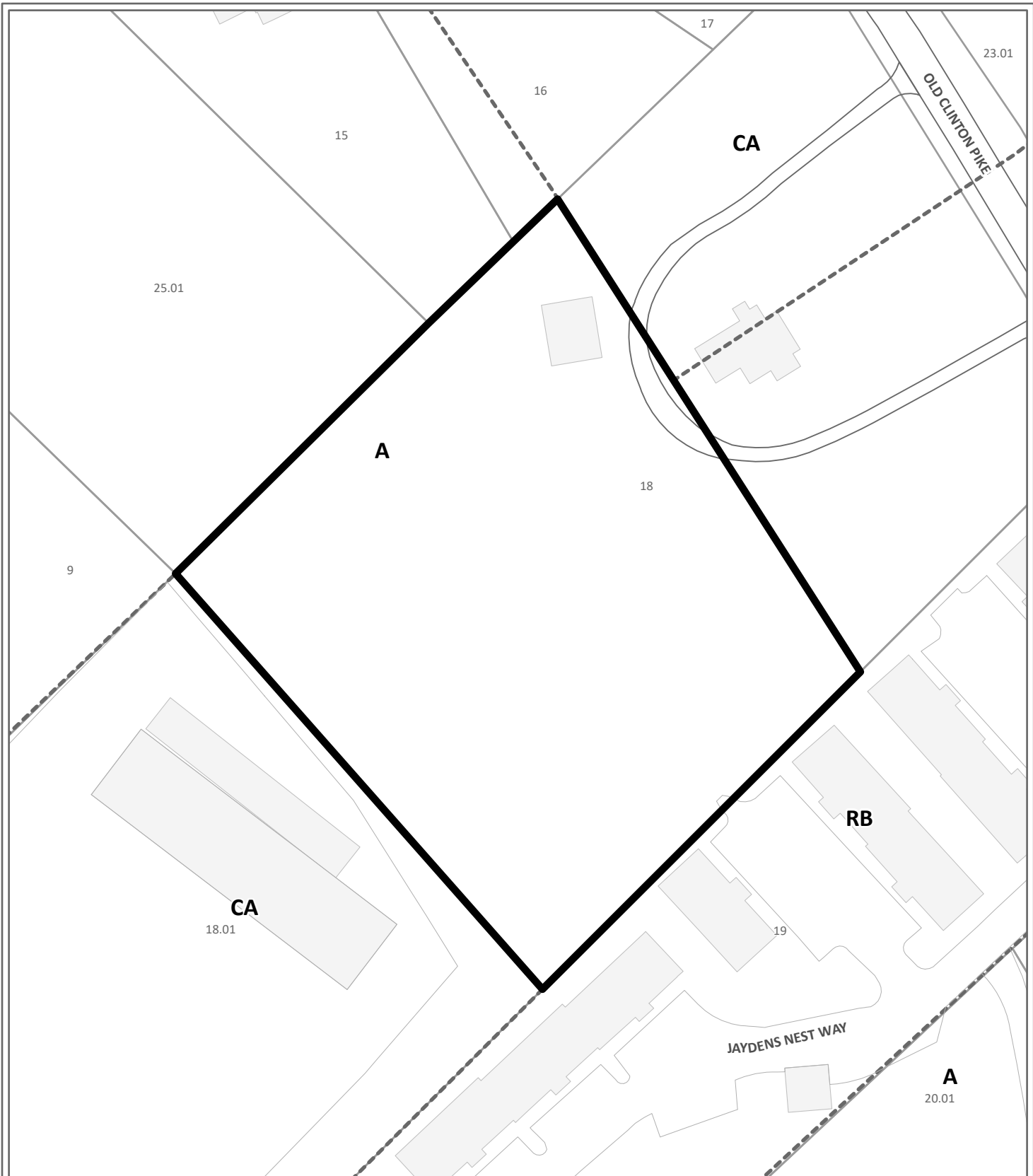
1. The County's Comprehensive Land use and Transportation plan assigns the SMR (Suburban Mixed Residential) place type to the lot. The RB zone is directly related to the SMR place type.
2. This request aligns with Comprehensive Plan Implementation Policy 5 to "create neighborhoods with a variety of housing types and amenities in close proximity" as the RB zone allows for a variety of residential dwelling forms and the subject site is located adjacent to the Clinton Highway commercial corridor.
3. The subject site is located on Old Clinton Pike, which is identified as a minor collector by the Major Road Plan. This rezoning would not result in excess traffic on local roads.
4. The property is within the Planned Growth Area of the Growth Policy Plan, which encourages a reasonably compact pattern of development, and a wide range of housing choices. The RB zone supports these policies.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

Schools affected by this proposal: Powell Elementary, Powell Middle, and Powell High.

