

REZONING REPORT

▶ **FILE #:** 6-D-26-RZ

AGENDA ITEM #: 20

AGENDA DATE: 6/11/2026

▶ **APPLICANT:** BEIT VENTURES LLC

OWNER(S): Beit Ventures LLC

TAX ID NUMBER: 42 016

[View map on KGIS](#)

JURISDICTION: County Commission District 8

STREET ADDRESS: 8922 THREE POINTS RD

▶ **LOCATION:** South side of Three Points Rd, northwest side of Rutledge Pike, northeast of Roberts Rd

▶ **APPX. SIZE OF TRACT:** 3.44 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Three Points Road, an unstriped local street with 16 ft of pavement width within a right-of-way width that varies from 40-42 ft.

UTILITIES: Water Source: Northeast Knox Utility District

Sewer Source: Septic

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Roseberry Creek

▶ **CURRENT ZONING:** A (Agricultural), F (Floodway)

▶ **REQUESTED ZONING:** PR (Planned Residential), F (Floodway),

▶ **EXISTING LAND USE:** Water, Rural Residential

▶ **DENSITY PROPOSED:** up to 2 du/ac

EXTENSION OF ZONING: No, it is not an extension.

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Rural residential, agriculture/forestry/vacant land - A (Agricultural), F (Floodway)

South: Agriculture/forestry/vacant land - A (Agricultural), CA (General Business), F (Floodway)

East: Single family residential - A (Agricultural), F (Floodway)

West: Single family residential - A (Agricultural)

NEIGHBORHOOD CONTEXT: The subject property is in an area that features single family houses on large lots and agricultural uses interspersed with undeveloped, forested tracts. There are some commercial uses 0.3 miles to the southwest near the intersection of Rutledge Pike and Roberts Road, and East Knox County Elementary lies 0.4 miles to the northeast.

STAFF RECOMMENDATION:

▶ **Deny the PR (Planned Residential) zone with up to 2 du/ac due to environmental constraints with the site. The F (Floodway) designation would be retained.**

COMMENTS:

PURSUANT TO THE KNOX COUNTY ZONING ORDINANCE, ARTICLE 6.30.01, THE FOLLOWING CONDITIONS MUST BE MET FOR ALL REZONINGS (must meet all of these):

THE PROPOSED AMENDMENT SHALL BE NECESSARY BECAUSE OF SUBSTANTIALLY CHANGED OR CHANGING CONDITIONS IN THE AREA AND ZONES AFFECTED, OR IN THE COUNTY GENERALLY.

1. Development northwest of Rutledge Pike has remained stable with little change over the last 20 years. New development in the area has been limited, mainly consisting of trash and waste collection services operations abutting the subject property to the south and the sporadic construction of single-family dwellings on existing lots.
2. Rezoning trends have been focused along and southeast of Rutledge Pike, where there has been more consistent non-residential and residential development. The intersection of Roberts Road and Rutledge Pike has gradually transitioned to a node of commercial and light industrial zoning. However, residential rezonings have been limited, with the most recent rezoning request occurring in 1996, roughly 0.41 miles to the north.

THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH THE INTENT AND PURPOSES OF THE APPLICABLE ZONING ORDINANCE.

1. The PR (Planned Residential) zone is intended to provide optional methods of land development that encourage more imaginative solutions to environmental design problems by allowing residential development to be clustered on more optimal sections of the property.
2. Roseberry Creek runs through the eastern side of the subject property, and the creek floodway encompasses the majority of the site. Though the PR zone allows clustered development, most of the property is within the 100-yr and 500-yr floodplains (Exhibit B: FEMA Flood Map). Additionally, the area outside of the floodplains is in the HP (Hillside Protection) area, and has steep slopes in the 15-25% and 25-40% ranges. These environmental factors would make clustering development at this location challenging.
3. Rezoning should be based on the entire range of uses allowed within a zone to ensure that any development brought forth at a future time would be compatible with the surrounding land uses. The PR zone with up to 2 du/ac would be compatible with surrounding residential development, which consists of single-family dwellings on a wide range of lot sizes.

THE PROPOSED AMENDMENT SHALL NOT ADVERSELY AFFECT ANY OTHER PART OF THE COUNTY NOR SHALL ANY DIRECT OR INDIRECT ADVERSE EFFECTS RESULT FROM SUCH AN AMENDMENT.

