



# SPECIAL USE REPORT

▶ **FILE #:** 7-F-26-SU

**AGENDA ITEM #:** 18

**AGENDA DATE:** 7/9/2026

▶ **APPLICANT:** RICK FRIEL  
**OWNER(S):** CHURCH WEST HILLS BAPTIST

**TAX ID NUMBER:** 120 H B 017 [View map on KGIS](#)

**JURISDICTION:** City Council District 2

**STREET ADDRESS:** 421 NORTH WINSTON RD

▶ **LOCATION:** West side of North Winston Rd, north side of I-40/I-75

▶ **APPX. SIZE OF TRACT:** 10.07 acres

**SECTOR PLAN:** Northwest City

**GROWTH POLICY PLAN:** N/A (Within the City limits)

**ACCESSIBILITY:** Access is via North Winston Road, a major collector with 42 ft of pavement width within a 50-ft right-of-way.

**UTILITIES:** Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

**FIRE DISTRICT:** Knoxville Fire Department

**WATERSHED:** Ten Mile Creek

▶ **ZONING:** RN-2 (Single-Family Residential Neighborhood), (C) (Previously Approved Planned District)

▶ **EXISTING LAND USE:** Public/Quasi Public Land (church)

▶ **PROPOSED USE:** Accessory structure (pavilion) for a place of worship

**HISTORY OF ZONING:** None noted.

**SURROUNDING LAND USE AND ZONING:** North: Single family residential - RN-1 (Single-Family Residential Neighborhood), (C) (Previously Approved Planned District)

South: I-40/I-75 right-of-way

East: Public parks, private recreation - OS (Open Space), HP (Hillside Protection Overlay)

West: Agriculture/forestry/vacant land - OP (Office Park)

**NEIGHBORHOOD CONTEXT:** The subject property lies at the southern edge of a single family neighborhood and is directly north of I-40/I-75 and the commercial uses along Kingston Pike. West Hills and Bynon Park lies across the street to the east.

## STAFF RECOMMENDATION:

▶ **Approve the request for a new accessory structure, driveway, and accessible parking space for a place of worship, subject to three conditions:**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance, including, but not limited to, Article 12 (Landscape).
2. Meeting all applicable requirements of the City of Knoxville Department of Plans Review and Inspections.
3. Meeting all applicable requirements of the City of Knoxville Department of Engineering.

**COMMENTS:**

This request is for a new pavilion, driveway, and accessible parking space at the existing West Hills Baptist Church.

**STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2)**

**1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.**

A. The proposed pavilion and driveway are not expected to adversely impact any existing neighborhoods and communities, and the placement minimizes tree loss on the large forested lot, which is consistent with the General Plan's Development Policies 9.2 and 9.3.

B. The proposed use is consistent with the One Year Plan's and Northwest City Sector Plan's CI (Civic/Institutional) land use classification.

**2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.**

A. This property is zoned RN-1 (Single-Family Residential Neighborhood) with a (C) district designation in a band along the northern and western lot lines. Per the transition rules of Article 1.4.G, the old zoning regulations apply to future development on this property, so the RP-1 (Planned Residential) regulations apply to this request. The (C) district designation covers the section of the property where the pavilion is proposed though that zone and the previously approved plans are associated with the Saint Andrews single family subdivision to the north that was approved in 1994 (3-G-94-UR).

B. The proposed driveway extends towards the pavilion from the existing parking lot, and the pavilion is situated directly to the west of the church. This location minimizes tree loss, is set far back from the subdivision to the north, and maintains a large buffer from Jean Teague Greenway, which runs through the north of the property. This location for the expansion is consistent with the intent of the RP-1 district.

C. The proposal complies with the development standards for uses permitted on review, pertaining to churches in the RP-1 district under the prior zoning code. Although a pavilion was not listed among the specific permitted accessory structures for a church under the prior zoning code, the accessory use complies with the general provisions for accessory uses and the applicable height regulations.

**3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.**

A. The church is a well-established structure in this area and predates much of the surrounding development. It serves as a buffer from the I-40/I-75 traffic for the single family neighborhood to the north. The request will have a minimal impact on the area, since the changes occur on the southern side of the property closer to the interstate.

B. The pavilion will be visible from I-40, which abuts the property to the south, but it will not be visible from the street or other nearby developments. The design of the pavilion is compatible with that of the existing church building.

**4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.**

A. There are no anticipated negative impacts to surrounding properties from the proposed minor expansion of the church use on the 10-acre property.

B. The pavilion and driveway are placed near the south of the property and are separated from the neighborhood and Jean Teague Greenway to the north by acres of remaining forest.

**5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.**

A. The subject property is accessed via North Winston Road, a major collector street, and traffic would not be routed through residential streets. The anticipated traffic impact of the proposed expansion is minimal.

