

REZONING REPORT

▶ **FILE #:** 6-C-26-RZ

AGENDA ITEM #: 19

AGENDA DATE: 6/11/2026

▶ **APPLICANT:** GULF PARK INC

OWNER(S): Gulf Park LLC

TAX ID NUMBER: 119 H G 004

[View map on KGIS](#)

JURISDICTION: County Commission District 3

STREET ADDRESS: 0 DUTCHTOWN RD

▶ **LOCATION:** North side of Dutchtown Rd, across from the northern terminus of Academy Way, east of Sanders Rd

▶ **APPX. SIZE OF TRACT:** 3.19 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Dutchtown Road, a minor arterial with two lanes and a center turn lane within a right-of-way width that varies from 63-73 ft.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Turkey Creek

▶ **CURRENT ZONING:** A (Agricultural)

▶ **REQUESTED ZONING:** PR (Planned Residential)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **DENSITY PROPOSED:** up to 4 du/ac

EXTENSION OF ZONING: No, it is not an extension.

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING:

North: Single family residential - RA (Low Density Residential) in the County

South: Public/quasi public land (school), single family residential - INST (Institutional) in the City, PR (Planned Residential) up to 12 du/ac in the County

East: Agriculture/forestry/vacant land - A (Agricultural) in the County

West: Transportation/communications/utilities - A (Agricultural) in the County

NEIGHBORHOOD CONTEXT: The subject property is in an area that features single family and multifamily subdivisions north of Dead Horse Lake and I-40. The Christian Academy of Knoxville is across the street to the south, and within 0.30 miles is the Webb School to the west, and Catholic High, Cedar Bluff Elementary, and Cedar Bluff Middle Schools to the east.

STAFF RECOMMENDATION:

▶ **Deny the PR (Planned Residential) zone with up to 4 du/ac due to environmental constraints on the**

site.

COMMENTS:

PURSUANT TO THE KNOX COUNTY ZONING ORDINANCE, ARTICLE 6.30.01, THE FOLLOWING CONDITIONS MUST BE MET FOR ALL REZONINGS (must meet all of these):

THE PROPOSED AMENDMENT SHALL BE NECESSARY BECAUSE OF SUBSTANTIALLY CHANGED OR CHANGING CONDITIONS IN THE AREA AND ZONES AFFECTED, OR IN THE COUNTY GENERALLY.

1. Development trends along this section of Dutchtown Road have been primarily residential in nature, consisting of single-family and townhouse developments on small and medium lots.
2. Since the early 2000s, there has been a gradual transition from A (Agricultural) zoning to residential zoning, such as RA (Low Density Residential) and PR (Planned Residential), from up to 5 to 10 du/ac. Nonresidential rezonings to the OB (Office, Business, and Medical Related Services) and CN (Neighborhood Commercial) zones have been concentrated east of the subject property near the intersection of Dutchtown Road and N Cedar Bluff Road.

THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH THE INTENT AND PURPOSES OF THE APPLICABLE ZONING ORDINANCE.

1. The PR zone is intended to provide optional methods of land development which encourage more imaginative solutions to environmental design problems by allowing residential development to be clustered on more optimal sections of a property.
2. There is a large sinkhole on the eastern portion of the site, and throughout the property are smaller closed contours that may be sinkholes, unless a geotechnical survey is conducted to determine otherwise (Exhibit B: Contour Map). Though the PR zone is generally intended for sites with environmental constraints, clustering development on this site could be challenging given the numerous closed contours dispersed across the property.
3. Rezonings should be based on the entire range of uses allowed within a zone to ensure that any development brought forth at a future time would be compatible with the surrounding land uses. The allowable uses in the PR zone with up to 4 du/ac are compatible with the surrounding residential development, which consists of single-family and townhouse dwellings with lots smaller than an acre.

THE PROPOSED AMENDMENT SHALL NOT ADVERSELY AFFECT ANY OTHER PART OF THE COUNTY NOR SHALL ANY DIRECT OR INDIRECT ADVERSE EFFECTS RESULT FROM SUCH AN AMENDMENT.

1. In 1999, the Knox County Engineering and Public Works Department conducted the Dutchtown Road Flood Study, which determined that the sinkhole on the eastern portion of the site drains to sinkhole DS7, a protected sinkhole roughly 900 ft south of the subject property (Exhibit C). The DS7 Sinkhole receives the majority of drainage and stormwater runoff from approximately 300 acres of development. Sediment pollution has impacted the capacity of the DS7 sinkhole, and it was deemed a 'protected' sinkhole with the adoption of the flood study. The protected sinkhole designation requires additional development criteria, including limiting fill operations and strict enforcement of erosion control measures.
2. This section of Dutchtown Road has been prone to flooding and has required multiple interventions by the Knox County Engineering and Public Works Department over the last three decades to mitigate flood impacts, such as the construction of a flood wall for the Dutchtown Way subdivision to the south, and the purchase and demolition of a private property to the west due to repeated flooding. To lessen the impacts of flooding in the area, Dutchtown Road was raised to above flood levels. However, flooding continues to be a concern in this area due to the runoff and sediment pollution impacting the DS7 sinkhole to the south. Additional grading and impervious surfaces at this location could exacerbate these conditions.
3. The requested density of 4 du/ac could yield up to 12 dwelling units. As previously mentioned, there is a large sinkhole in the eastern portion of the site, and smaller closed contours appear to be distributed throughout. The significant environmental constraints on the site do not support increasing residential intensity at this location.

THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH AND NOT IN CONFLICT WITH THE COMPREHENSIVE PLAN OF KNOX COUNTY, INCLUDING ANY OF ITS ELEMENTS, MAJOR ROAD PLAN, LAND USE PLAN, COMMUNITY FACILITIES PLAN, AND OTHERS.

1. The subject property is designated SR (Suburban Residential) in the Knox County Comprehensive Plan, which allows consideration of the requested PR zone with up to 4 du/ac. The PR zone is partially related to the SR place type, and additional criteria must be met for partially related zones. The rezoning meets the first criterion, as the allowable housing types in the PR zone with up to 4 du/ac are consistent with the secondary uses recommended in the SR place type, such as attached residential.
2. The proposed rezoning is consistent with the Comprehensive Plan's Implementation Policy 5: Create neighborhoods with a variety of housing types and amenities in close proximity. The PR zone with up to 4 du/ac would permit development in scale with the surrounding area and with direct access to Dutchtown Road, a minor arterial with a center turn lane and sidewalks that extend to the commercial corridor along N Cedar Bluff

Road to the east. However, adding growth in an area prone to flooding contradicts the intent of Implementation Policies 9.3, to focus growth in areas already served by adequate infrastructure, and 9.5, to avoid approving isolated developments where infrastructure is inadequate.

3. The subject property is within the Planned Growth Area of the Growth Policy Plan, which aims to encourage a reasonably compact pattern of development, promote expansion of the Knoxville-Knox County economy, and offer a wide range of housing choices. The proposed rezoning aligns with the intent of the Planned Growth Area.

ESTIMATED TRAFFIC IMPACT: 143 (average daily vehicle trips)

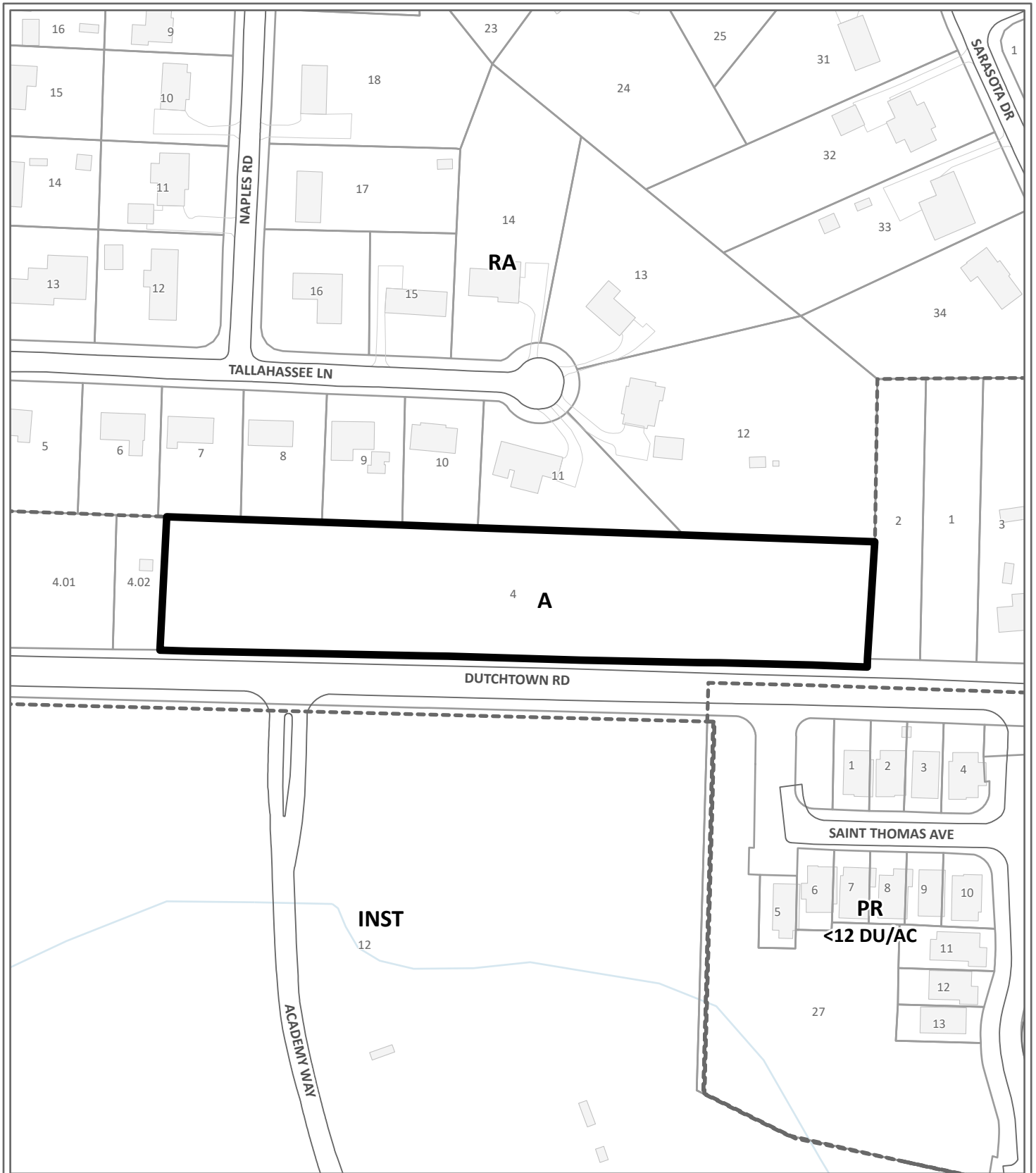
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 4 (public school children, grades K-12)

