



SPECIAL USE REPORT

▶ **FILE #:** 7-C-26-SU

AGENDA ITEM #: 15

AGENDA DATE: 7/9/2026

▶ **APPLICANT:** NATE PARSONS

OWNER(S): Roy Nicaud Real Estate Academic Program LLC

TAX ID NUMBER: 123 H P 001

[View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 1110 AVENUE A

▶ **LOCATION:** Southeast side of Avenue A, northeast side of Sims Rd

▶ **APPX. SIZE OF TRACT:** 12378 square feet

SECTOR PLAN: South City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Avenue A, an unstriped local street with 30-40 ft of pavement width within a right-of-way width that varies from 44-76 ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: Goose Creek

▶ **ZONING:** RN-2 (Single-Family Residential Neighborhood)

▶ **EXISTING LAND USE:** Single Family Residential

▶ **PROPOSED USE:** Two-family dwelling

HISTORY OF ZONING: In 1999 the property was part of a large rezoning from R-2 (General Residential) to R-1 (Low Density Residential) (7-Y-99-RZ).

SURROUNDING LAND USE AND ZONING: North: Public/quasi public land (church) - RN-2 (Single-Family Residential Neighborhood)

South: Single family residential - RN-2 (Single-Family Residential Neighborhood)

East: Single family residential - RN-2 (Single-Family Residential Neighborhood)

West: Single family residential - RN-2 (Single-Family Residential Neighborhood)

NEIGHBORHOOD CONTEXT: The property is in an area with a mix of single family, two-family, and townhouse developments near Community Unity Park. There are commercial, office, wholesale, and industrial uses along Maryville Pike to the north.

STAFF RECOMMENDATION:

► **Approve the request for a two-family dwelling in the RN-2 (Single-Family Residential Neighborhood) zoning district, subject to 3 conditions.**

- 1) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
- 2) Meeting all applicable requirements of the City of Knoxville Engineering Department.
- 3) Meeting all applicable requirements of the City of Knoxville Plans Review and Inspections Department.

COMMENTS:

This request is for a new two-family dwelling comprising approximately 2,630 sq ft. Access is directly off Avenue A and consists of a single driveway with three parking spaces located behind the building. The two dwellings are side-by-side with front porches facing Avenue A.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The proposed use is supported by the General Plan's Development Policy 8: Encourage growth in the existing urban area. The subject property is located within 100 ft of two Knoxville Area Transit bus stops and is in close proximity to Community Unity Park.

B. The proposed two-family dwelling is consistent with the South City Sector Plan and One Year Plan's LDR (Low Density Residential) land use classification, which states that low density residential development includes detached single-family dwellings and duplexes.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The RN-2 (Single-Family Residential Neighborhood) zoning district is intended to accommodate low density single-family residential development on relatively small lots with smaller setbacks. Two-family dwellings may also be allowed by special use approval.

B. The lot meets the minimum 10,000 sq ft lot size requirements of the RN-2 district. The site plan and building elevations comply with all other RN-2 dimensional standards (Article 4.3) and the Principal Use Standards for two-family dwellings (Article 9.3.J).

C. The site plan proposes three parking spaces located to the rear of the building. A two-family dwelling requires a minimum of 4 off-street parking spaces. However, minimum off-street parking requirements in any district may be reduced up to 30%, provided the development is located within 0.25 miles of a transit route. There are four bus stops within 0.25 miles of the subject property.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The subject property is located on the edge of an established neighborhood that primarily consists of single-family and limited two-family dwellings on small lots. Directly to the north of the property are two churches, and to the southeast is a large multifamily development. The proposed use is compatible with the character of the area and would provide a transition in land use intensity.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. Two-family dwellings are considered low-density residential uses and are compatible with other residential uses in the neighborhood.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The proposed use is not anticipated to draw substantial additional traffic through residential streets. The subject property is situated at the edge of the neighborhood, adjacent to a minor collector street and a Knoxville Area Transit route.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. There are no known uses immediately surrounding the subject property that would pose a potential hazard or create an undesirable environment for the proposed use. The subject property is in a primarily residential area within the Vestal community and in close proximity to Community Unity Park.