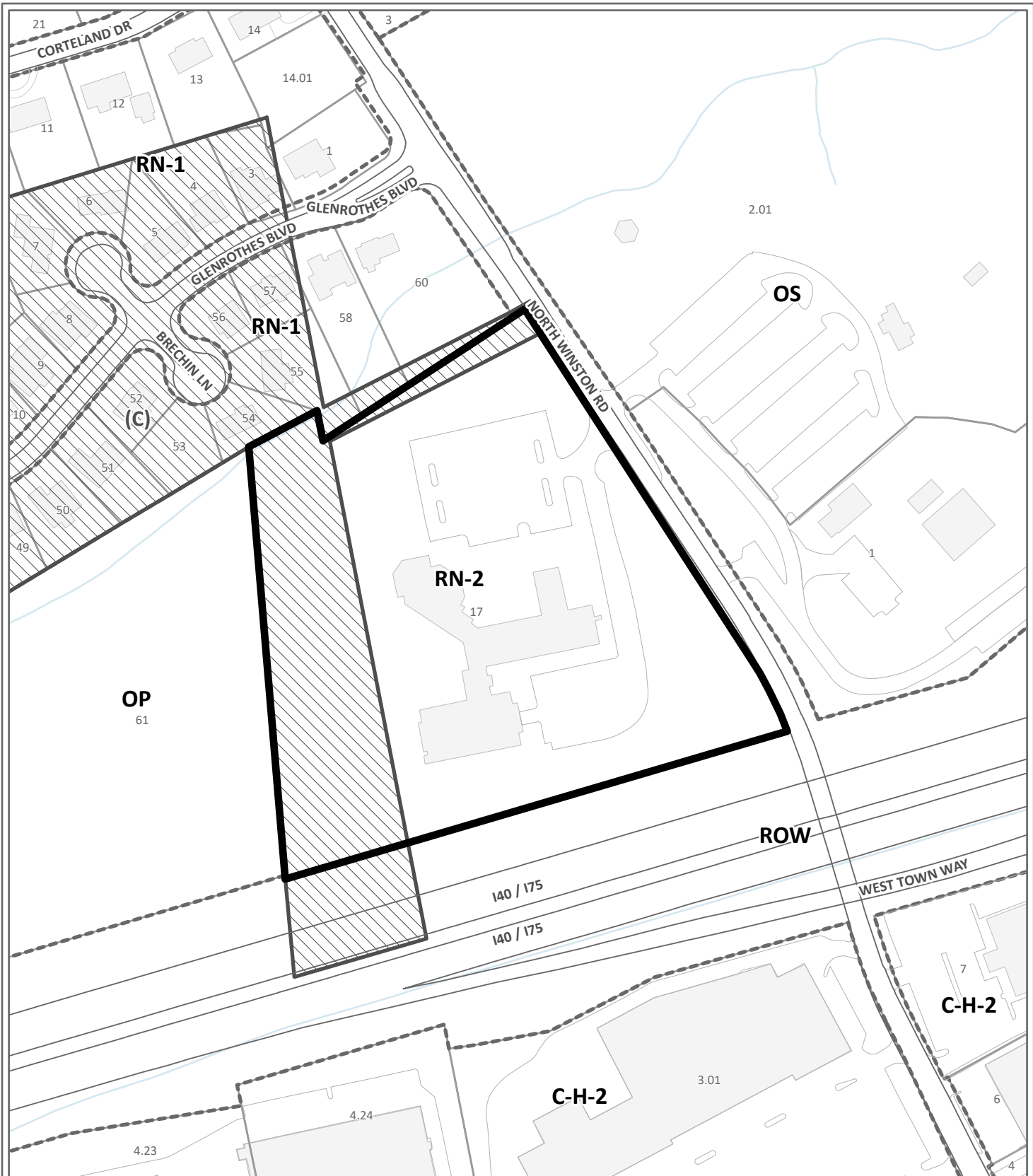
**6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.**

A. There are no known uses or environmental factors immediately surrounding the subject property that would pose a potential hazard or have an undesirable impact on the proposed use.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



**SPECIAL USE**

**7-F-26-SU**

**Petitioner:** Rick Friel



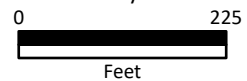
Accessory structure (pavilion) of a place of worship in RN-2 (Single-Family Residential Neighborhood), (C) (Previously Approved Plan District)