1. The PR zone with up to 2 du/ac would permit up to 6 units on the site. Though the PR zone allows development to be clustered away from environmentally sensitive areas, only a small portion of the property is outside the floodplains and a portion of the property is constrained with steep slopes. The significant environmental constraints on the site do not support increasing residential intensity.

THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH AND NOT IN CONFLICT WITH THE COMPREHENSIVE PLAN OF KNOX COUNTY, INCLUDING ANY OF ITS ELEMENTS, MAJOR ROAD PLAN, LAND USE PLAN, COMMUNITY FACILITIES PLAN, AND OTHERS.

1. The subject property is designated RC (Rural Conservation) in the Knox County Comprehensive Plan, which is intended to conserve forested areas, ridges, wetlands, and other natural features by clustering development and minimizing land disturbance. In growth areas, corridors and pockets of rural conservation indicate places that may be subject to development similar to the adjacent place types, but where more compact and low impact site design is expected.
2. The PR zone is partially related to the RC place type. Partially related zones are required to meet additional review criteria. The proposed rezoning meets the first criterion, as the allowable uses in the PR zone with up to 2 du/ac are consistent with the RC place type's recommended land use mix.
3. The subject property is within the Planned Growth Area of the Growth Policy Plan, which is intended to promote a more compact pattern of development and a wide range of housing choices. The proposed rezoning supports the intent of the Planned Growth Area.

ESTIMATED TRAFFIC IMPACT: 76 (average daily vehicle trips)

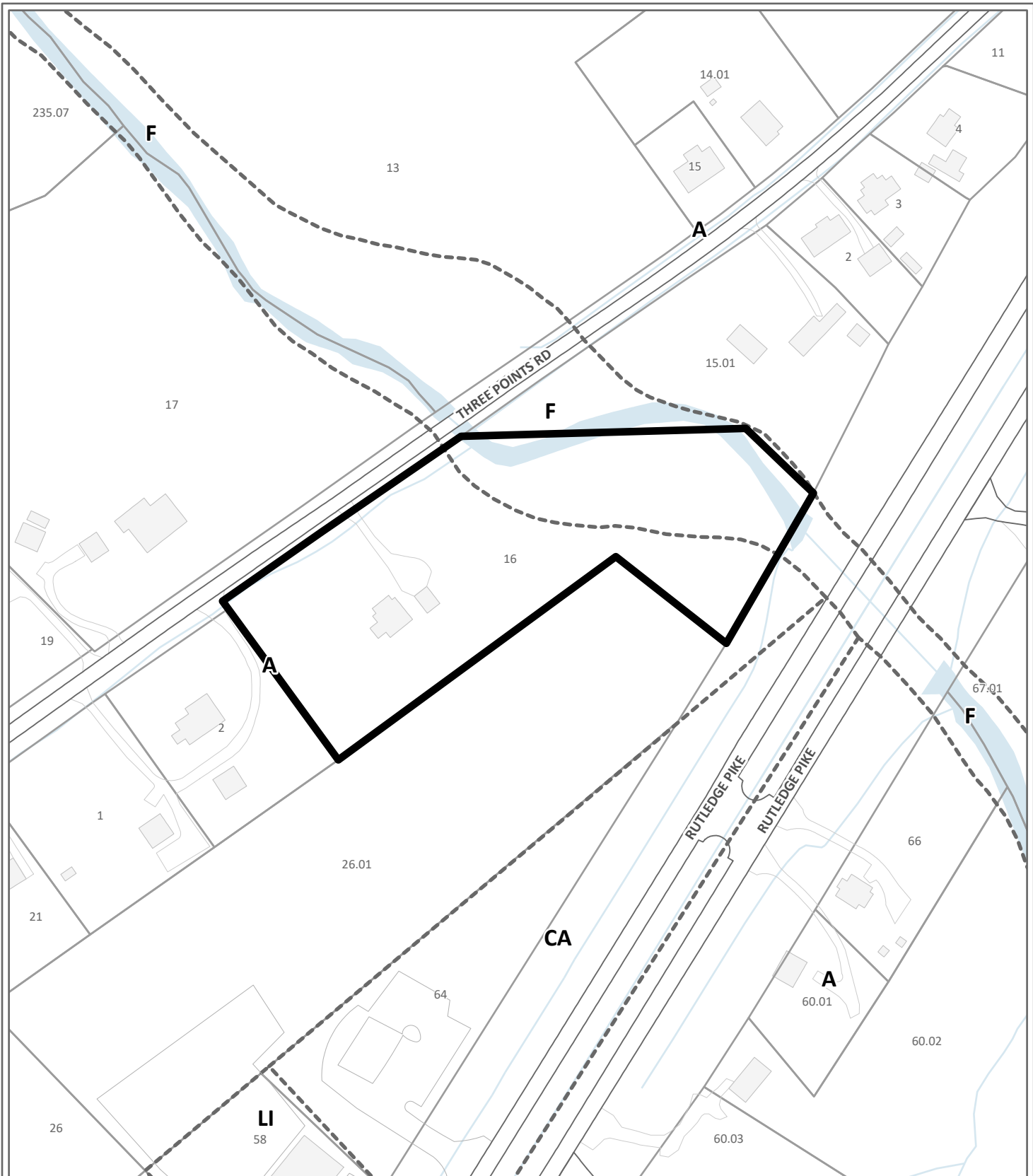
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 2 (public school children, grades K-12)