If approved, this item will be forwarded to Knox County Commission for action on 8/24/2026. If denied, Knoxville-Knox County Planning Commission's action is final, unless the action to deny is appealed to Knox County Commission. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



REZONING

7-C-26-RZ

Petitioner: Landmark Engineers & Surveyors, LLC



From: RB (General Residential), CA (General Business), A (Agricultural)

To: RB (General Residential)

Map No: 55

Jurisdiction: County

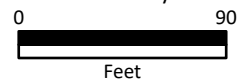


Exhibit A. Contextual Images



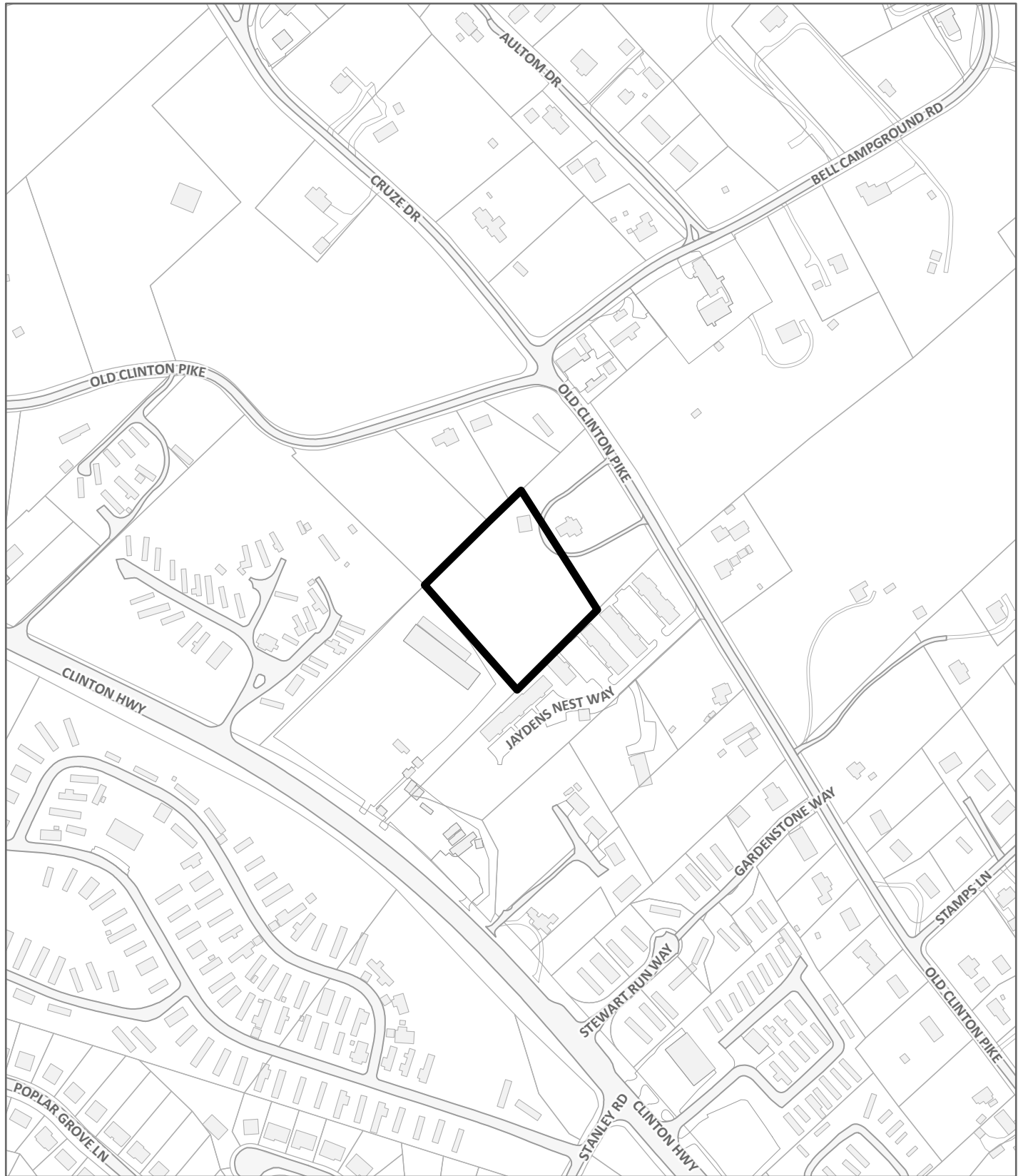