ESTIMATED TRAFFIC IMPACT: 16 (average daily vehicle trips)

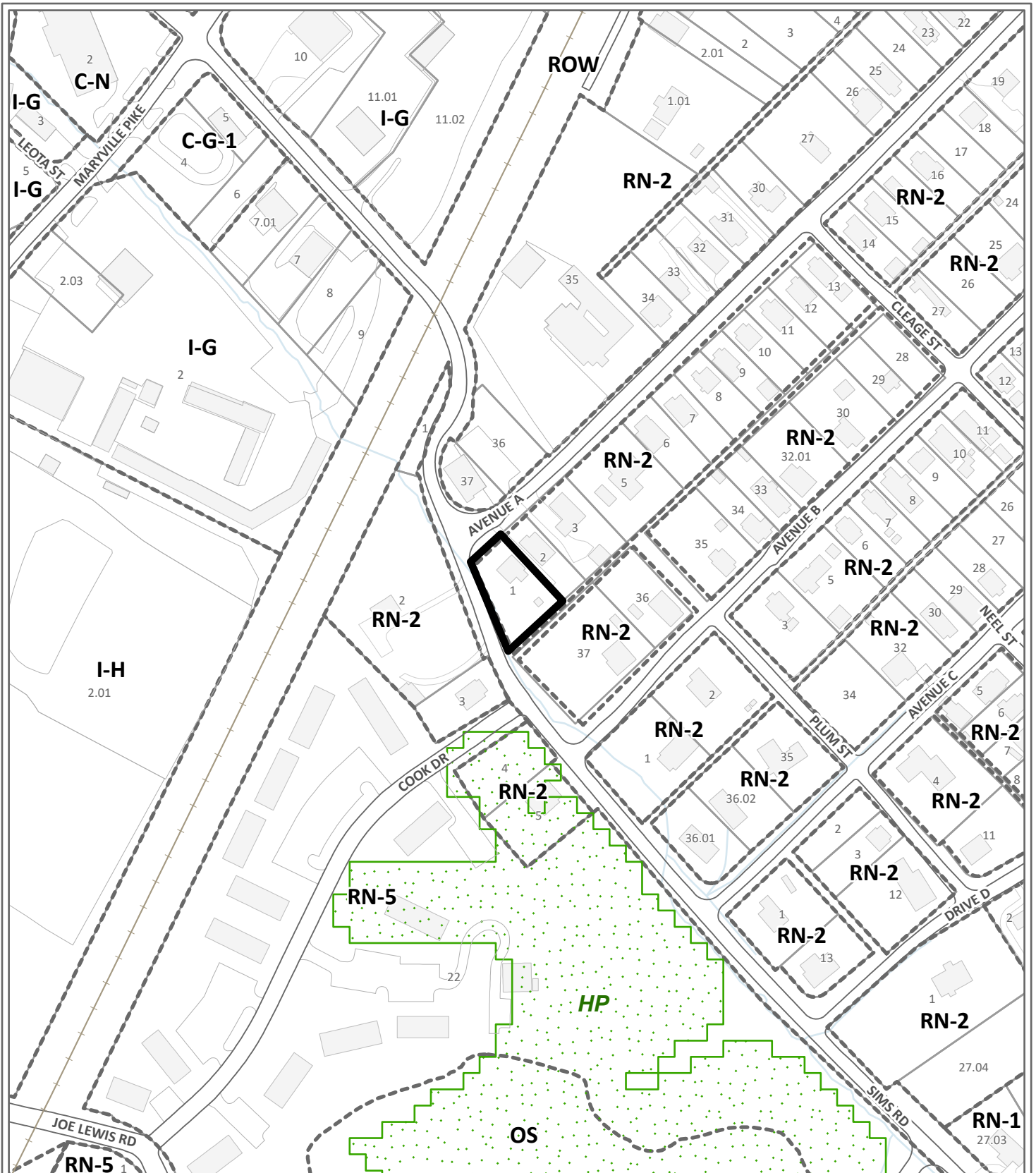
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 0 (public school children, grades K-12)