Schools affected by this proposal: East Knox County Elementary, Carter Middle, and Carter High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

If approved, this item will be forwarded to Knox County Commission for action on 7/20/2026. If denied, Knoxville-Knox County Planning Commission's action is final, unless the action to deny is appealed to Knox County Commission. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



REZONING

6-D-26-RZ

Petitioner: Beit Ventures LLC

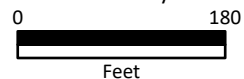


From: A (Agricultural), F (Floodway)

To: PR (Planned Residential), F (Floodway), up to 2 du/ac

Map No: 42

Jurisdiction: County



Original Print Date: 6/3/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Exhibit A. Contextual Images



AERIAL MAP



Case boundary

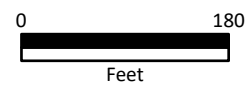
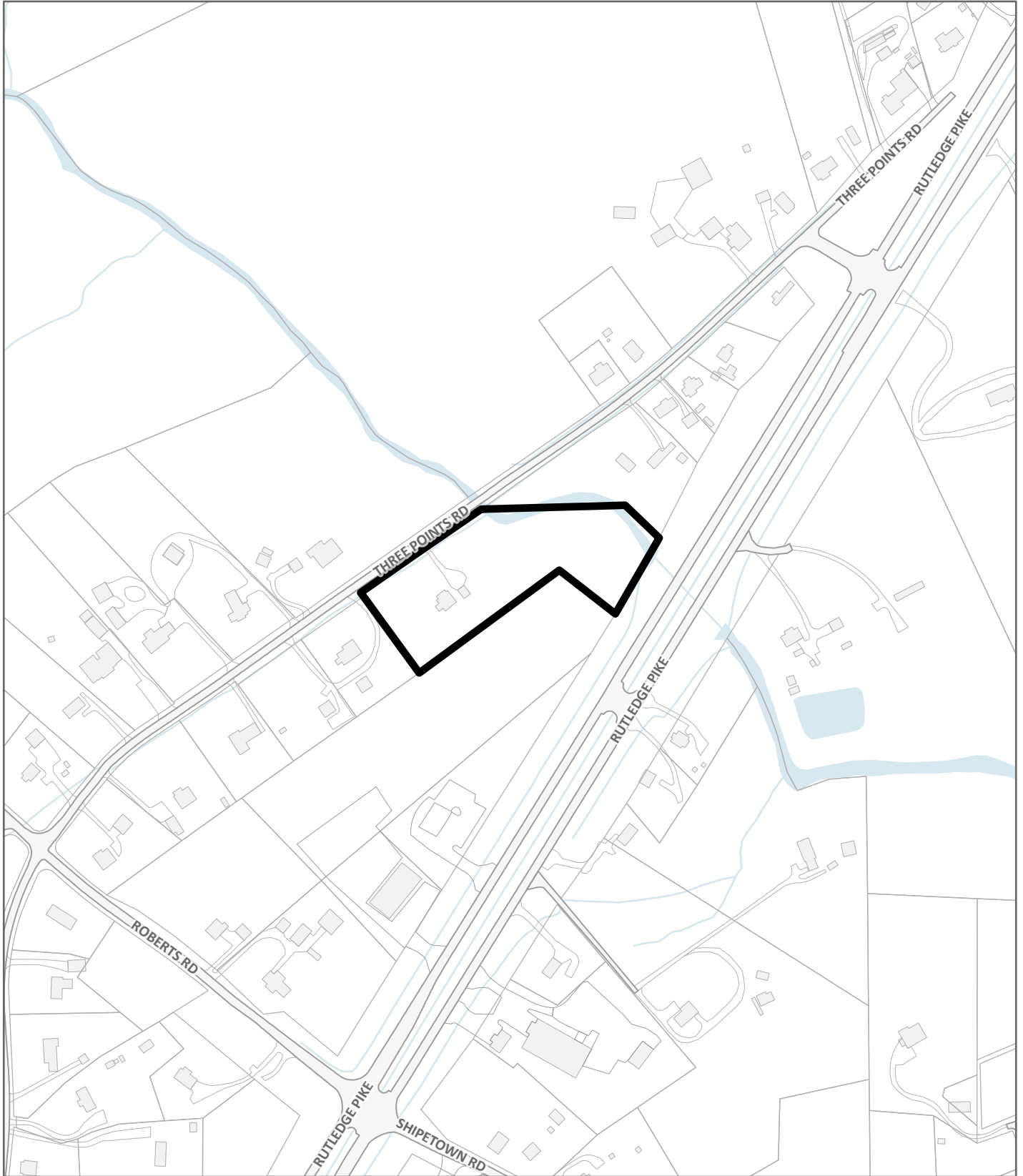