**Original Print Date:** 5/29/2026

*Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902*

**Map No:** 120

**Jurisdiction:** City



# Exhibit A. Contextual Images



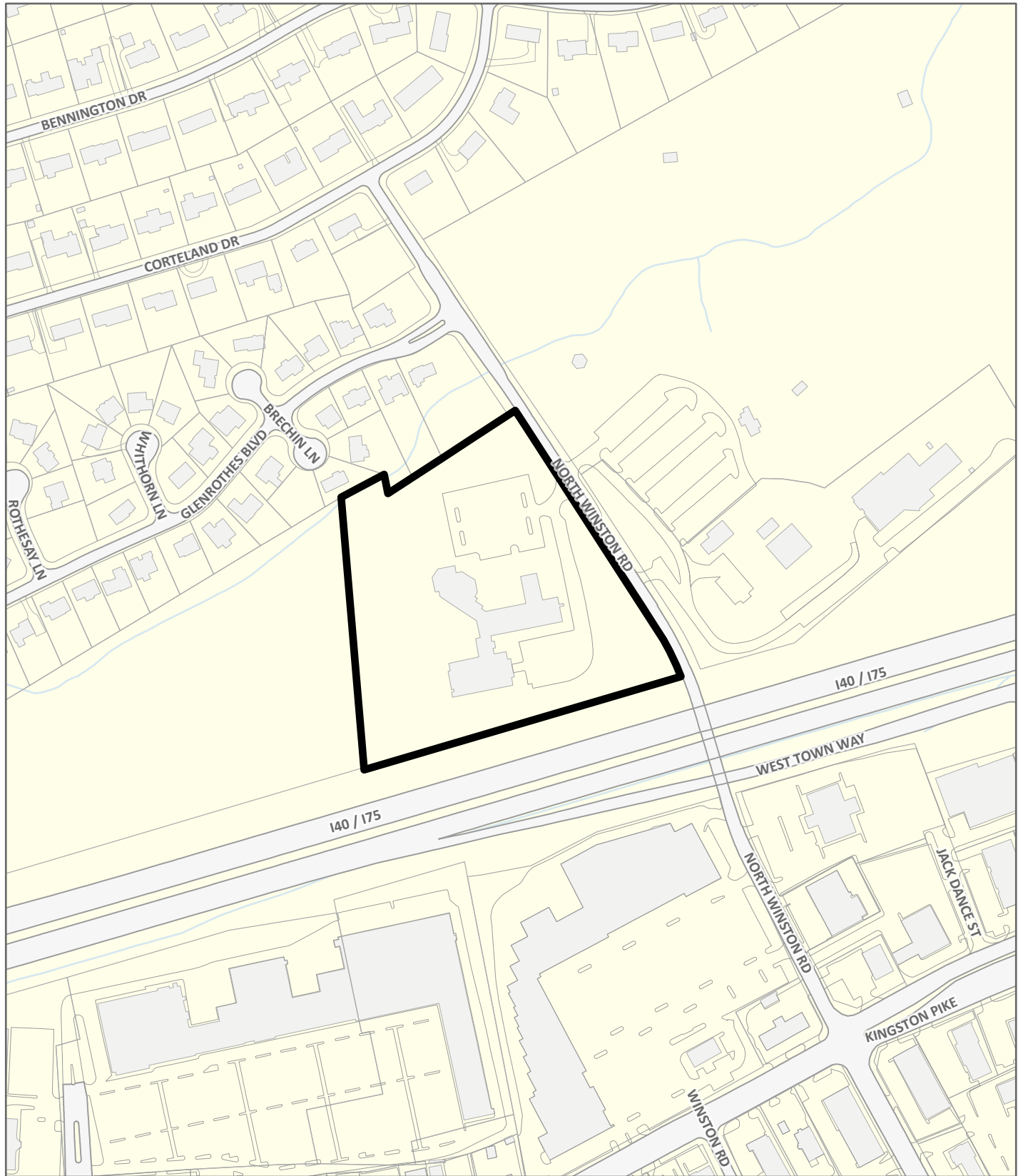
## AERIAL MAP



Case boundary



# Exhibit A. Contextual Images

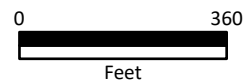


**LOCATION MAP**

**7-F-26-SU**



Case boundary

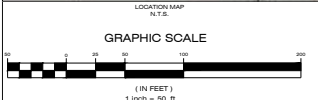


LINE	LENGTH	BEARING
L1	118.48	N62°17'27"E
L2	47.95	S19°09'39"E
L3	71.95	N07°10'25"E
L4	278.34	N07°02'25"E
L5	12.68	N55°28'59"E



**Legend**

- (M) - monument (old)
- (N) - monument (new)
- △ - control point
- ▲ - spot elevation
- - light pole
- ⊠ - air conditioner unit
- ⊡ - sanitary sewer manhole
- ⊞ - clean out
- ⊟ - down spout
- ⊠ - catch basin
- ⊡ - mailbox
- ⊠ - sign
- ⊠ - gas valve
- ⊠ - telephone pedestal
- ⊠ - coniferous tree
- ⊠ - deciduous tree
- ⊠ - sanitary sewer line
- ⊠ - landscaping
- ⊠ - storm drain line
- ⊠ - corrugated metal pipe
- ⊠ - corrugated plastic pipe
- ⊠ - plastic pipe



**GENERAL NOTES**

1. Verify current zoning with appropriate government planning agency prior to any site design and/or construction.
2. This survey plat does not warrant title.
3. Horizontal coordinates are on TN State Grid (NAD83-2011), with elevations on NAVD83. Distances have not been reduced to grid.
4. By graphic plotting, this property lies in Zone X on FEMA Panel #47095C0566, which bears an effective date of 5/2/2007, and is not in a special flood hazard area.
5. Survey control for the West Hills Baptist Church site but please understand this survey control was set at the time of the original survey and shall be verified in the field by a licensed surveyor prior to any use for construction staking or site calibration. We recommend using a total station and auto level or digital level for this verification. Adjustments may need to be made depending on accuracy requirements for use.
6. A portion of the subject property was surveyed with RTK GPS observations using survey grade GPS receivers and conforms to redundancy and accuracy required to comply with rules set forth by Tennessee Board for Land Surveyors and Tennessee Code Annotated chapter 62.
7. Approximate location of buried phone line taken from the plat of Saint Andrews by Laskley and Associates found in Knox County Register of deeds plat cabinet C case 65A.