Schools affected by this proposal: Cedar Bluff Elementary, Cedar Bluff Middle, and Hardin Valley Academy.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

If approved, this item will be forwarded to Knox County Commission for action on 7/20/2026. If denied, Knoxville-Knox County Planning Commission's action is final, unless the action to deny is appealed to Knox County Commission. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



REZONING

6-C-26-RZ

Petitioner: Gulf Park Inc

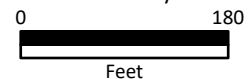


From: A (Agricultural)

To: PR (Planned Residential) up to 4 du/ac

Map No: 119

Jurisdiction: County



Original Print Date: 4/29/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Exhibit A. Contextual Images



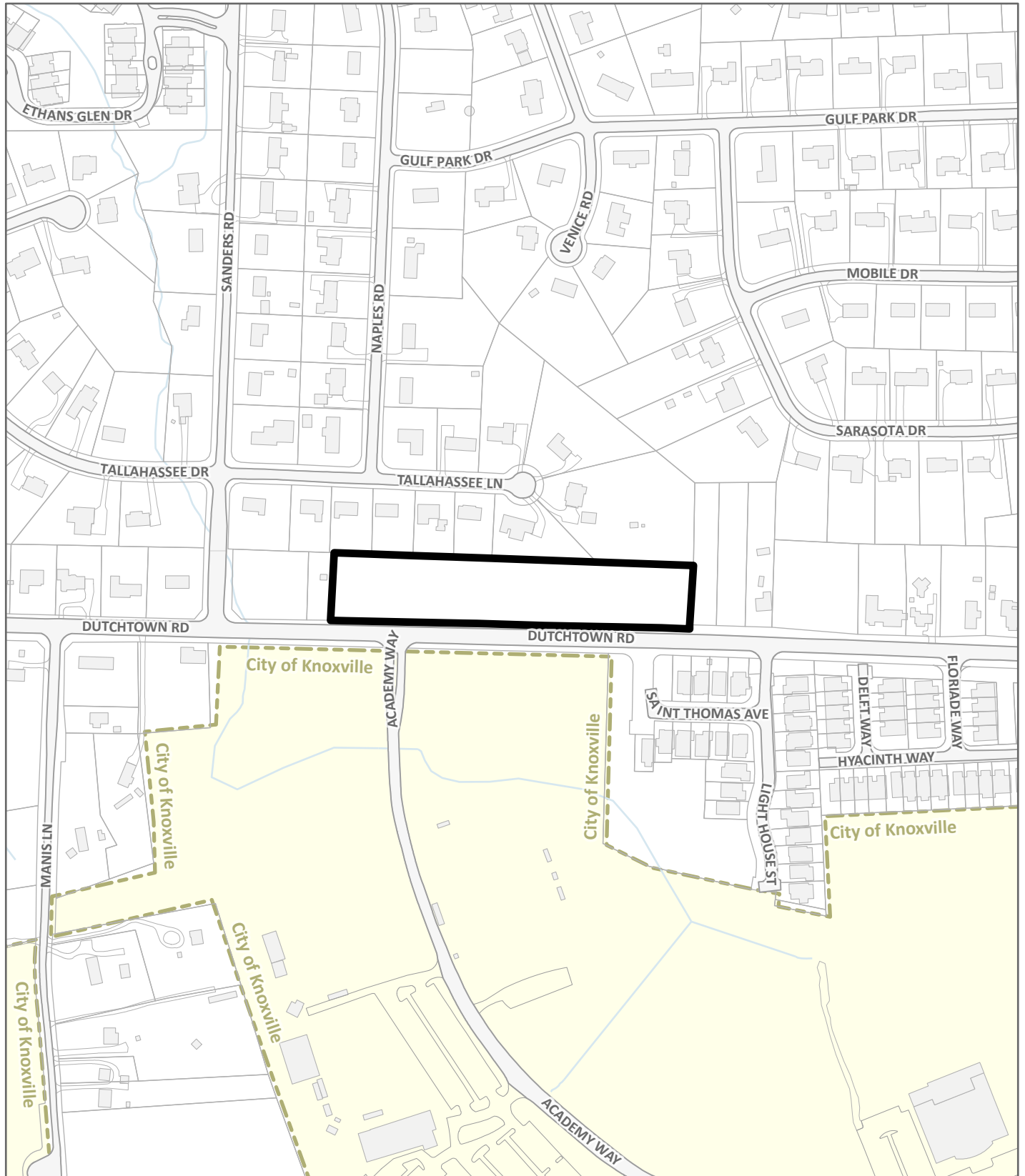
AERIAL MAP



Case boundary



Exhibit A. Contextual Images

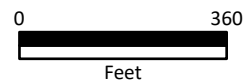


LOCATION MAP

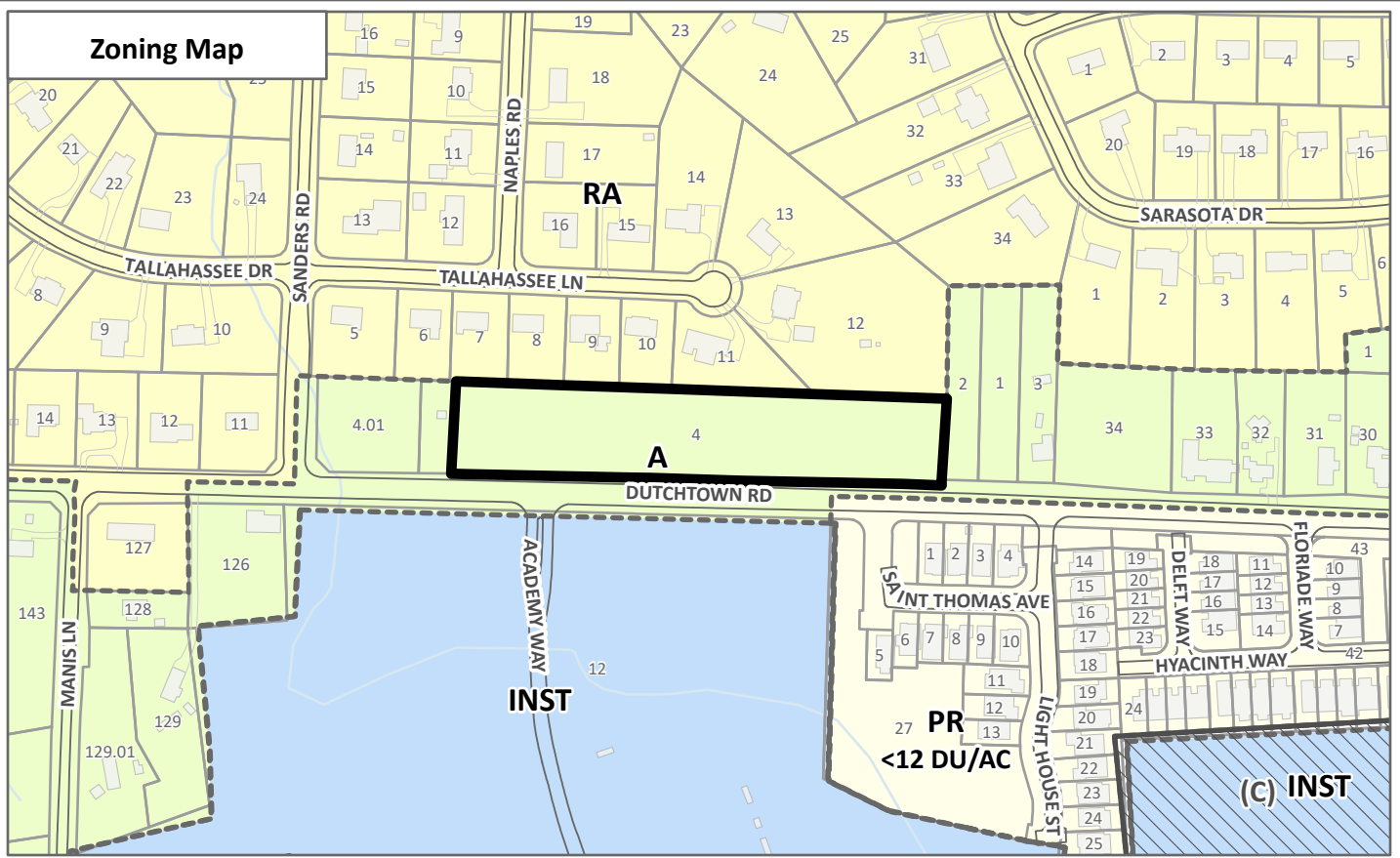
6-C-26-RZ



Case boundary



Zoning Map



Comprehensive Plan Map

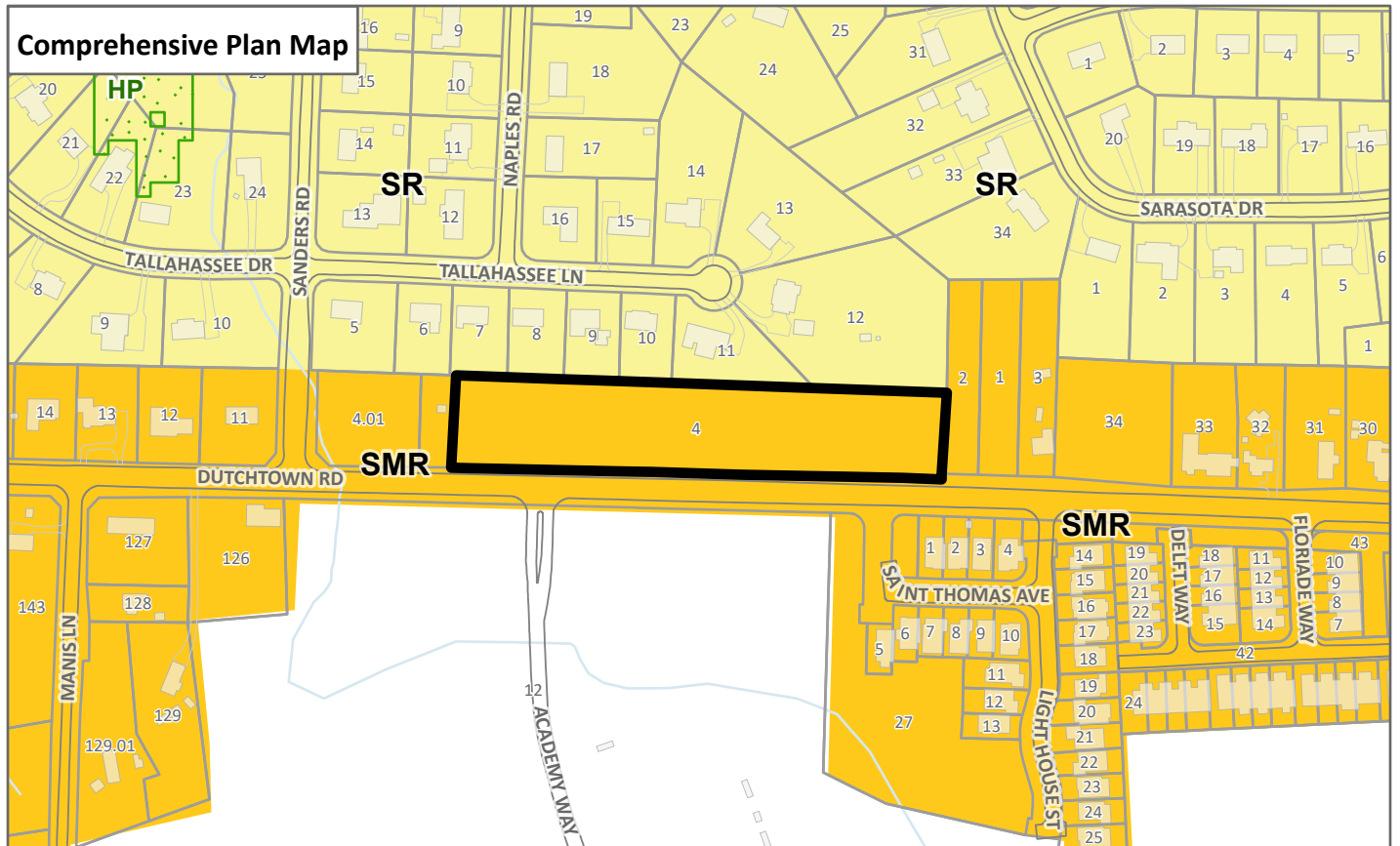
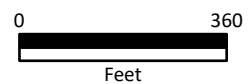