Exhibit A. Contextual Images

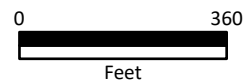


LOCATION MAP

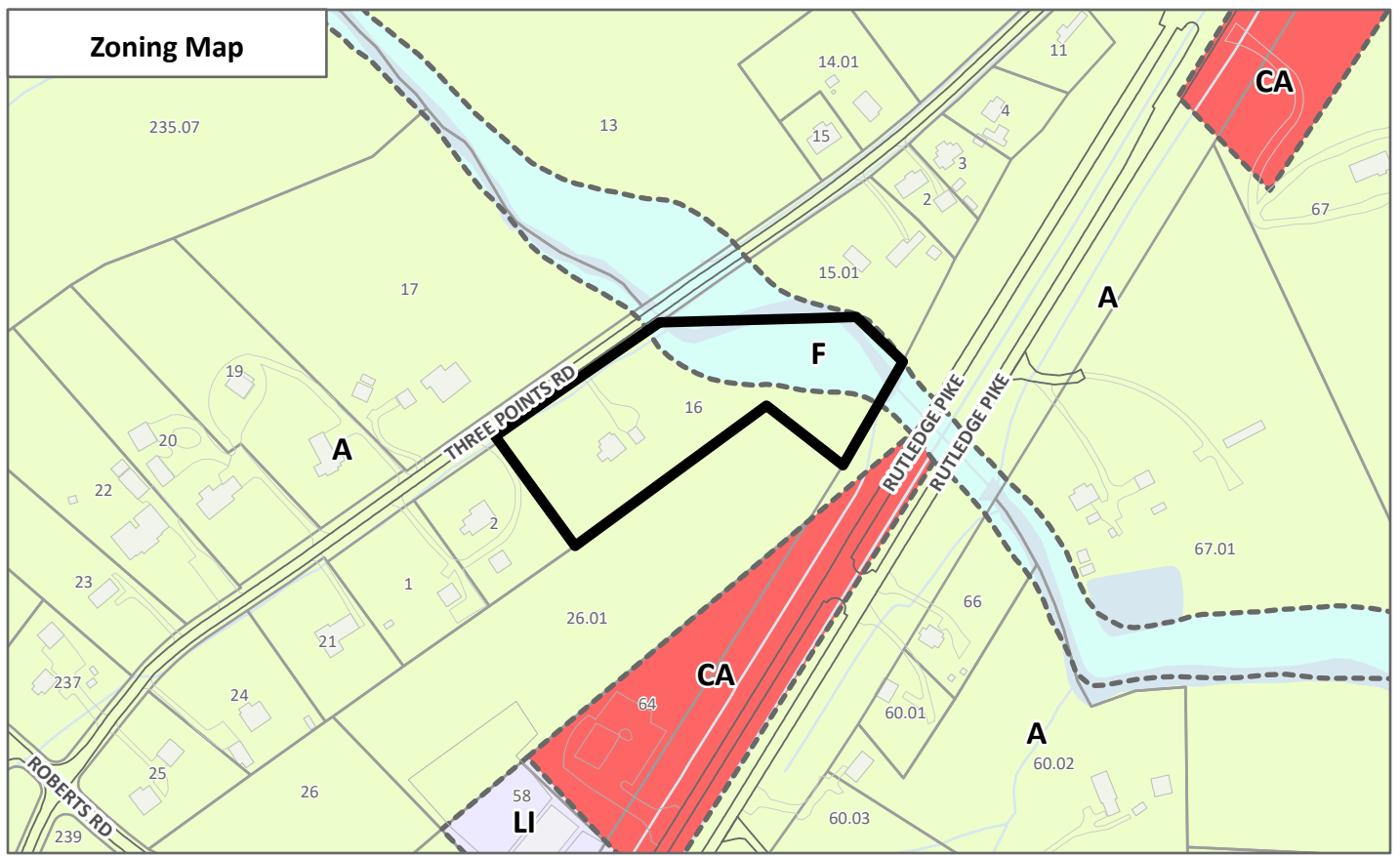