Schools affected by this proposal: Dogwood Elementary, South Doyle Middle, and South Doyle High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

7-C-26-SU

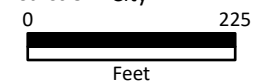
Petitioner: Nate Parsons



Duplex in RN-2 (Single-Family Residential Neighborhood)

Map No: 123

Jurisdiction: City



Original Print Date: 5/29/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Exhibit A. Contextual Images



AERIAL MAP



Case boundary

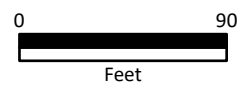
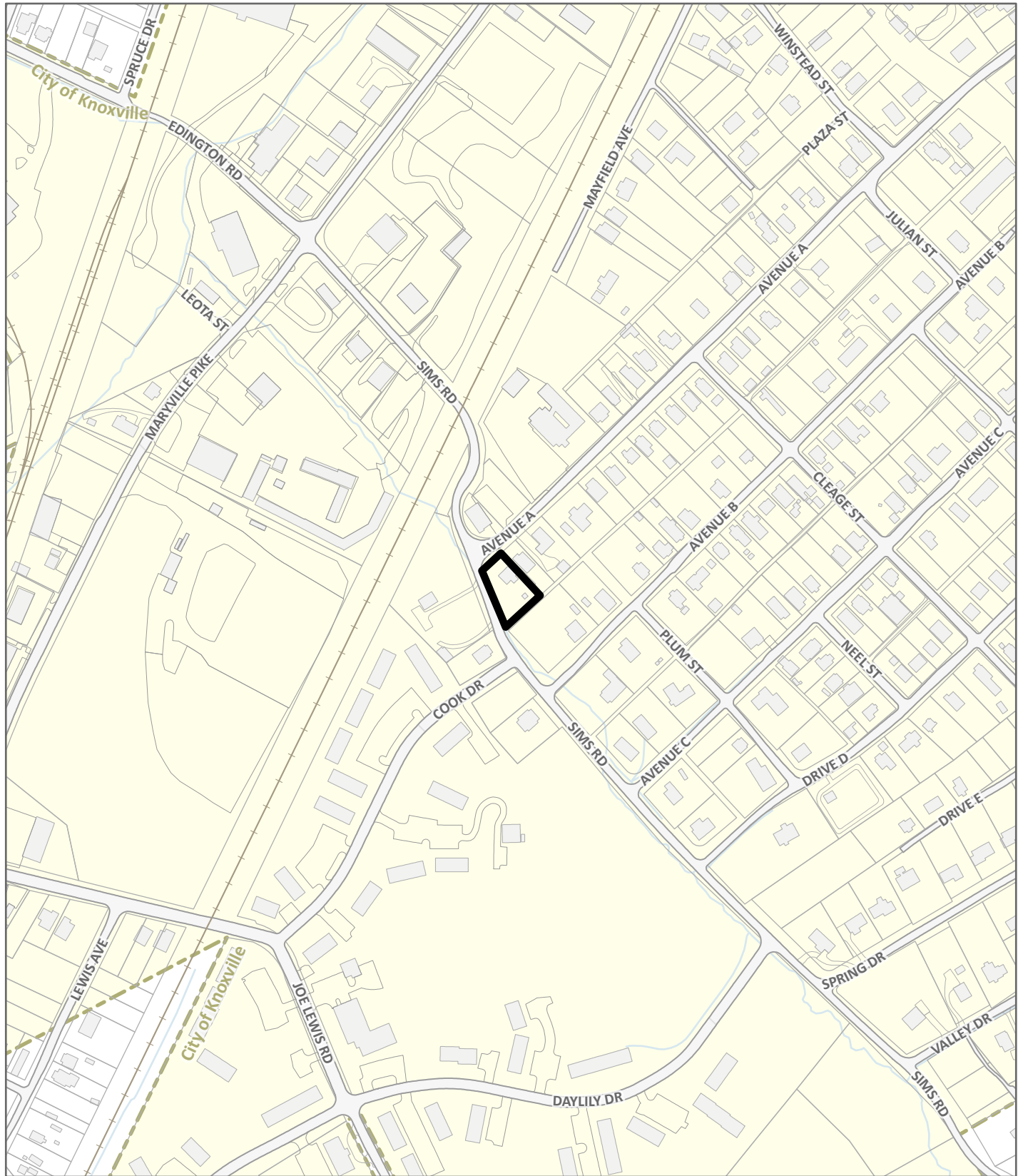