**UTILITY INFORMATION**

- |   |  |  |
|---|--|--|
| <b>ELECTRIC SERVICE</b><br>KNOXVILLE BOARD<br>4505 Middlebrook Pike<br>Knoxville, TN 37921<br>Phone: 865-524-2911 | <b>WATER SERVICE</b><br>KNOXVILLE BOARD<br>4505 Middlebrook Pike<br>Knoxville, TN 37921<br>Phone: 865-524-2911 | <b>SEWER SERVICE</b><br>KNOXVILLE BOARD<br>4505 Middlebrook Pike<br>Knoxville, TN 37921<br>Phone: 865-524-2911 |
| <b>GAS SERVICE</b><br>KNOXVILLE BOARD<br>4505 Middlebrook Pike<br>Knoxville, TN 37921<br>Phone: 865-524-2911      | <b>TELEPHONE SERVICE</b><br>AT&T<br>9732 Paradise Drive<br>Knoxville, TN 37922<br>Phone: 865-539-2956          | <b>CABLE SERVICE</b><br>SPEEDY<br>6720 Asheville Hwy<br>Knoxville, TN 37924<br>Phone: 800-266-2278             |
1. Utility information shown on this survey is represented by a combination of available maps and features evident during the field survey only.
  2. Verify exact size, depth and location of all underground drainage utilities prior to design and/or construction.
  3. Notify Tennessee One-Call System, Inc. for underground utility location before you dig.

**ZONING INFORMATION**

1. Property is zoned (RN-1 & RN-2)
2. Building Setbacks:  
Front: 25  
Rear: 25
3. Verify full zoning regulations by contacting:  
KNOXVILLE-KNOX COUNTY PLANNING  
Suite 403, City/County Building  
400 Main Street  
Knoxville, Tennessee 37909  
Phone: (865) 215-2500  
connect@knoxplanning.org

**SURVEYOR'S CERTIFICATION**

**Certification of Category and Accuracy of Survey**  
For boundary aspects of this survey, RTK GPS positional data was observed on 02-03-2026 utilizing a Carlson BR1 7 GNSS Receiver. The grid coordinates of the Fixed Stations shown were derived using a VRS network of CORS stations referenced to NAD 83 (2011 Epoch 2010) Geoid 18. Positional accuracy of the GPS vectors does not exceed 1:0.05, N, E, & U Combined Grid Factor: 0.00004029 centered on TN17 as shown hereon.

I hereby certify that this is a Category IV survey and that said survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

I hereby certify that 90% of the contours / spot elevations shown hereon are within 1/2 inch-half of the contour interval as shown hereon.

Registered Land Surveyor **H. Wilds Lovin**  
Tennessee License No. **2151**  
Date: **2-20-26**



# MBI

WEB COMPANIES, INC.  
289 N. WEAVER ROAD  
KNOXVILLE, TN 37919

PHONE: (865) 584-0066  
FAX: (865) 584-0373  
WEB: [www.mbi.com](http://www.mbi.com)

Know what's below.  
Call before you dig.  
In Tennessee call 811 or 1-800-954-1111

OWNER:  
WEST HILLS BAPTIST CHURCH  
421 NORTH WINSTON RD  
KNOXVILLE, TN 37919

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**WEST HILLS BAPTIST CHURCH  
TREES WITH TOPOGRAPHY MAP**

421 NORTH WINSTON ROAD  
KNOXVILLE, TN 37919

Knox County, TN  
City of Knoxville, TN  
Tax Parcel #12018B17  
Map 12018 B Parcel 17  
Deed Ref. BC-117 PG 248  
Plat Ref. (c)

Crew Chief: **BUP J & SATERFIELD**  
Drawn By: **RMM**  
App'd. By: **W. Lovin**

Field date: 2-3-26  
Drawing date: 2-9-26  
Last Revision:

Scale: 1" = 50'  
Job No: 261039  
SHEET NO:

**1 OF 1**



Johnson  
Architecture

2018 Davenport Rd  
Knoxville, Tennessee 37920  
865.671.9060  
jahnc.com

A New Pavilion for:  
**West Hills Baptist Church**  
409 North Winston Road  
Knoxville, Tennessee 37909