6-D-26-RZ



Case boundary



Zoning Map



Comprehensive Plan Map

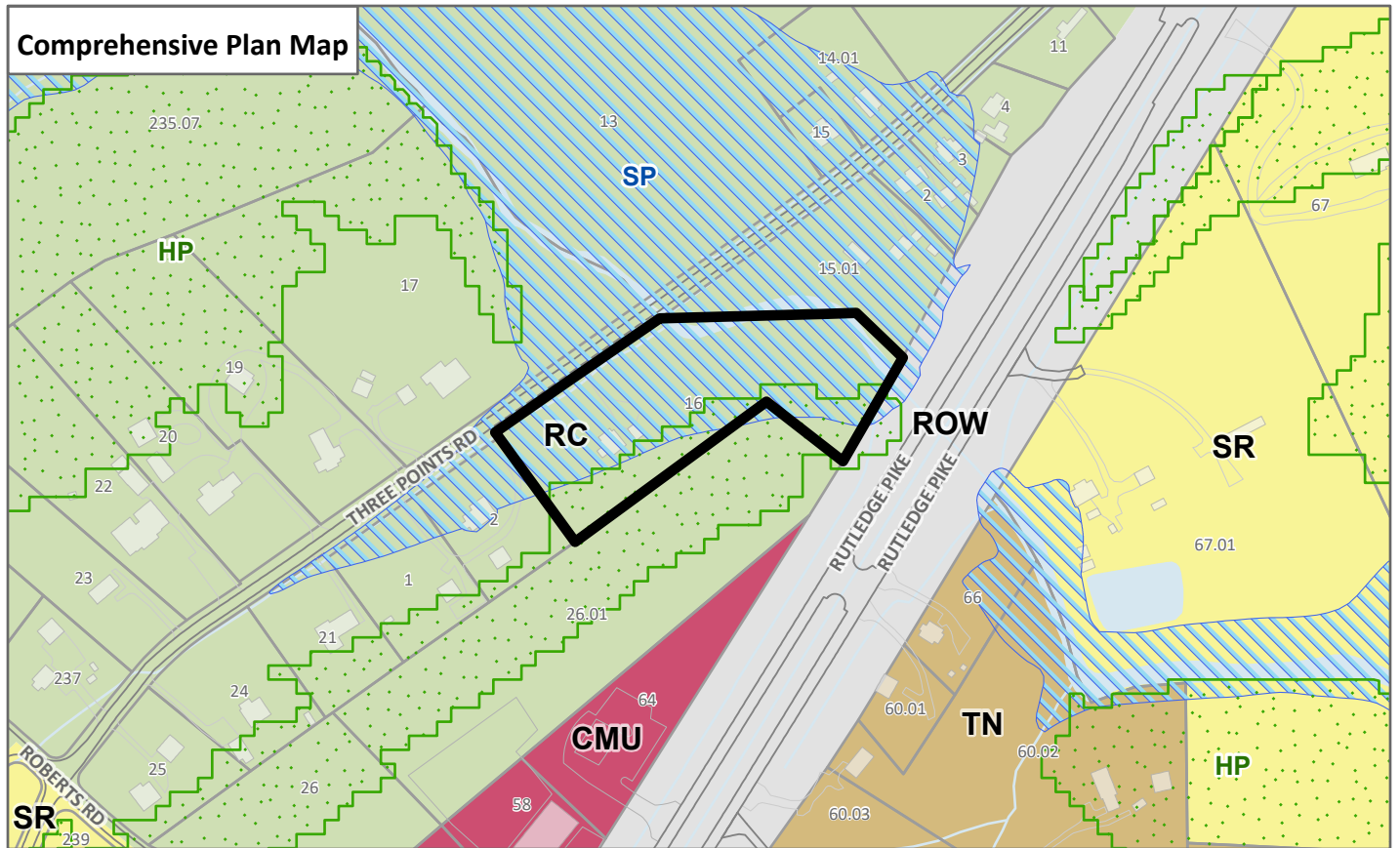