Exhibit A. Contextual Images

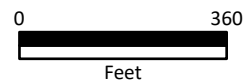


LOCATION MAP

7-C-26-SU



Case boundary



MIDDLE HOUSING PARKING

REQUIRED: TO PER FU
PROVIDED: B-SPACES

LOT COVERAGE

BUILDING: 1747 / 11994 = 15%
IMPERVIOUS: 1865 / 11994 = 16%

SITE NOTES:

INDICATES NOTES APPLICABLE TO THIS PLAN ONLY WHEN NECESSARY.

1. PROPOSED LOCATION OF 2-STORY DUPLEX.
2. PORCH.
3. PATIO.
4. PROPOSED LOCATION OF REQUIRED PARKING/ APFHAL DRIVEWAY.
5. PROPOSED LOCATION OF CONCRETE WALKWAY.

OWNER:

REAL ESTATE ACADEMY
PROGRAM L1
100 ANDERSON RD
KNOXVILLE, TN 37909

LEGAL DESCRIPTION:

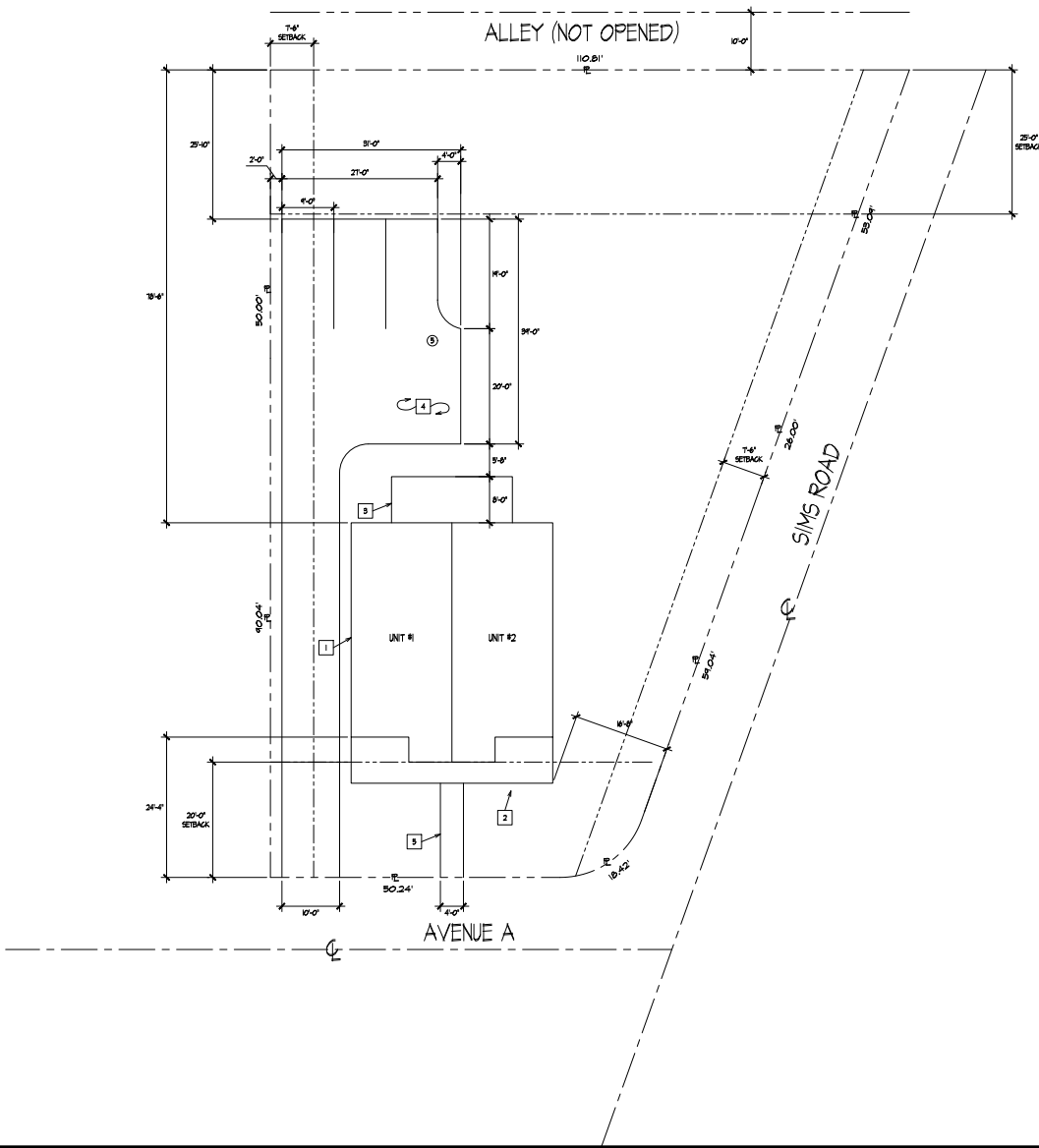
SOUTHLAND PARK SUBDIVISION
LOT 206 OF BLOCK 1
100 ANDERSON RD
KNOXVILLE, TN 37909
PARC. CONDOM.