EXHIBIT A, CONTEXTUAL MAPS

6-C-26-RZ



Case boundary



Existing Land Use Map

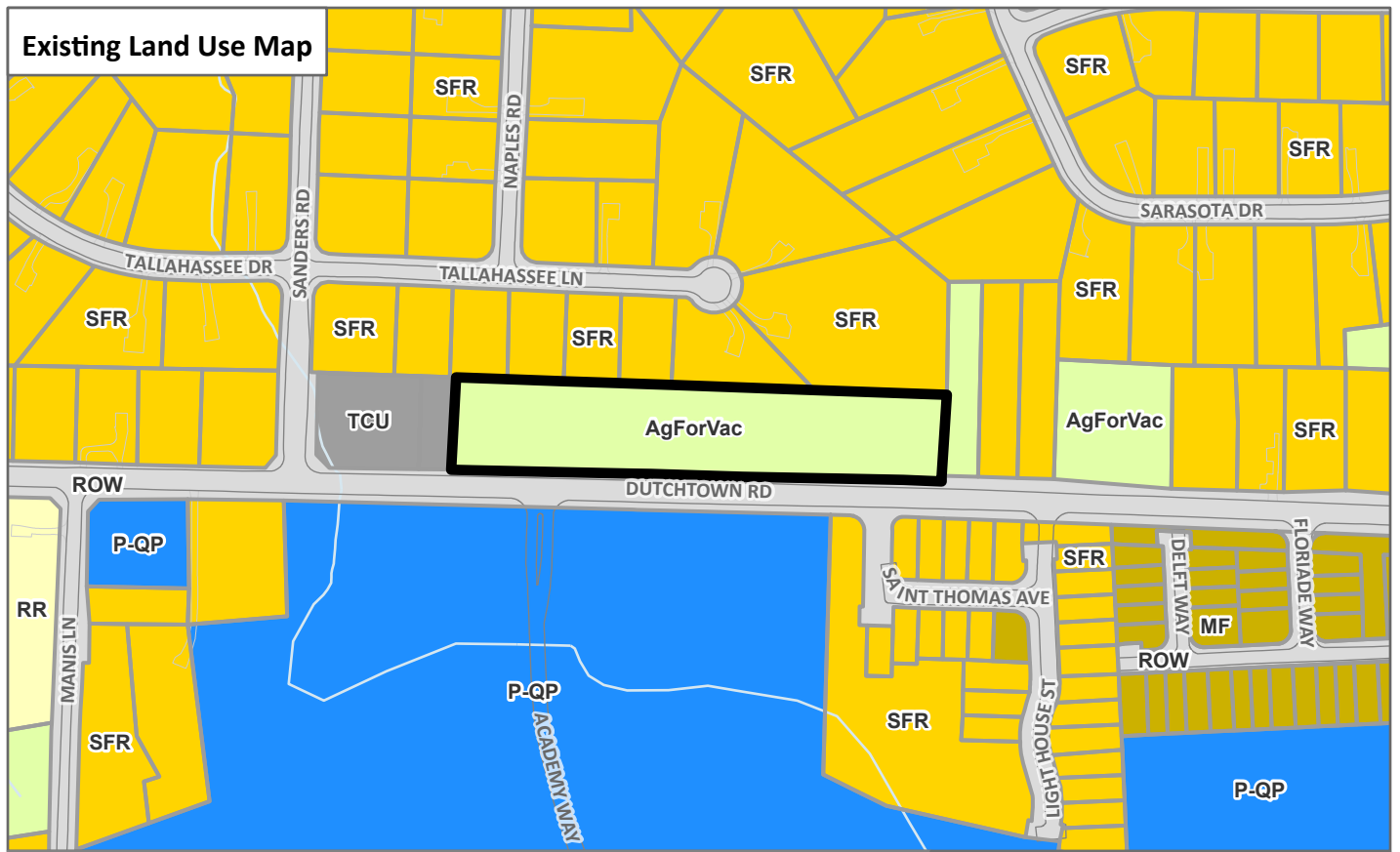
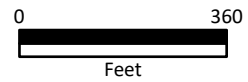