EXHIBIT A, CONTEXTUAL MAPS

6-D-26-RZ



Case boundary



Existing Land Use Map

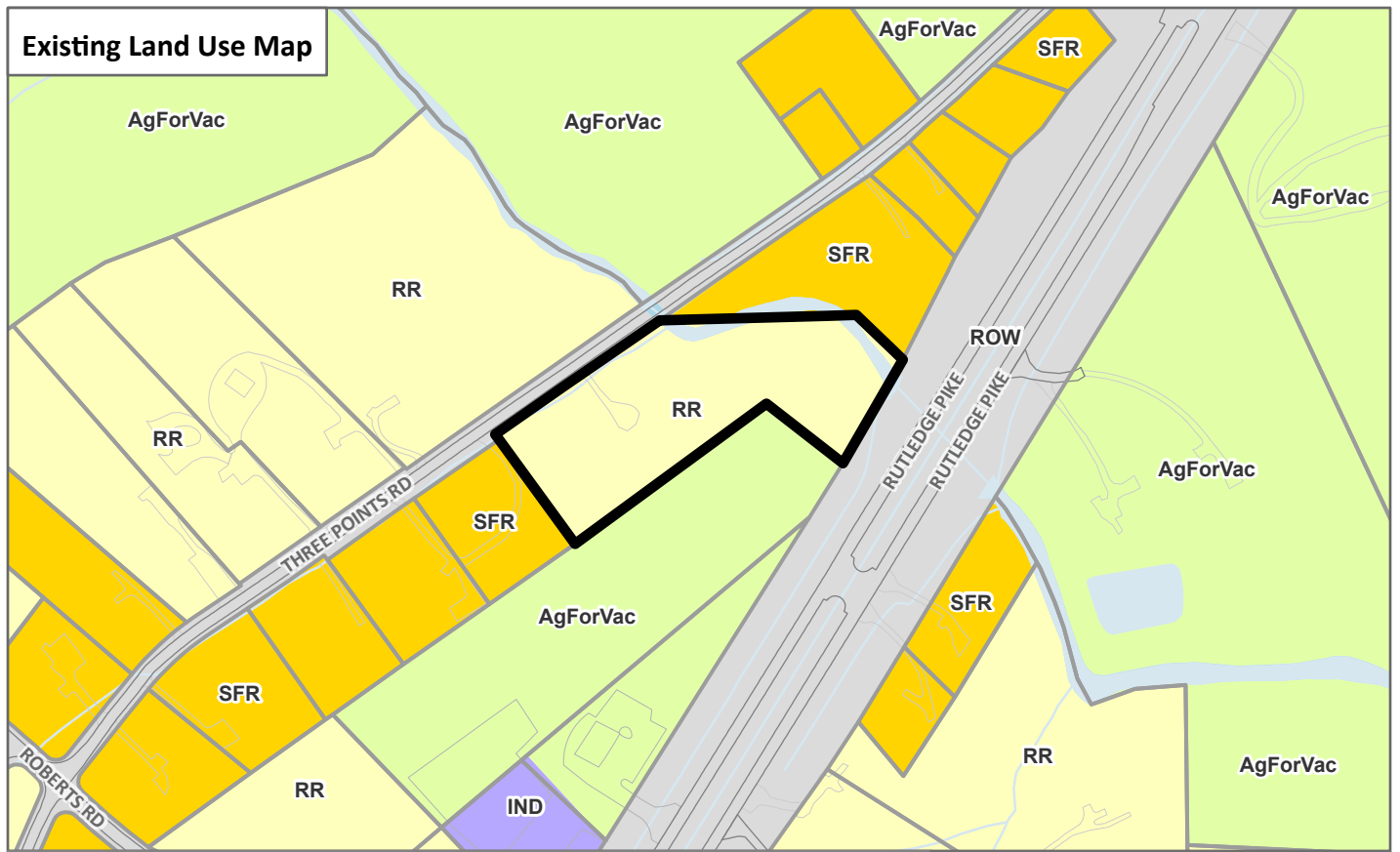


EXHIBIT A, CONTEXTUAL MAPS