GENERAL NOTES:

1. THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE OWNER AND/OR ARCHITECT. THEIR SIGNATURE APPEARS HEREON.
2. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL CHECK ALL DIMENSIONS, FRAMING CONDITIONS, AND ON-SITE CONDITIONS PRIOR TO STARTING ANY WORK. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.
3. DIMENSIONS AS INDICATED ARE THE DIMENSIONS THAT SHALL BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS. NOTES & DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. ALL DIMENSIONS ARE TAKEN TO THE ROOM/LOOK OR FINISH UNLESS OTHERWISE NOTED. THE DESIGN ACCURACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR AND/OR SUBCONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE AFORESAID MATERIALS, BRACING & DRAINAGE. ALL FINISH FLOOR AND PLASTER NEXT TO THE BUILDING SHALL BE PROPERLY BRACED TO CARRY WATER AWAY FROM THE BUILDING.
4. OBSERVATION VISITS TO THE JOB SITE BY THE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION PROCESSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSIDERED AS CONTINUOUS AND DETAILED INSPECTIONS.

GENERAL REQUIREMENTS:

1. **SCOPE:** ALL TRADERS SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND REMOVE ALL WORK NECESSARY, INDICATED, REASONABLY IMPLIED, OR REQUIRED BY ANY CODE WITH RESPECT TO, TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.
2. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (APPLICABLE EDITION) AND LOCAL GOVERNING AGENCIES PERMITS. THE GENERAL BUILDING PERMIT & PLAN CHECK FEES SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.
3. **INTENTIONS:** THE INTENTION OF THIS DOCUMENT IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK DESCRIBED.
4. **CHANGES:** THE OWNER MAY ORDER EXTRA WORK, OR MAKE CHANGES BY ALTERING, ADDING TO OR DELETING FROM THE WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY.
5. **GETTING & PROTECTING:** ALL TRADERS SHALL DO THEIR OWN GETTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS GOE TOGETHER PROPERLY AND FIT TO RESOLVE OR BE RECEIVED BY THE WORK OF OTHER TRADES.
6. **CLEANUP:** ALL TRADES SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.
7. **GENERAL:**
 - A. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO CURRENT B.C.C.C.S.
 - B. AS NOTED ON COVER SHEET OF PLANS.
 - C. DESIGN MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, ARCHITECT AND APPLICABLE GOVERNING AGENCIES. REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
 - C. THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR THE FIELD WORK. S. PERFORMANCE SAFETY IN OR ABOUT THE JOB SITE METHODS OF PERFORMANCE OR THE RESULTS IN THE PERFORMANCE OF THE CONTRACTOR OR SUBCONTRACTORS WORK.