EXHIBIT A, CONTEXTUAL MAPS

6-C-26-RZ



Case boundary



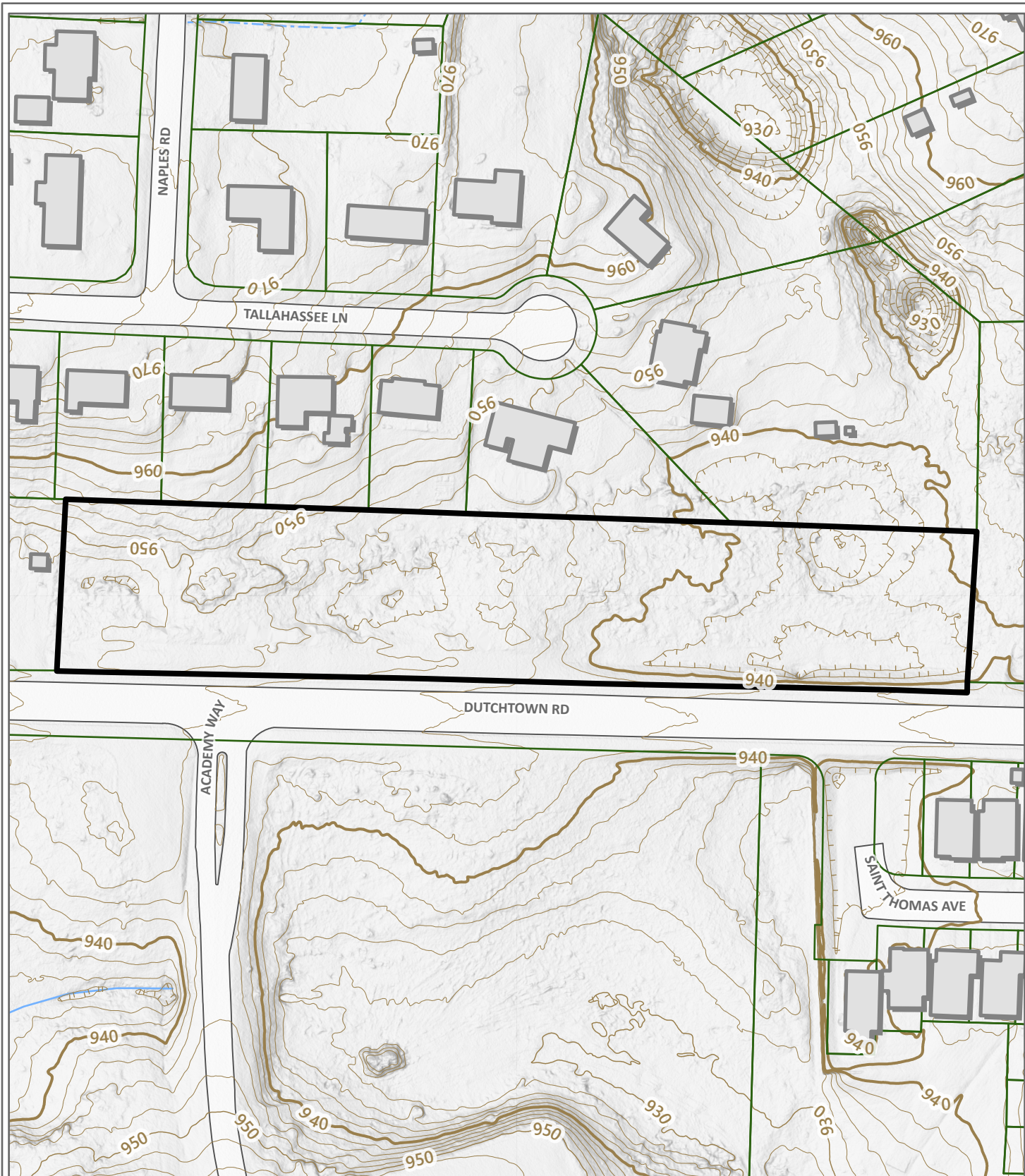


Exhibit B: Contour Map

6-C-26-RZ

Petitioner: Gulf Park Inc

Contour Interval: 2 feet

 Case Boundary

Map No: 119

Jurisdiction: County

Original Print Date: 5/8/2026

Knoxville - Knoxville Planning Commission * City / County Building * Knoxville, TN 37902