AERIAL MAP



Case boundary



Exhibit A. Contextual Images

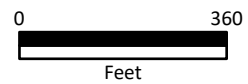


LOCATION MAP

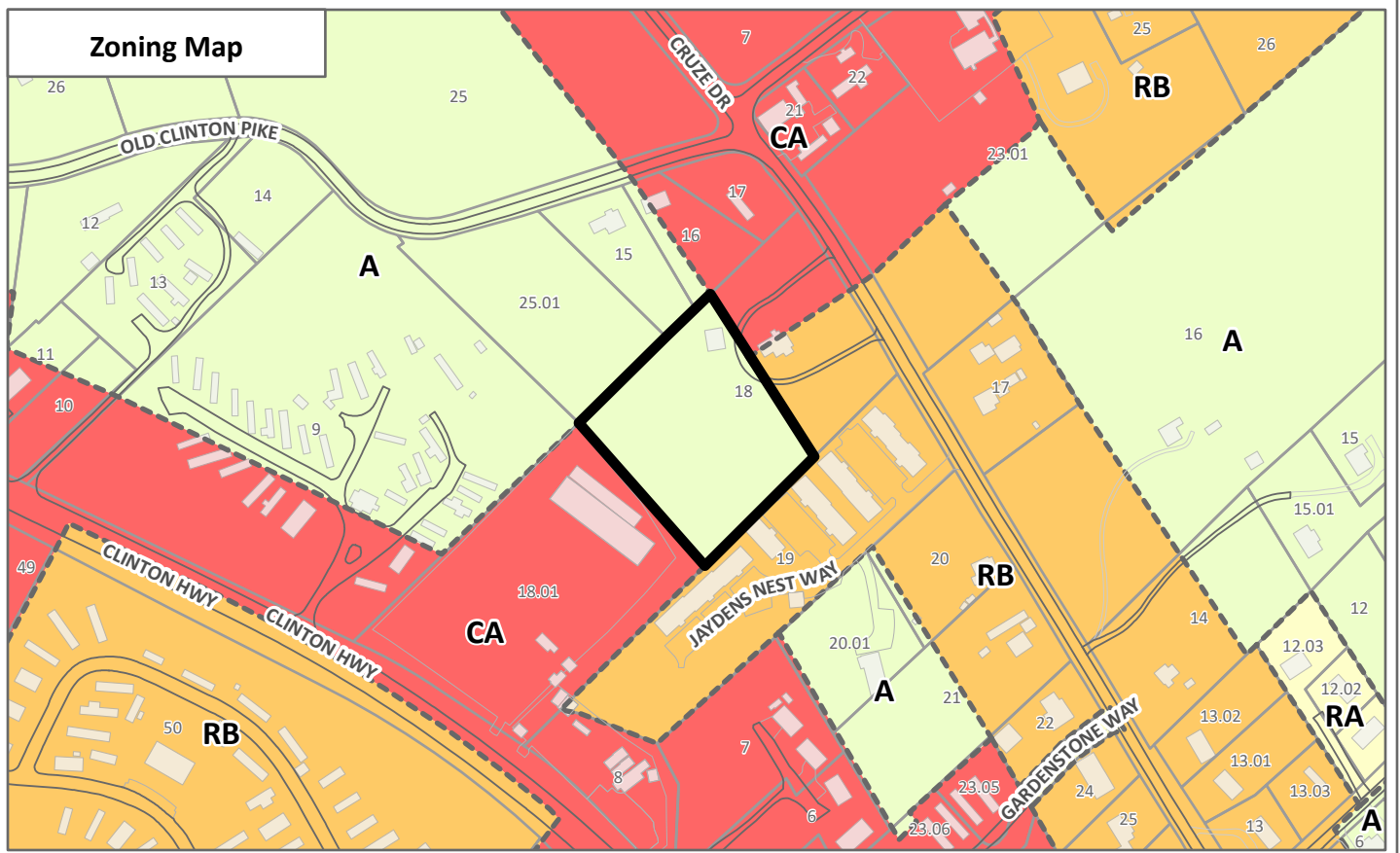
7-C-26-RZ



Case boundary



Zoning Map



Comprehensive Plan Map

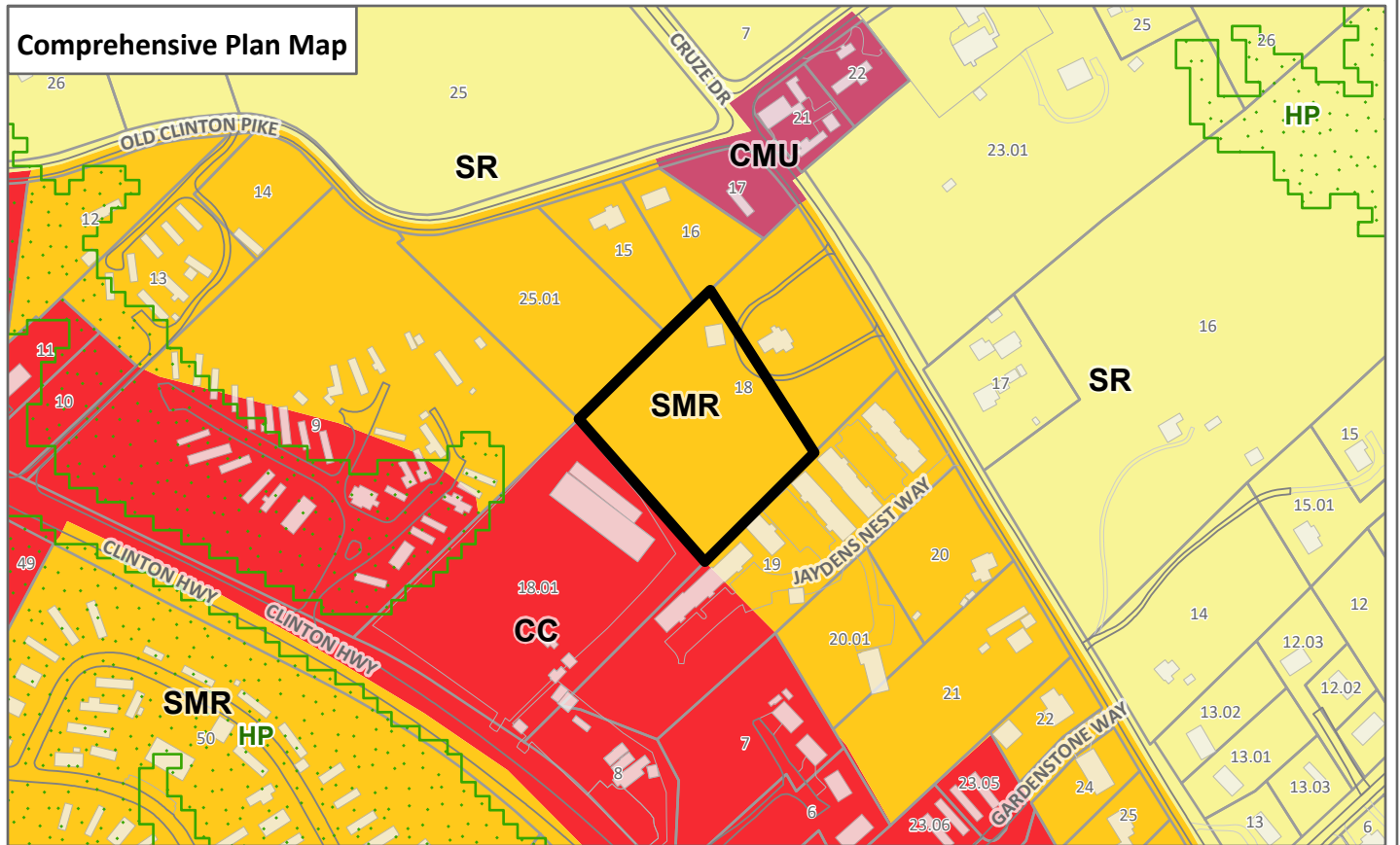
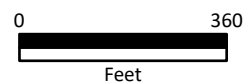