Revisions:
DATE: 04/28/26

DMA
DAVE MADDEN ARCHITECTURE
From 065-70-046 • Email: dmadden@dmadma.com
1105 PARKER HANCOCK PARK, KNOXVILLE, TN, 37924

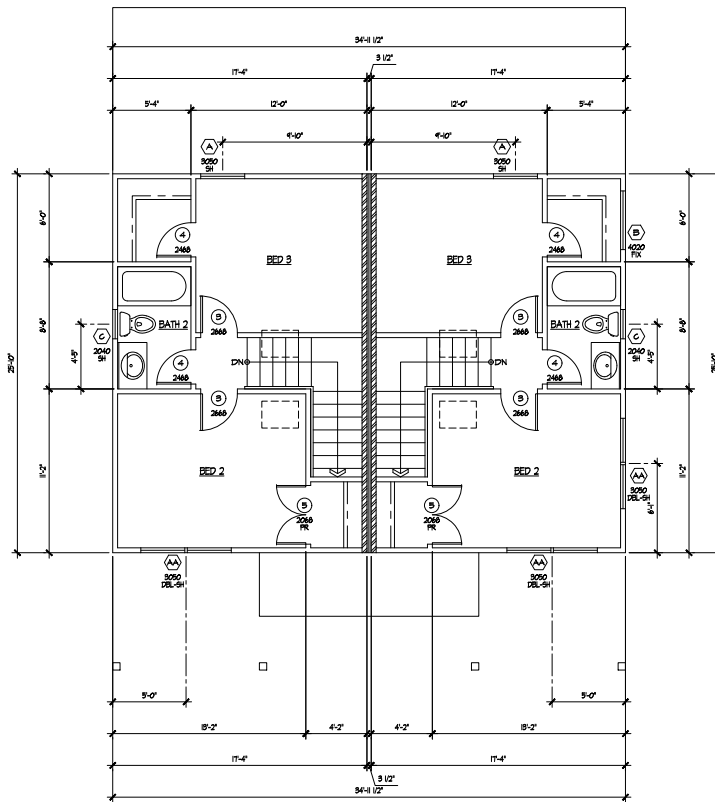
7-C-26-SU

Project and Location:
PARSONS AVE A DUPLEX
110 AVENUE A
KNOXVILLE, TN 37920
PARC. 123HPOOI

Drawn by: SP
Checked by:
Date: 04/28/26
Job No. TN26-075

1"=10'-0"
Sheet Number
A-1
Of Sheets

7-C-26- SU - Submitted 6/10/2026



UPPER FLOOR PLANS - #1 & #2

SQUARE FOOTAGE:

UNIT #1 LOWER FLOOR PLAN:	
LIVING:	616 SQFT.
KITCHEN:	128 SQFT.
PATIO:	89 SQFT.
UNIT #1 UPPER FLOOR PLAN:	
LIVING:	448 SQFT.
TOTAL LIVING:	1064 SQFT.
TOTAL AREA:	1553 SQFT.
UNIT #2 LOWER FLOOR PLAN:	
LIVING:	616 SQFT.
KITCHEN:	128 SQFT.
PATIO:	89 SQFT.
UNIT #2 UPPER FLOOR PLAN:	
LIVING:	448 SQFT.
TOTAL LIVING:	1064 SQFT.
TOTAL AREA:	1553 SQFT.
UNIT #1 & UNIT #2 TOTALS:	
TOTAL LIVING:	2128 SQFT.
TOTAL AREA:	2906 SQFT.