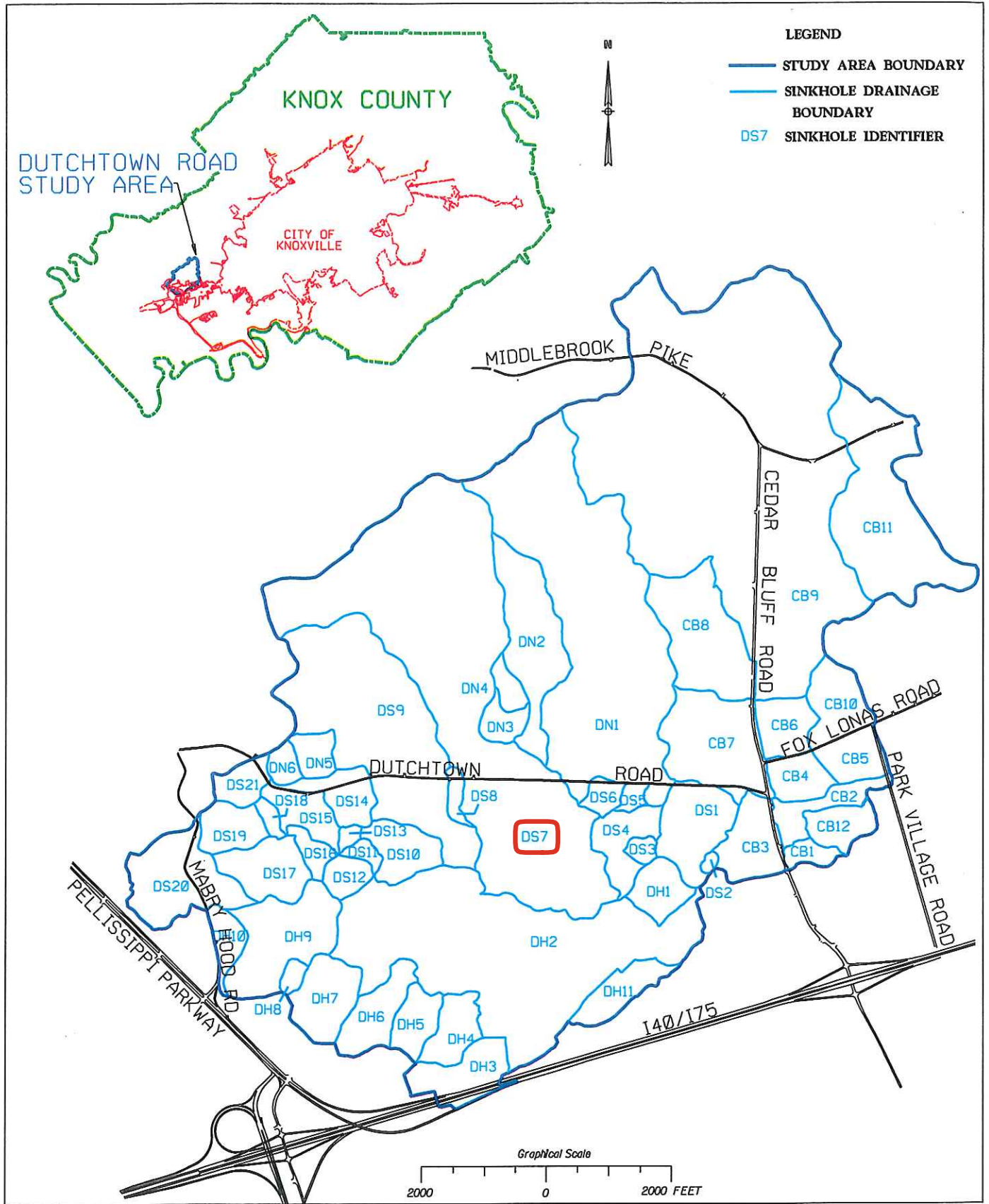


Figure 1. Dutchtown Road Study Area Location Map.

The Dutchtown Road Sinkhole Area

Existing landuse in the Dutchtown Road Sinkhole Area is primarily medium to high density residential. Some low-density residential areas still remain, primarily along the north side of Dutchtown Road. This area also includes a portion of the Webb School campus and the entire campus of the Christian Academy of Knoxville (CAK). MPC's 15-year Development Plan presents low to medium residential developments as the proposed future landuses for the area.

Approximately 1,005 acres drain to sinkholes located along Dutchtown Road. A significant portion of this area drains to two large sinkholes. The main sink, identified for this study as Dutchtown South #7 (DS7), is located between Dutchtown Road and Dead Horse Lake. Approximately 300 acres drain directly to DS7. Portions of this sinkhole have been filled during construction of Dutchtown Road, the Dutchtown Harbor Condominiums in 1995, and the current construction of new CAK facilities. DS7 holds water during wet periods and does not drain quickly. Dutchtown Road spans the northern portion of sinkhole and has been closed several times due to flooding.

Sinkhole Dutchtown North #1 (DN1) is located north of DS7, between Dutchtown Road and Sarasota Drive. Approximately 230 acres drain directly to DN1. Resident interviews revealed that one or more sinkhole throats were present in DN1, but past residents covered them with rocks and soil in an effort to prevent children from playing in the rocky outcroppings and cave openings. Although this area is typically dry, residents indicate that the area drains very slowly after heavy rainfall. Complaints about DN1 have been limited to nuisance flooding in yards adjacent to the sink and mosquito problems attributed to standing water during wet periods. It is believed that the remaining sinkholes and depressions in the Dutchtown Road area store water only after rainfall events.

The Cedar Bluff Road Sinkhole Area

Approximately 682 acres drain to sinkholes located along Cedar Bluff Road. Landuse in this area consists of a mix of medium to high-density residential, institutional, commercial and undeveloped areas. Most of the undeveloped area is located between Middlebrook Pike and Bob Gray Road, and behind the Sunchase Apartments on Cedar Bluff Road. A large tract of land at the corner of Cedar Bluff and Fox Lonas is currently under development of the Knoxville

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

05/30/2026

Date to be Posted

06/12/2026

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting


Applicant Signature

DAVID HARKIN
Applicant Name

4.27.26
Date