EXHIBIT A, CONTEXTUAL MAPS

7-C-26-RZ



Case boundary



Existing Land Use Map

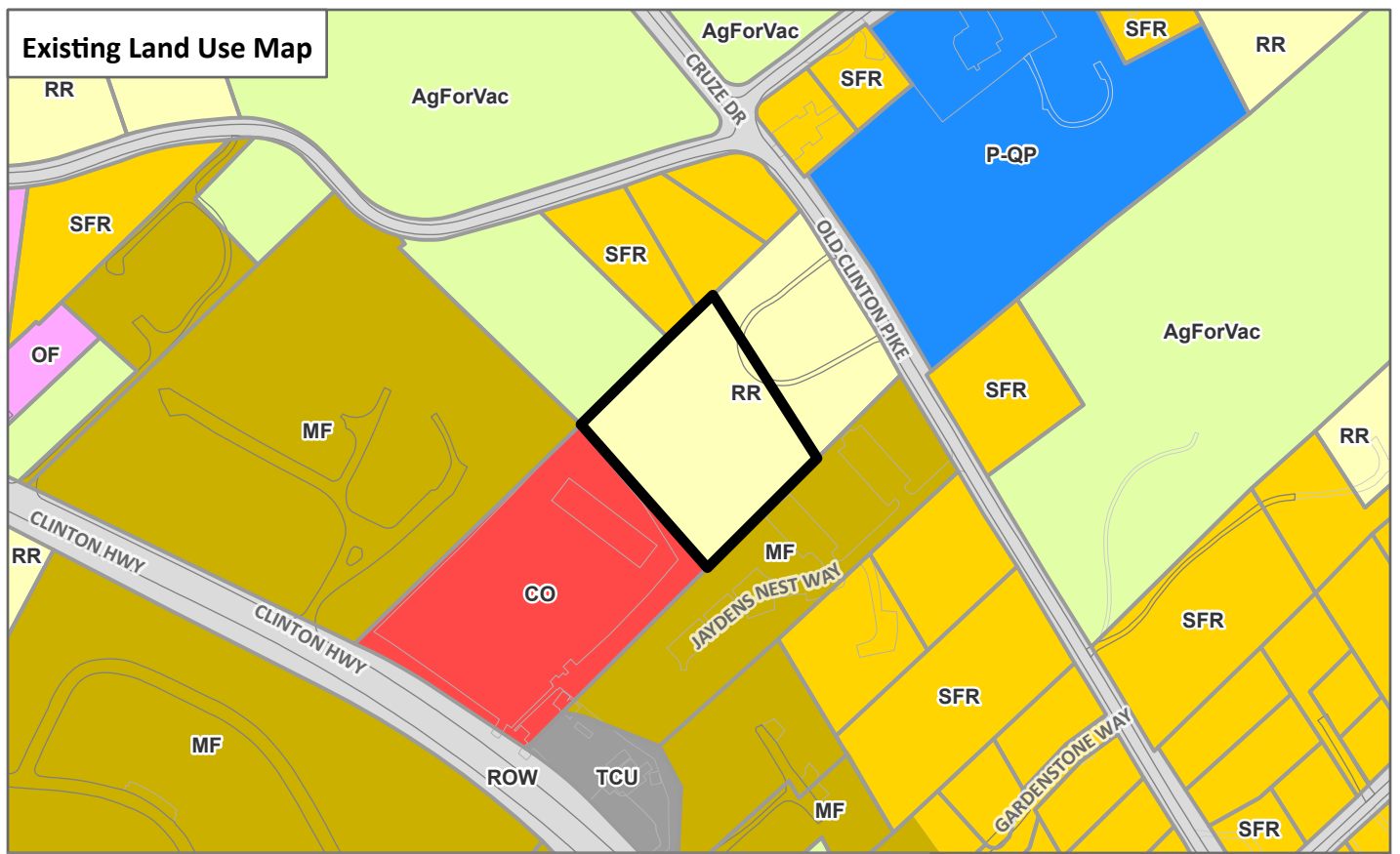


EXHIBIT A, CONTEXTUAL MAPS

7-C-26-RZ



Case boundary



Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

06/27/2026

07/10/2026

Date to be Posted

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting

Applicant Signature

CRAIG STEWART

Applicant Name

4-8-2026

Date