CONCEPT SITE  
PLAN

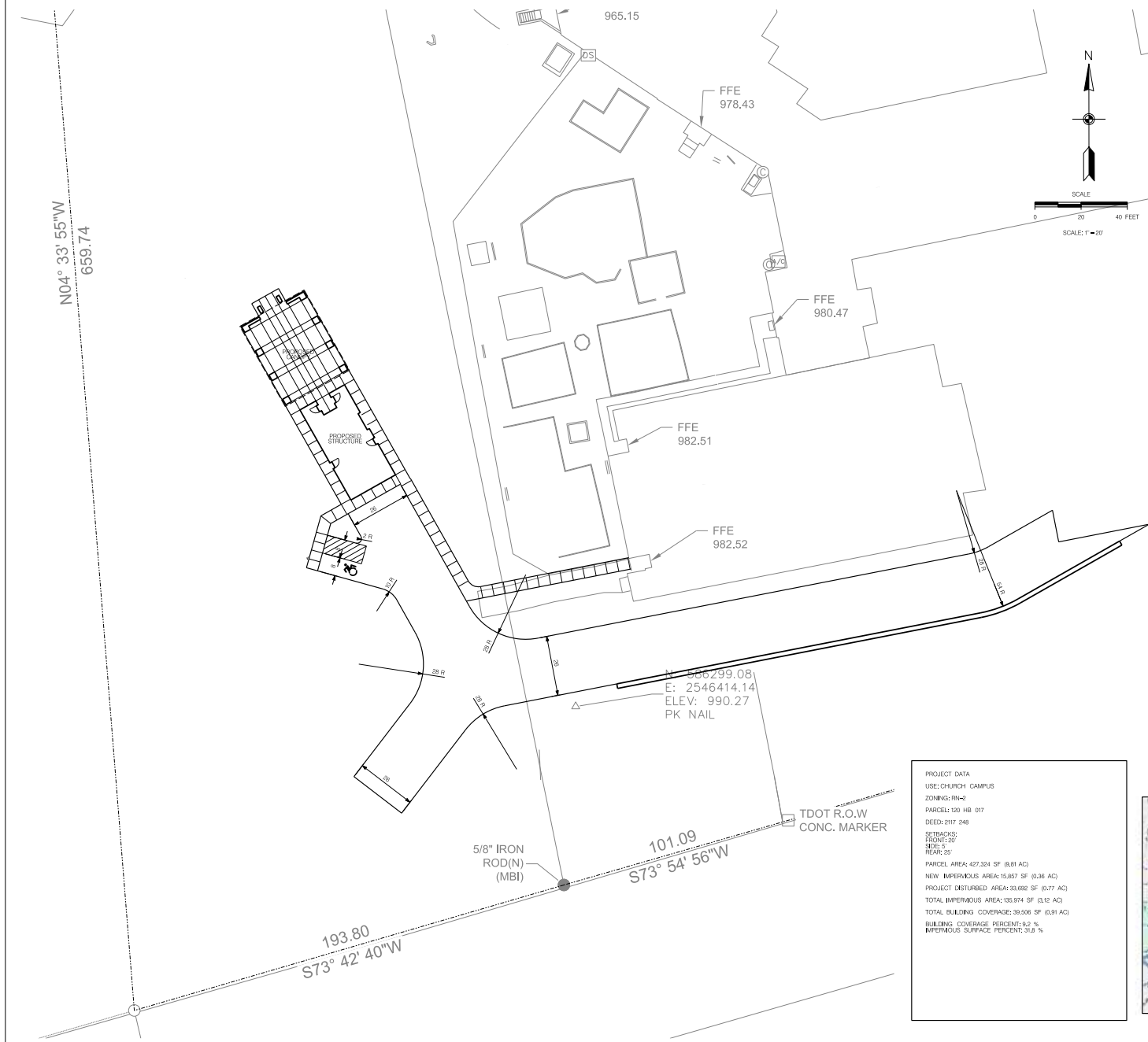
REVISIONS

Revision # Description Date

DATE: 05/25/2026

PROJECT NO: 261033

PL01



N04° 33' 55"W  
659.74

193.80  
S73° 42' 40"W

5/8" IRON  
ROD(N)  
(MBI)