FLOOR PLAN NOTES

- CONTRACTOR AND/OR SUBCONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, DATA, DIMENSIONS, SPECS, AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK. A REPORT AT ONCE TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT IS DISCOVERED.
- CONTRACTOR SHALL VERIFY OWNER ALL FINISHES & MATERIALS PRIOR TO PURCHASE AND/OR INSTALLATION.
- CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZES ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- ALL DIMENSIONS ARE TAKEN TO FACE OF STUD BLDG. IN CASE OF CONFLICT, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE DRAWINGS. (DO NOT SCALE DRAWINGS)

WALL LEGEND

- 2x4 WALLS
- 2x6 PLUMBING WALLS
- 2x4 CEILING WALLS. SEE PROVIDED DETAIL.

Revisions:
 1. DATE: 04/21/24
 2. BY: [Signature]

DMA
 DAVE MADDEN ARCHITECT
 Phone: 615-770-4444 • Email: madden@dmadma.com
 2125 Foraker - Harrison Hwy, Knoxville, TN 37124

7-C-26-SU

UPPER FLOOR PLANS

Project and Location:
 PARSONS AVE A DUPLEX
 110 AVENUE A
 KNOXVILLE, TN 37120
 PARD. 1231POOI

DAVE MADDEN
 ARCHITECT
 10 OF TENNESSEE
 04/07/24

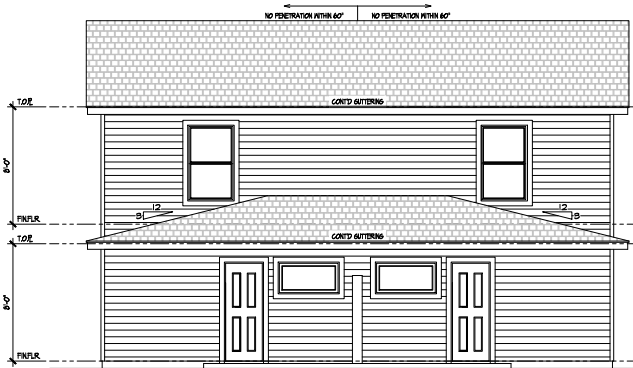
Drawn by: SP
 Checked by:
 Date: 04/21/24
 Job No. TN26-075

1/4" = 1'-0"
 Sheet Number
A-22
 Of Sheets

TN26075-FLUP-1-00-002.DWG



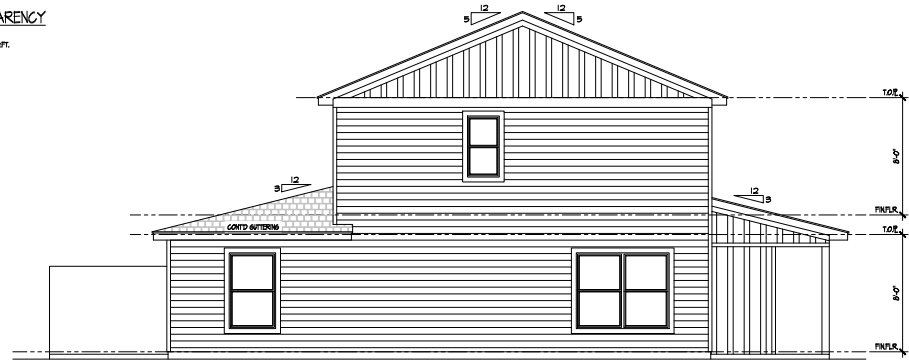
FRONT ELEVATION



REAR ELEVATION

FRONT FACADE TRANSPARENCY

FINISH AREA OF FRONT ELEVATION = 808 SQ. FT.
 3050 PLYCOB AREA = 8 50FT. X 8 FINCOBS = 120 SQFT.
 12 LITE TP = 48 50FT. X 2 DOORS = 156 SQFT.
 TOTAL GLAZING = 156 SQFT.
 BR OF 808 = 124.55 = 125