6-D-26-RZ



Case boundary

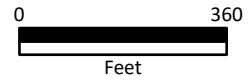
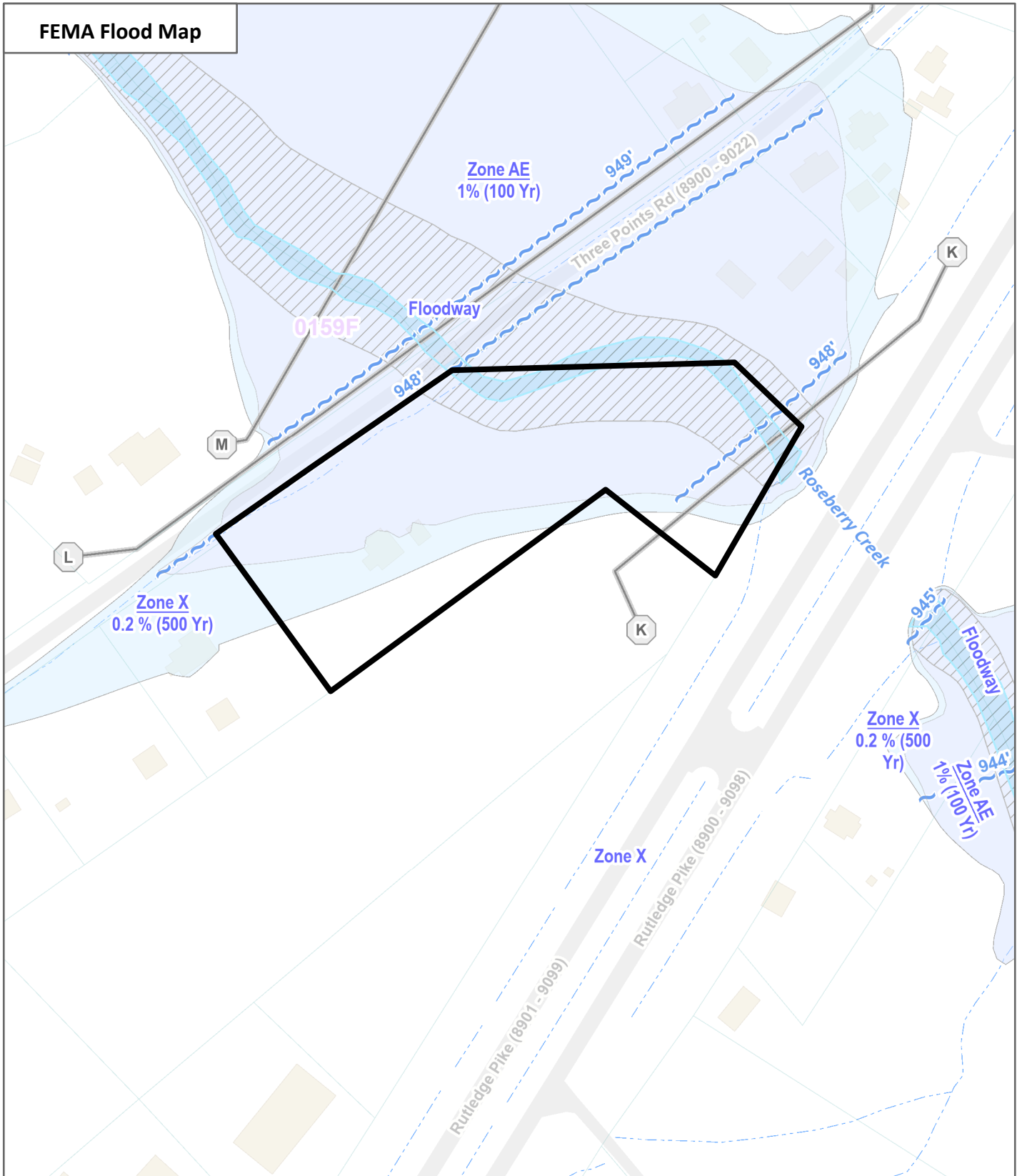