101.09  
S73° 54' 56"W

N: 886299.08  
E: 2546414.14  
ELEV: 990.27  
PK NAIL

TDOT R.O.W  
CONC. MARKER

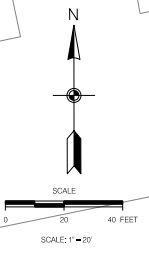
965.15

FFE 978.43

FFE 980.47

FFE 982.51

FFE 982.52

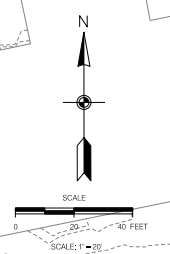
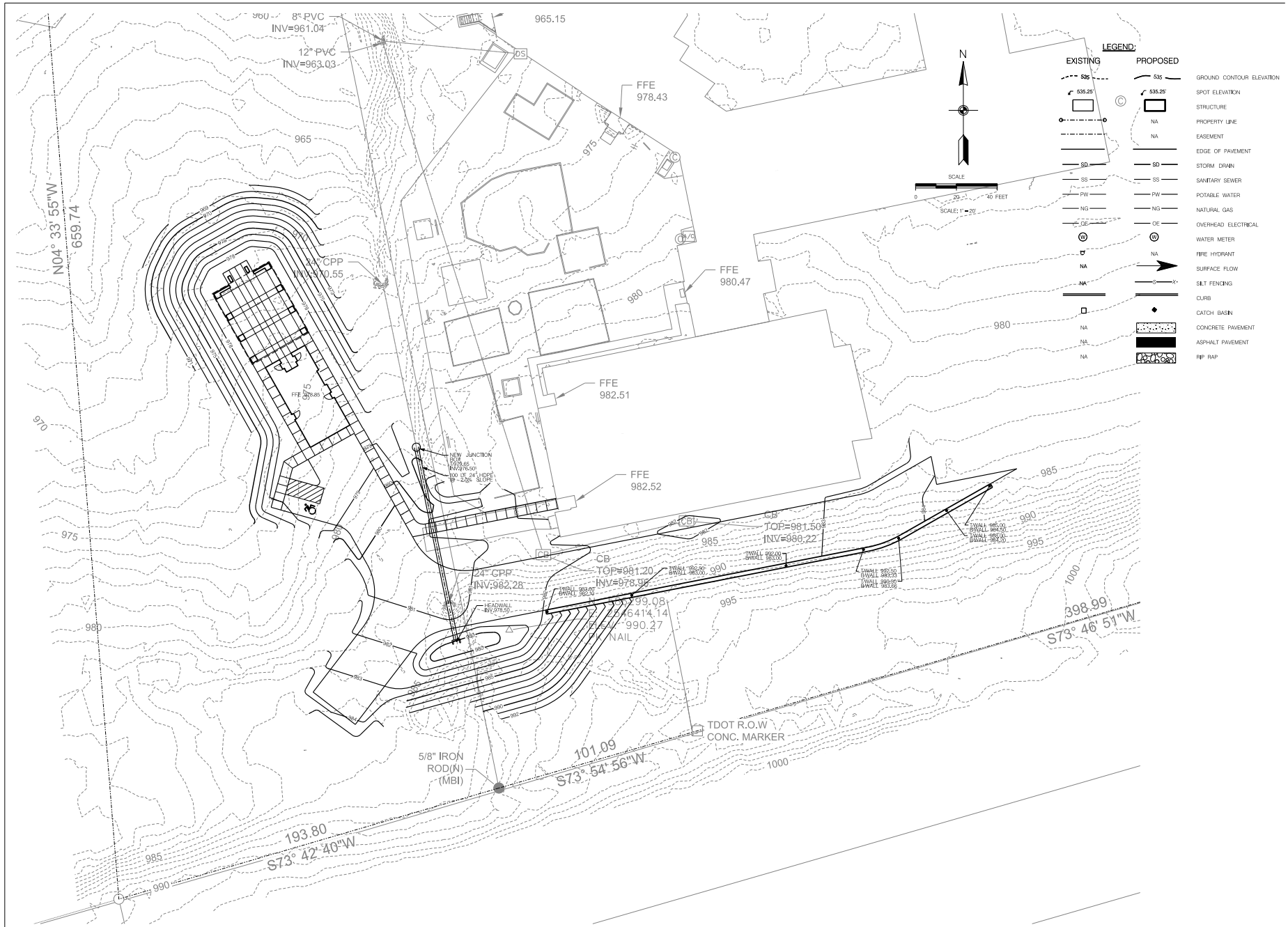


LEGEND:

EXISTING	PROPOSED	
--- 535 ---	--- 535 ---	GROUND CONTOUR ELEVATION
--- 526.25 ---	--- 526.25 ---	SPOT ELEVATION
[Outline]	[Outline]	STRUCTURE
--- NA ---	--- NA ---	PROPERTY LINE
--- NA ---	--- NA ---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	OVERHEAD ELECTRICAL
⊙	⊙	WATER METER
⊙	⊙	FIRE HYDRANT
→	→	SURFACE FLOW
---	---	SILT FENCING
---	---	CURB
⬢	⬢	CATCH BASIN
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT
---	---	RIP RAP

PROJECT DATA  
 USE: CHURCH CAMPUS  
 ZONING: RN-2  
 PARCEL: 100 HB 017  
 DEED: 2117 248  
 SETBACKS:  
 FRONT: 02'  
 SIDE: 5'  
 REAR: 25'  
 PARCEL AREA: 427,324 SF (9.81 AC)  
 NEW IMPERVIOUS AREA: 15,857 SF (0.36 AC)  
 PROJECT DISTURBED AREA: 33,692 SF (0.77 AC)  
 TOTAL IMPERVIOUS AREA: 135,974 SF (3.12 AC)  
 TOTAL BUILDING COVERAGE: 39,508 SF (0.91 AC)  
 BUILDING COVERAGE PERCENT: 9.2 %  
 IMPERVIOUS SURFACE PERCENT: 31.8 %