LEFT ELEVATION



RIGHT ELEVATION

STREET FACING TRANSPARENCY

FINISH AREA OF REAR ELEVATION = 126 SQ. FT.
 3050 PLYCOB AREA = 8 50FT. X 4 FINCOBS = 102 SQFT.
 3050 PLYCOB AREA = 8 50FT. X 1 FINCOBS = 8 SQFT.
 4022 PLYCOB AREA = 8 50FT. X 1 FINCOBS = 8 SQFT.
 TOTAL GLAZING = 108 SQFT.
 BR OF 126 = 126.75 = 127

EXTERIOR FINISHES

COMPOSITION SAMPLE

BOARD SIDING

PLYCOB LAP SIDING

Revisions:
 01/24/2016
 02/12/2016

DMA
 DAVE MADDEN ARCHITECT
 Phone: 615-770-0466 • Email: madden@dmadma.com
 3125 Foraker Harrison Hwy, Knoxville, TN 37924

7-C-26-SU

The
ELEVATIONS

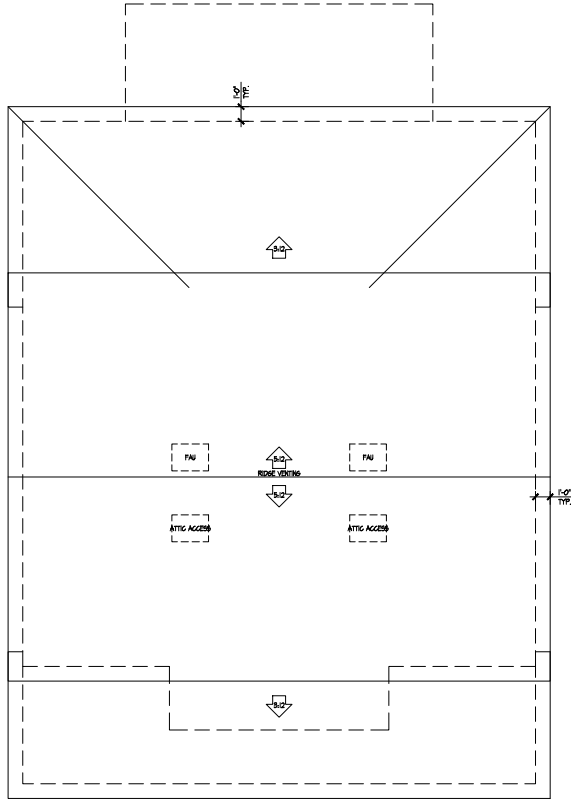
Project and Location
PARSONS AVE A DUPLEX
 110 AVENUE A
 KNOXVILLE TN 37920
 PARID, 123HPOOL

DAVE MADDEN
 ARCHITECT
 04/07/24

Drawn by: SP
 Checked by:
 Date: 04/27/24
 Job No. TN26-075



1/4" = 1'-0"
 Sheet Number
A-5
 Of Sheets

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NOTE:
SEE DETAILS L 2 & SIA-4 FOR ENLARGED SOFFIT DETAIL.

ROOF PLAN

 <p>DMA DAVE MADDEN ARCHITECT Phone 865-770-0446 • Email: madden@dma.com 1115 Foraker - Harrison Hwy, Knoxville, TN 37924</p>	
<p>7-C-26-SU</p>	
<p>ROOF PLAN</p>	
<p>Project and Location</p> <p>PARSONS AVE A DUPLEX 1110 AVENUE A KNOXVILLE TN 37920 PARID. 12345678</p>	<p>1/4" = 1'-0"</p> <p>Sheet Number</p> <p>A-6</p> <p>Of Sheets</p>
	<p>Drawn by SP</p> <p>Checked by</p> <p>Date 04/27/26</p> <p>Job No. TN26-075</p>
<p>TUG-OR-BR PLN-CO-04.04.24</p>	

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

6/27/26

7/10/2026

Date to be Posted

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting

Nathanael Parsons

Applicant Signature

Applicant Name

Date