Exhibit B. FEMA Flood Map

FEMA Flood Map



SUPPLEMENTAL MAP

6-D-26-RZ

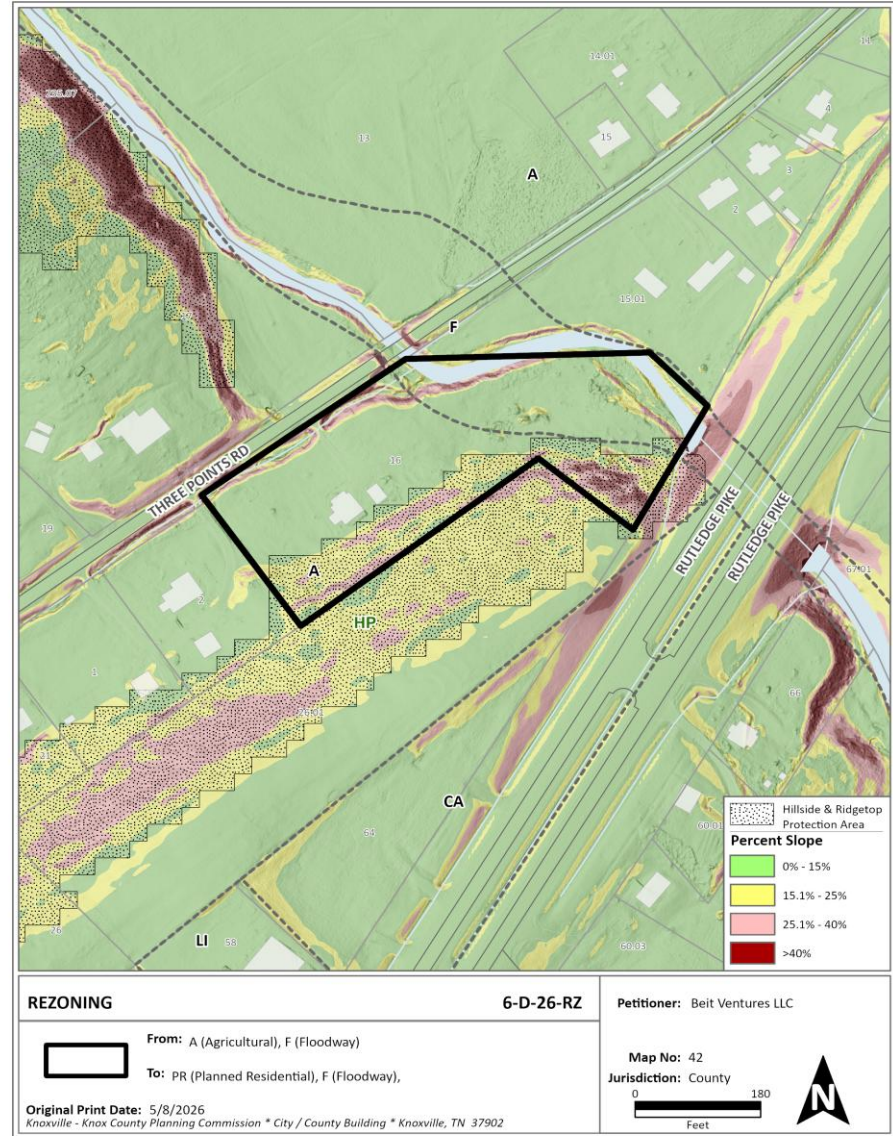


Case Boundary



CATEGORY	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Acres)
Total Area of Site	3.44		
Non-Hillside	2.46	N/A	
0-15% Slope	0.22	gridcode	FREQUENCY
15-25% Slope	0.48	100%	23.00
25-40% Slope	0.23	200%	34.00
Greater than 40% Slope	0.05	300%	24.00
Ridgetops			
Hillside Protection (HP) Area	0.98	Recommended disturbance budget within HP Area (acres)	81.00
		Percent of HP Area	8265.0%

SUM_Shap
9368.795
20747.27
10225.67



Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

05/30/2026

Date to be Posted

06/12/2026

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting

Dawn Irion

Applicant Signature

Dawn Irion

Applicant Name

Date