**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	GROUND CONTOUR ELEVATION
•	•	SPOT ELEVATION
□	□	STRUCTURE
- - - - -	- - - - -	PROPERTY LINE
- - - - -	- - - - -	EASEMENT
- - - - -	- - - - -	EDGE OF PAVEMENT
- - - - -	- - - - -	STORM DRAIN
- - - - -	- - - - -	SANITARY SEWER
- - - - -	- - - - -	POTABLE WATER
- - - - -	- - - - -	NATURAL GAS
- - - - -	- - - - -	OVERHEAD ELECTRICAL
⊙	⊙	WATER METER
⊙	⊙	FIRE HYDRANT
→	→	SURFACE FLOW
- - - - -	- - - - -	SILT FENCING
- - - - -	- - - - -	CURB
□	□	CATCH BASIN
□	□	CONCRETE PAVEMENT
□	□	ASPHALT PAVEMENT
□	□	RIP RAP



A New Pavilion for:  
**West Hills Baptist Church**  
 409 North Winston Road  
 Knoxville, Tennessee 37909

CONCEPT  
 GRADING  
 PLAN

**REVISIONS**

Revision #	Description	Date

DATE: 05/25/2026  
 PROJECT NO: 261033

**PL02**



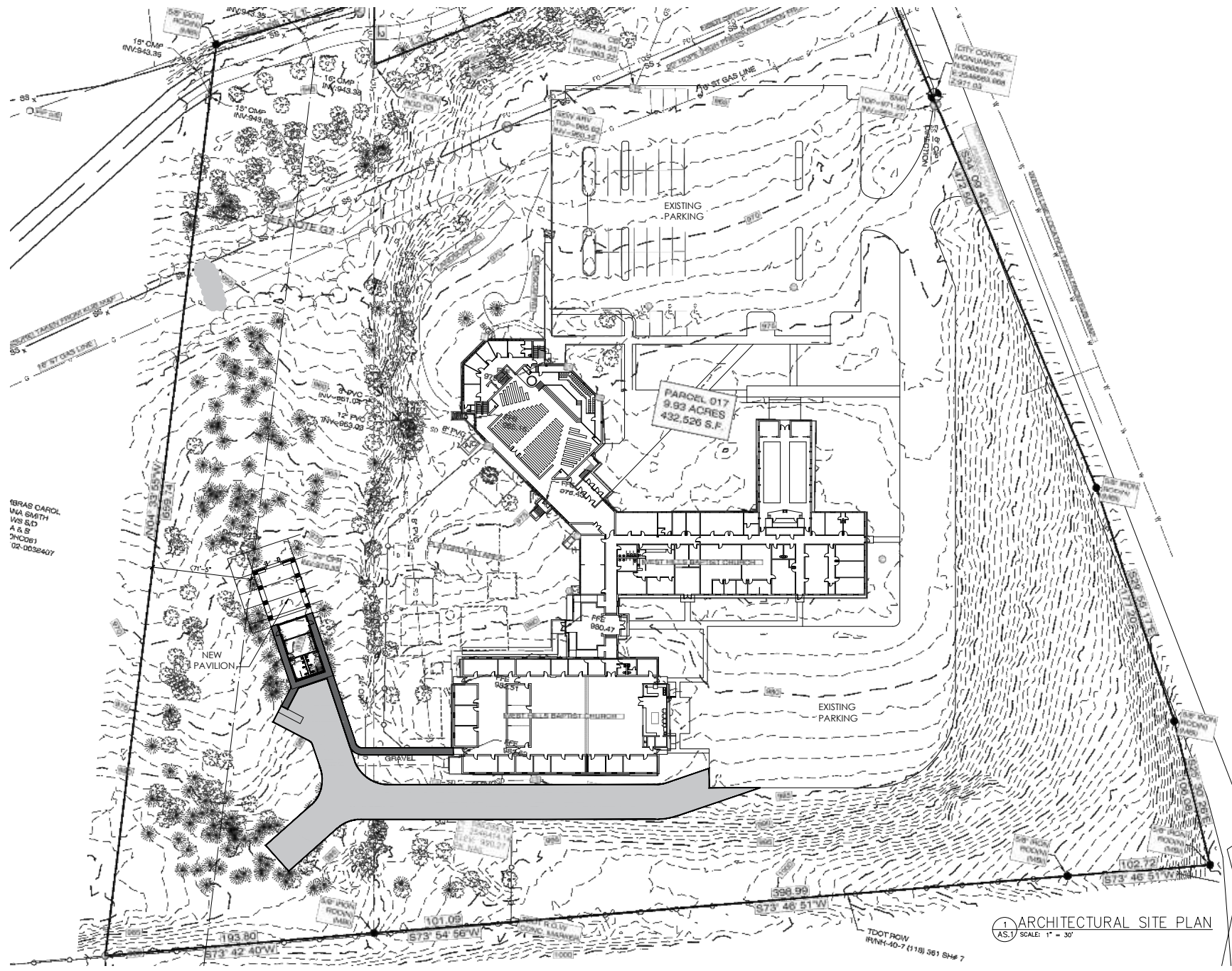
NEW PAVILION FOR:  
**WEST HILLS BAPTIST CHURCH**

SCHEMATIC  
 DESIGN  
 ARCHITECTURAL  
 SITE PLAN

REVISIONS  
 REV # Description Date

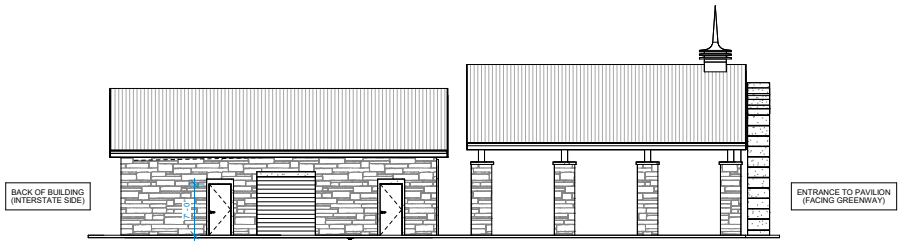
DATE: May 26, 2026  
 PROJECT NO:

**AS.1**

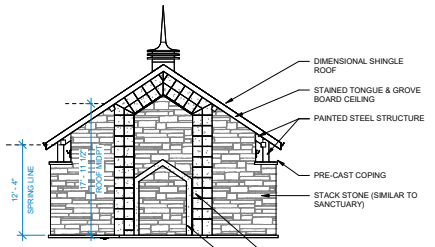


**1** ARCHITECTURAL SITE PLAN  
 AS.1 SCALE: 1" = 30'

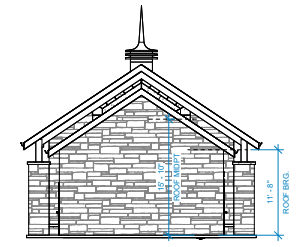
IGRAB CAROL  
 WA SMITH  
 WS SLD  
 A & S  
 2/NOV01  
 02-0036407



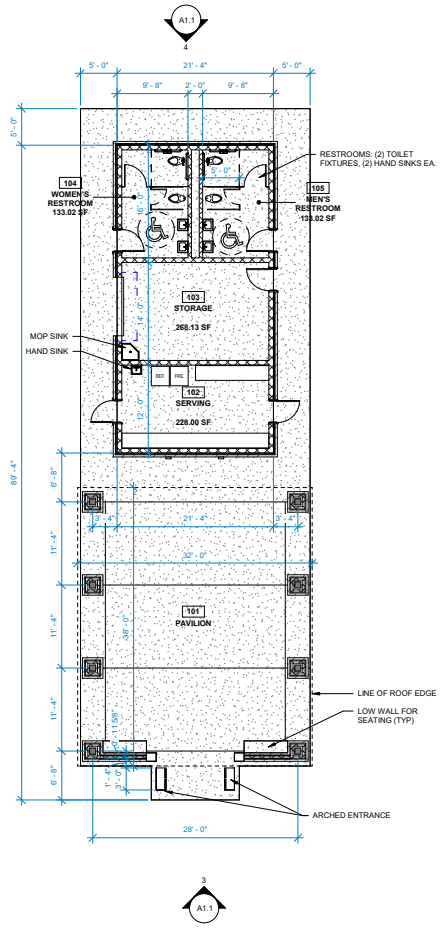
2 SIDE ELEVATION  
A1.1 1/8" = 1'-0"



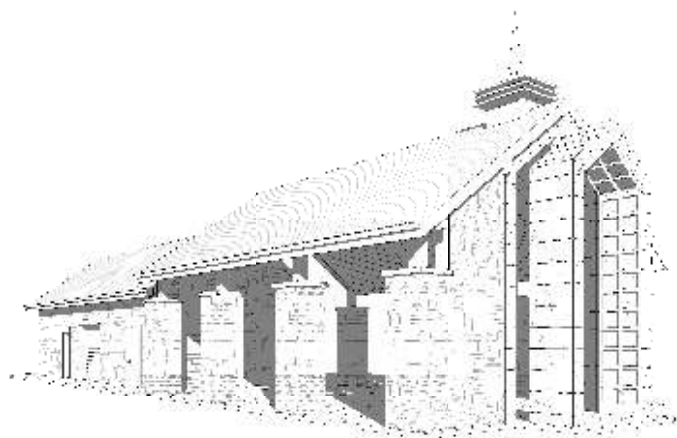
3 FRONT ELEVATION  
A1.1 1/8" = 1'-0"



4 BACK ELEVATION  
A1.1 1/8" = 1'-0"



1 SCHEMATIC FLOOR PLAN  
A1.1 1/8" = 1'-0"



3D VIEW



INSPIRATION IMAGE OF EXISTING SANCTUARY



STONE OPTION



PROPOSED MATERIALS

NEW PAVILION FOR:  
**WEST HILLS BAPTIST CHURCH**

SCHEMATIC  
DESIGN  
DRAWINGS

REVISIONS  
REV # Description Date

DATE: MAY 26, 2026  
PROJECT NO:

A1.1

# Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

## Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

**Planning staff will post the required sign.** If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

### Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

### Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

### Acknowledgement

**By signing below,** you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

06/26/2026

Date to be Posted

07/10/2026

Date to be Removed

**Have you engaged the surrounding property owners to discuss your request?**

Yes  No

No, but I plan to prior to the Planning Commission meeting

*Naomi R. Brown*

Applicant Signature **Owner**

Naomi R. Brown

Applicant Name

06/26/2026

Date